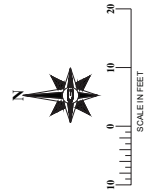
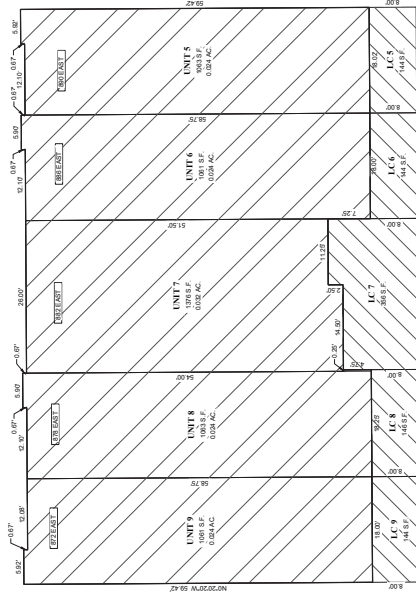
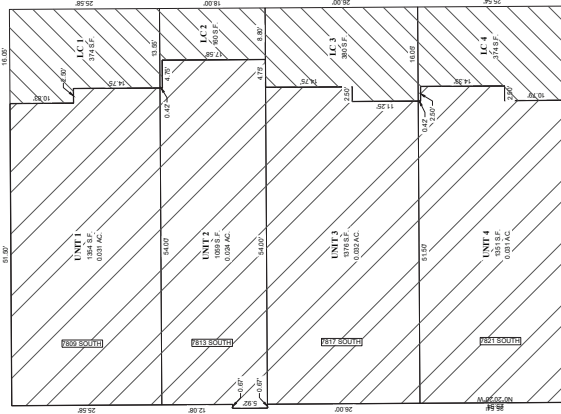




SILVER RIDGE FLATS PUD
 LOCATED IN THE NORTHWEST 1/4 OF SECTION 32,
 TOWNSHIP 2 SOUTH, RANGE 1 EAST,
 SALT LAKE COUNTY, UTAH
 AS SHOWN ON THE PLAT
 886 EAST 7800 SOUTH
 SALT LAKE COUNTY, UTAH



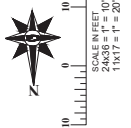


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NO.	DATE	BY	COMMENTS

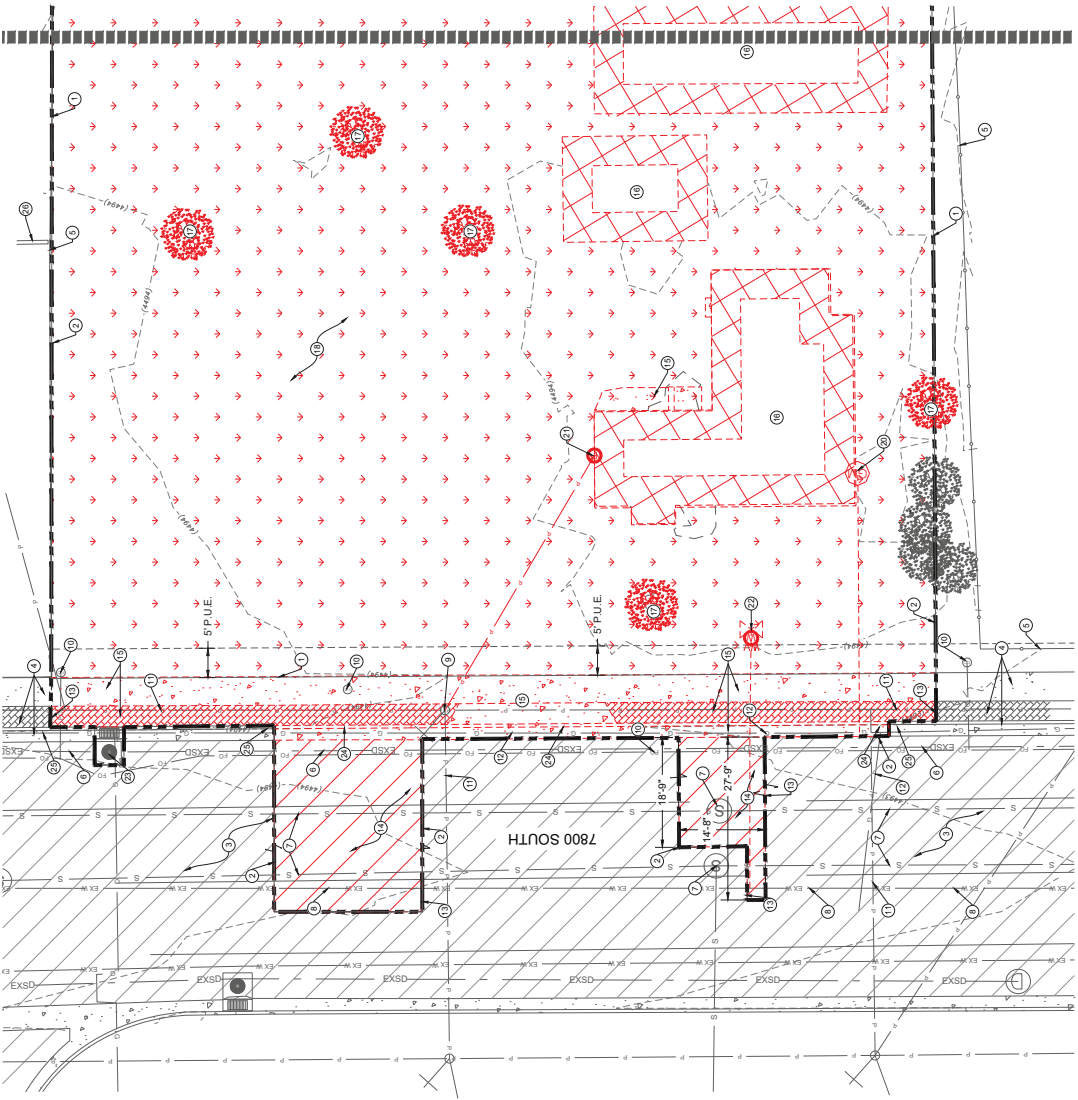
EXISTING / DEMOLITION PLAN
GUTIERREZ PROPERTY
 886 EAST 7800 SOUTH
 SANDY, UTAH

PROJECT: 100.021.25
 C.100



- CONSTRUCTION KEY NOTES**
- 1 EXISTING PROPERTY LINE
 - 2 LIMITS OF DISTURBANCE
 - 3 PROTECT IN PLACE EXISTING ASPHALT
 - 4 PROTECT IN PLACE EXISTING CONCRETE
 - 5 PROTECT IN PLACE EXISTING FENCE
 - 6 PROTECT IN PLACE EXISTING 24\"/>

- LEGEND**
- DEMO EXISTING ASPHALT
 - DEMO EXISTING CONCRETE
 - DEMO EXISTING STAMPED CONCRETE
 - CLEAR AND GRUB
 - EXISTING ASPHALT
 - EXISTING CONCRETE
 - EXISTING STAMPED CONCRETE
 - DEMO EXISTING BUILDINGS
 - LIMITS OF DISTURBANCE
 - SAW CUT



DISCLAIMER NOTE
 ALL UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE TO THE BEST OF OUR KNOWLEDGE AND BELIEF. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES NOT SHOWN IN THESE PLANS.

