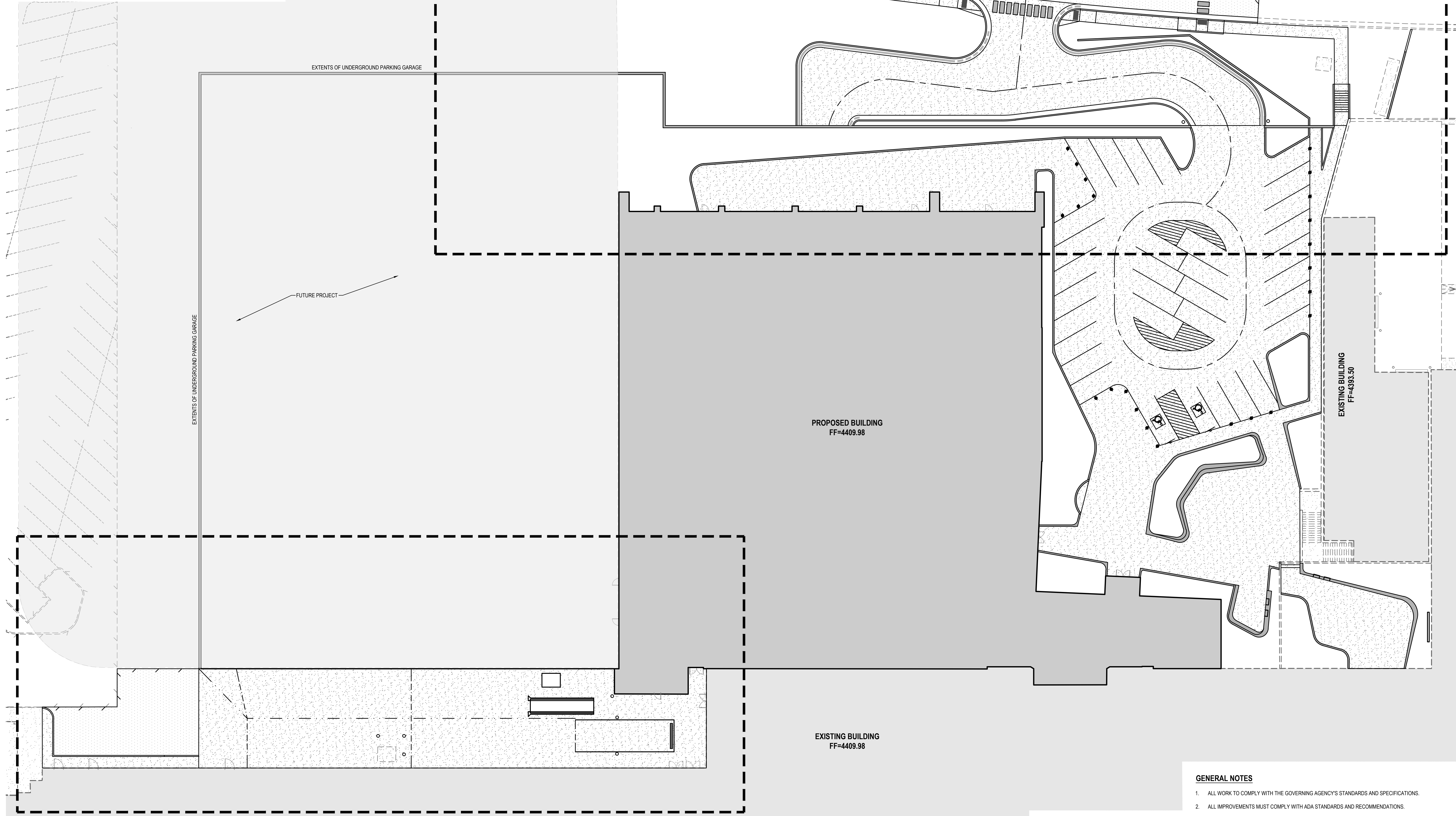
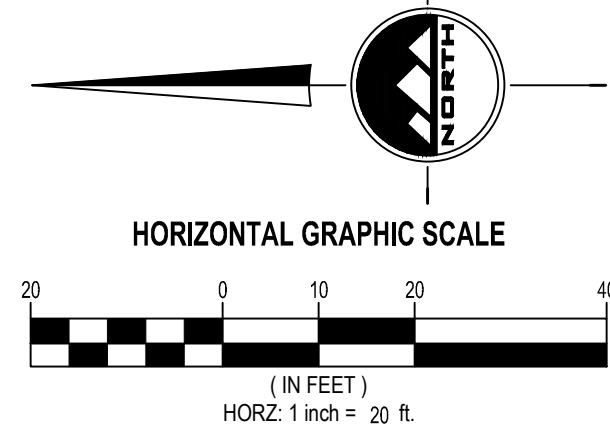


# APPENDIX "A"

**811**  
CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.  
Know what's below.  
Call before you dig.

**BENCHMARK**  
WITNESS CORNER TO THE NORTHWEST  
CORNER OF SECTION 18,  
TOWNSHIP 3 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4417.33'



DESCRIPTION	AREA (SF)	
	PRE JAZZ CONSTRUCTION	POST JAZZ CONSTRUCTION
PAVEMENT	101,583	51,456
BUILDING	0	39,852
LANDSCAPING	9,037	19,312
TOTAL SITE	158,084	3.63 ACRES

- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
  3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
  4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
  5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
  6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
  7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

**ENSIGN**  
THE STANDARD IN ENGINEERING

**SANDY**  
45 W 10000 S, Suite 500  
Sandy, UT 84070  
Phone: 801.255.0529

**LAYTON**  
Phone: 801.547.1100

**TOOELE**  
Phone: 435.843.3590

**CEDAR CITY**  
Phone: 435.865.1453

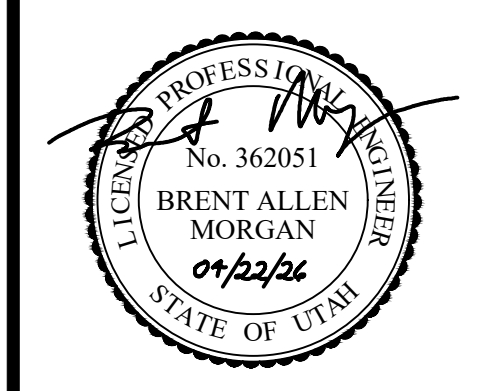
**RICHFIELD**  
Phone: 435.896.2983

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

FOR:  
BARBOCK DESIGN  
52 EXCHANGE PLACE  
SALT LAKE CITY, UT 84111

CONTACT:  
LARRY OLDHAM  
PHONE: 801-824-3351

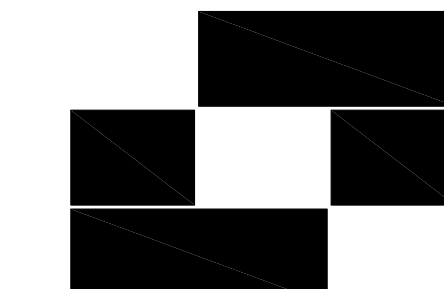
**JAZZ PHASE 4**  
10450 SOUTH STATE STREET  
SANDY, UT 84070



**OVERALL SITE PLAN**

PROJECT NUMBER: 13287  
PRINT DATE: 2026-04-22  
PROJECT MANAGER: BAM  
DESIGNED BY: KTW

**C-100**



**Babcock Design**

**Salt Lake City**  
52 Exchange Place  
Salt Lake City, UT 84111  
801.531.1144

**Boise**  
800 W Main Street, Suite 940  
Boise, ID 83702  
208.424.7675

[babcockdesign.com](http://babcockdesign.com)

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**Arc Satio Design, Inc**  
Landscape Architecture & Architectural Site Design  
1058 East 2100 South Salt Lake City, Utah 84106  
office 801.487.4923 [www.arcsatiodesign.com](http://www.arcsatiodesign.com)

**Smith Entertainment Group**

**JAZZ PHASE 4**

10450 South State St Sandy, UT, 84070

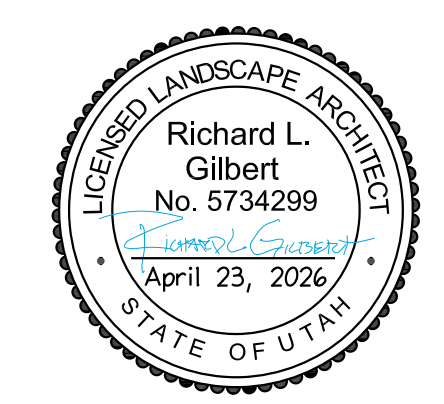
**Revisions**

Num.	Description	Date

**Project Number** 24054  
**Original Issue** April 23, 2026  
**Project Status**

The licensor and content creator herein is authorized to use the architect's name and logo on the project. The licensor and content creator herein is authorized to use the architect's name and logo on the project. The licensor and content creator herein is authorized to use the architect's name and logo on the project. The licensor and content creator herein is authorized to use the architect's name and logo on the project.

**Stamp**

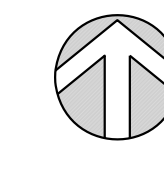
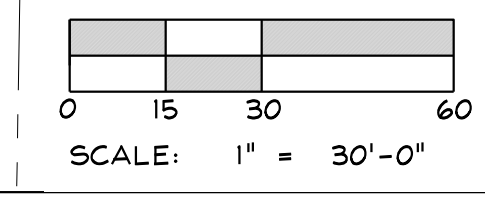
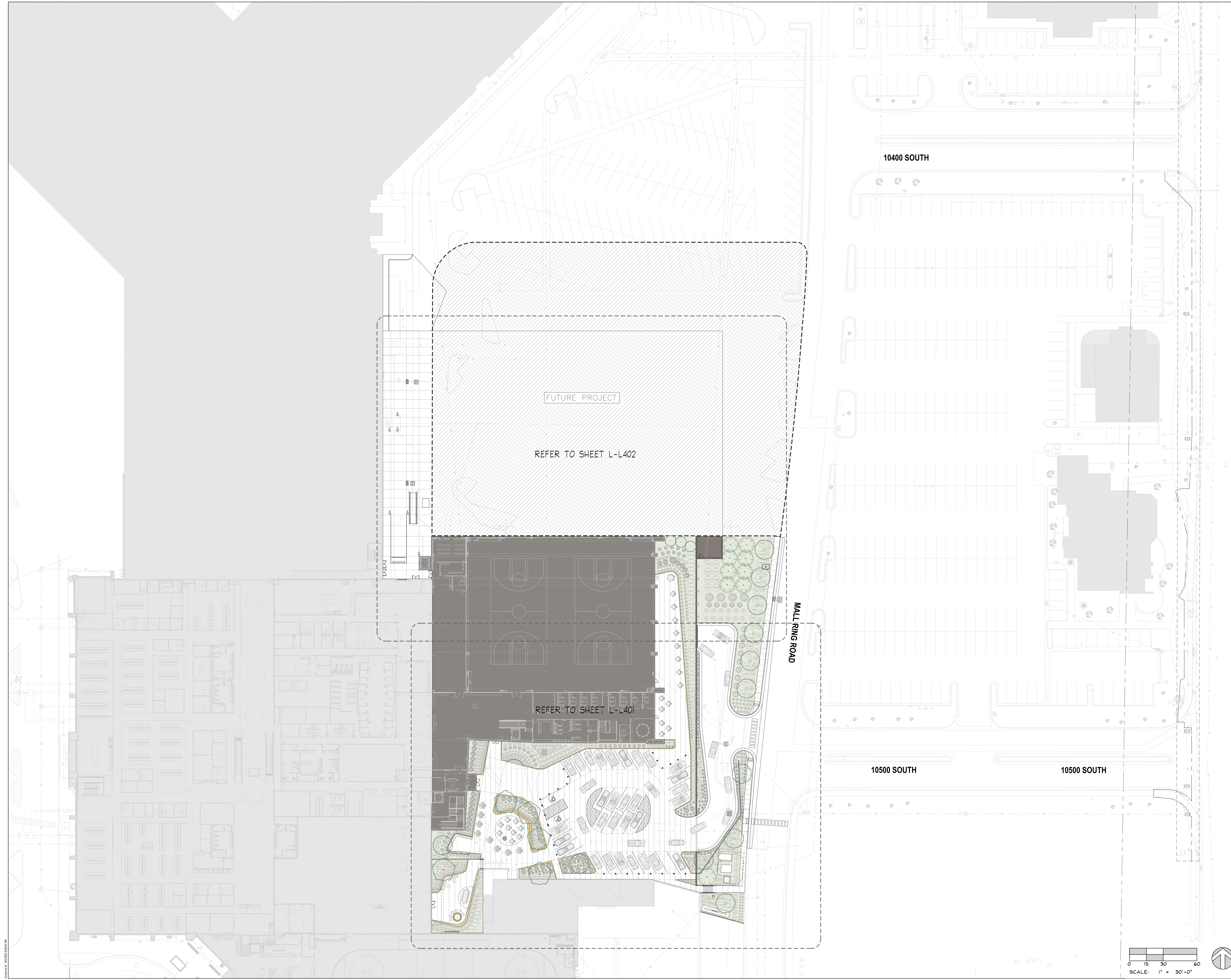


