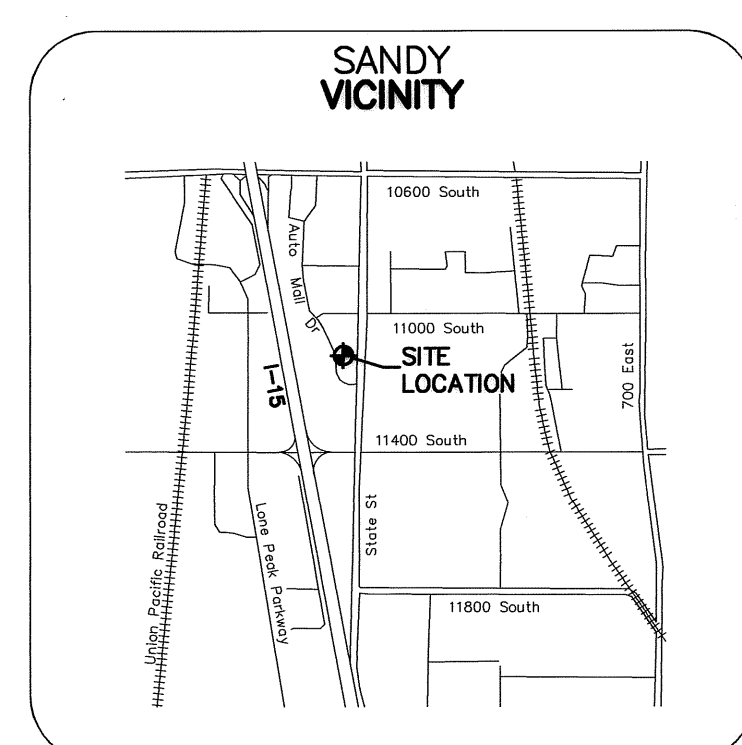


# Exhibit A

## ONEELEVENSANDY SUBDIVISION NO. 2 AMENDING ONEELEVENSANDY SUBDIVISION

LOCATED IN  
NE 1/4 OF SEC 24, T 3 S, R 1 W, AND NW 1/4 OF SEC 19,  
T 3 S, R 1 E, SALT LAKE BASE AND MERIDIAN  
SANDY CITY, UTAH

Line Number	Length	Direction
L1	68.89	S11° 56' 17" W
L2	51.46	S2° 35' 41" W
L3	19.30	S8° 52' 51" W
L4	51.71	S1° 56' 10" W
L5	22.14	S32° 24' 44" E
L6	36.20	N2° 36' 20" E
L7	24.13	N87° 16' 35" W
L8	33.32	S2° 43' 25" W
L9	15.64	S87° 45' 22" E
L10	15.01	S0° 00' 28" E
L11	16.38	N87° 45' 22" W
L12	15.02	S84° 10' 28" E
L13	47.50	N2° 43' 25" E
L14	25.72	N87° 16' 35" W
L15	15.00	N2° 43' 25" E
L16	64.64	S87° 16' 35" E



### SURVEYOR'S CERTIFICATE

I, DAVID MORTENSEN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 6436557, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT I AM THE SURVEYOR OF RECORD FOR THIS SURVEY, AND THAT I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS:

**ONEELEVENSANDY SUBDIVISION NO. 2  
AMENDING ONEELEVENSANDY SUBDIVISION**

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND, AS SHOWN ON THIS PLAT.

*David T. Mortensen*  
DAVID T. MORTENSEN, P.L.S.  
7-14-25  
DATE

### BOUNDARY DESCRIPTION

ALL OF LOT 1 AND LOT 2 OF ONEELEVENSANDY SUBDIVISION, RECORDED DECEMBER 3, 2018, AS ENTRY NO. 12896416, IN BOOK 2018P, AT PAGE 406, OFFICIAL RECORDS AND THE LAND LOCATED TO THE SOUTH OF THE SOUTH LINE OF SCHOOL YARD SUBDIVISION, RECORDED FEBRUARY 1, 2019, AS ENTRY NO. 12927925, IN BOOK 2019, AT PAGE 50, AS SHOWN ON QUIT CLAIM DEED, RECORDED DECEMBER 12, 2022, AS ENTRY NO. 14055223, OFFICIAL RECORDS, IN THE CITY OF SANDY, COUNTY OF SALT LAKE, STATE OF UTAH, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 3 SOUTH, RANGE 1 WEST, AND THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE SAID SCHOOL YARD SUBDIVISION, SAID POINT BEING A POINT ON THE WEST LINE OF THE EXISTING US-89 (STATE STREET) KNOWN AS PROJECT NO. F-080873564 DATED 6-15-17, SAID POINT BEING S 03°22'00" W GRID (NAD 83) (1984) UTAH CENTRAL ZONE) 697.42 FEET, AND S 89°23'57" E 53.30 FEET, FROM THE NORTHEAST CORNER OF SAID SECTION 24, SAID POINT ALSO BEING 53.00 FEET PERPENDICULARLY DISTANT, WESTERLY FROM THE US-89 (STATE STREET) CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 35+24.51; THENCE ALONG SAID WEST LINE THE FOLLOWING SEVEN (7) COURSES: (1) S 2°35'42" W ALONG SAID LINE 0.20 FEET, TO A POINT BEING 53.00 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE, OPPOSITE APPROXIMATE ENGINEER STATION 35+21.77, (2) S 11°56'17" W 68.89 FEET, TO A POINT 64.18 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 34+56.34, (3) S 2°35'41" W ALONG SAID LINE 51.46 FEET, TO A POINT BEING 64.18 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 34+04.87, (4) S 8°52'51" W 19.30 FEET, TO A POINT 66.30 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 33+85.86, (5) S 1°56'10" W 51.71 FEET, TO A POINT BEING 65.70 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 33+33.98, (6) S 32°24'44" E 22.14 FEET, TO A POINT BEING 65.70 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 33+15.84, AND (7) S 2°35'41" W ALONG SAID LINE 144.60 FEET, TO THE NORTH LINE OF A PARCEL OF LAND CONVEYED IN A QUIT CLAIM DEED RECORDED AS ENTRY NO. 7291808, IN BOOK 8259, AT PAGE 2506, OFFICIAL RECORDS; THENCE ALONG SAID LINE AND THE EXTENSION OF SAID LINE N 89°56'29" W 414.25 FEET, TO THE EAST LINE OF AUTO MALL DRIVE SOUTH, AS DEDICATED IN THE ROAD DEDICATION PLAT RECORDED AS INSTRUMENT NO. 10288479, IN BOOK 2007P, AT PAGE 462, OFFICIAL RECORDS; THENCE ALONG SAID EAST LINE THE FOLLOWING TWO (2) COURSES: (1) N 2°36'20" E 36.20 FEET, TO THE BEGINNING OF A TANGENT CURVE THAT IS CONVEX TO THE WEST, WITH A RADIUS OF 374.00 FEET, AND (2) NORTHERLY 173.26 FEET ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 26°32'33", TO THE EAST LINE OF THAT CERTAIN PARCEL OF LAND OWNED BY SALT LAKE CITY CORPORATION, AS CONVEYED IN THAT CERTAIN WARRANTY DEED, ENTRY NO. 10288579, IN BOOK 8541, AT PAGE 9700; THENCE ALONG SAID EAST LINE THE FOLLOWING TWO (2) COURSES: (1) N 40°09'08" E 22.94 FEET, AND (2) N 4°15'19" W 135.19 FEET, TO THE SAID SOUTH LINE OF SCHOOL YARD SUBDIVISION; THENCE S 89°23'57" E ALONG SAID LINE 455.64 FEET, TO THE POINT OF BEGINNING.

CONTAINS 152,281 SQ FT, OR 3.50 ACRES AND 2 LOTS

### OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED IS/ARE THE OWNER(S) OF THE ABOVE-DESCRIBED TRACT OF LAND AND DO HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, TOGETHER WITH EASEMENTS, AS SET FORTH, TO BE HEREAFTER KNOWN AS

### ONEELEVENSANDY SUBDIVISION NO. 2 AMENDING ONEELEVENSANDY SUBDIVISION

THE UNDERSIGNED OWNERS HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO DO HEREBY CONVEY ANY OTHER EASEMENTS AS SHOWN ON THIS PLAT, TO THE PARTIES INDICATED BY THOSE EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF THE FACILITIES, OR FOR OTHER TYPICAL PURPOSES, INDICATED BY THOSE EASEMENTS, AS SHOWN HEREON.

IN WITNESS WHEREOF I/WE HAVE HERETO SET MY/OUR HAND(S) THIS 23<sup>rd</sup> DAY OF July, A.D. 2025  
*Michael K. Lizauguit* BY: *Michael K. Lizauguit*  
MICAM, LLC ONEELEVEN PARTNERS, LLC

### NARRATIVE

THE PURPOSE OF THIS SUBDIVISION IS TO AMEND AND EXTEND THE 2 LOT ONEELEVENSANDY SUBDIVISION TO INCLUDE AND BEYOND THE NORTH LINE OF SUBDIVISION AND THE SCHOOL YARD SUBDIVISION TO THE NORTH. THE SURVEY WAS PERFORMED AT THE REQUEST OF OUR CLIENT, THE BASIS OF BEARING FOR THIS SURVEY IS N 89°41'17" W ALONG THE SECTION LINE, BETWEEN TWO FOUND MONUMENTS, TYPE AND LOCATIONS OF WHICH ARE SHOWN ON THIS PLAT.

THE FOLLOWING DOCUMENTS OF RECORD WERE REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY. THERE MAY EXIST OTHER DOCUMENTS EITHER PRIVATE OR OF RECORD THAT WOULD AFFECT THIS SURVEY. ANY NEW EVIDENCE CONTRADICTORY TO THIS SURVEY SHOULD BE PRESENTED TO CIVIL SCIENCE, INC. FOR REVIEW AND CONSIDERATION.