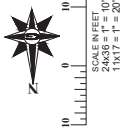


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DESIGNED BY	
CHECKED BY	
DATE	
SCALE	

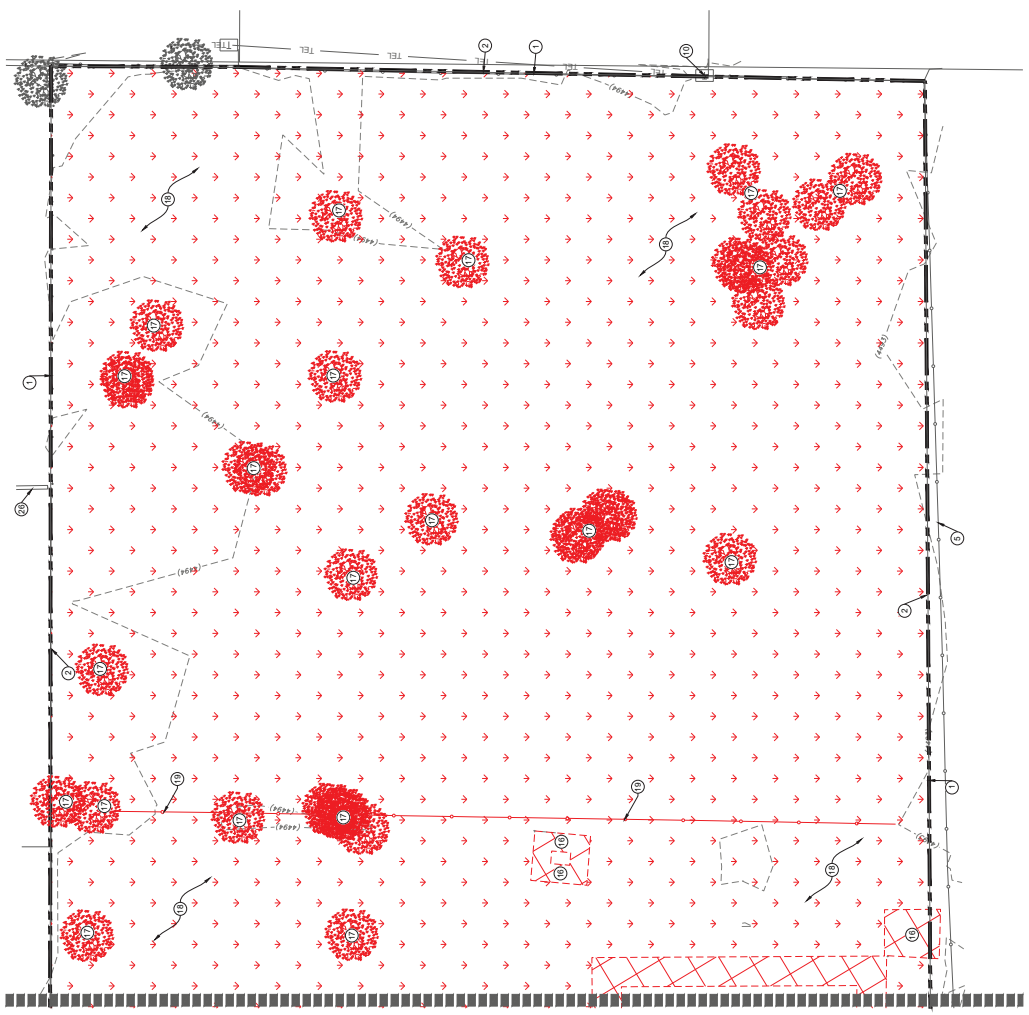
EXISTING / DEMOLITION PLAN
GUTIERREZ PROPERTY
 886 EAST 7800 SOUTH
 SANDY, UTAH

PROJECT NO. 100.021.25
 C.101



- CONSTRUCTION KEY NOTES**
- 1 EXISTING PROPERTY LINE
 - 2 LIMITS OF DISTURBANCE
 - 3 PROTECT IN PLACE EXISTING ASPHALT
 - 4 PROTECT IN PLACE EXISTING CONCRETE
 - 5 PROTECT IN PLACE EXISTING FENCE
 - 6 PROTECT IN PLACE EXISTING 24\"/>

- LEGEND**
- DEMO EXISTING ASPHALT
 - DEMO EXISTING CONCRETE
 - DEMO EXISTING STAMPED CONCRETE
 - CLEAR AND GRUB
 - EXISTING ASPHALT
 - EXISTING CONCRETE
 - EXISTING STAMPED CONCRETE
 - DEMO EXISTING BUILDINGS
 - LIMITS OF DISTURBANCE
 - SAW CUT



DISCLAIMER NOTE
 UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE TO THE BEST OF OUR KNOWLEDGE AND BELIEF. THE CONTRACTOR SHALL VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES NOT SHOWN ON THESE PLANS.