**Sheet Title**

**OVERALL SITE  
LANDSCAPE PLAN**

**Sheet Number**

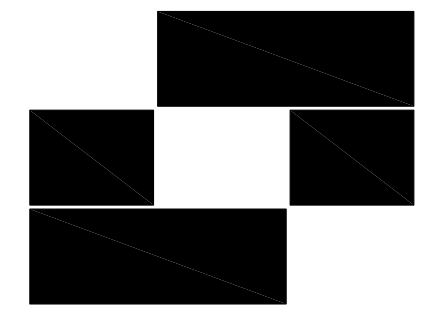
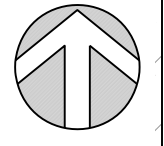
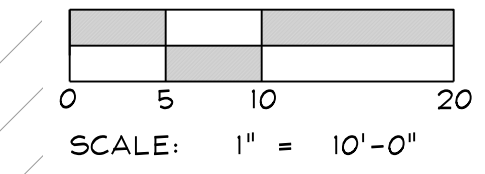
**L-L101**



Original drawing is 30" x 42" - Autodesk Docs:24054 - L-L101 (PC) (A) (P) - Architectural Model



FUTURE PROJECT



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**Smith Entertainment Group**

**JAZZ PHASE 4**

10450 South State St Sandy, UT, 84070

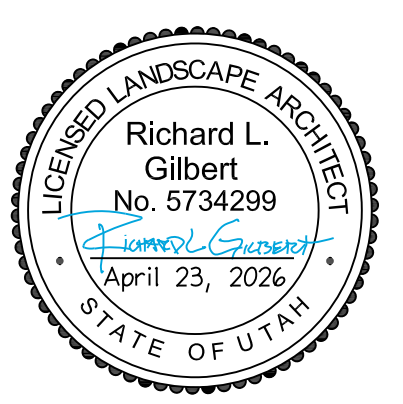
**Revisions**

Num.	Description	Date

**Project Number** 24054  
**Original Issue** April 23, 2026  
**Project Status**

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**Stamp**



**Sheet Title**

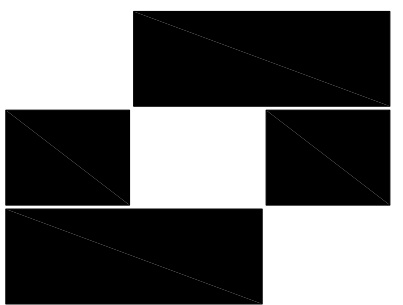
**ENLARGED SITE  
LANDSCAPE PLAN**

**Sheet Number**

**L-L402**

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MATCHLINE: SEE SHEET L-L401



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office 801.487.4923 [www.arcsatiodesign.com](http://www.arcsatiodesign.com)

**Smith Entertainment Group**

**JAZZ PHASE 4**

10450 South State St Sandy, UT, 84070

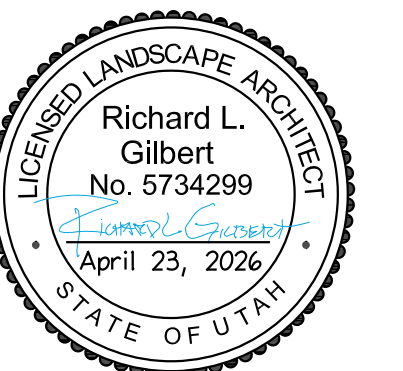
**Revisions**

Num.	Description	Date

**Project Number** 24054  
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**Stamp**

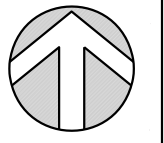
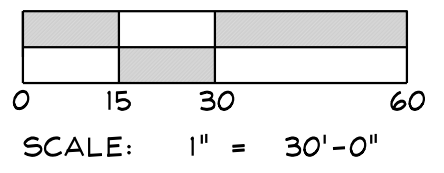


**Sheet Title**

**OVERALL SITE  
IRRIGATION PLAN**

**Sheet Number**

**L-R101**

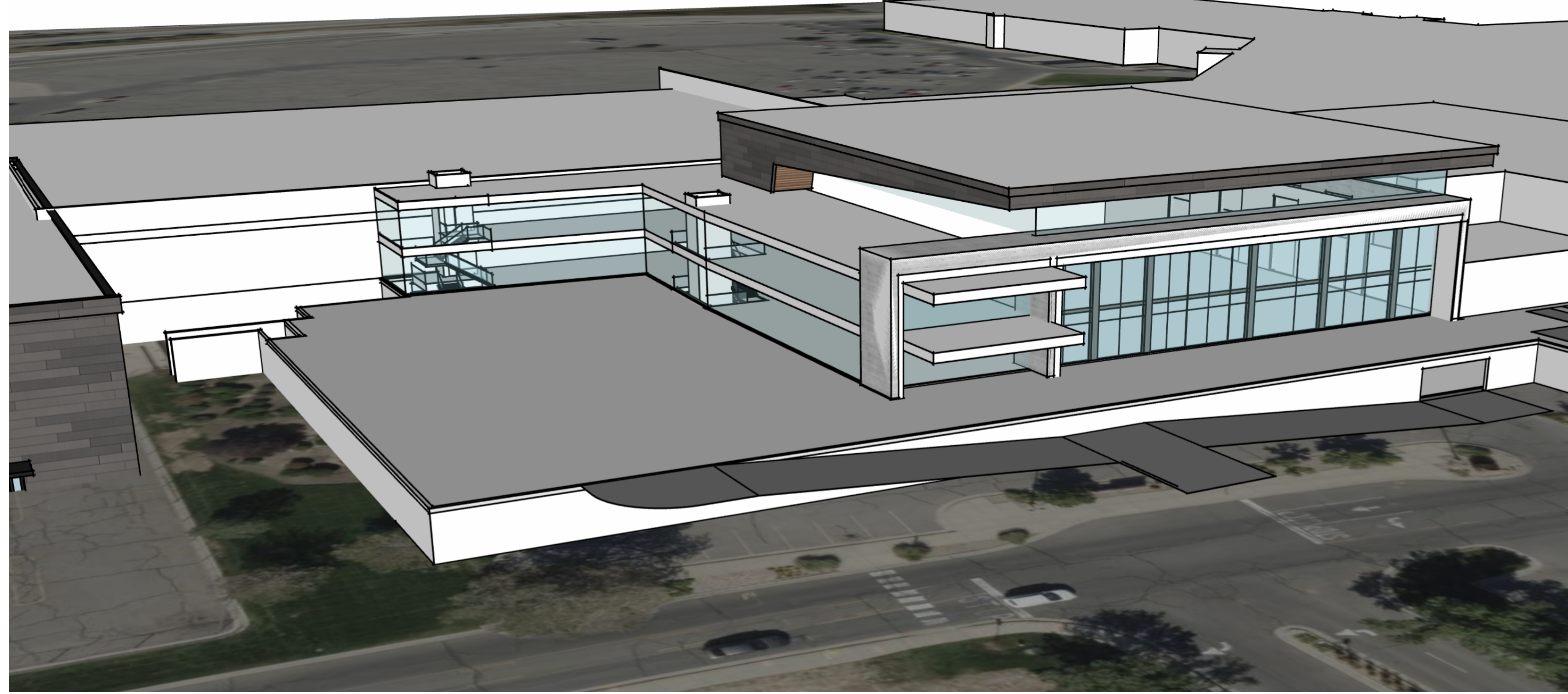


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# Smith Entertainment Group JAZZ PHASE 4B

10450 South State St Sandy, UT, 84070

PERMIT SET  
MARCH 19, 2026



## PROJECT TEAM

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**LANDSCAPE ARCHITECT**  
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T: 801-815-2661

CONTACT: RICHARD GILBERT  
rgilbert@arcstudioesign.com

**OCCUPANCY TOTALS**

LEVEL 1 GARAGE	344 OCCUPANTS
GARAGE GROSS SF = 88,892	
STORAGE GROSS SF = 1,477	
LOCKER ROOM GROSS SF = 6,858	
LEVEL 2 JAZZ TI	236 OCCUPANTS
BUSINESS GROSS SF = 35,534	
LOCKER ROOM GROSS SF = 2,903	
LEVEL 3 JAZZ TI	110 OCCUPANTS
BUSINESS GROSS SF = 16,598	
LOCKER ROOM GROSS SF = 828	
LEVEL 4 JAZZ TI	128 OCCUPANTS
BUSINESS GROSS SF = 16,598	
LOCKER ROOM GROSS SF = 828	
TOTAL OCCUPANTS PER CODE = 853	
TOTAL EGRESS OCCUPANTS = 504	

NOTE:  
THE PARKING OCCUPANTS ARE ALREADY  
ACCOUNTED FOR IN THE 8 OCCUPANCY  
COUNT. 349 OCCUPANTS ARE  
DUPLICATED. ALSO, COACHES AND STAFF  
LOCKER ROOMS ARE DUPLICATED.