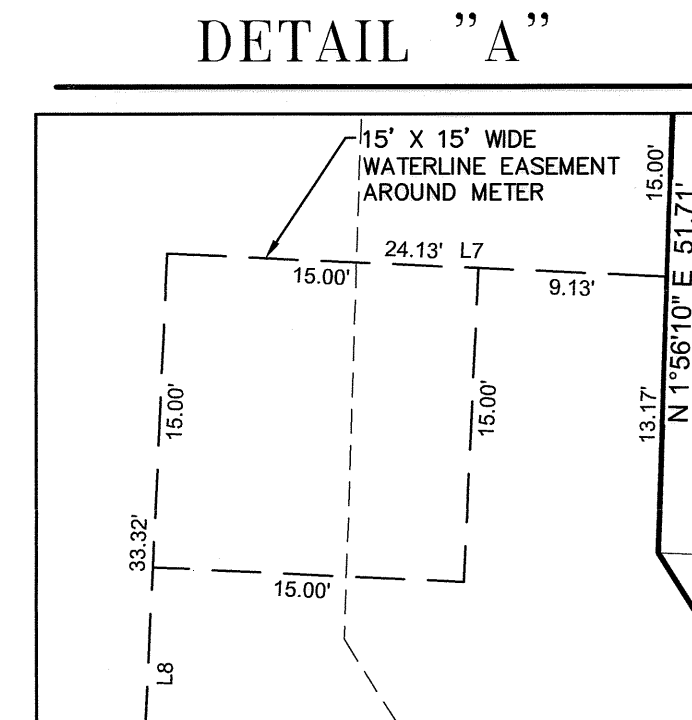
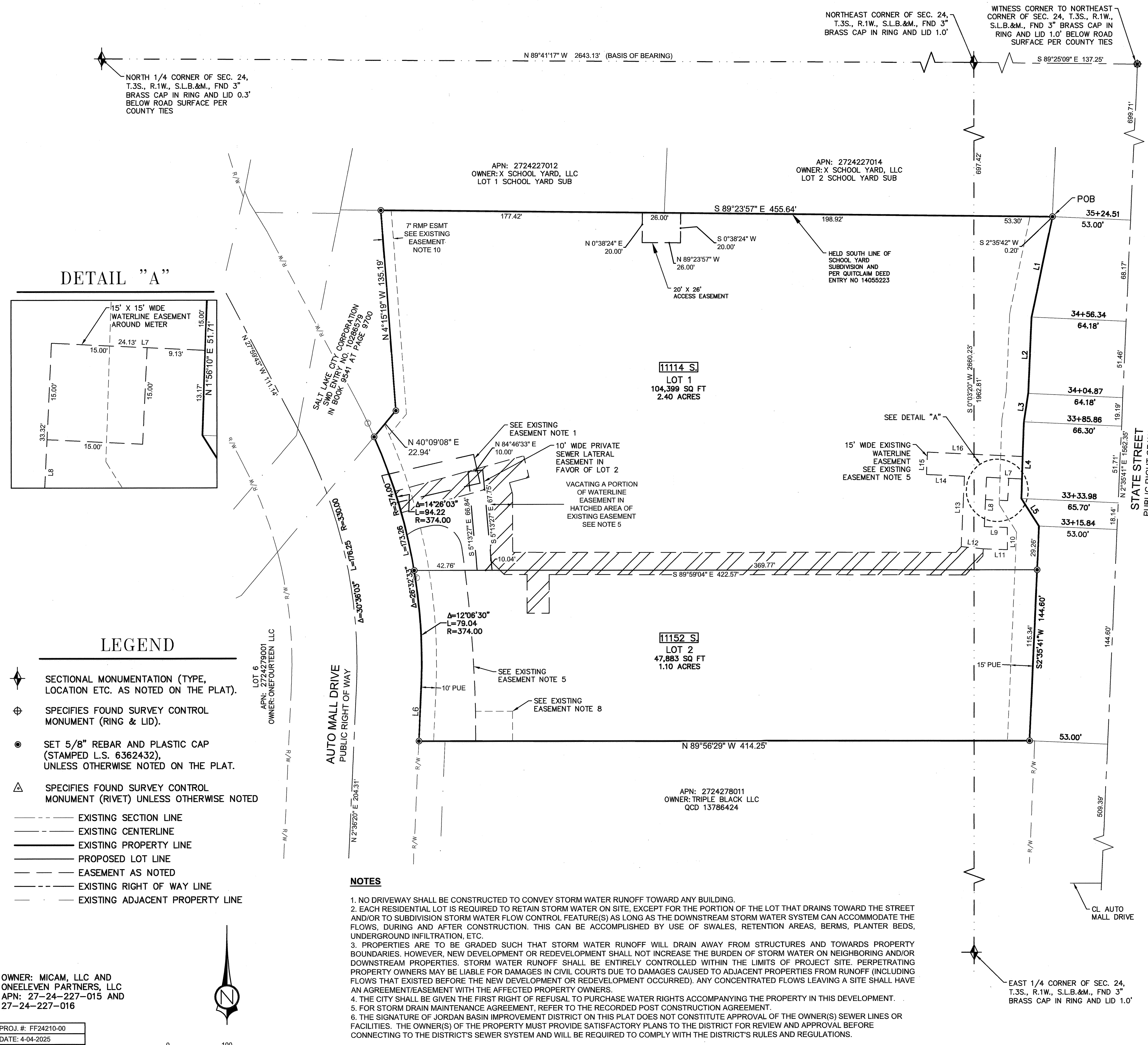
ROAD DEDICATION AUTO MALL DRIVE SOUTH, RECORDED NOVEMBER 30, 2007, AS ENTRY NO. 10288479, IN BOOK 2007P, PAGE 462  
ONEELEVENSANDY SUBDIVISION, RECORDED DECEMBER 3, 2018, AS ENTRY NO. 12896416, IN BOOK 2018P, AT PAGE 406  
ONE 14 SUBDIVISION, RECORDED APRIL 6, 2011, AS ENTRY NO. 11162197, IN BOOK 2011P, AT PAGE 59

SCHOOL YARD SUBDIVISION, RECORDED FEBRUARY 1, 2019, AS ENTRY NO. 12927925, IN BOOK 2019, AT PAGE 50  
QCD ENTRY NO. 14055223, RECORDED DECEMBER 21, 2022, IN BOOK 11392, AT PAGE 2338  
QCD ENTRY NO. 14055223, RECORDED DECEMBER 21, 2022, IN BOOK 11392, AT PAGE 2344  
RECORD OF SURVEY 52009-01-0064, PREPARED BY CLC ASSOCIATES  
RECORD OF SURVEY 52009-01-0064, PREPARED BY BUSH & GUDDELL DATED AUGUST 2, 2019  
SURVEY PREPARED BY BUSH & GUDDELL DATED SEPTEMBER 24, 2014, AS JOB NO. V-142117-ALTA  
RECORD OF SURVEY 52018-11-0700, PREPARED BY AWA  
VID ENTRY NO. 12917010, RECORDED JANUARY 10, 2019, IN BOOK 10745, AT PAGE 258  
RECORD OF SURVEY ~~5-2025-07-0521~~ PREPARED BY CIVIL SCIENCE

### ONEELEVENSANDY SUBDIVISION NO. 2 AMENDING ONEELEVENSANDY SUBDIVISION

LOCATED IN  
NE 1/4 OF SEC 24, T 3 S, R 1 W, AND NW 1/4 OF SEC 19,  
T 3 S, R 1 E, SALT LAKE BASE AND MERIDIAN  
SANDY CITY, UTAH  
SHEET 1 OF 1

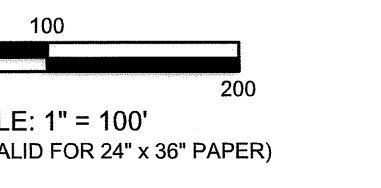
**SALT LAKE COUNTY RECORDER**  
RECORDED # 14921295  
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF MICAM, LLC  
DATE: 7/14/2025 TIME: 10:20 AM BOOK: 2025 PAGE: 200  
FEE \$ 1.00  
DEPUTY CLERK Debra J. ...



- ### LEGEND
- SECTIONAL MONUMENTATION (TYPE, LOCATION ETC. AS NOTED ON THE PLAT).
  - SPECIES FOUND SURVEY CONTROL MONUMENT (RING & LID).
  - SET 5/8" REBAR AND PLASTIC CAP (STAMPED L.S. 6362432), UNLESS OTHERWISE NOTED ON THE PLAT.
  - SPECIES FOUND SURVEY CONTROL MONUMENT (RIVET) UNLESS OTHERWISE NOTED
  - EXISTING SECTION LINE
  - EXISTING CENTERLINE
  - EXISTING PROPERTY LINE
  - PROPOSED LOT LINE
  - EASEMENT AS NOTED
  - EXISTING RIGHT OF WAY LINE
  - EXISTING ADJACENT PROPERTY LINE