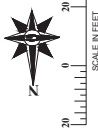
SCALE READERS: ON FINAL SHEET
ALWAYS CHECK SCALE SHEET

NO.	DATE	BY	COMMENTS

DATE	BY	COMMENTS

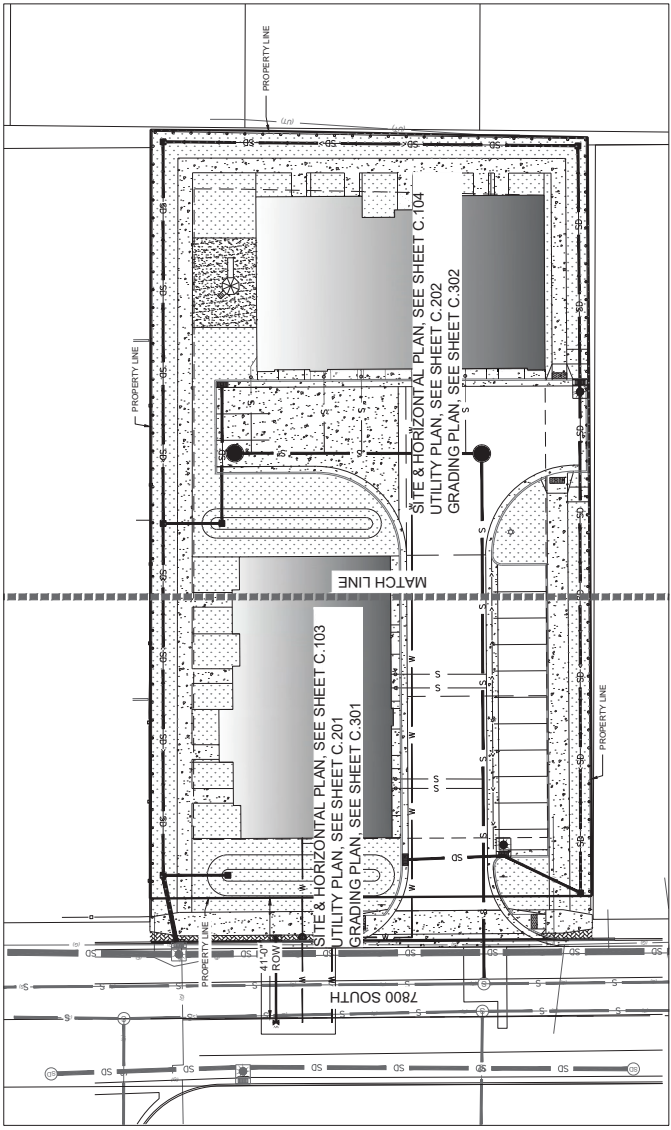
OVERALL SITE PLAN
GUTIERREZ PROPERTY
 886 EAST 7800 SOUTH
 SANDY, UTAH

C.102



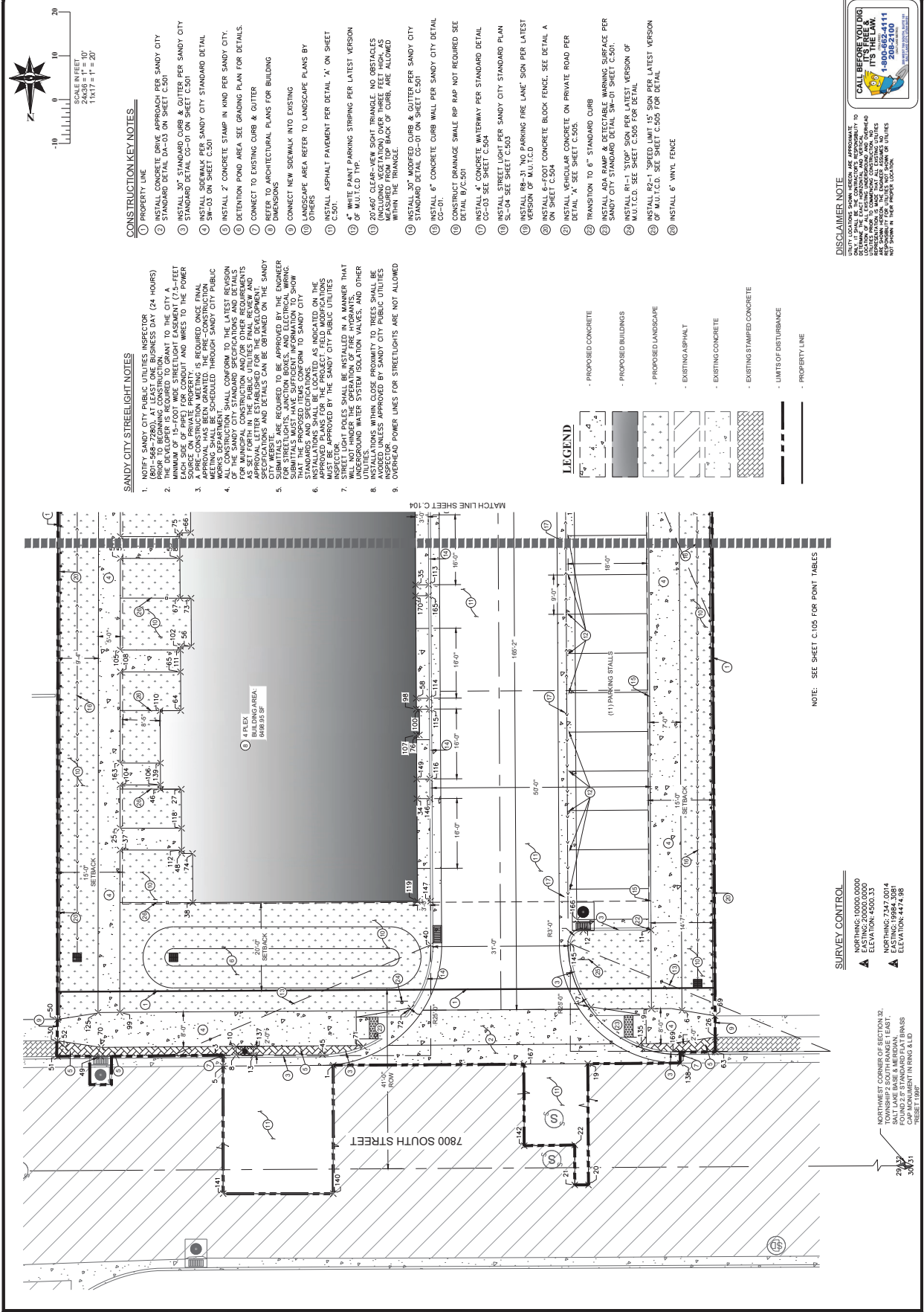
SITE DATA

PARCEL SIZE (SQFT)	39,028.14 SQFT
BUILDING AREA (SQFT)	10,845.85 SQFT
LANDSCAPE AREA (SQFT)	10,012.09 SQFT
IMPERVIOUS (SQFT)	18,170.20 SQFT



DISCLAIMER NOTE
 UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE. THE EXACT HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES SHALL BE DETERMINED BY THE ENGINEER OR SURVEYOR. THE ENGINEER OR SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF UTILITIES PRIOR TO CONSTRUCTION. THE ENGINEER OR SURVEYOR SHALL NOT BE RESPONSIBLE FOR THE LOCATION OF UTILITIES NOT SHOWN IN THEIR PROPOSED LOCATION.

CALL BEFORE YOU DIG
 IT'S THE LAW
 1-800-662-4111
 208-2110



CONSTRUCTION KEY NOTES

1. PROPERTY LINE
2. INSTALL CONCRETE DRIVE APPROACH PER SANDY CITY STANDARD DETAIL DW-03 ON SHEET C.501
3. INSTALL 30" STANDARD CURB & GUTTER PER SANDY CITY STANDARD DETAIL CG-01 ON SHEET C.501
4. INSTALL 2" CONCRETE STAMP PER SANDY CITY STANDARD DETAIL SW-03 ON SHEET C.501
5. INSTALL 2" CONCRETE STAMP IN KIND PER SANDY CITY, DETENTION POOL AREA SEE GRADING PLAN FOR DETAILS.
6. CONNECT TO EXISTING CURB & GUTTER DIMENSIONS
7. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS
8. CONNECT NEW SIDEWALK INTO EXISTING LANDSCAPE AREA REFER TO LANDSCAPE PLANS BY OTHERS
9. INSTALL ASPHALT PAVEMENT PER DETAIL 'A' ON SHEET C.501.
10. 4" WHITE PAINT PARKING STRIPING PER LATEST VERSION OF MUTCD TYP.
11. 20'x60" CLEAR-VIEW SIGHT TRIANGLE. NO OBSTACLES ALLOWED WITHIN THE TRIANGLE. MEASURED FROM TOP BACK OF CURB. ARE ALLOWED WITHIN THE TRIANGLE.
12. INSTALL 30" MODIFIED CURB & GUTTER PER SANDY CITY STANDARD DETAIL CG-01 ON SHEET C.501
13. INSTALL 6" CONCRETE CURB WALL PER SANDY CITY DETAIL CC-01.
14. CONSTRUCT DRAINAGE SWALE RIP RAP NOT REQUIRED SEE DETAIL 6/A-C.501
15. INSTALL 4" CONCRETE WATERWAY PER STANDARD DETAIL CW-03 SEE SHEET C.504
16. INSTALL 6" RIBBON CURB PER SANDY CITY STANDARD PLAN SW-04 SEE SHEET C.504
17. INSTALL RIB-31 "NO PARKING FIRE LANE" SIGN PER LATEST VERSION OF MUTCD
18. INSTALL 6-FOOT CONCRETE BLOCK FENCE. SEE DETAIL A ON SHEET C.504
19. INSTALL VEHICULAR CONCRETE ON PRIVATE ROAD PER DETAIL 'A' SEE SHEET C.505.
20. TRANSITION TO 6" STANDARD CURB
21. INSTALL ADA RAMP & DETECTABLE WARNING SURFACE PER SANDY CITY STANDARD DETAIL SW-01 SHEET C.501.
22. INSTALL R1-1 "STOP" SIGN PER LATEST VERSION OF MUTCD. SEE SHEET C.505 FOR DETAIL
23. INSTALL R2-1 "SPEED LIMIT 15" SIGN PER LATEST VERSION OF MUTCD. SEE SHEET C.505 FOR DETAIL
24. INSTALL 6" VINYL FENCE