TOTAL ROOM CALCS FORTH COMING IN THE  
TI PERMIT

## PROJECT INFORMATION

CODE SUMMARY AND PROJECT INFORMATION:																			
<b>APPLICABLE CODES AND STANDARDS:</b>																			
2021	INTERNATIONAL BUILDING CODE (IBC)																		
2021	INTERNATIONAL PLUMBING CODE (IPC)																		
2021	INTERNATIONAL MECHANICAL CODE (IMC)																		
2023	NATIONAL ELECTRICAL CODE (NEC)																		
2021	INTERNATIONAL ENERGY CONSERVATION CODE (IECC)																		
2021	INTERNATIONAL FIRE CODE (IFC)																		
2017	ANSI A117.1																		
<b>PROJECT DESCRIPTION:</b>																			
PROJECT AREA:																			
LEVEL 1	48,829 SF JAZZ GARAGE																		
LEVEL 2	48,846 SF JAZZ TI																		
LEVEL 3	16,598 SF JAZZ TI																		
TOTAL	85,446 SF																		
<b>USE AND OCCUPANCY CLASSIFICATION (IBC CHAPTER 3):</b>																			
GROUPS:	B S2																		
OCCUPANCY STRATEGY: JAZZ COURT (3) MAXACTS TI = JAZZ 2, GARAGE (2)																			
<b>SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY (IBC CHAPTER 4):</b>																			
402.4.1.2-ANCHOR BUILDING NOT MORE THAN 3 STORIES, TYPE III UNLIMITED AREA																			
<b>GENERAL BUILDING HEIGHTS AND AREAS (IBC CHAPTER 5):</b>																			
CONSTRUCTION TYPE:	II-B																		
<table border="1"> <thead> <tr> <th></th> <th>ALLOWABLE</th> <th>ACTUAL</th> </tr> </thead> <tbody> <tr> <td>BUILDING HEIGHT IN FEET (TOWER 504.3):</td> <td>3</td> <td>48.6</td> </tr> <tr> <td>BUILDING HEIGHT IN STORES (TOWER 504.4):</td> <td>3</td> <td>3</td> </tr> <tr> <td>AREA PER FLOOR (TOWER 506.2):</td> <td>UNLIMITED</td> <td>154,338</td> </tr> <tr> <td>TOTAL ALLOWABLE AREA PER FLOOR (SFT):</td> <td>UNLIMITED</td> <td>154,338</td> </tr> <tr> <td>TOTAL ALLOWABLE BUILDING AREA (SFT):</td> <td>UNLIMITED</td> <td>154,338</td> </tr> </tbody> </table>			ALLOWABLE	ACTUAL	BUILDING HEIGHT IN FEET (TOWER 504.3):	3	48.6	BUILDING HEIGHT IN STORES (TOWER 504.4):	3	3	AREA PER FLOOR (TOWER 506.2):	UNLIMITED	154,338	TOTAL ALLOWABLE AREA PER FLOOR (SFT):	UNLIMITED	154,338	TOTAL ALLOWABLE BUILDING AREA (SFT):	UNLIMITED	154,338
	ALLOWABLE	ACTUAL																	
BUILDING HEIGHT IN FEET (TOWER 504.3):	3	48.6																	
BUILDING HEIGHT IN STORES (TOWER 504.4):	3	3																	
AREA PER FLOOR (TOWER 506.2):	UNLIMITED	154,338																	
TOTAL ALLOWABLE AREA PER FLOOR (SFT):	UNLIMITED	154,338																	
TOTAL ALLOWABLE BUILDING AREA (SFT):	UNLIMITED	154,338																	
<b>FIRE RESISTIVE RATING REQUIREMENTS FOR BUILDING ELEMENTS (IBC CHAPTER 6):</b>																			
CONSTRUCTION TYPE:	II-B																		
STRUCTURAL FRAME:	0 HR																		
BEARING WALLS EXTERIOR:	0 HR																		
BEARING WALLS INTERIOR:	0 HR																		
NONBEARING WALLS INTERIOR:	0 HR																		
FLOOR CONSTRUCTION:	0 HR																		
ROOF CONSTRUCTION:	0 HR																		
FIRE-RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE:																			
0 HR																			
<b>FIRE AND SMOKE PROTECTION FEATURES (IBC CHAPTER 7):</b>																			
ALLOWABLE AREA OF OPENINGS:	FIRE SEPARATION DISTANCE: 60' FEET																		
OPENING PROTECTION: UNPROTECTED; NONSPRINKLERED																			
ALLOWABLE AREA: NO LIMIT																			
FIRE WALL RATING:	GROUP: B RATING: 1																		
FIRE BARRIER RATING:	GROUP: B RATING: 1																		
HORIZONTAL ASSEMBLY RATING:	RATING: 0																		
GARAGE B FIRE SPRINKLERED																			
SHAFT ENCLOSURE RATING:	RATING: 2																		
OPENING FIRE PROTECTION:																			
<table border="1"> <thead> <tr> <th>TYPE OF ASSEMBLY</th> <th>WALL RATING</th> <th>DOOR RATING</th> <th>DR. VISION PANEL SIZE</th> <th>SECURITY TRANSOM</th> </tr> </thead> <tbody> <tr> <td>FIRE WALL</td> <td>4</td> <td>3</td> <td>N.P.</td> <td>N.P.</td> </tr> <tr> <td>SHAFT</td> <td>2</td> <td>1.5</td> <td>100.00, IN.</td> <td>2</td> </tr> </tbody> </table>		TYPE OF ASSEMBLY	WALL RATING	DOOR RATING	DR. VISION PANEL SIZE	SECURITY TRANSOM	FIRE WALL	4	3	N.P.	N.P.	SHAFT	2	1.5	100.00, IN.	2			
TYPE OF ASSEMBLY	WALL RATING	DOOR RATING	DR. VISION PANEL SIZE	SECURITY TRANSOM															
FIRE WALL	4	3	N.P.	N.P.															
SHAFT	2	1.5	100.00, IN.	2															
<b>INTERIOR FINISHES (IBC CHAPTER 8):</b>																			
INTERIOR WALL AND CEILING FINISHES:	PER TABLE 803.11																		
<table border="1"> <thead> <tr> <th>OCCUPANCY GROUP</th> <th>INTERIOR EXT. STAIRWAYS, ETC.</th> <th>CORRIDORS, ETC.</th> <th>ROOMS AND ENCLOSED SPACES</th> </tr> </thead> <tbody> <tr> <td>GROUP B</td> <td>CLASS B</td> <td>CLASS C</td> <td>CLASS C</td> </tr> </tbody> </table>		OCCUPANCY GROUP	INTERIOR EXT. STAIRWAYS, ETC.	CORRIDORS, ETC.	ROOMS AND ENCLOSED SPACES	GROUP B	CLASS B	CLASS C	CLASS C										
OCCUPANCY GROUP	INTERIOR EXT. STAIRWAYS, ETC.	CORRIDORS, ETC.	ROOMS AND ENCLOSED SPACES																
GROUP B	CLASS B	CLASS C	CLASS C																
<b>FIRE PROTECTION SYSTEMS (IBC CHAPTER 9):</b>																			
SEE PLUMBING FIXTURE CALCULATIONS ON SHEET:	G001																		
<b>MEANS OF EGRESS (IBC CHAPTER 10):</b>																			
EGRESS SIZING (1005):	STARWAYS = OCCUP. LOAD x 0.3' / OCC. = 131.2 INCHES REQUIRED = 214 INCHES PROVIDED																		
OTHER EGRESS COMPONENTS = OCCUP. LOAD x 0.2' / OCC. = 100.8 INCHES PROVIDED = 180 INCHES REQUIRED																			
COMMON PATH OF EGRESS TRAVEL:	100 FEET																		
EXIT ACCESS TRAVEL DISTANCE:	300 FEET																		
<b>PLUMBING FIXTURE REQUIREMENTS (IBC CHAPTER 29):</b>																			
SEE PLUMBING FIXTURE CALCULATIONS ON SHEET:	G001																		
<b>THERMAL ENVELOPE (IECC):</b>																			
ROOF INSULATION R-VALUE:	R-30																		
STUD CAVITY INSULATION R-VALUE:	R-13																		
CONTINUOUS INSULATION R-VALUE:	R-7.5 AT FRAMED WALLS																		
CONTINUOUS INSULATION R-VALUE:	R-26 AT OTHER METAL PANEL																		
CONTINUOUS INSULATION R-VALUE:	R-10 AT DOOR																		
SLAB/FOUNDATION R-VALUE:	R-10																		
<b>EXTERIOR GLAZING INFORMATION:</b>																			
BASES OF DESIGN PRODUCT:	PPG SOLARBAN 70																		
U-FACTOR:	0.06 MINIMUM																		
SUMMER U-FACTOR:	0.28 800/170 x 1000 MAXIMUM																		
WINTER U-FACTOR:	0.26 800/170 x 1000 MAXIMUM																		
SHGC:	0.27 MAXIMUM																		
<b>EXTERIOR GLAZING SYSTEM INFORMATION:</b>																			
BASES OF DESIGN PRODUCT:	KAWNEER 451UT (THERMAL)																		
U-FACTOR:	0.34 800/170 x 1000 MAXIMUM																		
SHGC:	0.38 MAXIMUM																		
<b>OTHER:</b>																			
<b>DEFERRED SUBMITTALS</b>																			
<ul style="list-style-type: none"> <li>FIRE SUPPRESSION SYSTEM</li> <li>ALARM SYSTEM</li> <li>SITE PLAN APPROVAL SUBMITTAL</li> <li>SEWER DISTRICT APPROVAL</li> <li>SPECIAL INSPECTION AGREEMENT</li> </ul>																			
NOTES:																			
ALL DEFERRED SUBMITTALS TO BE PROVIDED TO THE AUTHORITY HAVING JURISDICTION FOR REVIEW A MINIMUM OF TWO WEEKS PRIOR TO COMMENCEMENT OF WORK.																			
ALL DEFERRED SUBMITTALS TO BE REVIEWED BY THE ARCHITECT PRIOR TO SUBMITTAL TO THE AUTHORITY HAVING JURISDICTION.																			