OWNER: MICAM, LLC AND ONEELEVEN PARTNERS, LLC  
APN: 27-24-227-015 AND 27-24-227-016

PROJ. #: FF24210-00  
DATE: 4-04-2025  
DRAWN BY: DBA/DM  
CHECKED BY: DTM  
SHEET 1 OF 1



- ### NOTES
- NO DRIVEWAY SHALL BE CONSTRUCTED TO CONVEY STORM WATER RUNOFF TOWARD ANY BUILDING.
  - EACH RESIDENTIAL LOT IS REQUIRED TO RETAIN STORM WATER ON SITE, EXCEPT FOR THE PORTION OF THE LOT THAT DRAINS TOWARD THE STREET AND/OR TO SUBDIVISION STORM WATER FLOW CONTROL FEATURE(S) AS LONG AS THE DOWNSTREAM STORM WATER SYSTEM CAN ACCOMMODATE THE FLOWS, DURING AND AFTER CONSTRUCTION. THIS CAN BE ACCOMPLISHED BY USE OF SWALES, RETENTION AREAS, BERMS, PLANTER BEDS, UNDERGROUND INFILTRATION, ETC.
  - PROPERTIES ARE TO BE GRADED SUCH THAT STORM WATER RUNOFF WILL DRAIN AWAY FROM STRUCTURES AND TOWARDS PROPERTY BOUNDARIES. HOWEVER, NEW DEVELOPMENT OR REDEVELOPMENT SHALL NOT INCREASE THE BURDEN OF STORM WATER ON NEIGHBORING AND/OR DOWNSTREAM PROPERTIES. STORM WATER RUNOFF SHALL BE ENTIRELY CONTROLLED WITHIN THE LIMITS OF PROJECT SITE. PERPETRATING PROPERTY OWNERS MAY BE LIABLE FOR DAMAGES IN CIVIL COURTS DUE TO DAMAGES CAUSED TO ADJACENT PROPERTIES FROM RUNOFF (INCLUDING FLOWS THAT EXISTED BEFORE THE NEW DEVELOPMENT OR REDEVELOPMENT OCCURRED). ANY CONCENTRATED FLOWS LEAVING A SITE SHALL HAVE AN AGREEMENT/EASEMENT WITH THE AFFECTED PROPERTY OWNERS.
  - THE CITY SHALL BE GIVEN THE FIRST RIGHT OF REFUSAL TO PURCHASE WATER RIGHTS ACCOMPANYING THE PROPERTY IN THIS DEVELOPMENT.
  - FOR STORM DRAIN MAINTENANCE AGREEMENT, REFER TO THE RECORDED POST CONSTRUCTION AGREEMENT.
  - THE SIGNATURE OF JORDAN BASIN IMPROVEMENT DISTRICT ON THIS PLAT DOES NOT CONSTITUTE APPROVAL OF THE OWNER(S) SEWER LINES OR FACILITIES. THE OWNER(S) OF THE PROPERTY MUST PROVIDE SATISFACTORY PLANS TO THE DISTRICT FOR REVIEW AND APPROVAL BEFORE CONNECTING TO THE DISTRICT'S SEWER SYSTEM AND WILL BE REQUIRED TO COMPLY WITH THE DISTRICT'S RULES AND REGULATIONS.

<p>CivilScience Engineers   Surveyors   Solutions 3160 WEST CLUBHOUSE DRIVE LEHI, UT 84043 801.766.7200</p>	<p>RECORD OF SURVEY R.O.S. NO. <u>52018-05-0390</u></p> <p>DATE: <u>8/12/25</u> COUNTY SURVEYOR REVIEWER: <i>[Signature]</i></p>	<p>LAND USE AUTHORITY</p> <p>APPROVED THIS <u>30th</u> DAY OF <u>July</u>, 20<u>25</u> CHAIRMAN: <i>[Signature]</i></p>	<p>JORDAN BASIN IMPROVEMENT DISTRICT</p> <p>APPROVED THIS <u>15</u> DAY OF <u>July</u>, 20<u>25</u> REPRESENTATIVE: <i>[Signature]</i></p>	<p>SALT LAKE COUNTY HEALTH DEPARTMENT</p> <p>APPROVED THIS <u>17</u> DAY OF <u>July</u>, 20<u>25</u> REPRESENTATIVE: <i>[Signature]</i></p>	<p>SANDY PARKS &amp; REC</p> <p>APPROVED THIS <u>4th</u> DAY OF <u>Aug</u>, 20<u>25</u> DIRECTOR: <i>[Signature]</i></p>	<p>PUBLIC UTILITIES DEPARTMENT</p> <p>APPROVED THIS <u>20</u> DAY OF <u>July</u>, 20<u>25</u> ENGINEERING MANAGER: <i>[Signature]</i></p>	<p>SANDY CITY MAYOR</p> <p>PRESENTED TO SANDY CITY THIS <u>17</u> DAY OF <u>July</u>, 20<u>25</u> ATTEST: CITY RECORDER: <i>[Signature]</i></p>	<p>SALT LAKE COUNTY RECORDER</p> <p>RECORDED # <u>14921295</u> STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF <u>MICAM, LLC</u> DATE: <u>7/14/2025</u> TIME: <u>10:20 AM</u> BOOK: <u>2025</u> PAGE: <u>200</u> FEE \$ <u>1.00</u> DEPUTY CLERK <u>Debra J. ...</u></p>
---	--	---	--	---	--	---	---	---

# RECORD OF SURVEY PLAT

LOCATED IN  
NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 3 SOUTH, RANGE 1 WEST, AND THE  
NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 3 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN

## BOUNDARY DESCRIPTION

METRO NATIONAL TITLE REPORT, COMMITMENT NUMBER 102120, DATED JUNE 7, 2024 AT 7:45AM

PARCEL 1:  
ALL OF LOT 1, ONEELEVENSANDY SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF, FILED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN PLAT BOOK 2018P AT PAGE 406 OF OFFICIAL RECORDS.

PARCEL 2:  
ALL OF LOT 2, ONEELEVENSANDY SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF, FILED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN PLAT BOOK 2018P AT PAGE 406 OF OFFICIAL RECORDS.

PARCEL 3:  
A STRIP OF LAND LYING BETWEEN ONEELEVENSANDY SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF, FILED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN PLAT BOOK 2018P AT PAGE 406 OF OFFICIAL RECORDS AND SCHOOL YARD SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF, FILED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN PLAT BOOK 2019P AT PAGE 50, SAID STRIP BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE SAID SCHOOLYARD SUBDIVISION, SAID POINT BEING A POINT ON THE WEST LINE OF THE EXISTING US-89 (STATE STREET) KNOWN AS PROJECT F-0089(375)364 DATED 6-15-17, SAID POINT BEING S 00°03'20" W GRID (NAD 83 (1994) UTAH CENTRAL ZONE) 697.42 FEET, AND S 89°23'57" E 53.30 FEET, FROM THE NORTHEAST CORNER OF SAID SECTION 24, SAID POINT ALSO BEING 53.00 FEET PERPENDICULARLY DISTANT, WESTERLY FROM THE US-89 (STATE STREET) CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 35+24.51; THENCE ALONG SAID WEST LINE THE FOLLOWING SEVEN (7) COURSES: (1) S 2°35'42" W ALONG SAID LINE 0.20 FEET, TO A POINT BEING 53.00 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE, OPPOSITE APPROXIMATE ENGINEER STATION 34+56.34; (2) S 11°56'17" W 66.88 FEET, TO A POINT 64.18 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 34+56.34; (3) S 2°35'41" W ALONG SAID LINE 51.46 FEET, TO A POINT BEING 64.18 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 34+04.87; (4) S 8°52'51" W 19.30 FEET, TO A POINT 66.30 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 33+85.86; (5) S 1°56'10" W 51.71 FEET, TO A POINT BEING 65.70 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE, OPPOSITE APPROXIMATE ENGINEER STATION 33+33.98; (6) S 32°24'44" E 22.14 FEET, TO A POINT BEING 53.00 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE, OPPOSITE APPROXIMATE ENGINEER STATION 33+15.84; AND (7) S 2°35'42" W ALONG SAID LINE 144.60 FEET, TO THE NORTH LINE OF A PARCEL OF LAND CONVEYED IN A QUIT CLAIM DEED RECORDED AS ENTRY NO. 7291808, IN BOOK 8259, AT PAGE 2506, OFFICIAL RECORDS; THENCE ALONG SAID LINE AND THE EXTENSION OF SAID LINE N 89°56'29" W 414.25 FEET, TO THE EAST LINE OF AUTO MALL DRIVE SOUTH, AS DEDICATED IN THE ROAD DEDICATION PLAT RECORDED AS INSTRUMENT NO. 10288479, IN BOOK 2007P, AT PAGE 462, OFFICIAL RECORDS; THENCE ALONG SAID EAST LINE THE FOLLOWING TWO (2) COURSES: 1) N 02°36'20" E 36.20 FEET, TO THE BEGINNING OF A TANGENT CURVE THAT IS CONCAVE TO THE WEST, WITH A RADIUS OF 374.00 FEET, AND 2) NORTHERLY 173.26 FEET ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 26°32'33", TO THE EAST LINE OF THAT CERTAIN PARCEL OF LAND OWNED BY SALT LAKE CITY CORPORATION, AS CONVEYED IN THAT SPECIAL WARRANTY DEED, ENTRY NO. 10286579, IN BOOK 9541, AT PAGE 9700; THENCE ALONG SAID EAST LINE THE FOLLOWING TWO (2) COURSES: 1) N 40°09'08" E 22.94 FEET, AND 2) N 04°15'19" W 135.19 FEET, TO THE SAID SOUTH LINE OF SCHOOLYARD SUBDIVISION; THENCE S 89°23'57" E ALONG SAID LINE 455.64 FEET, TO THE POINT OF BEGINNING.