SANDY CITY STREETLIGHT NOTES

1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR PRIOR TO BEGINNING CONSTRUCTION.
2. MINIMUM OF 15-FOOT CLEARANCE FROM THE LIGHT FIXTURE (7.5- FEET EACH SIDE OF PREP) FOR CONDUIT AND WIRES TO THE POWER MANSION.
3. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE ATTENDED THROUGH SANDY CITY PUBLIC UTILITIES DEPARTMENT.
4. THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS SHALL BE USED FOR THE DEVELOPMENT.
5. APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
6. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT.
7. INSTALLATIONS SHALL BE LOCATED AS INDICATED ON THE PLAN. APPROVAL BY THE SANDY CITY PUBLIC UTILITIES INSPECTOR IS REQUIRED.
8. UNDERGROUND WATER SYSTEM ISOLATION VALVES, AND OTHER INSTALLATIONS WITHIN CLOSE PROXIMITY TO TREES SHALL BE APPROVED BY SANDY CITY PUBLIC UTILITIES INSPECTOR.
9. OVERHEAD POWER LINES FOR STREETLIGHTS ARE NOT ALLOWED

LEGEND

- PROPOSED CONCRETE
- PROPOSED BUILDINGS
- PROPOSED LANDSCAPE
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING STAMPED CONCRETE
- LIMITS OF DISTURBANCE
- PROPERTY LINE

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE TO THE BEST OF OUR KNOWLEDGE AND BELIEF. THE ENGINEER HAS CONDUCTED VISUAL SURVEYS AND HAS REVIEWED RECORD DRAWINGS AND RECORDS TO THE EXTENT PRACTICABLE. THE ENGINEER HAS NOT CONDUCTED ANY OTHER INVESTIGATIONS NOR HAS HE BEEN ADVISED OF ANY OTHER INVESTIGATIONS. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION SHOWN HEREON. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND OTHER INFORMATION NOT SHOWN AT THEIR PROPER LOCATION.

SURVEY CONTROL

- ▲ NORTHING: 1000.0000
- ▲ EASTING: 4500.0000
- ▲ NORTHING: 4500.33
- ▲ EASTING: 4500.33
- ▲ NORTHING: 7347.0014
- ▲ EASTING: 19984.0981
- ▲ ELEVATION: 4474.95

NOTE: SEE SHEET C.105 FOR POINT TABLES

NORTHWEST CORNER OF SECTION 32,
 TOWNSHIP 3 SOUTH RANGE 1 EAST,
 SALT LAKE BASE & MERIDIAN,
 CAP MONUMENT IN IRVING & L.D.
 RESET 11987

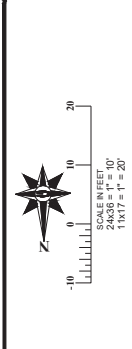


NO.	DATE	BY	COMMENTS

DATE	
BY	

SITE & HORIZONTAL CONTROL PLAN
 GUTIERREZ PROPERTY
 886 EAST 7800 SOUTH
 SANDY, UTAH

PROJECT # 100.021.25
 C.104

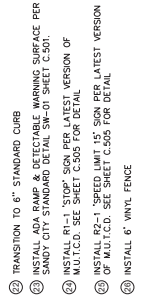


CONSTRUCTION KEY NOTES

- PROPERTY LINE
- INSTALL CONCRETE DRIVE APPROACH PER SANDY CITY STANDARD DETAIL DA-03 ON SHEET C-501
- INSTALL 30" STANDARD CURB & GUTTER PER SANDY CITY STANDARD DETAIL CG-01 ON SHEET C-501
- INSTALL SIDEWALK PER SANDY CITY STANDARD DETAIL SW-03 ON SHEET C-501
- INSTALL 2" CONCRETE STAMP IN KIND PER SANDY CITY DETENTION POND AREA SEE GRADING PLAN FOR DETAILS.
- CONNECT TO EXISTING CURB & GUTTER
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS
- CONNECT NEW SIDEWALK INTO EXISTING LANDSCAPE AREA REFER TO LANDSCAPE PLANS BY OTHERS
- INSTALL ASPHALT PAVEMENT PER DETAIL 'A' ON SHEET C-501.
- 4" WHITE PAINT PARKING STRIPING PER LATEST VERSION OF M.U.T.C.D. TYP.
- 20'x60' CLEAR-VIEW SIGHT TRIANGLE. NO OBSTACLES (INCLUDING VEGETATION) OVER THREE FEET HIGH, AS MEASURED FROM THE BACK OF CURB, ARE ALLOWED WITHIN THE TRIANGLE.
- INSTALL 30" MODIFIED CURB & GUTTER PER SANDY CITY STANDARD DETAIL CG-01 ON SHEET C-501
- INSTALL 6" CONCRETE CURB WALL PER SANDY CITY DETAIL CC-01
- CONSTRUCT DRAINAGE SMALL RIP RAP NOT REQUIRED SEE DETAIL B/C.501
- INSTALL 4" CONCRETE WATERWAY PER STANDARD DETAIL CC-03 SEE SHEET C-504
- INSTALL STREET LIGHT PER SANDY CITY STANDARD PLAN SL-04 SEE SHEET C-503
- INSTALL RB-21 "NO PARKING FIRE LANE" SIGN PER LATEST VERSION OF M.U.T.C.D.
- INSTALL 6'-FOOT CONCRETE BLOCK FENCE. SEE DETAIL 'A' ON SHEET C-504 FOR CONCRETE ON PRIVATE ROAD PER DETAIL 'A' SEE SHEET C-504
- TRANSITION TO 6" STANDARD CURB
- INSTALL ADA RAMP & DETECTABLE WARNING SURFACE PER SANDY CITY STANDARD DETAIL SW-07 SEE SHEET C-501.
- NOT TO SCALE. SEE SHEET C-501 FOR LATEST VERSION OF M.U.T.C.D. SEE SHEET C-501 FOR LATEST VERSION OF M.U.T.C.D. SEE SHEET C-504 FOR DETAILS.
- INSTALL 6" VINYL FENCE