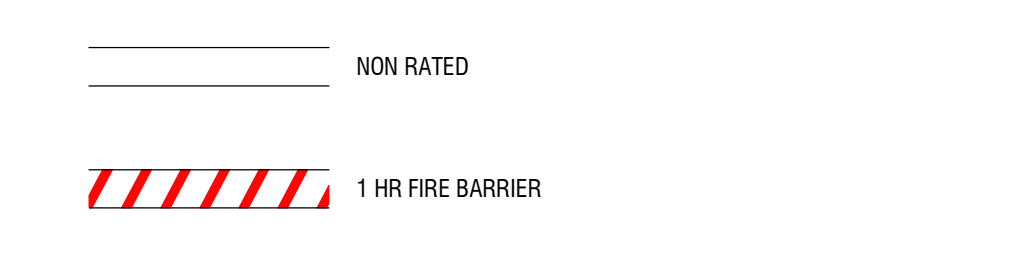
## DRAWING INDEX

GENERAL	ARCHITECTURAL	INTERIOR DESIGN	STRUCTURAL	MECHANICAL / PLUMBING	ELECTRICAL
6001a PROJECT INFORMATION SHEET	A110 PARKING LEVEL - SLAB PLAN	I-121 A - LEVEL 2 FLOOR PLAN	S001 GENERAL STRUCTURAL NOTES	M000.1 MECHANICAL TITLE SHEET	E001.1 ELECTRICAL SYMBOLS AND NOTES
6002a GENERAL NOTES, LEGENDS, ABBREVIATIONS, AND SYMBOLS	A111 OVERALL PARKING LEVEL	I-121 B - LEVEL 2 FLOOR PLAN	S002 GENERAL STRUCTURAL NOTES	M001.1 MECHANICAL GENERAL NOTES	E001.2 ELECTRICAL DIAGRAMS
G102a CODE - EGRESS LIFE SAFETY PARKING LEVEL	A112 PARKING LEVEL - SOUTH	I-121 C - LEVEL 2 FLOOR PLAN	S003 LOAD PANELS	M011.1 LEVEL 1 JPC THERMAL ZONE PLAN PHASE 4	E001.3 ELECTRICAL DIAGRAMS
G103a CODE - EGRESS LIFE SAFETY LEVEL	A113 PARKING LEVEL - NORTH	I-122 A - LEVEL 2 DIMENSION PLAN	S005 FOOTING AND FOUNDATION DETAILS	M012.1 LEVEL 2 JPC THERMAL ZONE	E010 OVERALL ELECTRICAL INFRASTRUCTURE PLAN - PARKING GARAGE
G104 CODE - EGRESS LIFE SAFETY LEVEL 3	A120 LEVEL 2 - SLAB PLAN	I-122 B - LEVEL 2 DIMENSION PLAN	S101 FOOTING AND FOUNDATION PLAN - OVERALL	M100.1 PARKING LEVEL HVAC PLAN - PHASE 4	E102 OVERALL ELECTRICAL INFRASTRUCTURE PLAN - LEVEL 2
G201 GENERAL ACCESSIBILITY REQUIREMENTS	A121 LEVEL 2 - OVERALL FLOOR PLAN	I-123 A - LEVEL 2 REFLECTED CEILING PLAN	S101A FOOTING AND FOUNDATION PLAN - AREA A	M100.2 PARKING LEVEL NORTH HVAC PLAN - PHASE 4	E103 OVERALL ELECTRICAL INFRASTRUCTURE PLAN - LEVEL 3
G202 GENERAL ACCESSIBILITY REQUIREMENTS	A130 LEVEL 3 - SLAB PLAN	I-123 B - LEVEL 2 REFLECTED CEILING PLAN	S101B FOOTING AND FOUNDATION PLAN - AREA B	M101.1 LEVEL 1 JPC HVAC PLAN - PHASE 4	E201A PARKING LEVEL - LIGHTING PLAN - SOUTH
G203a TYPICAL MOUNTING HEIGHTS	A131 LEVEL 3 - OVERALL FLOOR PLAN	I-123 C - LEVEL 2 REFLECTED CEILING PLAN	S101C FOOTING AND FOUNDATION PLAN - AREA C	M102.1 LEVEL 2 JPC HVAC PLAN - PHASE 4	E201B PARKING LEVEL - LIGHTING PLAN - NORTH
	A141 ROOF PLAN - UPPER	I-124 A - LEVEL 2 FINISHES PLAN	S101E FOOTING AND FOUNDATION PLAN - AREA E	M102.2 LEVEL 2 JPC HVAC PLAN - PHASE 4	E202A LEVEL 2 LIGHTING PLAN
	A142 ROOF PLAN - LOWER	I-124 B - LEVEL 2 FINISHES PLAN	S102 FOOTING AND FOUNDATION PLAN - AREA D	M103.1 LOWER ROOF HVAC PLAN - PHASE 4	E202B LEVEL 2 LIGHTING PLAN
AS101a SITE PLAN - PHASE 4	A201 EXTERIOR ELEVATIONS	I-124 C - LEVEL 2 FINISHES PLAN	S102A PARKING LEVEL 2 PLAN - OVERALL	M103.2 TI ROOF HVAC PLAN - PHASE 4	E203A LEVEL 3 LIGHTING PLAN
AS101b EXCAVATION PLAN	A202 EXTERIOR ELEVATIONS	I-124 D - LEVEL 2 FINISHES PLAN	S102.1 LEVEL 2 SLAB PLAN - AREA A	M110.1 PARKING LEVEL MECHANICAL PIPING PLAN - PHASE 4	E203B LEVEL 3 LIGHTING PLAN
AS101c SITE SECTIONS	A301 BUILDING SECTIONS	I-131 A - LEVEL 3 FLOOR PLAN	S102.2 PARKING LEVEL 2 BANDED PT LAYOUT PLAN - AREA A	M001.1 MECHANICAL DETAILS - PHASE 4	E204 ROOF LEVEL TI LIGHTING PLAN
AS101d SITE DETAILS - "Phase 4"	A302 BUILDING SECTIONS	I-131 B - LEVEL 3 FLOOR PLAN	S102.3 PARKING LEVEL 2 UNIFORM TENDON LAYOUT PLAN - AREA A	P099 PARKING LEVEL PLUMBING DEMOLITION PLAN - PHASE 4	E301A PARKING LEVEL - POWER PLAN - SOUTH
	A303 BUILDING SECTIONS	I-132 A - LEVEL 3 DIMENSION PLAN	S102.4 LEVEL 2 BOTTOM REINFORCING PLAN - AREA A	P100 UNDERFLOOR PLUMBING DEMOLITION PLAN - PHASE 4	E301B PARKING LEVEL - POWER PLAN - NORTH
	A304 PARKING GARAGE SECTIONS	I-132 B - LEVEL 3 DIMENSION PLAN	S102.5 LEVEL 2 SLAB PLAN - AREA B	P101 LEVEL 1 PLUMBING PLAN	E302A LEVEL 2 POWER PLAN
	A311 WALL SECTIONS	I-133 A - LEVEL 3 REFLECTED CEILING PLAN	S102.6 LEVEL 2 TOP REINFORCING PLAN - AREA A	P102 LEVEL 2 PLUMBING PLAN	E302B LEVEL 2 POWER PLAN
	A312 WALL SECTIONS	I-133 B - LEVEL 3 REFLECTED CEILING PLAN	S102.7 LEVEL 2 BOTTOM REINFORCING PLAN - AREA B	P103 ROOF PLUMBING PLAN	E303A LEVEL 3 POWER PLAN
	A313 WALL SECTIONS	I-133 C - LEVEL 3 REFLECTED CEILING PLAN	S102.8 LEVEL 2 TOP REINFORCING PLAN - AREA B	P104 UNDERFLOOR PLUMBING PLAN - PHASE 4	E303B LEVEL 3 POWER PLAN
	A314 WALL SECTIONS	I-134 A - LEVEL 3 FINISHES PLAN	S102.9 LEVEL 2 SLAB PLAN - AREA C	P105 UNDERFLOOR PLUMBING PLAN - PHASE 4	E304 ROOF LEVEL TI POWER PLAN
	A315 PARKING GARAGE WALL SECTIONS	I-134 B - LEVEL 3 FINISHES PLAN	S102.10 LEVEL 2 SLAB PLAN - AREA D	P106 PARKING LEVEL - OVERALL PLUMBING PLAN - PHASE 4	E360 ONE-LINE DIAGRAM
AD100a DEMO PLAN - "Phase 4"	A401 ENLARGED PLANS, INTERIOR ELEVATIONS AND SECTIONS	I-134 C - LEVEL 3 GLAZING PLAN	S102.11 LEVEL 2 SLAB PLAN - AREA E	P107 LEVEL 1 PLUMBING PLAN	E401 PANELBOARD SCHEDULES
AD103 EXISTING ROOF DEMO	A451 ENLARGED VERTICAL CIRCULATION PLANS, SECTIONS, DETAILS	I-134 D - LEVEL 3 GLAZING PLAN	S102.12 PARKING LEVEL 2 BANDED PT LAYOUT PLAN - AREA C	P108 PARKING LEVEL - OVERALL PLUMBING PLAN - PHASE 4	E402 PANELBOARD SCHEDULES
	A452 ENLARGED VERTICAL CIRCULATION PLANS, SECTIONS, DETAILS	I-135 A - LEVEL 3 REFLECTED CEILING PLAN	S102.13 PARKING LEVEL 2 UNIFORM TENDON LAYOUT PLAN - AREA A	P109 UNDERFLOOR PLUMBING PLAN - PHASE 4	E403 PANELBOARD SCHEDULES
	A453 ENLARGED VERTICAL CIRCULATION PLANS, SECTIONS, DETAILS	I-135 B - LEVEL 3 REFLECTED CEILING PLAN	S102.14 LEVEL 2 TOP REINFORCING PLAN - AREA B	P110 UNDERFLOOR PLUMBING PLAN	E404 PANELBOARD SCHEDULES
	A454 ENLARGED VERTICAL CIRCULATION PLANS, SECTIONS, DETAILS	I-135 C - LEVEL 3 REFLECTED CEILING PLAN	S102.15 LEVEL 2 BOTTOM REINFORCING PLAN - AREA C	P111 LEVEL 1 PLUMBING PLAN	T000 SECURITY SYMBOLS, SCHEDULES, AND NOTES
	A455 ENLARGED VERTICAL CIRCULATION PLANS, SECTIONS, DETAILS	I-134 A - LEVEL 3 FINISHES PLAN	S102.16 LEVEL 2 TOP REINFORCING PLAN - AREA B	P112 LEVEL 2 PLUMBING PLAN	T001A PARKING LEVEL - SECURITY - SOUTH
	A456 ENLARGED VERTICAL CIRCULATION PLANS, SECTIONS, DETAILS	I-134 B - LEVEL 3 FINISHES PLAN	S102.17 LEVEL 2 SLAB PLAN - AREA D	P113 ROOF PLUMBING PLAN	T001B PARKING LEVEL - SECURITY - NORTH
	A457 ENLARGED VERTICAL CIRCULATION PLANS, SECTIONS, DETAILS	I-134 C - LEVEL 3 FINISHES PLAN	S102.18 PARKING LEVEL 2 BANDED PT LAYOUT PLAN - AREA A	P114 ROOF PLUMBING PLAN	T002A LEVEL 2 SECURITY PLAN
	A458 ENLARGED VERTICAL CIRCULATION PLANS, SECTIONS, DETAILS	I-134 D - LEVEL 3 GLAZING PLAN	S102.19 PARKING LEVEL 2 UNIFORM TENDON LAYOUT PLAN - AREA A	P115 LEVEL 1 OVERALL PLUMBING PLAN - PHASE 4	T002B LEVEL 2 SECURITY PLAN
	A459 ENLARGED VERTICAL CIRCULATION PLANS, SECTIONS, DETAILS	I-135 A - LEVEL 3 REFLECTED CEILING PLAN	S102.20 LEVEL 2 BOTTOM REINFORCING PLAN - AREA B	P116 LEVEL 2 OVERALL PLUMBING PLAN - PHASE 4	T003A LEVEL 3 SECURITY PLAN
	A460 ENLARGED VERTICAL CIRCULATION PLANS, SECTIONS, DETAILS	I-135 B - LEVEL 3 REFLECTED CEILING PLAN	S102.21 LEVEL 2 TOP REINFORCING PLAN - AREA C	P117 ROOF PLUMBING PLAN	T003B LEVEL 3 SECURITY PLAN
	A461 ENLARGED VERTICAL CIRCULATION PLANS, SECTIONS, DETAILS	I-135 C - LEVEL 3 REFLECTED CEILING PLAN	S102.22 PARKING LEVEL 2 BANDED PT LAYOUT PLAN - AREA D	P118 ROOF PLUMBING PLAN	T660 SECURITY DIAGRAMS
	A501 EXTERIOR DETAILS	I-135 D - LEVEL 3 GLAZING PLAN	S102.23 PARKING LEVEL 2 UNIFORM TENDON LAYOUT PLAN - AREA A	P119 ROOF PLUMBING PLAN	
	A502 EXTERIOR DETAILS	I-136 A - LEVEL 3 GLAZING PLAN	S102.24 LEVEL 2 BOTTOM REINFORCING PLAN - AREA B	P120 ROOF PLUMBING PLAN	
	A503 EXTERIOR DETAILS	I-136 B - LEVEL 3 GLAZING PLAN	S102.25 LEVEL 2 TOP REINFORCING PLAN - AREA C	P121 ROOF PLUMBING PLAN	
	A504 EXTERIOR DETAILS	I-136 C - LEVEL 3 GLAZING PLAN	S102.26 LEVEL 2 SLAB PLAN - AREA E	P122 LEVEL 1 OVERALL PLUMBING PLAN - PHASE 4	
	A505 EXTERIOR DETAILS	I-136 D - LEVEL 3 GLAZING PLAN	S102.27 LEVEL 2 BOTTOM REINFORCING PLAN - AREA D	P123 ROOF PLUMBING PLAN	
	A506 EXTERIOR DETAILS	I-137 A - LEVEL 3 GLAZING PLAN	S102.28 LEVEL 2 TOP REINFORCING PLAN - AREA B	P124 ROOF PLUMBING PLAN	
	A507 EXTERIOR DETAILS	I-137 B - LEVEL 3 GLAZING PLAN	S102.29 LEVEL 2 SLAB PLAN - AREA C	P125 ROOF PLUMBING PLAN	
	A508 EXTERIOR DETAILS	I-137 C - LEVEL 3 GLAZING PLAN	S102.30 LEVEL 2 BOTTOM REINFORCING PLAN - AREA C	P126 ROOF PLUMBING PLAN	
	A509 EXTERIOR DETAILS	I-137 D - LEVEL 3 GLAZING PLAN	S102.31 LEVEL 2 TOP REINFORCING PLAN - AREA D	P127 ROOF PLUMBING PLAN	
	A510 PARKING GARAGE DETAILS	I-138 A - LEVEL 3 GLAZING PLAN	S102.32 PARKING LEVEL 2 UNIFORM TENDON LAYOUT PLAN - AREA A	P128 ROOF PLUMBING PLAN	
	A511 WINDOW SCHEDULE	I-138 B - LEVEL 3 GLAZING PLAN	S102.33 LEVEL 2 BOTTOM REINFORCING PLAN - AREA B	P129 ROOF PLUMBING PLAN	
	A512 WINDOW SCHEDULE	I-138 C - LEVEL 3 GLAZING PLAN	S102.34 LEVEL 2 TOP REINFORCING PLAN - AREA C	P130 ROOF PLUMBING PLAN	
	A513 WINDOW SCHEDULE	I-138 D - LEVEL 3 GLAZING PLAN	S102.35 LEVEL 2 SLAB PLAN - AREA D	P131 ROOF PLUMBING PLAN	
	A514 WINDOW / DOOR SCHEDULE	I-139 A - LEVEL 3 GLAZING PLAN	S102.36 LEVEL 2 BOTTOM REINFORCING PLAN - AREA D	P132 ROOF PLUMBING PLAN	
		I-139 B - LEVEL 3 GLAZING PLAN	S102.37 LEVEL 2 TOP REINFORCING PLAN - AREA E	P133 ROOF PLUMBING PLAN	
		I-139 C - LEVEL 3 GLAZING PLAN	S102.38 LEVEL 2 SLAB PLAN - AREA E	P134 ROOF PLUMBING PLAN	
		I-139 D - LEVEL 3 GLAZING PLAN	S102.39 LEVEL 2 BOTTOM REINFORCING PLAN - AREA D	P135 ROOF PLUMBING PLAN	
		I-140 A - LEVEL 3 GLAZING PLAN	S102.40 LEVEL 2 TOP REINFORCING PLAN - AREA D	P136 ROOF PLUMBING PLAN	
		I-140 B - LEVEL 3 GLAZING PLAN	S102.41 LEVEL 2 SLAB PLAN - AREA D	P137 ROOF PLUMBING PLAN	
		I-140 C - LEVEL 3 GLAZING PLAN	S102.42 LEVEL 2 BOTTOM REINFORCING PLAN - AREA D	P138 ROOF PLUMBING PLAN	
		I-140 D - LEVEL 3 GLAZING PLAN	S102.43 LEVEL 2 TOP REINFORCING PLAN - AREA D	P139 ROOF PLUMBING PLAN	
		I-141 A - LEVEL 3 GLAZING PLAN	S102.44 LEVEL 2 SLAB PLAN - AREA D	P140 ROOF PLUMBING PLAN	
		I-141 B - LEVEL 3 GLAZING PLAN	S102.45 LEVEL 2 BOTTOM REINFORCING PLAN - AREA D	P141 ROOF PLUMBING PLAN	
		I-141 C - LEVEL 3 GLAZING PLAN	S102.46 LEVEL 2 TOP REINFORCING PLAN - AREA D	P142 ROOF PLUMBING PLAN	
		I-141 D - LEVEL 3 GLAZING PLAN	S102.47 LEVEL 2 SLAB PLAN - AREA D	P143 ROOF PLUMBING PLAN	
		I-142 A - LEVEL 3 GLAZING PLAN	S102.48 LEVEL 2 BOTTOM REINFORCING PLAN - AREA D	P144 ROOF PLUMBING PLAN	
		I-142 B - LEVEL 3 GLAZING PLAN	S102.49 LEVEL 2 TOP REINFORCING PLAN - AREA D	P145 ROOF PLUMBING PLAN	
		I-142 C - LEVEL 3 GLAZING PLAN	S102.50 LEVEL 2 SLAB PLAN - AREA D	P146 ROOF PLUMBING PLAN	
		I-142 D - LEVEL 3 GLAZING PLAN	S102.51 LEVEL 2 BOTTOM REINFORCING PLAN - AREA D	P147 ROOF PLUMBING PLAN	
		I-142 E - LEVEL 3 GLAZING PLAN	S102.52 LEVEL 2 TOP REINFORCING PLAN - AREA D	P148 ROOF PLUMBING PLAN	
		I-142 F - LEVEL 3 GLAZING PLAN	S102.53 LEVEL 2 SLAB PLAN - AREA D	P149 ROOF PLUMBING PLAN	
		I-142 G - LEVEL 3 GLAZING PLAN	S102.54 LEVEL 2 BOTTOM REINFORCING PLAN - AREA D	P150 ROOF PLUMBING PLAN	
		I-142 H - LEVEL 3 GLAZING PLAN	S102.55 LEVEL 2 TOP REINFORCING PLAN - AREA D	P151 ROOF PLUMBING PLAN	
		I-142 I - LEVEL 3 GLAZING PLAN	S102.56 LEVEL 2 SLAB PLAN - AREA D	P152 ROOF PLUMBING PLAN	
		I-142 J - LEVEL 3 GLAZING PLAN	S102.57 LEVEL 2 BOTTOM REINFORCING PLAN - AREA D	P153 ROOF PLUMBING PLAN	
		I-142 K - LEVEL 3 GLAZING PLAN	S102.58 LEVEL 2 TOP REINFORCING PLAN - AREA D	P154 ROOF PLUMBING PLAN	
		I-142 L - LEVEL 3 GLAZING PLAN	S102.59 LEVEL 2 SLAB PLAN - AREA D	P155 ROOF PLUMBING PLAN	
		I-142 M - LEVEL 3 GLAZING PLAN	S102.60 LEVEL 2 BOTTOM REINFORCING PLAN - AREA D	P156 ROOF PLUMBING PLAN	
		I-142 N - LEVEL 3 GLAZING PLAN	S102.61 LEVEL 2 TOP REINFORCING PLAN - AREA D	P157 ROOF PLUMBING PLAN	
		I-142 O - LEVEL 3 GLAZING PLAN	S102.62 LEVEL 2 SLAB PLAN - AREA D	P158 ROOF PLUMBING PLAN	
		I-142 P - LEVEL 3 GLAZING PLAN	S102.63 LEVEL 2 BOTTOM REINFORCING PLAN - AREA D	P159 ROOF PLUMBING PLAN	
		I-142 Q - LEVEL 3 GLAZING PLAN	S102.64 LEVEL 2 TOP REINFORCING PLAN - AREA D	P160 ROOF PLUMBING PLAN	
		I-142 R - LEVEL 3 GLAZING PLAN	S102.65 LEVEL 2 SLAB PLAN - AREA D	P161 ROOF PLUMBING PLAN	