LESS AND EXCEPTING THEREFROM THAT PORTION OF THE ABOVE PARCEL 3 LYING WITHIN THE BOUNDS OF ONEELEVENSANDY SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF, FILED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN PLAT BOOK 2018P AT PAGE 406 OF OFFICIAL RECORDS, BEING DESCRIBED AS FOLLOWS:

ALL THAT REMAINDER PARCEL OF LAND, OWNED BY MICAM, LLC, LOCATED AT 11114 SOUTH AND 11148 SOUTH STATE STREET, IN THE CITY OF SANDY, COUNTY OF SALT LAKE, STATE OF UTAH, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 3 SOUTH, RANGE 1 WEST, AND THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, BEING MORE PARTICULARLY DESCRIBED (FROM THE RESULTS OF A FIELD SURVEY PERFORMED BY CLC ASSOCIATES, IN 2006-2007, IN ACCORDANCE WITH SECTION 17-23-17 OF THE UTAH CODE) AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF THE EXISTING US-89 (STATE STREET) KNOWN AS PROJECT NO. F-0089(375)364 DATED 6-15-17, SAID POINT BEING S 00°03'20" W GRID (NAD 83 (1994) UTAH CENTRAL ZONE) 700.10 FEET, AND S 89°21'38" E 52.76 FEET, FROM THE NORTHEAST CORNER OF SAID SECTION 24, SAID POINT ALSO BEING 53.42 FEET PERPENDICULARLY DISTANT, WESTERLY FROM THE US-89 (STATE STREET) CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 35+21.77; THENCE ALONG SAID WEST LINE THE FOLLOWING SIX (6) COURSES: (1) S 11°56'17" W 66.31 FEET, TO A POINT BEING 64.18 FEET PERPENDICULARLY DISTANT WESTERLY FROM SAID CONTROL LINE, OPPOSITE APPROXIMATE ENGINEER STATION 34+56.34; (2) S 2°35'41" W 51.46 FEET, ALONG SAID LINE, TO A POINT 64.18 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 34+04.87; (3) S 8°52'51" W 19.30 FEET, TO A POINT BEING 66.30 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 33+85.86; (4) S 1°56'10" W 51.71 FEET, TO A POINT 65.70 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 33+33.98; (5) S 32°24'44" E 22.14 FEET, TO A POINT BEING 53.00 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 33+15.84; AND (6) S 2°35'41" W 144.60 FEET, ALONG SAID LINE, TO THE NORTH LINE OF A PARCEL OF LAND CONVEYED IN A QUIT CLAIM DEED RECORDED AS ENTRY NO. 7291808, IN BOOK 8259, AT PAGE 2506, OFFICIAL RECORDS; THENCE ALONG SAID LINE AND THE EXTENSION OF SAID LINE N 89°56'29" W 414.25 FEET, TO THE EAST LINE OF AUTO MALL DRIVE SOUTH, AS DEDICATED IN THE ROAD DEDICATION PLAT RECORDED AS INSTRUMENT NO. 10288479, IN BOOK 2007P, AT PAGE 462, OFFICIAL RECORDS; THENCE ALONG SAID EAST LINE THE FOLLOWING TWO (2) COURSES: 1) N 02°36'20" E 36.20 FEET, TO THE BEGINNING OF A TANGENT CURVE THAT IS CONCAVE TO THE WEST, WITH A RADIUS OF 374.00 FEET, AND 2) NORTHERLY 173.26 FEET ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 26°32'33", TO THE EAST LINE OF THAT CERTAIN PARCEL OF LAND OWNED BY SALT LAKE CITY CORPORATION, AS CONVEYED IN THAT SPECIAL WARRANTY DEED, ENTRY NO. 10286579, IN BOOK 9541, AT PAGE 9700; THENCE ALONG SAID EAST LINE THE FOLLOWING TWO (2) COURSES: 1) N 40°09'08" E 22.94 FEET, AND 2) N 04°15'19" W 132.77 FEET, TO THE SOUTH LINE OF THE JORDAN SCHOOL DISTRICT PROPERTY; THENCE S 89°21'38" E ALONG SAID LINE 454.92 FEET, TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPTING THAT PORTION OF THE SUBJECT PROPERTY LYING WITHIN THE BOUNDS OF THE SALT LAKE CITY CANAL THAT LIES NORTH OF THAT CERTAIN SPECIAL WARRANTY DEED SHOWN AS ENTRY NO. 10286579.

## SURVEYED BOUNDARY DESCRIPTION

ALL OF LOT 1 AND LOT 2 OF, ONEELEVENSANDY SUBDIVISION, RECORDED DECEMBER 3, 2018, AS ENTRY NO. 12896416, IN BOOK 2018P, AT PAGE 406, OFFICIAL RECORDS AND THE LAND LOCATED TO THE SOUTH OF THE SOUTH LINE OF SCHOOLYARD SUBDIVISION, RECORDED FEBRUARY 1, 2019, AS ENTRY NO. 12927925, IN BOOK 2019P, AT PAGE 50, AS SHOWN ON QUIT CLAIM DEED, RECORDED DECEMBER 12, 2022, AS ENTRY NO. 14055223, OFFICIAL RECORDS, IN THE CITY OF SANDY, COUNTY OF SALT LAKE, STATE OF UTAH, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 3 SOUTH, RANGE 1 WEST, AND THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE SAID SCHOOLYARD SUBDIVISION, SAID POINT BEING A POINT ON THE WEST LINE OF THE EXISTING US-89 (STATE STREET) KNOWN AS PROJECT NO. F-0089(375)364 DATED 6-15-17, SAID POINT BEING S 00°03'20" W GRID (NAD 83 (1994) UTAH CENTRAL ZONE) 697.42 FEET, AND S 89°23'57" E 53.30 FEET, FROM THE NORTHEAST CORNER OF SAID SECTION 24, SAID POINT ALSO BEING 53.00 FEET PERPENDICULARLY DISTANT, WESTERLY FROM THE US-89 (STATE STREET) CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 35+24.51; THENCE ALONG SAID WEST LINE THE FOLLOWING SEVEN (7) COURSES: (1) S 2°35'42" W ALONG SAID LINE 0.20 FEET, TO A POINT BEING 53.00 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE, OPPOSITE APPROXIMATE ENGINEER STATION 34+56.34; (2) S 11°56'17" W 66.88 FEET, TO A POINT 64.18 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 34+56.34; (3) S 2°35'41" W ALONG SAID LINE 51.46 FEET, TO A POINT BEING 64.18 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 34+04.87; (4) S 8°52'51" W 19.30 FEET, TO A POINT 66.30 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE OPPOSITE APPROXIMATE ENGINEER STATION 33+85.86; (5) S 1°56'10" W 51.71 FEET, TO A POINT BEING 65.70 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE, OPPOSITE APPROXIMATE ENGINEER STATION 33+33.98; (6) S 32°24'44" E 22.14 FEET, TO A POINT BEING 53.00 FEET PERPENDICULARLY DISTANT, WESTERLY FROM SAID CONTROL LINE, OPPOSITE APPROXIMATE ENGINEER STATION 33+15.84; AND (7) S 2°35'42" W ALONG SAID LINE 144.60 FEET, TO THE NORTH LINE OF A PARCEL OF LAND CONVEYED IN A QUIT CLAIM DEED RECORDED AS ENTRY NO. 7291808, IN BOOK 8259, AT PAGE 2506, OFFICIAL RECORDS; THENCE ALONG SAID LINE AND THE EXTENSION OF SAID LINE N 89°56'29" W 414.25 FEET, TO THE EAST LINE OF AUTO MALL DRIVE SOUTH, AS DEDICATED IN THE ROAD DEDICATION PLAT RECORDED AS INSTRUMENT NO. 10288479, IN BOOK 2007P, AT PAGE 462, OFFICIAL RECORDS; THENCE ALONG SAID EAST LINE THE FOLLOWING TWO (2) COURSES: 1) N 02°36'20" E 36.20 FEET, TO THE BEGINNING OF A TANGENT CURVE THAT IS CONCAVE TO THE WEST, WITH A RADIUS OF 374.00 FEET, AND 2) NORTHERLY 173.26 FEET ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 26°32'33", TO THE EAST LINE OF THAT CERTAIN PARCEL OF LAND OWNED BY SALT LAKE CITY CORPORATION, AS CONVEYED IN THAT SPECIAL WARRANTY DEED, ENTRY NO. 10286579, IN BOOK 9541, AT PAGE 9700; THENCE ALONG SAID EAST LINE THE FOLLOWING TWO (2) COURSES: 1) N 40°09'08" E 22.94 FEET, AND 2) N 04°15'19" W 135.19 FEET, TO THE SAID SOUTH LINE OF SCHOOLYARD SUBDIVISION; THENCE S 89°23'57" E ALONG SAID LINE 455.64 FEET, TO THE POINT OF BEGINNING.

CONTAINS 152,281 SQ FT, OR 3.50 ACRES AND 2 LOTS

## NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO RE-ESTABLISH THE BOUNDARY OF THE ABOVE DESCRIBED PARCEL. THE SURVEY WAS PERFORMED AT THE REQUEST OF OUR CLIENT. THE BASIS OF BEARING FOR THIS SURVEY IS N 89°41'17" W ALONG THE SECTION LINE, BETWEEN TWO FOUND MONUMENTS, TYPE AND LOCATIONS OF WHICH ARE SHOWN ON THIS PLAT.

THE FOLLOWING DOCUMENTS OF RECORD WERE REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY. THERE MAY BE OTHER DOCUMENTS EITHER PRIVATE OR OF RECORD THAT WOULD AFFECT THIS SURVEY. ANY NEW EVIDENCE CONTRADICTORY TO THIS SURVEY SHOULD BE PRESENTED TO CIVIL SCIENCE FOR REVIEW AND CONSIDERATION.