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- INSTALL SIDEWALK PER SANDY CITY STANDARD DETAIL SW-03 ON SHEET C-501
- INSTALL 2" CONCRETE STAMP IN KIND PER SANDY CITY DETENTION POND AREA SEE GRADING PLAN FOR DETAILS.
- CONNECT TO EXISTING CURB & GUTTER
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS
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- INSTALL 6" VINYL FENCE

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- INSTALL STREET LIGHT PER SANDY CITY STANDARD PLAN SL-04 SEE SHEET C-503
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- INSTALL 6" VINYL FENCE



PROPERLY PREPARED DISTURBED AND UNDISTURBED SUBGRADE SOILS AND/OR STRUCTURAL SITE GRADING FILL EXTENDING TO SUBGRADE. PROPERLY PREPARED UNDISTURBED AND UNDISTURBED SUBGRADE SOILS

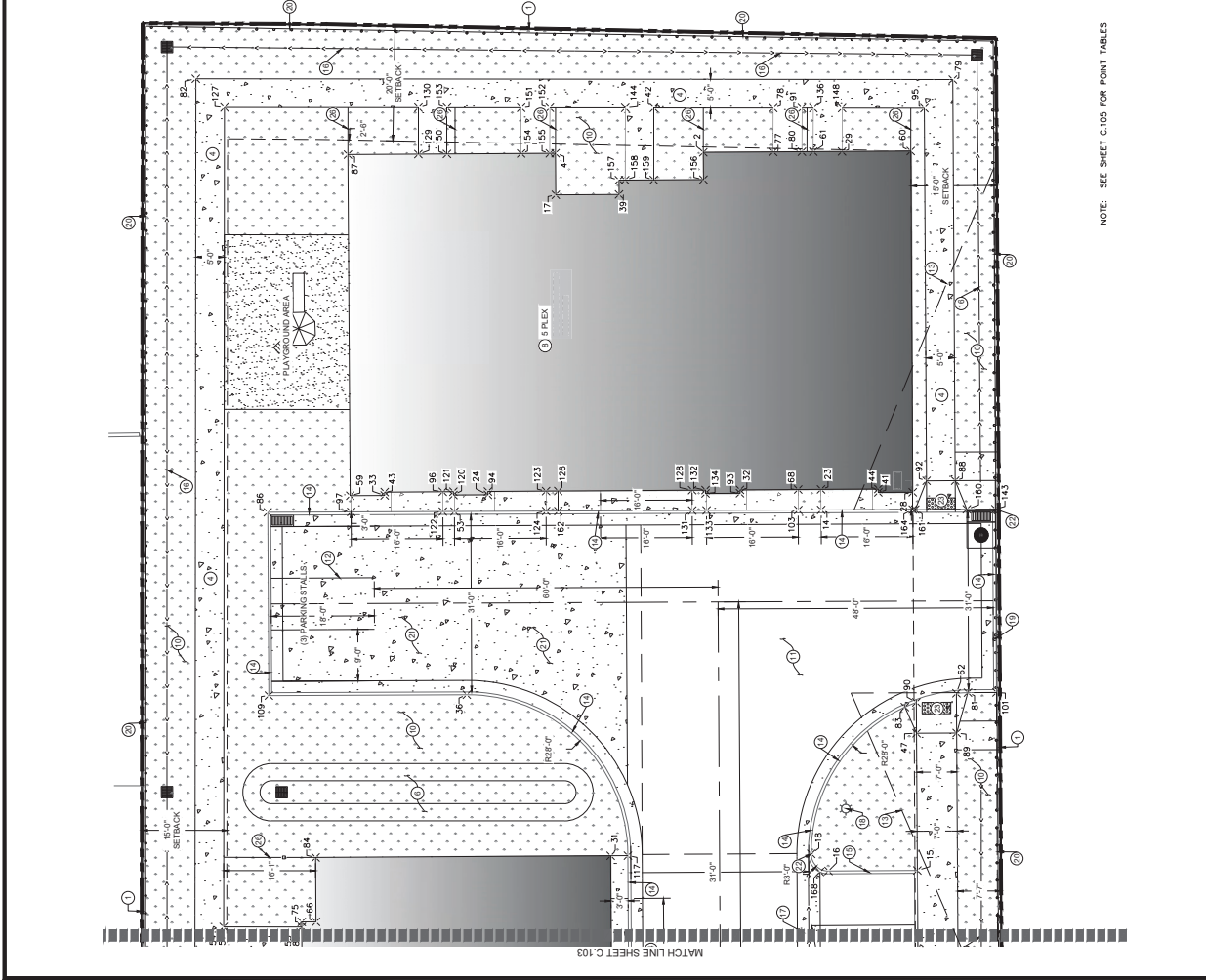
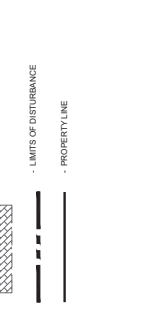
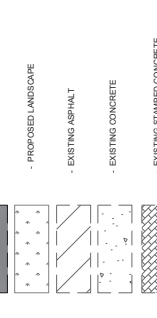
VEHICULAR CONCRETE

DISCLAIMER NOTE
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SANDY CITY STREETLIGHT NOTES

- NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR PRIOR TO BEGINNING CONSTRUCTION BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
- MINIMUM OF 15-FOOT WIRE STRENGTH FORECAST (C-4-4-FEET EACH SIDE OF PIPE) FOR CONDUIT AND WIRES TO THE POWER.
- A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE HELD THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
- ALL OF SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS SHALL BE USED FOR THIS PROJECT. THE CONTRACTOR SHALL OBTAIN APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
- SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS.
- INSTALLATION SHALL BE LOCATED AS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
- OVERHEAD POWER LINES FOR STREETLIGHTS ARE NOT ALLOWED.