FLOOR PLAN GENERAL NOTES

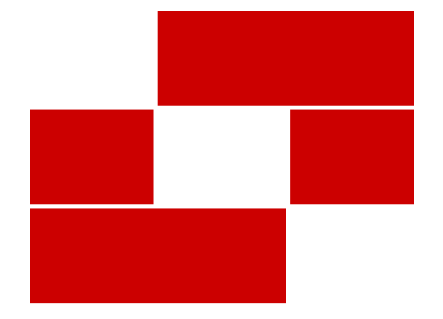
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- ALL DIMENSIONS ARE TO COLUMN CENTERLINES, TO GRIDLINES OR TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE CLEAR DIMENSIONS INDICATE DIMENSION BETWEEN FINISHES.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF DISCREPANCIES IN THE DOCUMENTS, AND OF ANY FIELD CONDITIONS THAT DEVIATE FROM THE DOCUMENTS.
- THE ARCHITECT'S APPROVAL MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO CHANGES IN DIMENSIONS, DESIGN, MATERIALS, PRODUCTS, AND FINISHES. IN NO CASE MAY THE CONTRACTOR MAKE THESE CHANGES WITHOUT THE APPROVAL OF THE ARCHITECT.
- SHOP DRAWINGS AND OTHER SUBMITTALS ARE TO BE PRESENTED TO THE ARCHITECT FOR REVIEW PRIOR TO EXECUTION OF WORK. ALLOW APPROPRIATE TIME FOR REVIEW.
- SEE DOOR AND WINDOW SCHEDULES FOR SIZES, TYPES, AND FINISHES, HARDWARE, ETC.
- FOR BUILDING CODE REQUIREMENTS OR FIRE/SMOKE REQUIREMENTS, SEE 'G' SHEETS.
- ALL FIRE RATED WALLS TO BE LABELED AS FIRE RATED. LABEL TO BE PLACED ABOVE CEILING LINE.
- SEE WALL TYPE CONSTRUCTION DETAILS ON SHEET A611 AND ADDITIONAL DETAILS ON SHEETS A612 AND A613 FOR WALL TERMINATIONS, ETC.
- HINGE SIDE OF DOORS ARE LOCATED 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- ANY COLUMN FURRING TO BE TIGHT TO COLUMN UNO.
- ALL CONSTRUCTION SHALL CONFORM TO AND STRICTLY COMPLY WITH ALL APPLICABLE CODES, COVENANTS, RESTRICTIONS, AND OTHER REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION OVER THE PROJECT.
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- BRACE ALL CEILINGS AND NON-LOAD BEARING WALLS AS REQUIRED.
- COORDINATE WITH ELECTRICAL DRAWINGS FOR POWER, DATA, AND OTHER SYSTEM LOCATIONS AND REQUIREMENTS.
- THE FURNITURE AND OTHER F.F.E. SHOWN ON DRAWINGS IS SCHEMATIC AND IS ONLY TO BE USED FOR REFERENCE ONLY. THE CONTRACTOR SHALL COORDINATE THE FINAL LOCATION OF ELECTRICAL OUTLETS AND OTHER NEEDS WITH THE OWNER AND ARCHITECT, PRIOR TO INSTALLATION.
- THE ELEVATOR AND SHAFT SHOWN IN DOCUMENTS IS BASED ON THE KONE MONOSPACE 500 DX AND MONOSPACE 300 ELEVATOR IN THE SPECIFICATION. SHAFT AND PIT DIMENSIONS SHALL BE COORDINATED WITH THE EXACT MAKE AND MODEL OF THE ELEVATOR BY THE GENERAL CONTRACTOR.
- ALL WALLS TO EXTEND TO DECK U.N.O.
- REFER TO I-SHEETS FOR ALL INTERIOR INFORMATION.

FIRE RATING LEGEND



SHEET NOTES

NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.



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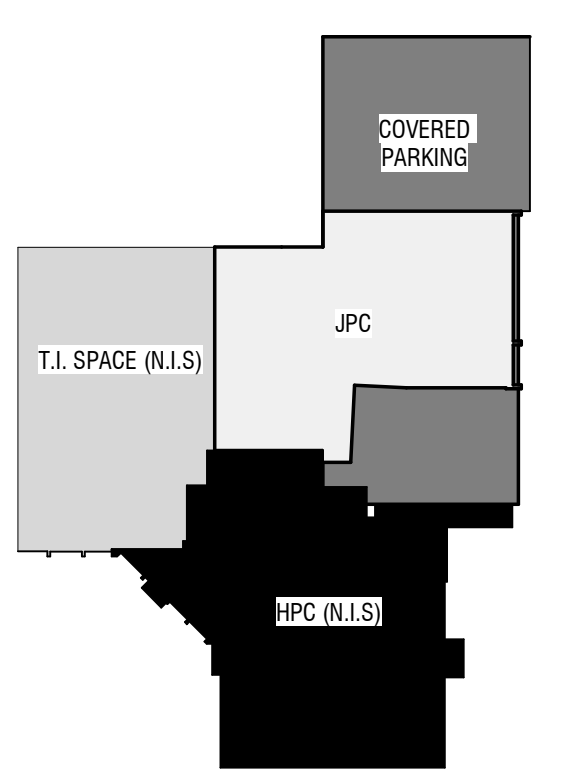
[babcockdesign.com](http://babcockdesign.com)

Consultant

Smith Entertainment Group

**JAZZ PHASE 4B**

10450 South State St Sandy, UT, 84070

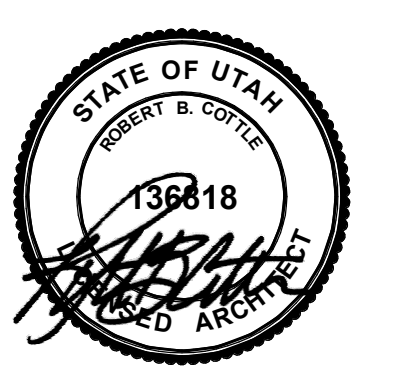


Revisions	Num.	Description	Date

Project Number 25009  
Original Issue MARCH 19, 2025  
Project Status PERMIT SET

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Stamp

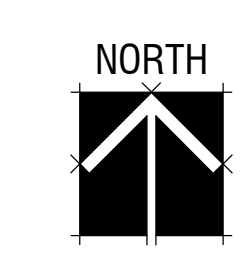
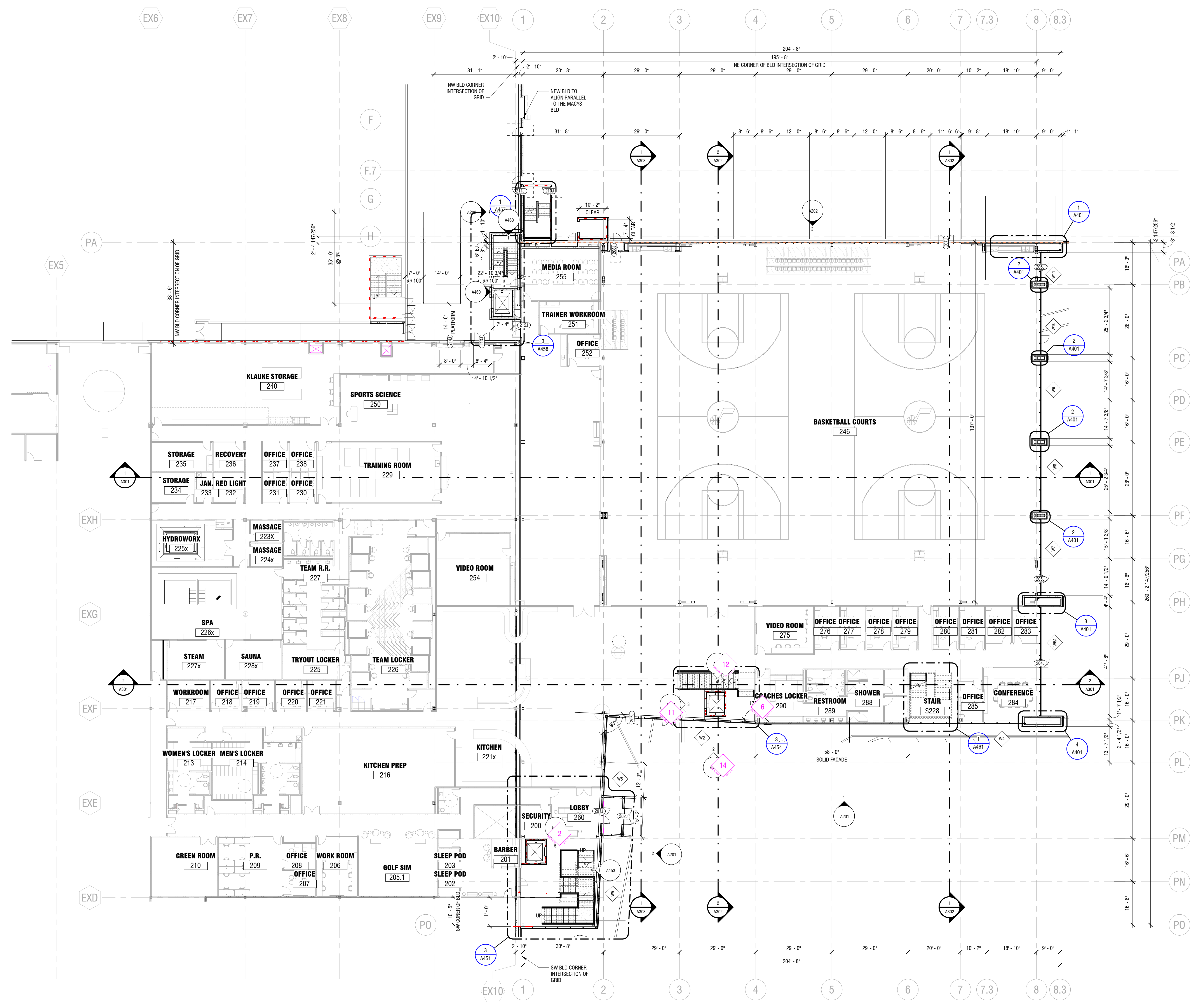


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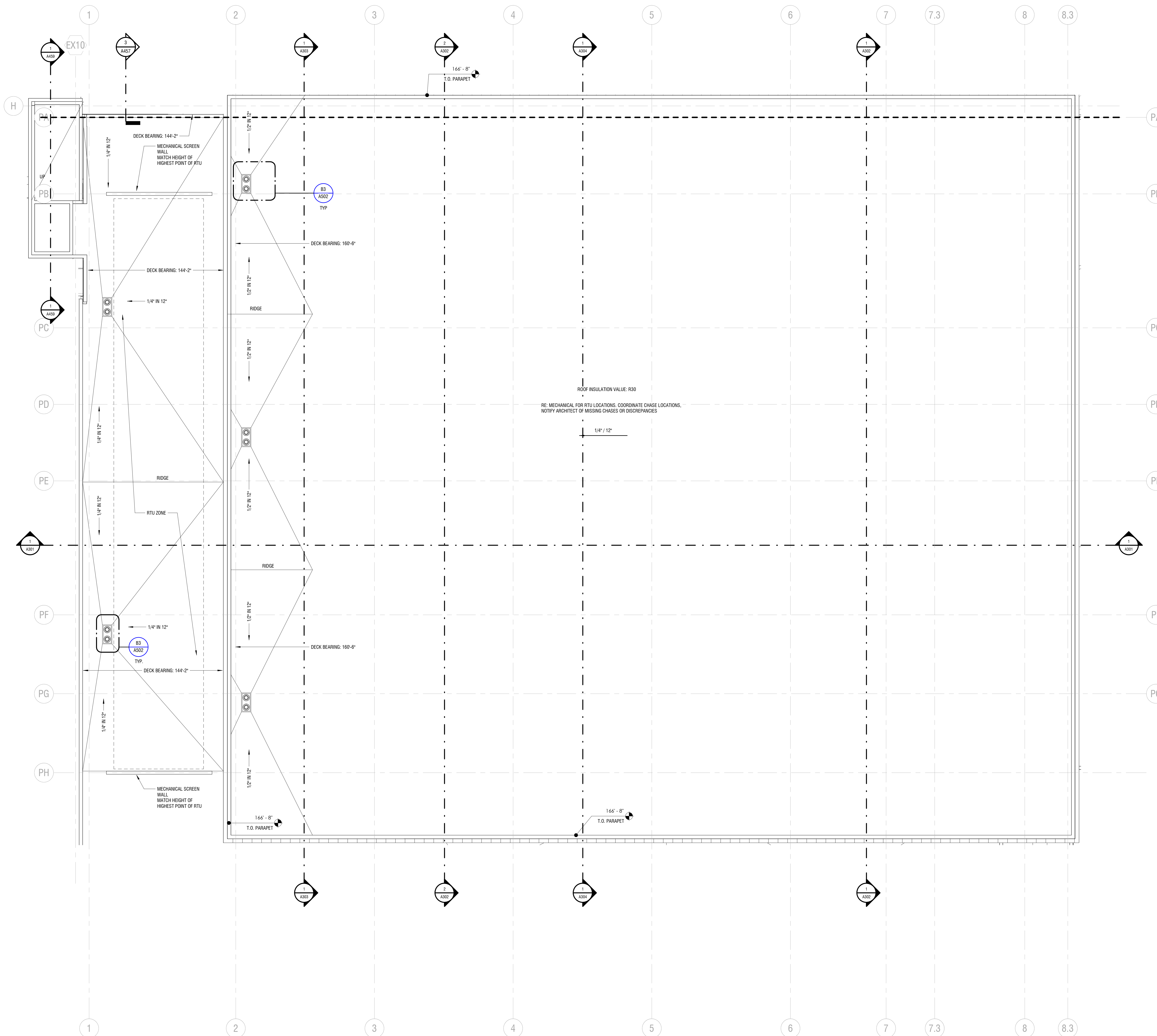
**LEVEL 2 - OVERALL FLOOR PLAN**