ROAD DEDICATION AUTO MALL DRIVE SOUTH, RECORDED NOVEMBER 30, 2007, AS ENTRY NO. 10288479, IN BOOK 2007P, PAGE 462  
ONEELEVENSANDY SUBDIVISION, RECORDED DECEMBER 3, 2018, AS ENTRY NO. 12896416, IN BOOK 2018P, AT PAGE 406  
ONE 14 SUBDIVISION, RECORDED APRIL 6, 2011, AS ENTRY NO. 11162197, IN BOOK 2011P, AT PAGE 39  
SCHOOLYARD SUBDIVISION, RECORDED FEBRUARY 1, 2019, AS ENTRY NO. 12927925, IN BOOK 2019P, AT PAGE 50  
QUIT CLAIM DEED ENTRY NO. 14055223, RECORDED DECEMBER 21, 2022, IN BOOK 11392, AT PAGE 2338  
QUIT CLAIM DEED ENTRY NO. 14055225, RECORDED DECEMBER 21, 2022, IN BOOK 11392, AT PAGE 2344  
RECORD OF SURVEY S2009-01-0064, PREPARED BY CLC ASSOCIATES  
SURVEY PREPARED BY BUSH & GUDGELL DATED AUGUST 2, 2013  
SURVEY PREPARED BY BUSH & GUDGELL DATED SEPTEMBER 24, 2014, AS JOB NO. V-142117-ALTA  
RECORD OF SURVEY S2018-11-0700, PREPARE BY AWA  
WARRANTY DEED ENTRY NO. 12917010, RECORDED JANUARY 10, 2019, IN BOOK 10745, AT PAGE 258



PARCEL NO. 27-24-227-015 AND 27-24-227-016

3160 WEST CLUBHOUSE DRIVE  
LEHI, UT 84043  
801.768.7200

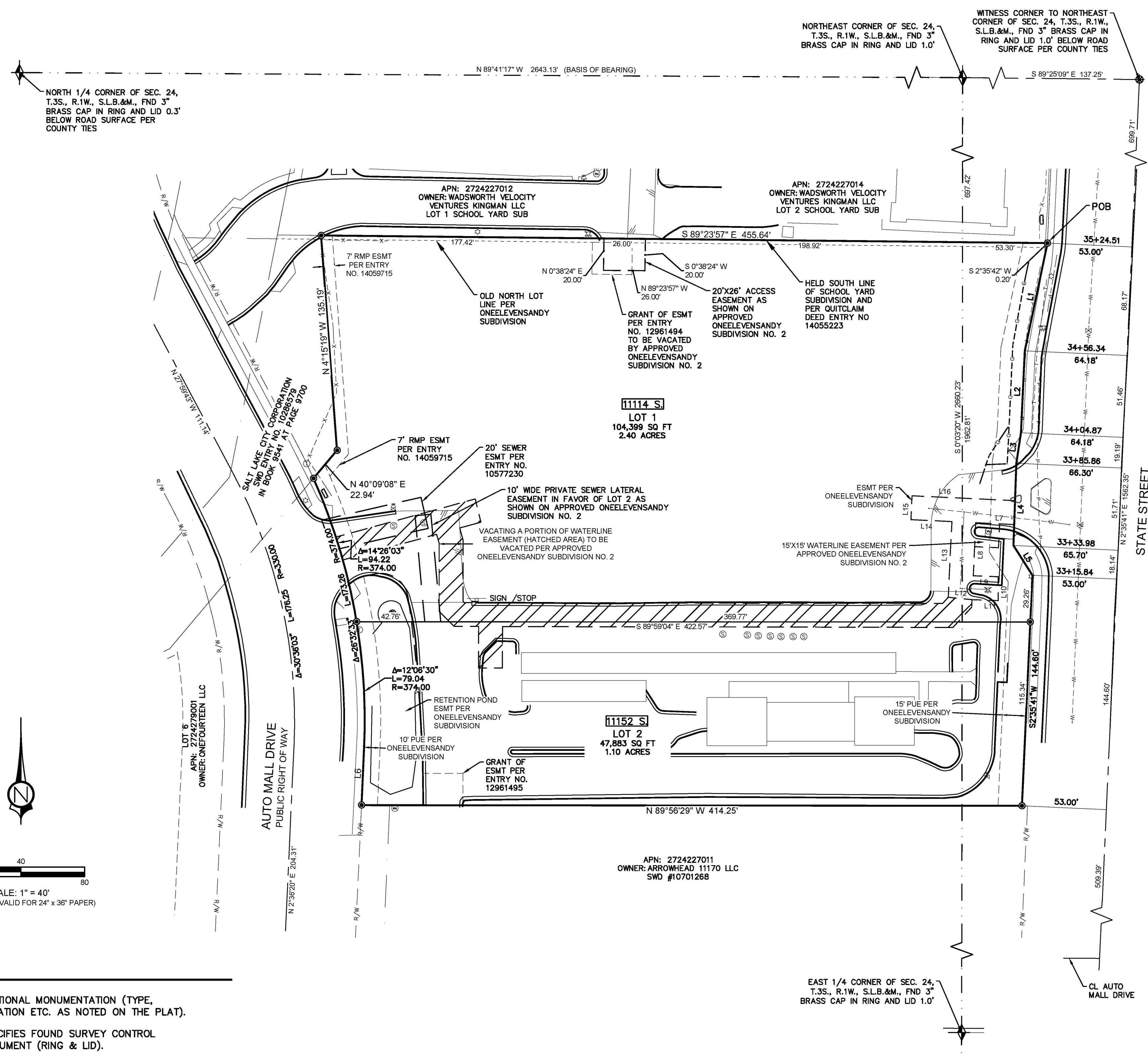


RECORD OF SURVEY PLAT  
LOCATED IN  
NE 1/4 OF SECTION 24, TOWNSHIP 3 SOUTH, RANGE 1 WEST, AND THE  
NW 1/4 OF SECTION 19, TOWNSHIP 3 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE & MERIDIAN

PROJ. # FX24210  
DATE: 08-27-24  
DRAWN BY: DM  
CHECKED BY: OTM  
amr@metrometro.com  
SCALE OF SHEET  
HOR SCALE: 1" = 40'

SHEET  
1  
OF  
1

**S2025-07-0529**  
**Bradley E. Park, P.L.S.**  
**SALT LAKE COUNTY SURVEYOR**



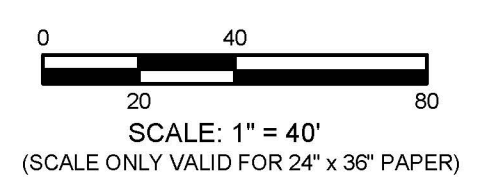
Line Table		
Line Number	Length	Direction
L1	66.88	S11°56'17"W
L2	51.46	S2°35'41"W
L3	19.30	S8°52'51"W
L4	51.71	S1°56'10"W
L5	22.14	S32°24'44"E
L6	36.20	N2°36'20"E

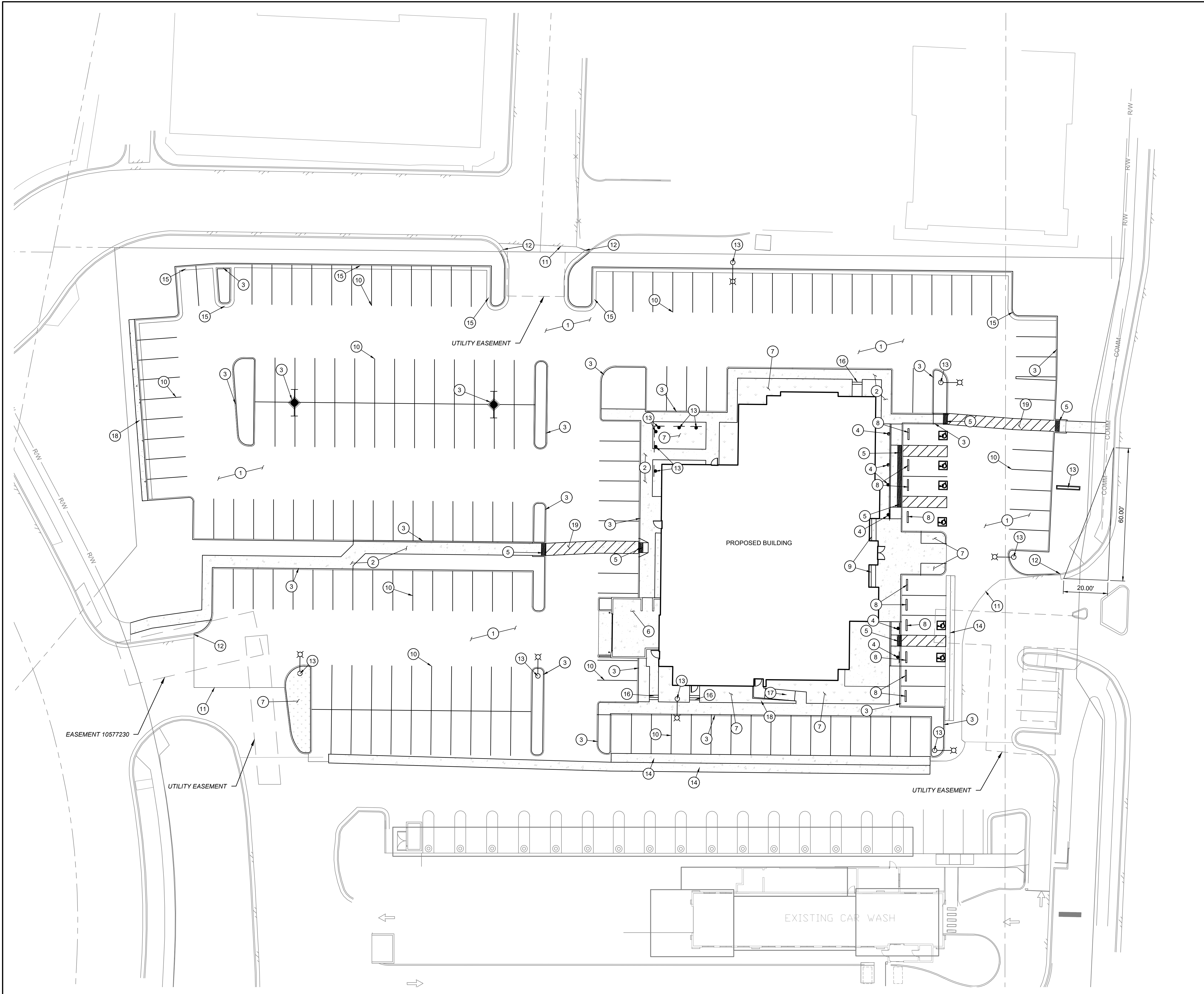
## NOTES

- NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES, PLEASE CONTACT THE APPROPRIATE AGENCIES OR OTHER.
- SURVEYOR RELIED UPON TITLE COMMITMENT PROVIDED BY METRO NATIONAL TITLE COMPANY, COMMITMENT NUMBER 102120, DATED JUNE 7, 2024 AT 7:45AM.
- THE FIELD WORK WAS PERFORMED ON JUNE 11, 2024.