- PROPERTY LINE
- INSTALL CONCRETE DRIVE APPROACH PER SANDY CITY STANDARD DETAIL DA-03 ON SHEET C-501
- INSTALL 30" STANDARD CURB & GUTTER PER SANDY CITY STANDARD DETAIL CG-01 ON SHEET C-501
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- INSTALL 2" CONCRETE STAMP IN KIND PER SANDY CITY DETENTION POND AREA SEE GRADING PLAN FOR DETAILS.
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- CONNECT NEW SIDEWALK INTO EXISTING LANDSCAPE AREA REFER TO LANDSCAPE PLANS BY OTHERS
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- INSTALL 4" CONCRETE WATERWAY PER STANDARD DETAIL CC-03 SEE SHEET C-504
- INSTALL STREET LIGHT PER SANDY CITY STANDARD PLAN SL-04 SEE SHEET C-503
- INSTALL RB-21 "NO PARKING FIRE LANE" SIGN PER LATEST VERSION OF M.U.T.C.D.
- INSTALL 6'-FOOT CONCRETE BLOCK FENCE. SEE DETAIL 'A' ON SHEET C-504 FOR CONCRETE ON PRIVATE ROAD PER DETAIL 'A' SEE SHEET C-504
- TRANSITION TO 6" STANDARD CURB
- INSTALL ADA RAMP & DETECTABLE WARNING SURFACE PER SANDY CITY STANDARD DETAIL SW-07 SEE SHEET C-501.
- NOT TO SCALE. SEE SHEET C-501 FOR LATEST VERSION OF M.U.T.C.D. SEE SHEET C-501 FOR LATEST VERSION OF M.U.T.C.D. SEE SHEET C-504 FOR DETAILS.
- INSTALL 6" VINYL FENCE



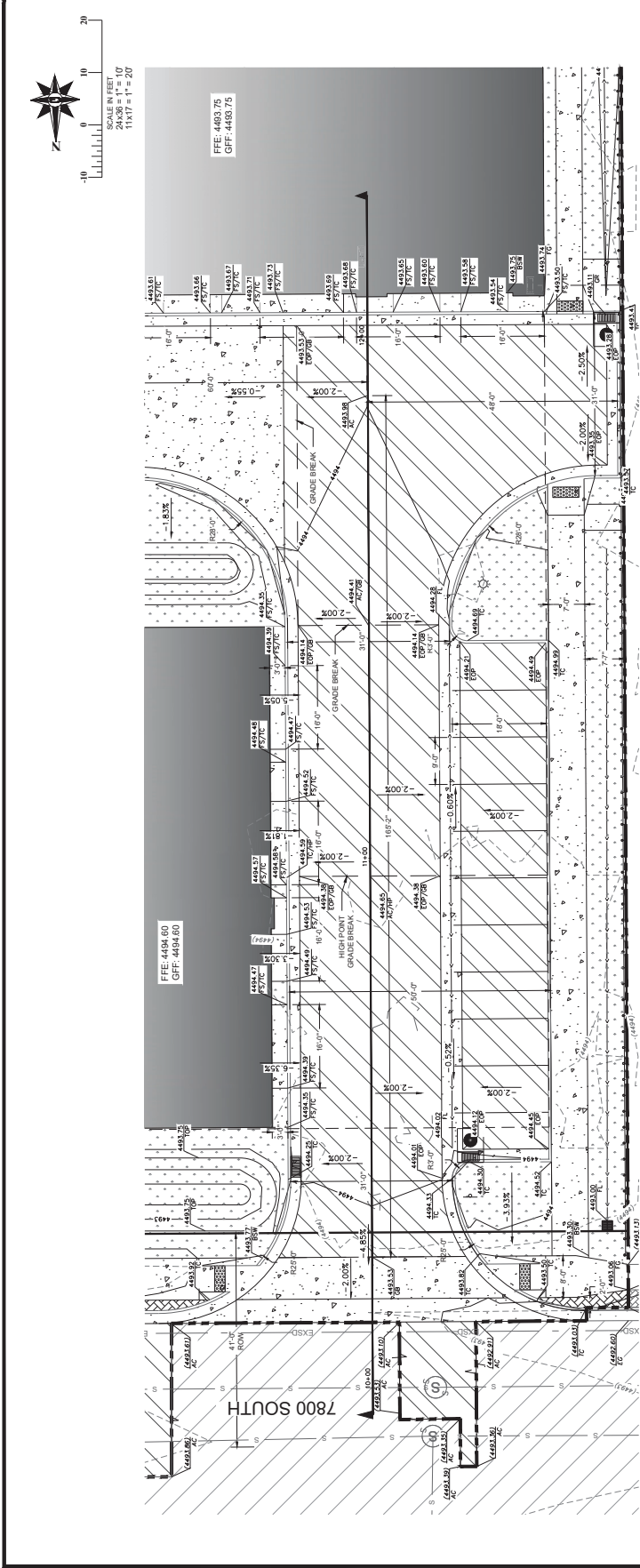
NOTE: SEE SHEET C.105 FOR POINT TABLES



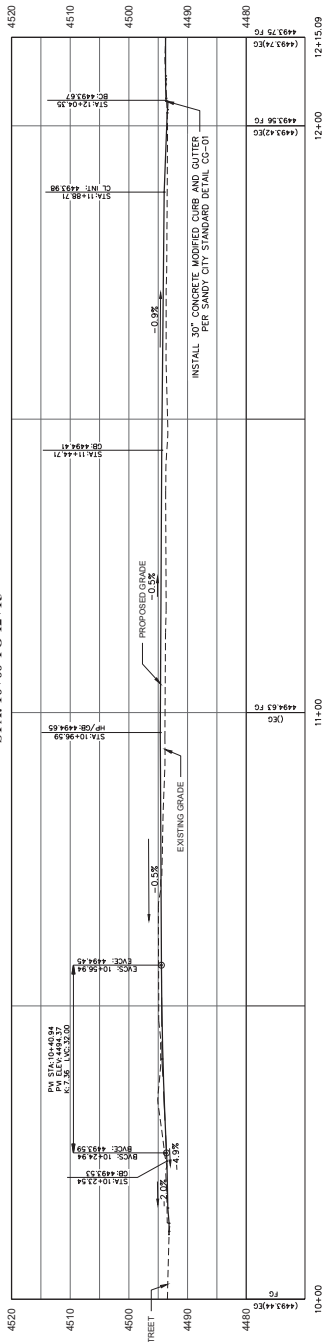
DATE	BY	COMMENTS

MAY 2024
 PROJECT NAME
 896 EAST 7800 SOUTH
 SANDY, UTAH
ROADWAY PROFILE
GUTIERREZ PROPERTY

PROJECT # 100.021.25
C.401

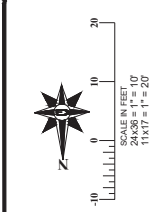


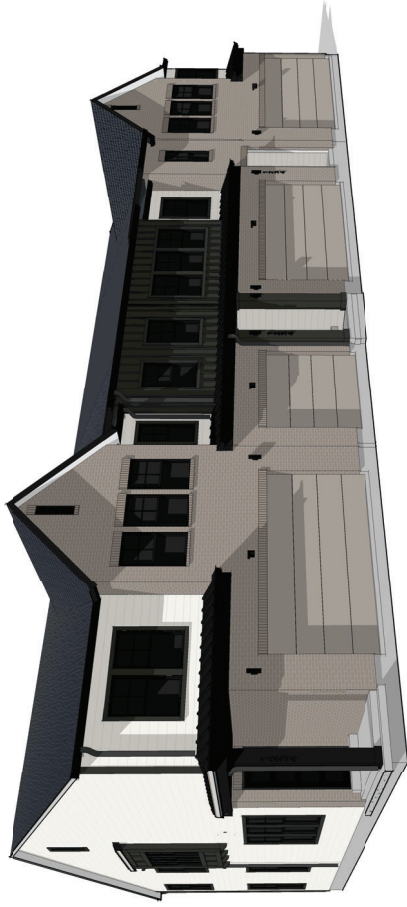
ROADWAY PROFILE
 STA: 10+00 TO 12+15



DISCLAIMER NOTE
 ALL UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CLIENT TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE ENGINEER HAS CONDUCTED VISUAL SURVEYS AND HAS NOT CONDUCTED GROUND PENETRATING RADAR (GPR) OR OTHER METHODS TO VERIFY THE LOCATION AND DEPTH OF UTILITIES. THE ENGINEER HAS NOT SHOWN ANY UTILITY LOCATIONS.

