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Staff Report Memorandum April 16, 2026

To: Planning Commission
From: Community Development Department
Subject: Hartman Estates Subdivision (Preliminary Subdivision Review)
3853 E. Little Cottonwood Ln.
[Community #30, Granite]

SUB12082025-007089
R-1-15 Zone
2 Lots, 1.86 Acres

Public Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, and a sign posted on site.

Request

The applicant, David Jenkins with Ensign Engineering and Land Surveying, representing the property owner, Taylor Hartman, is requesting preliminary subdivision review for the property located at 3853 E. Little Cottonwood Ln. This proposal creates a new lot on the west side of the existing property, with direct access to Quail View Cove, a public street. (See Exhibit A to review application materials).

Background

The subject property is a 1.86-acre single-family flag lot that lies partially within the Sensitive Overlay Zone and is developed with a single-family residence. The property is a flag lot which has a 20-foot wide private lane access to Little Cottonwood Lane. This property, along with the surrounding parcels within Sandy, are zoned R-1-15 and characterized by single-family homes. Little Cottonwood Creek runs along the northern boundary of the site and contributes to the sensitive-slope conditions. Properties north of the creek lie within Cottonwood Heights and are also developed with single-family homes.

Monte Cristo at Lacaille, a residential single-family project, is currently being developed northwest of this property.



0 45 90 180 270 360 450 Feet

SUB08052025-007011
Subdivision
3853 E Little Cottonwood Ln

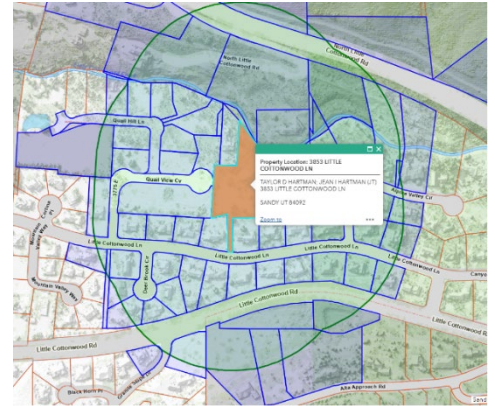
Sandy City, UT
Community Development Department

Property Case History	
Case Number	Case Summary
ANEX-2-15-4083	Little Cottonwood Lane Annexation Part B (2015)

Public Notice and Outreach

This item was noticed to all property owners within 500 feet of the proposal. A notice was posted to the Utah Public Notice website and the city website. A physical copy of the notice was posted at City Hall, and public notice signs were placed on the subject property.

Staff will hold a virtual neighborhood meeting via Zoom on April 14, 2026. The input received from residents will be summarized and provided to the Planning Commission prior to the meeting on April 16th.



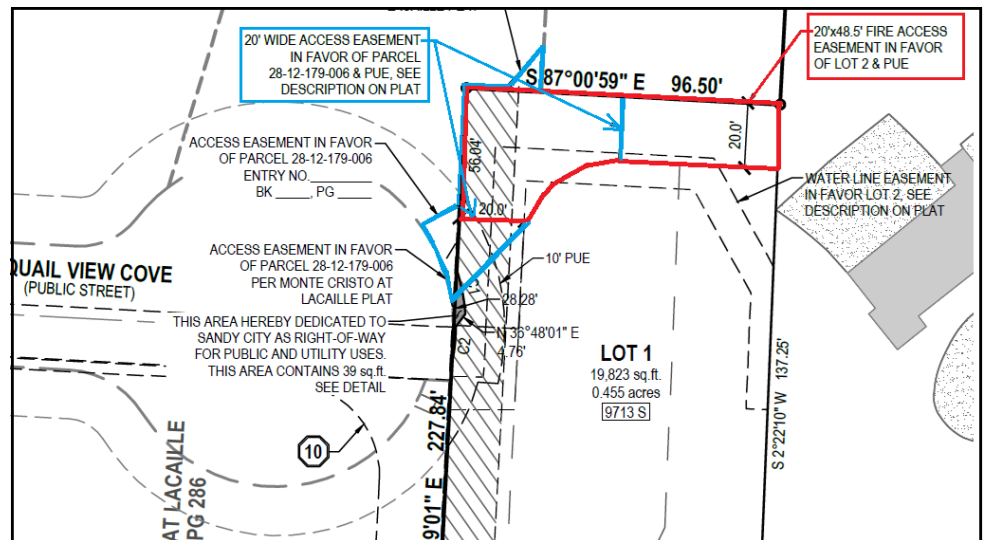
Analysis

Subdivision

The property along with surrounding parcels were annexed into Sandy City from the County back in 2015. The existing flag lot configuration providing street access has existed here since at least 1980, when it was officially recorded on the Little Cottonwood East subdivision plat.