## LEGEND

- SECTIONAL MONUMENTATION (TYPE, LOCATION ETC. AS NOTED ON THE PLAT).
- SPECIFICS FOUND SURVEY CONTROL MONUMENT (RING & LID).
- 
- SPECIFICS FOUND SURVEY CONTROL MONUMENT (RIVET) UNLESS OTHERWISE NOTED
- EXISTING SECTION LINE
- EXISTING CENTERLINE
- EXISTING PROPERTY LINE
- PROPOSED LOT LINE
- EASEMENT AS NOTED
- EXISTING RIGHT OF WAY LINE
- EXISTING ADJACENT PROPERTY LINE



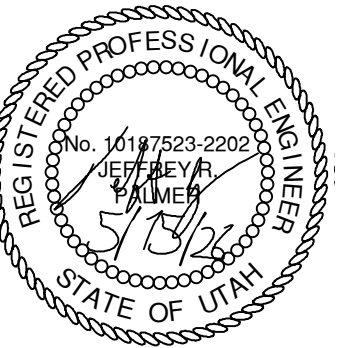


**GENERAL SHEET NOTES**

1. Contractor is responsible for verifying existing conditions, dimensions, and grades on-site prior to beginning construction. Any discrepancies shall be reported to the engineer immediately.
2. Protect existing trees, vegetation, and site features not designated for removal.
3. Maintain access to adjoining properties and public rights-of-way unless otherwise approved.
4. All work areas must be restored to their original condition or as specified upon project completion.

**SHEET KEYNOTES**

1. PROPOSED ASPHALT PER GEOTECHNICAL REPORT. PER DETAIL A. SEE SHEET C-500
2. PROPOSED CONCRETE SIDEWALK PER SANDY CITY DETAIL SW-03. SEE SHEET C-501
3. PROPOSED TYPE P CURB PER APWA PLAN NO. 209. SEE SHEET C-500
4. ADA PARKING SIGN PER SANDY CITY DETAIL SN-01. SEE SHEET C-501
5. CURB RAMP PER SANDY CITY DETAIL SW-01. SEE SHEET C-501
6. DUMPSTER ENCLOSURE & PAD PER GEOTECHNICAL REPORT.
7. PROPOSED LANDSCAPE. SEE LANDSCAPE PLANS.
8. CONCRETE WHEEL STOP PER SANDY CITY STANDARDS.
9. WAITING BENCH. SEE ARCHITECTURAL PLANS.
10. WHITE PARKING STRIPE PER M.U.T.C.D. STANDARDS.
11. PROPOSED ASPHALT TIE-IN TO EXISTING
12. CONNECT TO EXISTING CURB AND GUTTER PER APWA PLAN NO.206 SEE SHEET C-500
13. SEE ARCHITECTURAL PLANS.
14. PROPOSED 4" WATERWAY PER APWA PLAN NO. 211. SEE SHEET C-502
15. PROPOSED TYPE A 24" CURB PER APWA PLAN NO. 205.1. SEE SHEET C-504
16. CONCRETE STAIRWAY WITH HANDRAIL PER DETAIL E. SEE SHEET C-506
17. INSTALL RAMP WITH HANDRAIL AND BASE PER DETAILS H & G. SEE SHEET C-506
18. RETAINING WALL WITH GUARDRAIL. SEE STRUCTURAL PLANS
19. PROPOSED CONCRETE PER GEOTECHNICAL REPORT. PER DETAIL B. SEE SHEET C-500



**STATE ST. RESTAURANT**  
 11114 S. STATE ST. SANDY, UTAH 84070

REVISIONS	MARK	DATE	DESCRIPTION

PROJECT NO: 24361  
 DATE: MAY 2026  
 DESIGN BY: JOSH S.  
 CHECKED BY: JEFF P.  
 SHEET TITLE

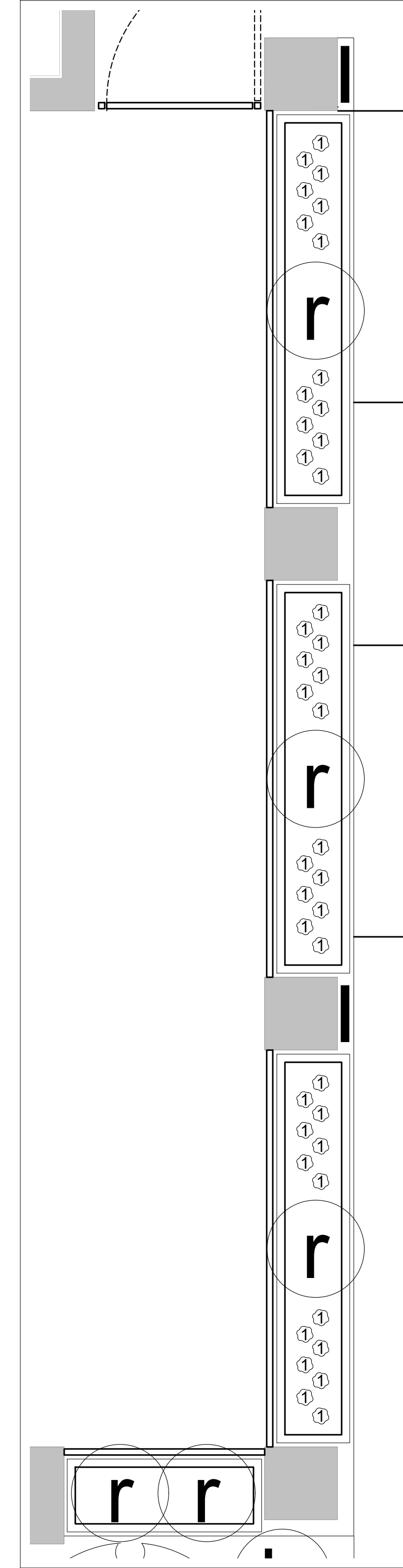
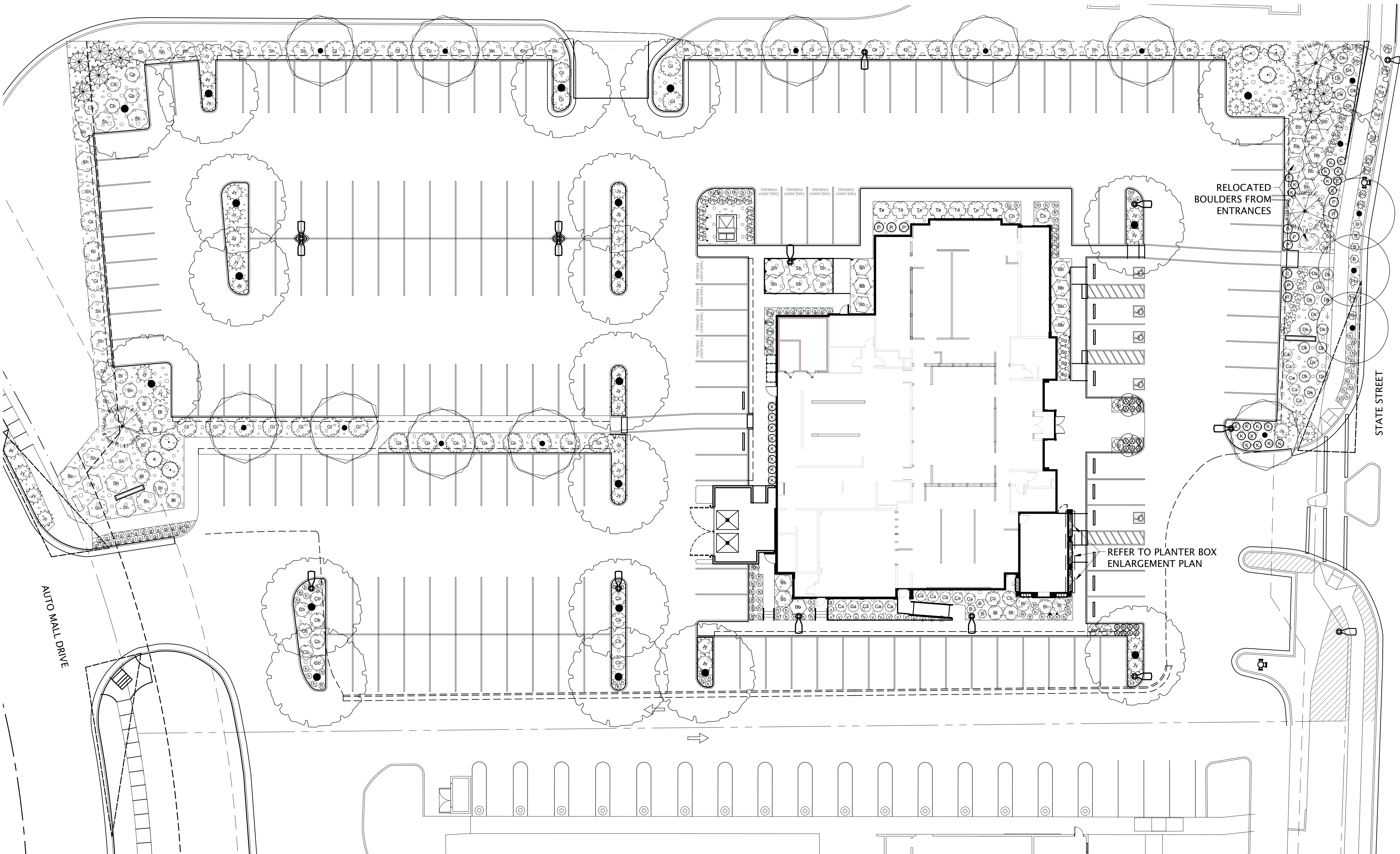
**SITE PLAN**

C-101  
 4 OF 17



FILENAME: L:\DWG\Projects\11114 S. State St. Restaurant\11114 S. State St. Restaurant.dwg DATE: 5/14/2026 10:41 AM