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FRONT PERSPECTIVE - STYLE B



REAR PERSPECTIVE - STYLE B



1 FRONT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"

ELEVATION MATERIAL AREA SUMMARY

FRONT	MATERIAL	SQ. FT.	%
FRONT	HICKORY 1/4" BRICK	483	57
	SHING WOODBOARD	57	7
	SM	203	24
	STUCCO	-	-
	TOTAL	841	100

ELEVATION MATERIAL AREA SUMMARY

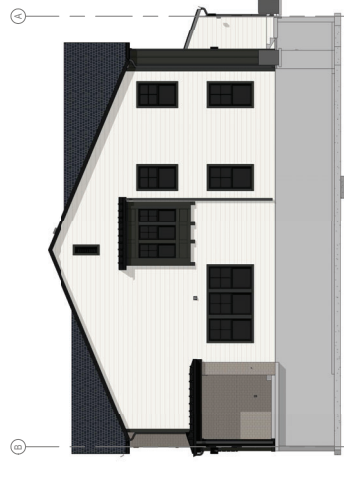
REAR	MATERIAL	SQ. FT.	%
REAR	HICKORY 1/4" BRICK	-	-
	SHING WOODBOARD	772	87
	SM	113	13
	STUCCO	-	-
	TOTAL	885	100

ELEVATION MATERIAL AREA SUMMARY

LEFT EIGHT	MATERIAL	SQ. FT.	%
LEFT EIGHT	HICKORY 1/4" BRICK	483	57
	SHING WOODBOARD	57	7
	SM	203	24
	STUCCO	-	-
	TOTAL	841	100