Sheet Number

**A121**



Original drawing is 3D x 48 inches (Scale) South Town - Sandy (UT) JPC - Architectural Model



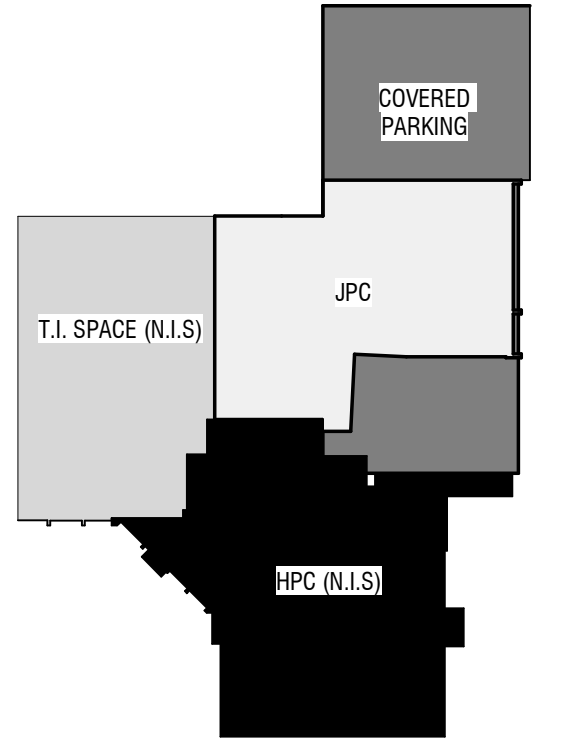
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  - COORDINATE PENETRATION LOCATIONS FOR EQUIPMENT INSIDE BUILDING W/ MECHANICAL, ELECTRICAL, & PLUMBING.
  - PROVIDE CRICKETING AS REQUIRED TO REDIRECT WATER FLOW AROUND ALL ROOFTOP EQUIPMENT AND PREVENT ANY POOLING OF WATER, NOT OPTIONAL.

**SHEET NOTES**  
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Consultant  
Smith Entertainment Group  
**JAZZ PHASE 4B**

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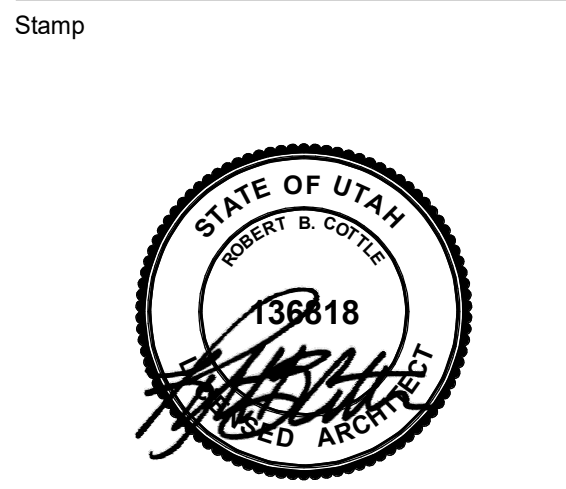


Revisions

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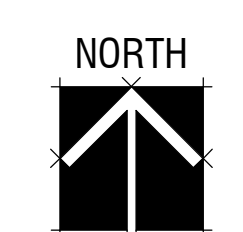
Project Number | 25009  
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Sheet Title  
**ROOF PLAN - UPPER**

Sheet Number  
**A141**



EXTERIOR FINISH SCHEDULE						
CODE	PRODUCT TYPE	MANUFACTURER	STYLE	COLOR	SPECIFICATION	FINISH NOTES/REMARKS
DIVISION 05 - METALS (EXTERIOR)						
ACP-1	WOOD GRAIN ALUMINUM SIDING	KNOTWOOD USA	6" CLADDING (KEC150)	SPOTTED GUM	STANDARD 6" CLADDING PANEL	WOOD GRAIN ALUMINUM PANEL
FCP-1	FIBER CEMENT PANEL	TRESPA	METEON	WEATHERED BASALT	EXPOSED FASTENERS	
IMP-3	INSULATED METAL PANEL	METL-SPAN	CF STRIATED	2" DARK GRAY METALLIC - EMBOSSED	24" WIDE PANEL	INSULATED METAL PANEL

**SHEET NOTES**  
NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

- EXTERIOR ELEVATION GENERAL NOTES**
- REFER TO THE MATERIAL AND FINISH SCHEDULES ON SHEET A641 FOR FURTHER INFORMATION.
  - CONTRACTOR TO LEAVE A 3/4" GAP BETWEEN ALL DISSIMILAR MATERIAL TYP. TO BE FILLED WITH BACKER ROD AND 100% SILICONE SEALANT, COLOR AS SELECTED.
  - ALL EXPOSED EXTERIOR STEEL TO BE PAINTED (I.E. LINTELS, ETC.).
  - CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS AND OTHER ROOF EQUIPMENT AND PENETRATIONS THAT ARE VISIBLE FROM THE SURROUNDING BUILDING'S STREET FRONTAGE.
  - SEE ELECTRICAL DRAWINGS FOR EXTERIOR POWER LOCATIONS, LIGHTING, HORN STROBES, CARD READERS, ETC.
  - SEE PLUMBING DRAWINGS FOR DOWNSPOUT NOZZLE, HOSE BIB, AND FDC CONNECTION LOCATIONS, ETC.



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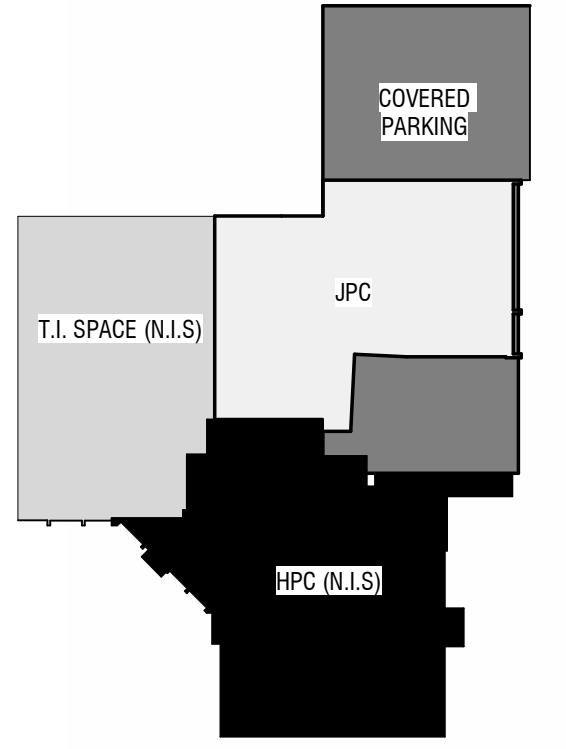
Smith Entertainment Group

**JAZZ PHASE 4B**

10450 South State St Sandy, UT, 84070

**JAZZ PHASE 4B**

10450 South State St Sandy, UT, 84070

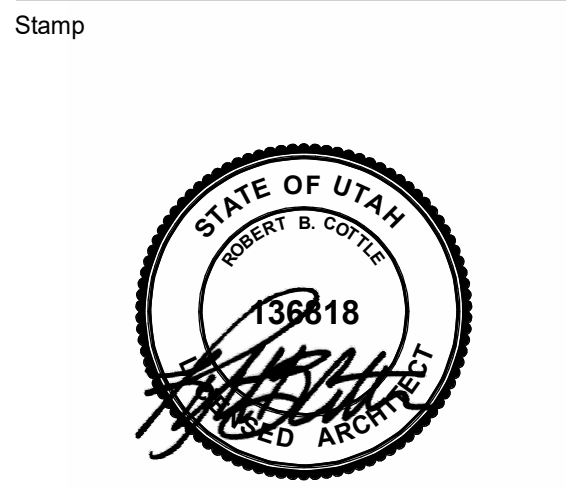


Revisions

Num.	Description	Date

**Project Number** 25009  
**Original Issue** MARCH 19, 2025  
**Project Status** PERMIT SET

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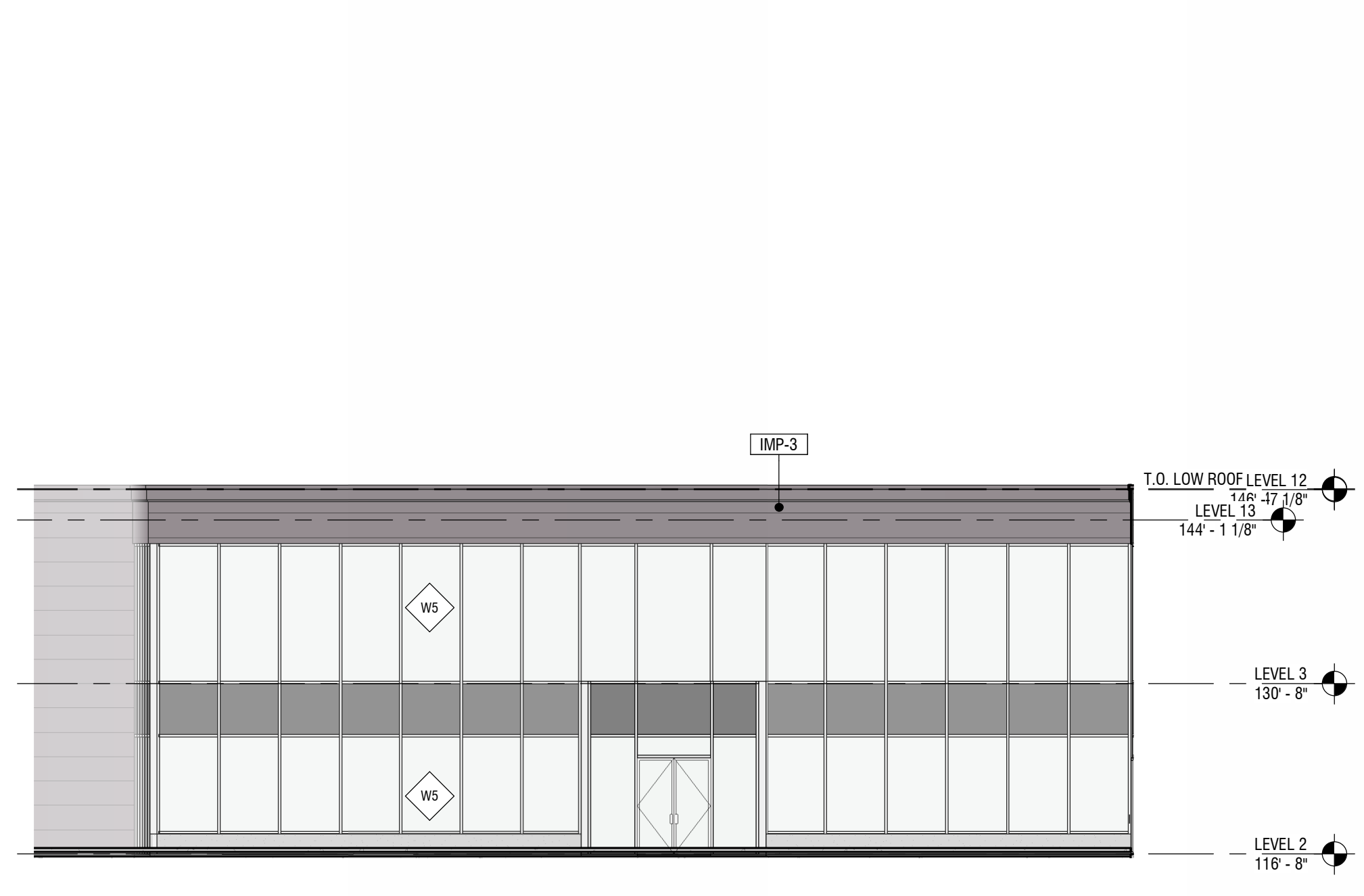