PRELIMINARY



**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME
<b>DECIDUOUS TREES</b>	
	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' / THORNLESS HONEY LOCUST
	MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE
	MALUS X 'JFS KW213MX' / RASPBERRY SPEAR® CRABAPPLE
	QUERCUS MACROCARPA 'JFS-KW3' / URBAN PINNACLE® OAK
<b>EVERGREEN TREES</b>	
	PICEA ABIES 'CUPRESSINA' / CUPRESSINA NORWAY SPRUCE
	PICEA PUNGENS 'BABY BLUE EYES' / BABY BLUE EYES SPRUCE
	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE

SYMBOL	BOTANICAL / COMMON NAME
<b>EXISTING TREES</b>	
	EXISTING DECIDUOUS TREE TO REMAIN
<b>ANNUALS/PERENNIALS</b>	
	GAURA LINDHEIMERI 'BANTAM® PINK' / WHIRLING BUTTERFLIES
	HEMEROCALLIS X 'PASSIONATE RETURNS' / DEEP PINK MIDSUMMER DAYLILY
	HEMEROCALLIS X 'STELLA SUPREME' / STELLA SUPREME DAYLILY
	PETUNIA X HYBRIDA 'PAS320593' / BLUE EASY WAVE® PETUNIA
	SALVIA NEMOROSA 'SENSATION DEEP BLUE IMPROVED' / DEEP BLUE SAGE
<b>DECIDUOUS SHRUBS</b>	
	BERBERIS THUNBERGII 'BAILELLA' / LAMBRUSCO™ JAPANESE BARBERRY
	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY JAPANESE BARBERRY
	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB
	CORNUS ALBA 'JEFREB' LITTLE REBEL® / LITTLE REBEL DOGWOOD
	CORNUS SERICEA 'BAILADELINE' / FIREDANCE™ RED TWIG DOGWOOD
	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH
	PEROVSKIA ATRIPLICIFOLIA 'BLUE JEAN BABY' / BLUE JEAN BABY RUSSIAN SAGE
	PHYSOCARPUS OPULIFOLIUS 'ZLEYEL2' / RASPBERRY LEMONADE™ NINEBARK
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
	RIBES ALPINUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRANT
	SPIRAEA X BUMALDA 'GOLDFLAME' / GOLDFLAME SPIREA
	SYMPHORICARPOS X CHENAULTII 'HANCOCK' / HANCOCK CHENAULT CORALBERRY

<b>EVERGREEN SHRUBS</b>	
	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN' / YOUNGSTOWN CREEPING JUNIPER
	PINUS MUGO 'SLOWMOUND' / MUGO PINE
	TAXUS X MEDIA 'EVERLOW' / EVERLOW ANGLO-JAPANESE YEW
<b>ORNAMENTAL GRASSES</b>	
	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS
	PENNISETUM ALOPECUROIDES 'HAMELN' / DWARF FOUNTAIN GRASS
<b>GROUND COVERS</b>	
	1-1/2" SOUTHTOWN COBBLE ROCK MULCH / ROCK MULCH
	EXISTING LANDSCAPE TO REMAIN

**PLANTER BOX ENLARGEMENT PLAN**  
SCALE: 1" = 2'-0"

OUTBACK STEAKHOUSE AND BONEFISH GRILL	
LANDSCAPE AREA*	PROVIDED: 15,944 S.F. (0.412 ACRES)
LANDSCAPE TURF	PROVIDED: 0 S.F. (0.0%)
LANDSCAPE PLANTER BED AREA	PROVIDED: 15,944 S.F.
PARKING LOT TREES REQ. (2 TREES PER ISLAND) = 20	PROVIDED: 24
STREET TREES REQ. (1 EVERY 30') = 5	PROVIDED: 5
33% PLANT COVERAGE (EXCLUDING TREE CANOPIES) PER SANDY CITY DEVELOPMENT CODE TITLE 21, CHAPTER 25	PROVIDED: 44%
40% OF ALL ON SITE TREES TO BE EVERGREEN	TOTAL ON SITE TREES: TOTAL EVERGREEN TREES (40%)

\* ALL AREAS ARE FOR ENTIRETY OF LANDSCAPE SHOWN TO BE IMPROVED AND/OR MAINTAINED BY THE PARCEL OWNER, WHICH INCLUDES LANDSCAPE AREA OUTSIDE OF PROPERTY EXTENTS, SUCH AS PARK STRIPS OR OTHER LANDSCAPE. SEE CIVIL PLANS FOR PLAT BOUNDARIES.

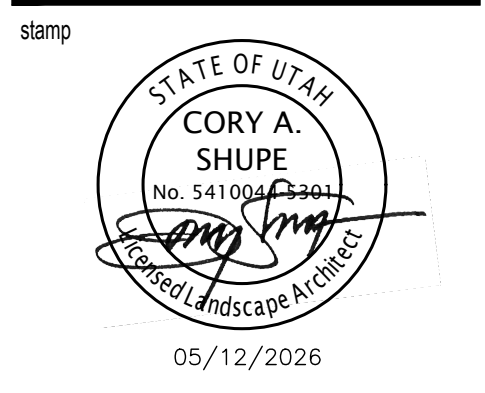
ANY CHANGES TO PLANS MUST BE APPROVED BY CITY STAFF AND LANDSCAPE ARCHITECT.



UNPUBLISHED WORK  
© 2025 MERRICK LENTZ ARCHITECTURE/  
CHANEY BEAGLE ARCHITECTS, PLLC  
Unauthorized use or reproduction of these drawings  
or any part herein without the permission of  
Merrick Lentz Architecture is not permitted.



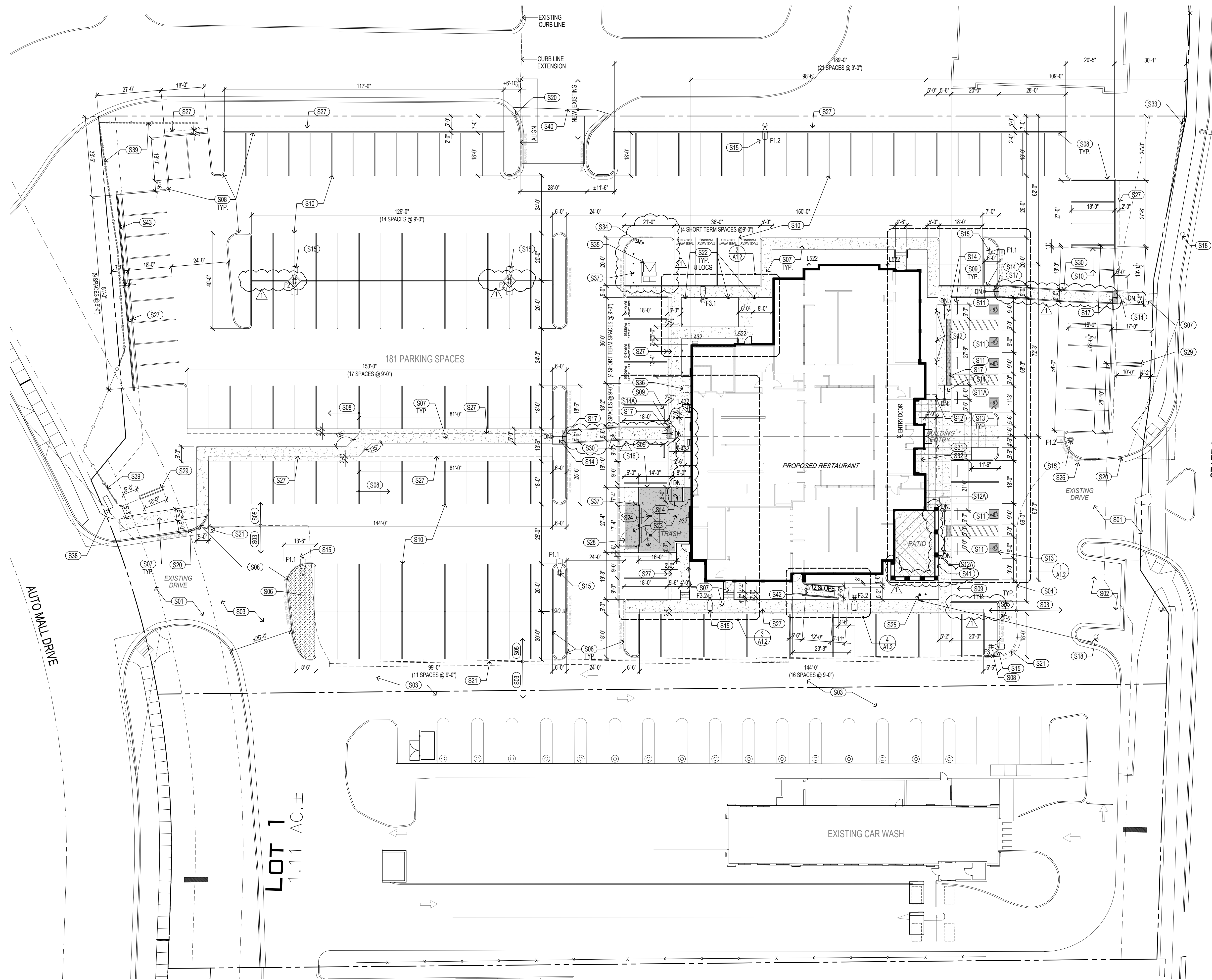
12815 NE 126th Place, Kirkland, WA 98034  
t.425.747.3177 www.mlarch.com



11114 S. State Street  
Sandy, Utah 84070  
site plan review

drawing title	
project name	
consultant	
stamp	
drawn by	ES
checked by	RD/CS
issued	
date	
description	

05/12/2026 SITE PLAN SUBMITTAL  
LP-101



**SITE PLAN**  
SCALE: 1" = 20'-0"  
PARCEL NUMBER: 27242270150000

**SITE COVERAGE**

DESCRIPTION	AREA (SF)	%
BUILDING/PATIO	11,627	11.1%
DUMPSTER ENCLOSURE	570	0.6%
CONCRETE WALKS	6071	5.8%
LANDSCAPING-BUILDING	2408	2.3%
LANDSCAPING-PARKING LOT/PERIMETER	12,209	11.7%
ASPHALT PAVING	71,514	68.5%
SITE AREA	104,399	