This proposal will create a 19,823 square-foot lot from the western portion of the existing parcel, resulting in a cul-de-sac lot with access from Quail View Cove. The existing flag-lot configuration with access from Little Cottonwood Lane will remain in place to serve the original lot. Both properties meet the dimensional requirements of the R-1-15 zoning district.

While the staff portion of the flag lot meets the minimum 20-foot width requirement, it does not satisfy the 20-foot hard-surfaced access standard needed for emergency vehicles, nor does it provide adequate space for an approved emergency-vehicle turnaround. To address these deficiencies, the applicant proposes to record a 20-by-48.5-foot fire-access easement along the north side of Lot 1, with access taken from Quail View Cove. The Fire Marshal has confirmed that this solution will provide sufficient emergency access to serve the existing home. An extension to the existing hard surfacing on the flag lot is also being proposed to facilitate an ambulance turn-around on the property.



Multiple easements exist on the west side of the property adjacent to Quail View Cove and are proposed to be retained. Two of them provide street and utility access for the home at 9705 S 3775 E. A 10-foot Public Utilities Easement is also being proposed as well as a small 28-square street dedication to meet city requirements.

Sensitive Area Overlay Zone

The property is located within the Sensitive Area Overlay Zone. Little Cottonwood Creek crosses the northern portion of the site, creating slopes that exceed 30 percent. These slopes are protected under Sandy City's Sensitive Overlay regulations, which limit development on the slopes themselves and within 20 feet of their edge. The slopes must be clearly delineated on the plat, along with notes identifying the applicable restrictions for future property owners.

Staff Concerns

The existing narrow access from Little Cottonwood Lane presents a safety concern for the existing home because it is unclear how emergency vehicles would reach the residence. Additionally, the required vehicle clearance and hard-surfaced access are not being met. Although the proposal does include a new emergency-access easement from Quail View Cove, this access point may not be immediately apparent to responding personnel, potentially leading to delays in emergency response times.

The existence of the proposed emergency-access easement off Quail View Cove may not be properly conveyed to future property owners, who could inadvertently make improvements that obstruct or eliminate it. Staff recommends installing signage at the end of the cul-de-sac to ensure both property owners and emergency responders are aware of the designated emergency-access easement.



The home to the north, addressed as 9705 S. 3775 E., was constructed prior to the development of Quail View Cove. Its street access is now provided from Quail View Cove through an easement across the subject property. The proposed subdivision further complicates how access to this home is understood. To ensure clarity for residents and emergency responders, staff recommends reassigning the address so that it reflects access from Quail View Cove.

The utility easement recorded across the west portion of this lot serves the property addressed as 9705 S. 3775 E. The easement, recorded in 1991, was granted to the previous property owner rather than being tied to the benefiting parcel. Staff recommends correcting this easement to identify the property it serves, ensuring long-term clarity and enforceability.

Staff Recommendations

Staff recommends that the Planning Commission determine that preliminary subdivision review is substantially complete for the Hartman Estates Subdivision located at 3853 E. Little Cottonwood Ln. based on the following findings and subject to the following conditions:

Findings:

1. The subject property is configured as a flag lot and the proposed new lot will have frontage onto a public street.
2. That the proposed lot configuration equitably balances the needs of the public and presents the most efficient use of the land.
3. That the proposed lots comply with the requirements of the R-1-15 and Sensitive Area Overlay Zones.
4. That the various City Departments and Divisions have preliminarily approved the proposed subdivision plat.
5. That the Fire Marshal has approved the emergency easement off of Quail View Cove to provide fire access to 3853 E Little Cottonwood Lane.

6. That the City Engineer has provided a recommendation on the proposed development within the Sensitive Area Overlay Zone.

Conditions:

1. That all lots comply with all requirements of the R-1-15 Zone and the Sensitive Area Overlay Zone.
2. That any area equal to or in excess of a 30% slope be indicated (cross-hatched) on the final plat, and that perspective builders and homeowners be apprised of the restrictive nature of the hillside lot.
3. That an emergency access easement be recorded against Lot 1 as shown on the proposed plat and that signage be provided and approved by the city engineer to ensure this easement remains accessible at all times.
4. That the existing utility easement in favor of Ronald and Shauna Zarbock be re-recorded in favor of the property currently addressed as 9705 S. 3775 E. instead of to the past owner.
5. That the applicant complies with each department's comments and redlines throughout the final review process and that all issues be resolved before the subdivision can be recorded.

Planner:



Thomas Irvin
Senior Planner

File Name: S:\USERS\PLN\STAFFRPT\2025\SUB08052025-007011 – HARTMAN ESTATES SUBDIVISION\PLANNING COMMISSION\STAFF REPORT

Exhibit "A"
See the attached file for full information