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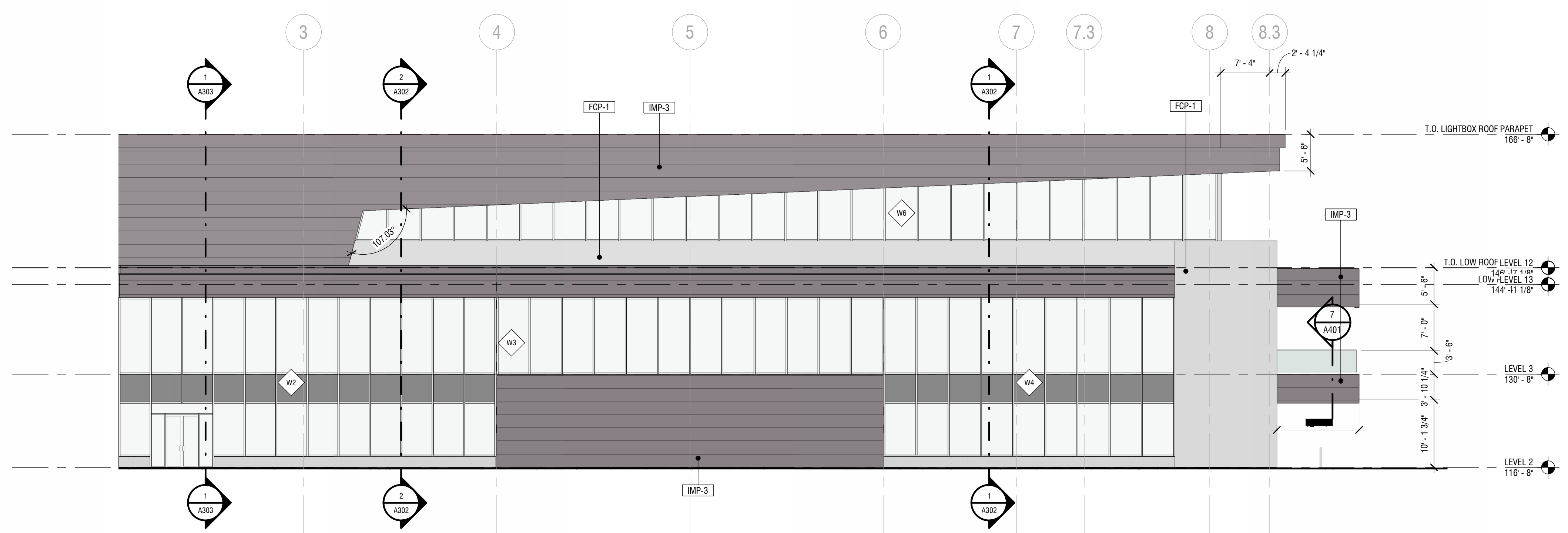
**EXTERIOR ELEVATIONS**

Sheet Number

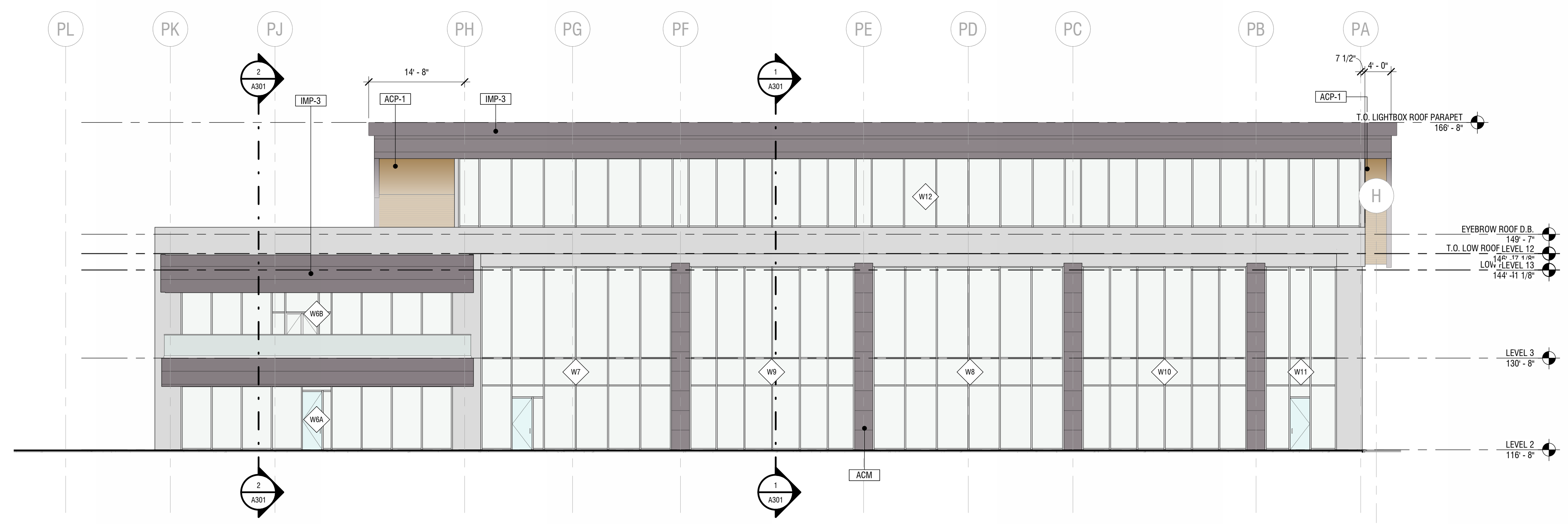
**A201**



**2 | EXTERIOR ELEVATION - LOBBY ENTRANCE**  
3/32" = 1'-0"  
TOTAL FACADE SF: 2700 SF  
IMP-3 SF: 24%  
GLAZING: 76%



**1 | SOUTH ELEVATION**  
3/32" = 1'-0"  
TOTAL FACADE SF: 8600 SF  
IMP-3 SF: 39%  
FCP-1: 12%  
GLAZING: 49%



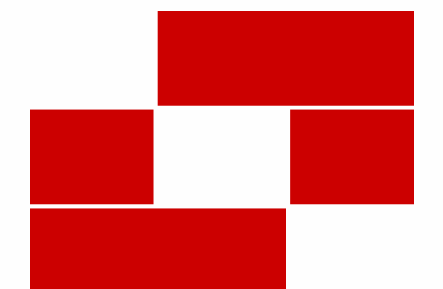
**3 | EAST ELEVATION**  
3/32" = 1'-0"  
TOTAL FACADE SF: 8727 SF  
IMP-3 SF: 19%  
FCP-1: 17%  
GLAZING: 64%

Original drawing is 32" x 44" in color. See South View - Sandy (UTM) JPC - Architectural Model.rvt

EXTERIOR FINISH SCHEDULE						
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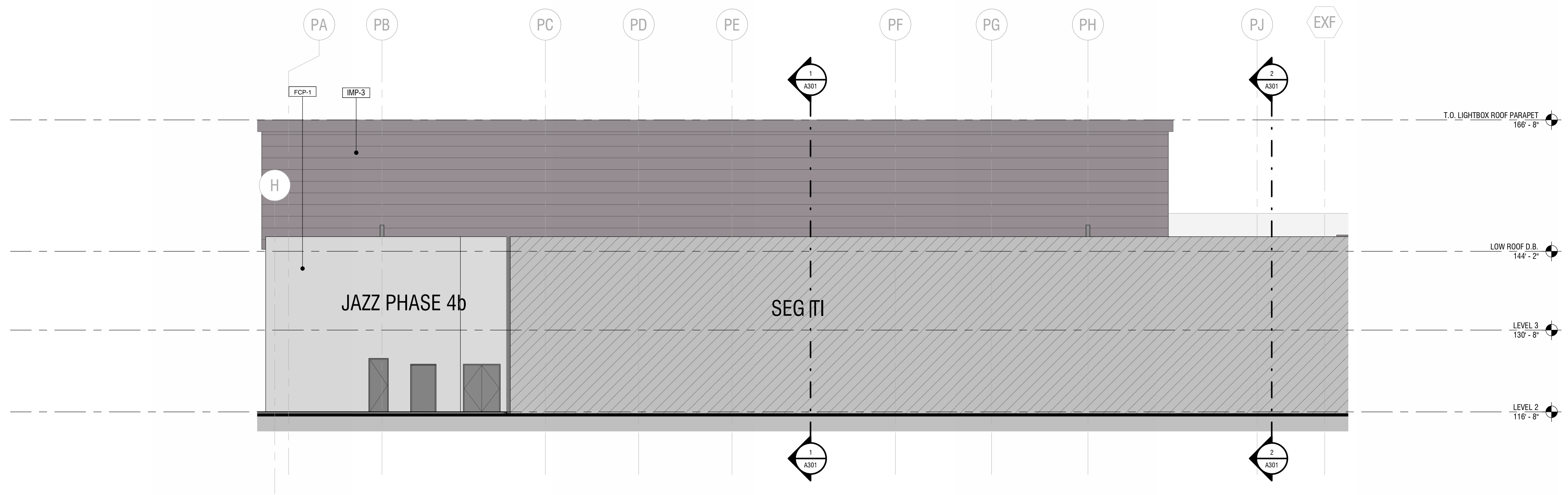
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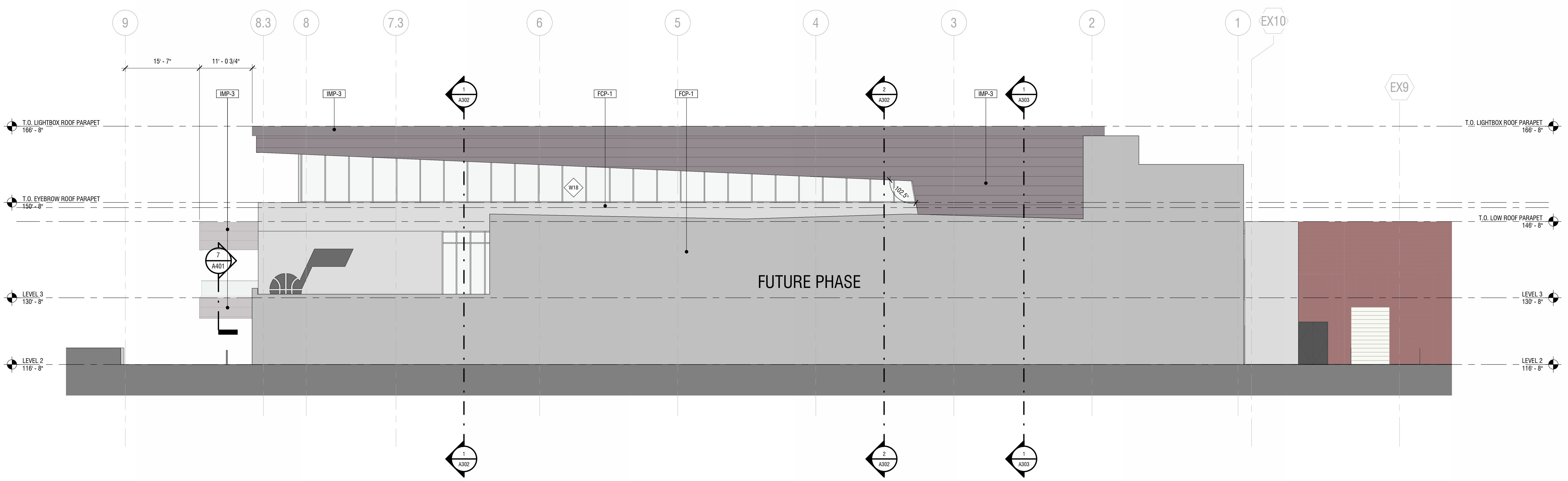
**JAZZ PHASE 4B**

10450 South State St Sandy, UT, 84070



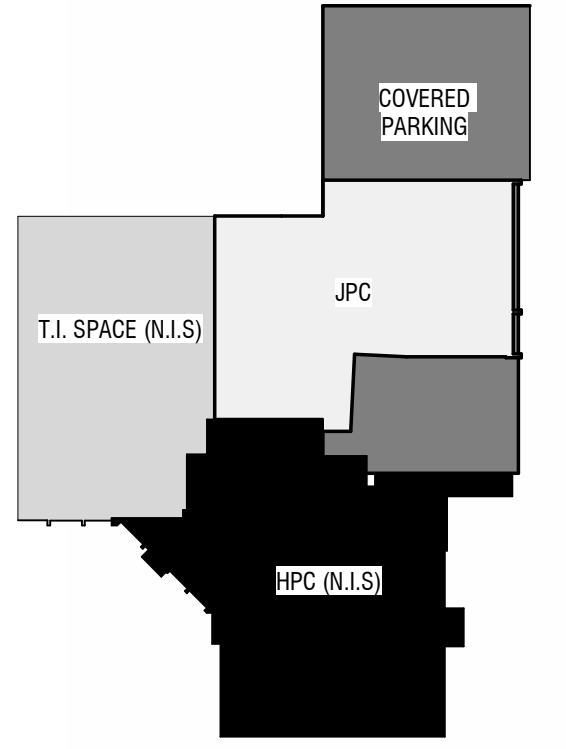
**1 WEST ELEVATION**  
3/32" = 1'-0"