2 LEFT ELEVATION
1/8" = 1'-0"



4 RIGHT ELEVATION
1/8" = 1'-0"

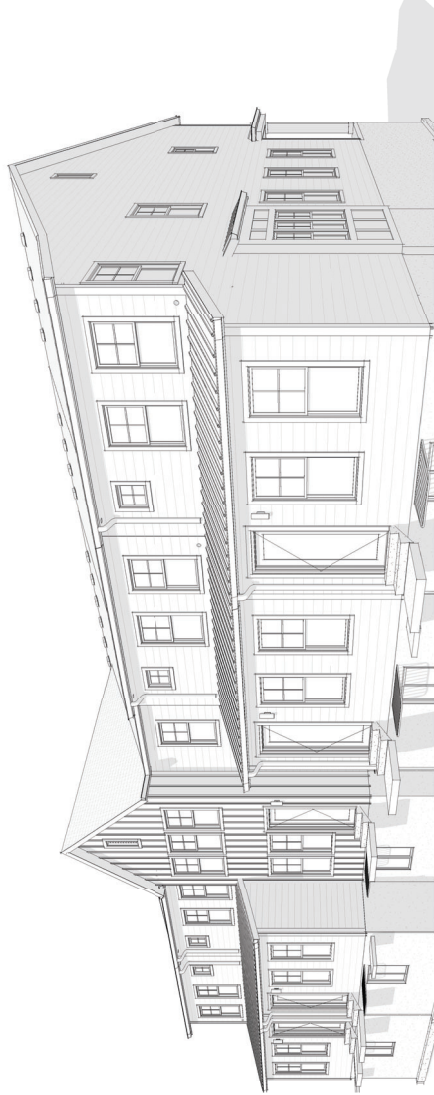
MATERIAL SELECTION

	BEADED BRICK
	IRON ORE
	HARDIE SIDING
	SW/ESH, WHITE SNOW
	HARDIE BRD. TRIM
	SW/100B, IRON ORE
	GREY ASPHALT SHINGLES

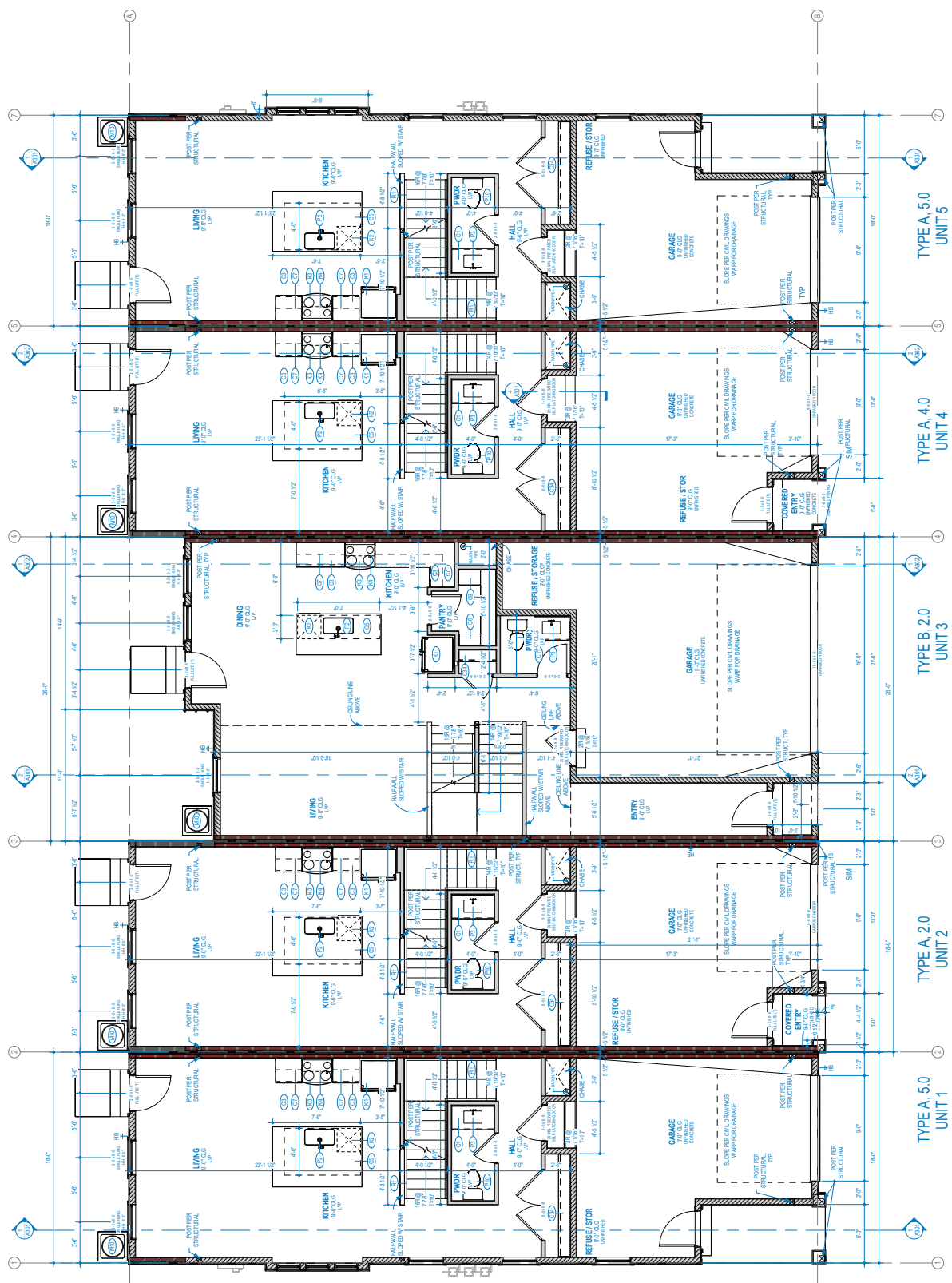
CONSTRUCTION TYPE 5B



FRONT PERSPECTIVE - 5-PLEX



REAR PERSPECTIVE - 5-PLEX



1 LEVEL 1 CONCEPT
18" = 1'-0"

GUTIERREZ TOWNHOMES
5-PLEX LEVEL 1 FLOOR PLAN



1 FRONT ELEVATION
3/8" = 1'-0"



3 REAR ELEVATION
3/8" = 1'-0"

MATERIAL SELECTION

	BEEHIVE BRICK MONOCOLOR SH1
	HARDIE SIDING SW 954, WHITE SNOW
	HARDIE B&B TRIM SW 709B, IRON ORE
	GREY ASPHALT SHINGLES

CONSTRUCTION TYPE 5b

ELEVATION MATERIAL AREA SUMMARY

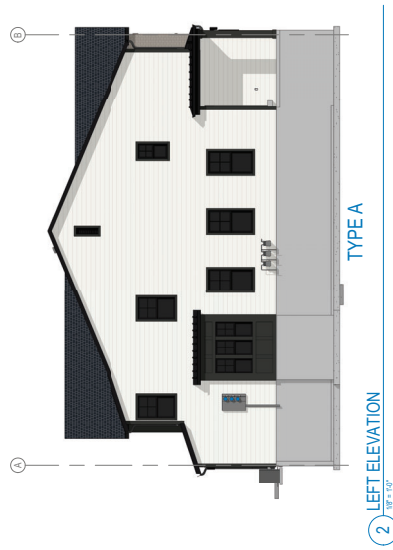
PROFIT	MATERIAL	SQ. FT.	%
	HARDYKIN TM BRICK	91	54
	SEILING WOODBOARD	291	24
	B&B	48	12
	STUCCO	-	-
	TOTAL	127	90

ELEVATION MATERIAL AREA SUMMARY

RAW	MATERIAL	SQ. FT.	%
	HARDYKIN TM BRICK	91	91
	SEILING WOODBOARD	247	20
	B&B	247	20
	STUCCO	-	-
	TOTAL	127	90

ELEVATION MATERIAL AREA SUMMARY

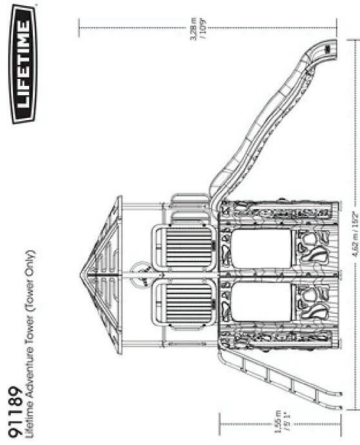
LEFT EIGHT	MATERIAL	SQ. FT.	%
	HARDYKIN TM BRICK	52	52
	SEILING WOODBOARD	142	18
	B&B	113	11
	STUCCO	-	-
	TOTAL	127	90



2 LEFT ELEVATION
1/8" = 1'-0"



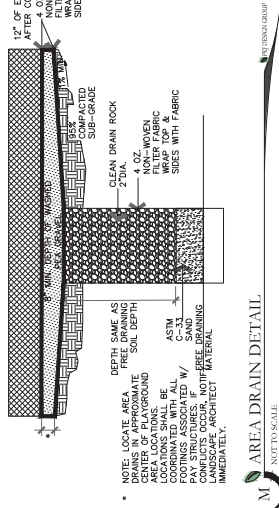
4 RIGHT ELEVATION
1/8" = 1'-0"



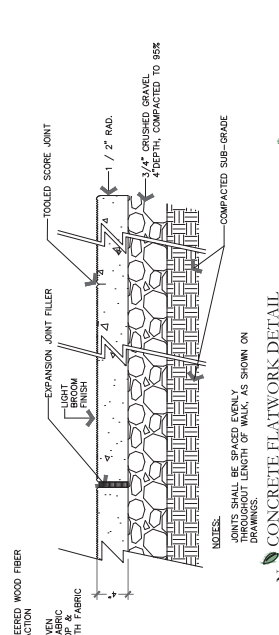
91189
Lifetime Adventure Tower (Tower Only)



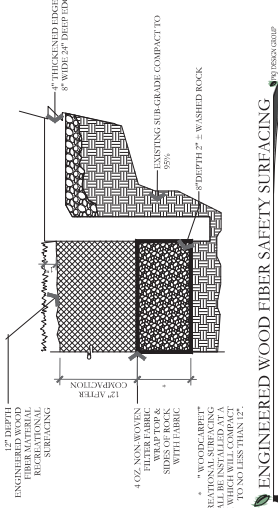
L LIFETIME EQUIPMENT ADVENTURE SLIDE TOWER
NOT TO SCALE



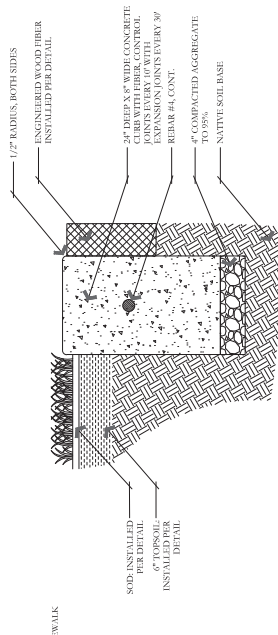
M AREA DRAIN DETAIL
NOT TO SCALE



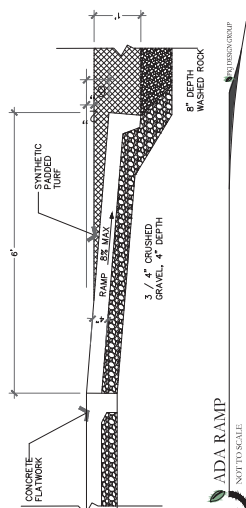
N CONCRETE FLATWORK DETAIL
NOT TO SCALE



O ENGINEERED WOOD FIBER SAFETY SURFACING
NOT TO SCALE



P PLAYGROUND EDGING
NOT TO SCALE



Q ADA RAMP
NOT TO SCALE

ISSUE DATE	5/21/2026
PROJECT NUMBER	UT25149
NO.	REVISION
1	XXXX
2	
3	
4	

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