TOTAL FACADE AREA: 4490 SF  
IMP-3 = 70%  
FCP-1 = 30%



**2 NORTH ELEVATION**  
3/32" = 1'-0"

TOTAL FACADE AREA: 4142 SF  
IMP-3 = 45%  
FCP-1 = 26%  
GLAZING = 29%



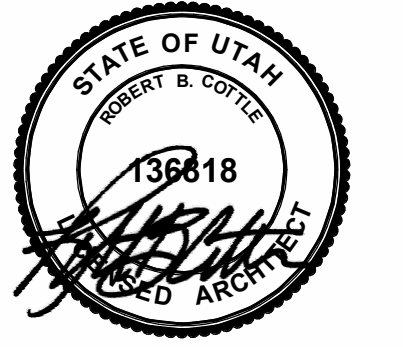
Revisions

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Sheet Title

**EXTERIOR ELEVATIONS**

Sheet Number

**A202**



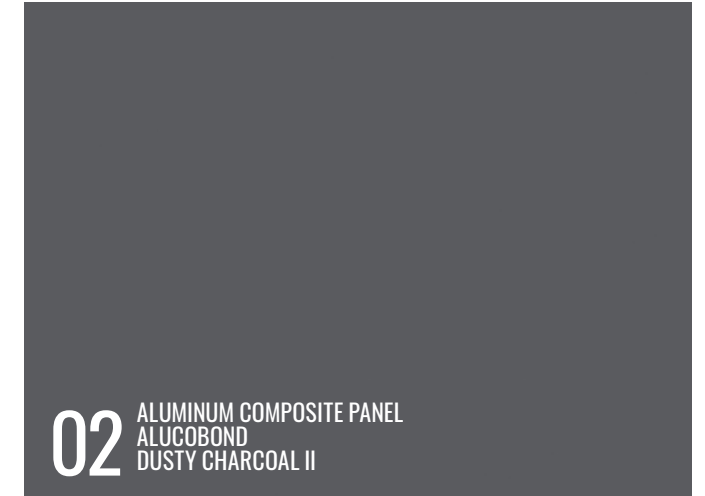








# MATERIALS



# MATERIALS



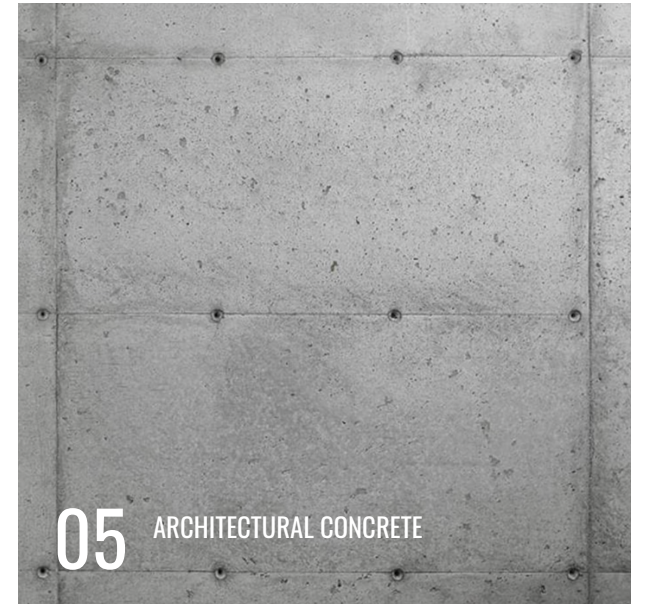
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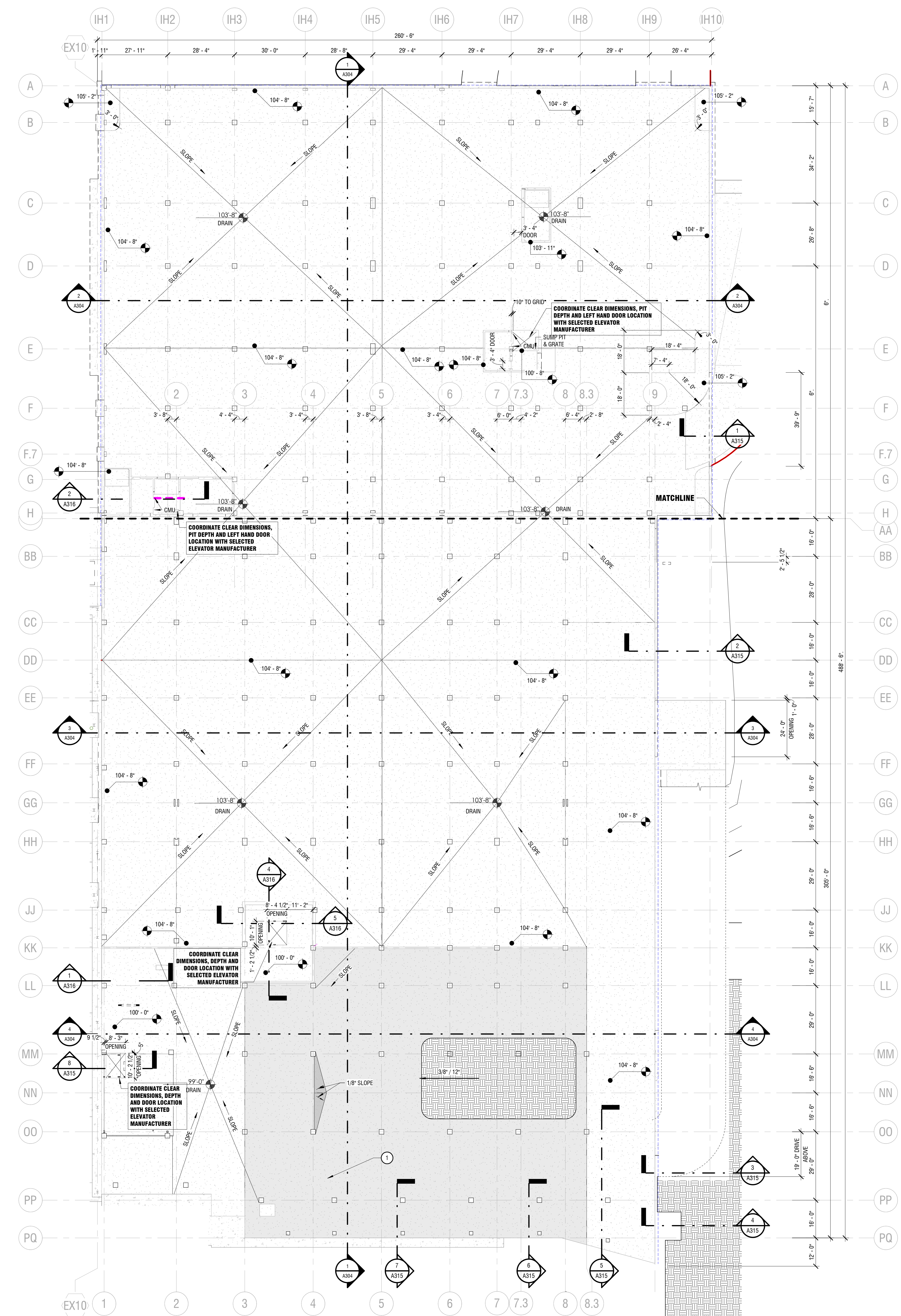
⑤



04 WOOD GRAIN ALUMINUM SOFFIT  
KNOTWOOD USA  
SPOTTED GUM



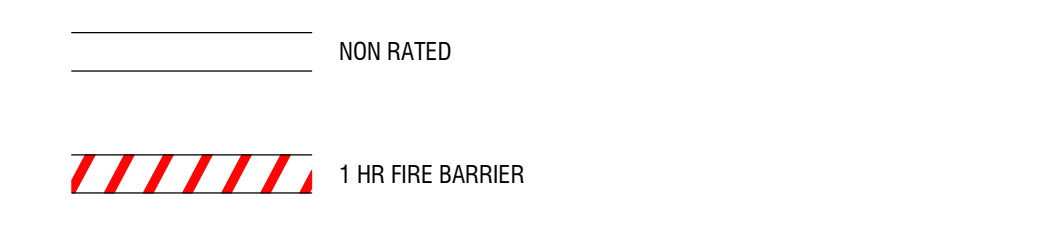
05 ARCHITECTURAL CONCRETE



**FLOOR PLAN GENERAL NOTES**

- DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
- DO NOT SCALE DRAWINGS. IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION.
- ALL DIMENSIONS ARE TO COLUMN CENTERLINES, TO GRIDLINES OR TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE CLEAR DIMENSIONS INDICATE DIMENSION BETWEEN FINISHES.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF DISCREPANCIES IN THE DOCUMENTS, AND OF ANY FIELD CONDITIONS THAT DEVIATE FROM THE DOCUMENTS.
- THE ARCHITECT'S APPROVAL MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO CHANGES IN DIMENSIONS, DESIGN, MATERIALS, PRODUCTS, AND FINISHES. IN NO CASE MAY THE CONTRACTOR MAKE THESE CHANGES WITHOUT THE APPROVAL OF THE ARCHITECT.
- SHOP DRAWINGS AND OTHER SUBMITTALS ARE TO BE PRESENTED TO THE ARCHITECT FOR REVIEW PRIOR TO EXECUTION OF WORK. ALLOW APPROPRIATE TIME FOR REVIEW.
- SEE DOOR AND WINDOW SCHEDULES FOR SIZES, TYPES, AND FINISHES, HARDWARE, ETC.
- FOR BUILDING CODE REQUIREMENTS OR FIRE/SMOKE REQUIREMENTS, SEE 'G' SHEETS.
- ALL FIRE RATED WALLS TO BE LABELED AS FIRE RATED. LABEL TO BE PLACED ABOVE CEILING LINE.
- SEE WALL TYPE CONSTRUCTION DETAILS ON SHEET A611 AND ADDITIONAL DETAILS ON SHEETS A612 AND A613 FOR WALL TERMINATIONS, ETC.
- HINGE SIDE OF DOORS ARE LOCATED 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- ANY COLUMN FURRING TO BE TIGHT TO COLUMN UNO.
- ALL CONSTRUCTION SHALL CONFORM TO AND STRICTLY COMPLY WITH ALL APPLICABLE CODES, COVENANTS, RESTRICTIONS, AND OTHER REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION OVER THE PROJECT.
- IN NO EVENT SHALL THE CONTRACTOR SUBMIT A STANDARD CONSTRUCTION DETAIL FOR A DETAIL SPECIFIED IN THESE DOCUMENTS WITHOUT THE APPROVAL IN WRITING FROM THE ARCHITECT. THE CONTRACTOR SHALL BRING ALL WORK INTO CONFORMITY WITH THE CONSTRUCTION DOCUMENTS, AS THE ARCHITECT ORDERS, BEFORE APPROVAL OF THAT PORTION OF THE PROJECT WILL BE GRANTED.
- BRACE ALL CEILING AND NON-LOAD BEARING WALLS AS REQUIRED.
- COORDINATE WITH ELECTRICAL DRAWINGS FOR POWER, DATA, AND OTHER SYSTEM LOCATIONS AND REQUIREMENTS.
- THE FURNITURE AND OTHER F.F.E. SHOWN ON DRAWINGS IS SCHEMATIC AND IS ONLY TO BE USED FOR REFERENCE ONLY. THE CONTRACTOR SHALL COORDINATE THE FINAL LOCATION OF ELECTRICAL OUTLETS AND OTHER NEEDS WITH THE OWNER AND ARCHITECT, PRIOR TO INSTALLATION.
- THE ELEVATOR AND SHAFT SHOWN IN DOCUMENTS IS BASED ON THE KONE MONOSPACE 500 DX AND MONOSPACE 300 ELEVATOR IN THE SPECIFICATION. SHAFT AND PIT DIMENSIONS SHALL BE COORDINATED WITH THE EXACT MAKE AND MODEL OF THE ELEVATOR BY THE GENERAL CONTRACTOR.
- ALL WALLS TO EXTEND TO DECK U.N.O.

**FIRE RATING LEGEND**



**SHEET NOTES**  
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- 1 LIGHT GRAY REGION INDICATES AREA OF SLOPE

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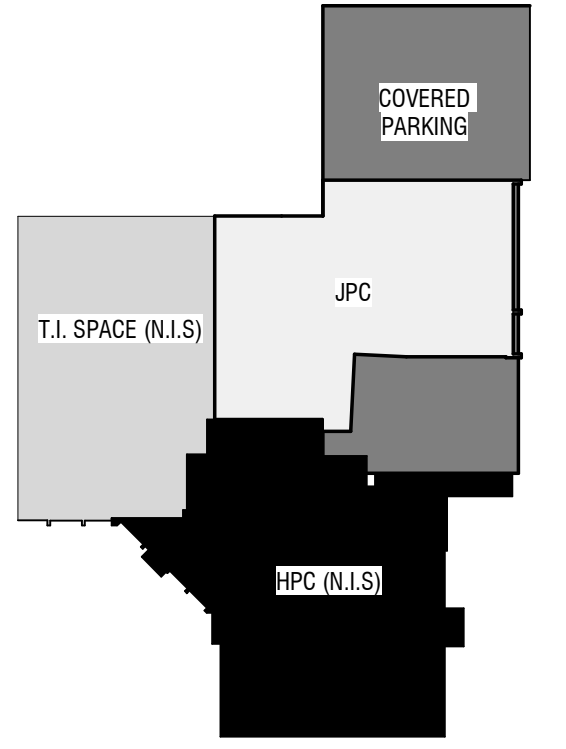
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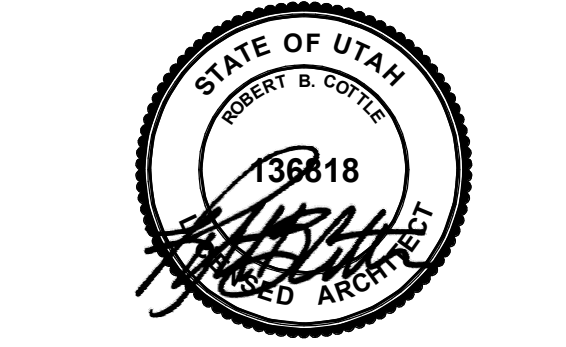
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Sheet Title

**PARKING LEVEL - SLAB PLAN**

Sheet Number

**A110**