**SITE PLAN NOTES**

- S01 EXISTING ENTRANCE, EXIT TO REMAIN
- S02 EXISTING PARKING TO REMAIN
- S03 EXISTING ASPHALT PAVING TO REMAIN
- S04 EDGE OF EXISTING PAVING, THE NEW INTO EXISTING PER CIVIL
- S05 NEW ASPHALT PAVING PER CIVIL
- S06 PORTION OF EXISTING ASPHALT PAVING AND SUBBASE TO BE REMOVED FOR NEW PLANTER
- S07 NEW CONCRETE SIDEWALK ON GRADE OVER COMPACTED GRAVEL BASE, W/ INTEGRAL CURB WHERE ADJACENT TO ASPHALT PAVING (EXCEPT WHERE FLUSH W/ PAVING), PER CIVIL
- S08 NEW EXTRUDED CONCRETE CURB PER CIVIL
- S09 NEW PREMAN CONCRETE WHEEL STOP, TYP. PER CIVIL
- S10 NEW WHITE PAVEMENT STRIPE, TYP., PER CIVIL
- S11 NEW ACCESSIBLE PARKING STALL PER XIA1.2; VAN ACCESSIBLE AT "A"
- S12 ACCESSIBLE PARKING STALL SIGN, PER XIA1.2, BUILDING MOUNTED AT "A"
- S13 NEW INTL SYMBOL OF ACCESSIBILITY; REFER XIA1.2
- S14 ACCESSIBLE CURB RAMP, 6" MAX. RISE, 6'-0" RUN, 1:12 SLOPE, W/ 6" CURB WHERE ADJ. TO LANDSCAPING, REFER CIVIL. (2" RISE AT "A")
- S15 PARKING LOT AREA LIGHT PER SITE LIGHTING SCHEDULE PER XIA1.X
- S16 NEW CMU TRASH/RECYCLING ENCLOSURE, PER XIA1.2
- S17 NEW 24" DETECTABLE WARNING STRIP FULL WIDTH OF RAMP (5'0" WIDE AT "A"); PER XIA1.2
- S18 EXISTING FIRE HYDRANT TO REMAIN
- S19 SET CONCRETE SIDEWALK FLUSH TO PAVING
- S20 TIE IN NEW EXTRUDED CURB TO EXISTING, PER CIVIL
- S21 PORTION OF EXISTING EXTRUDED CURB TO BE REMOVED
- S22 "TAKE AWAY PARKING ONLY" SIGN PER XIA1.2
- S23 6" CONCRETE SLAB ON GRADE W/ #4 @ 18" o.c. EA. WAY CENTERED
- S24 AREA DRAIN PER CIVIL. SLOPE SLAB TO DRAIN.
- S25 PROPOSED FDC AND PIV PER CIVIL AND FIRE SPRINKLER DESIGN/BUILD
- S26 FIRE LANE SIGNAGE AND MARKINGS AS REQ'D PER CODE. SEE FIRE DEPARTMENT COMMENTS ON APPROVED PLANS FOR FINAL LOCATION OF FIRE LANES.
- S27 2'-0" VEHICLE OVERHANG AT SIDEWALK/LANDSCAPING
- S28 12" HIGH WHITE LETTERS AS INDICATED
- S29 NEW MONUMENT SIGN UNDER SEPARATE PERMIT
- S30 5' WIDE CONCRETE PEDESTRIAN PATH/CROSSING, BROOM FINISH, 4" WHITE PAINT LINES ON PERIMETER OF CONCRETE
- S31 CANOPY ABOVE
- S32 WAITING BENCH, TYP.
- S33 AREA OF FRONTAGE TO BE DEDICATED TO R.O.W. (EXTENDING 12' BEHIND EDGE OF EXISTING SIDEWALK)
- S34 NEW FIRE HYDRANT
- S35 SITE TRANSFORMER PER ELECTRICAL DRAWINGS
- S36 LOCATION OF ELECTRICAL SWITCHGEAR
- S37 BOLLARD, TYP., PER XIA1.2
- S38 EXISTING TRANSFORMER TO REMAIN
- S39 EXISTING CHAIN LINK FENCE. REMOVE PORTION ON PROPERTY, TYP.
- S40 TIE ASPHALT PAVING THIS PROPERTY INTO EXISTING ASPHALT PAVING ON ADJACENT PROPERTY. SEAL JOINT.
- S41 PREMAN/UPD GFRG PLANTER, 18" W, 24" TALL, LENGTH: (3) @ 8', (2) @ 4', (1) @ 5'; W/ DRIP IRRIGATION
- S42 CONCRETE RAMP, SLOPE 1:12, W/ HANDRAIL EA. SIDE, REFER XIA1.3
- S43 CONCRETE RETAINING WALL PER STRUCTURAL, W/ 42" TALL CHAIN LINK FENCE ON TOP OF WALL (BLACK VINYL-COATED)

**PARKING CALCULATIONS**

**SEATING SUMMARY**

SEATING SUMMARY	ACCESSL TABLES REQD (5%)
OUTBACK DINING	144 SEATS 8 LOC'S
OUTBACK PRIVATE DINING	36 SEATS 2 LOC'S
BONEFISH DINING	91 SEATS 5 LOC'S
BONEFISH PRIVATE DINING	68 SEATS 4 LOC'S
BAR/LOUNGE	44 SEATS 3 LOC'S
WAITING	20 SEATS 1 LOC
TOTAL INSIDE	403 SEATS 21 LOC'S
PATIO 1	24 SEATS 2 LOC'S
WAITING PATIO	20 SEATS 1 LOC
TOTAL SEATS	447 SEATS

**PARKING CALCULATION**  
1 space per 3 seats (including outdoor seating) plus 0.5 space/number of employees on the largest shift (minimum of 5 employee spaces)

GUEST PARKING: 447 Seats/3 seats/space = 149 parking spaces  
EMPLOYEE PARKING: 44 Employees x 0.5 space/Emp'l = 22 spaces  
REQUIRED PARKING: 171 Parking Spaces

PROPOSED PARKING: 173 Guest Parking Spaces (101.1% of Req'd)  
PROPOSED TEMPORARY PARKING (Take-Away): 8 spaces  
TOTAL PROPOSED PARKING: 181 spaces

UNPUBLISHED WORK  
© 2025 MERRICK LENTZ ARCHITECTURE/  
CHANEY BEAGLE ARCHITECTS, PLLC  
Unauthorized use or reproduction of these drawings  
or any part herein without the permission of  
Merrick Lentz Architecture is not permitted.

**ML**  
**MERRICK LENTZ ARCHITECTURE**

12815 NE 126th Place, Kirkland, WA 98034  
1.425.747.3177 www.mlarch.com

stamp  
STATE OF WASHINGTON  
Professional Seal of Merrick Lentz  
No. 14202450/0301  
LICENSED ARCHITECT

This seal/signature is valid only for the original version of this document as issued by the Consultant. Any subsequent modifications, alterations, or unauthorized use render the seal/signature invalid.

consultant

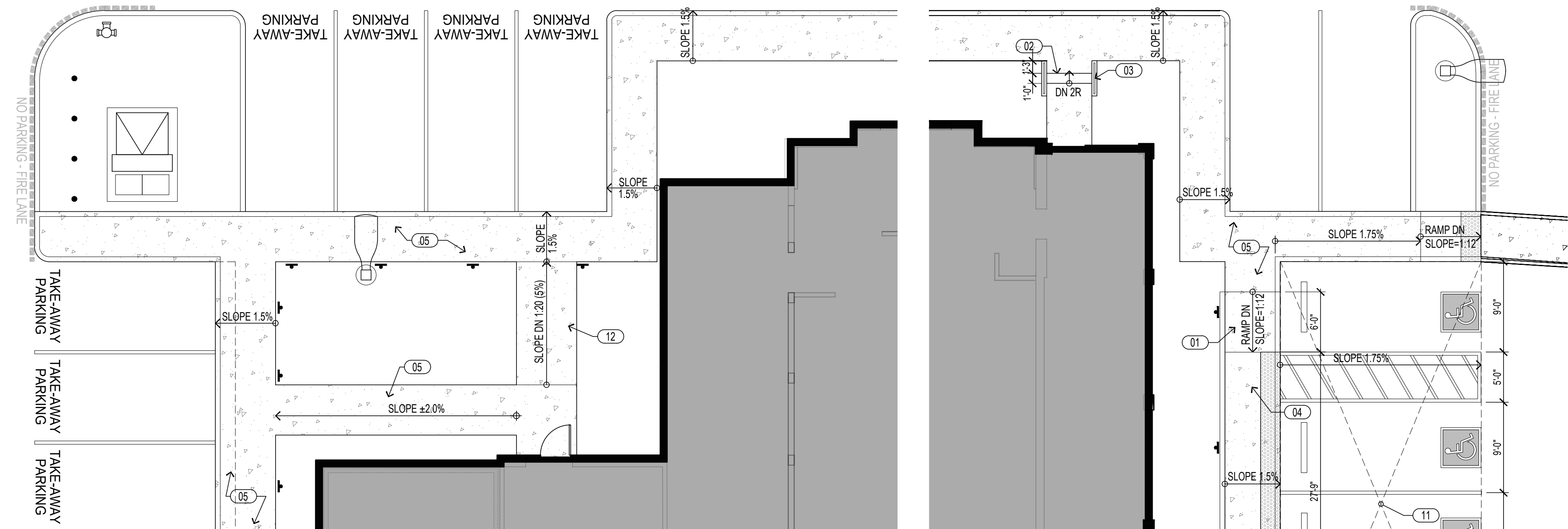
project name  
**OUTBACK STEAKHOUSE**  
**BONEFISH GRILL**  
Dual Store  
11114 S. State Street  
Sandy, Utah 84070  
site plan review

drawing title  
**ARCHITECTURAL SITE PLAN**

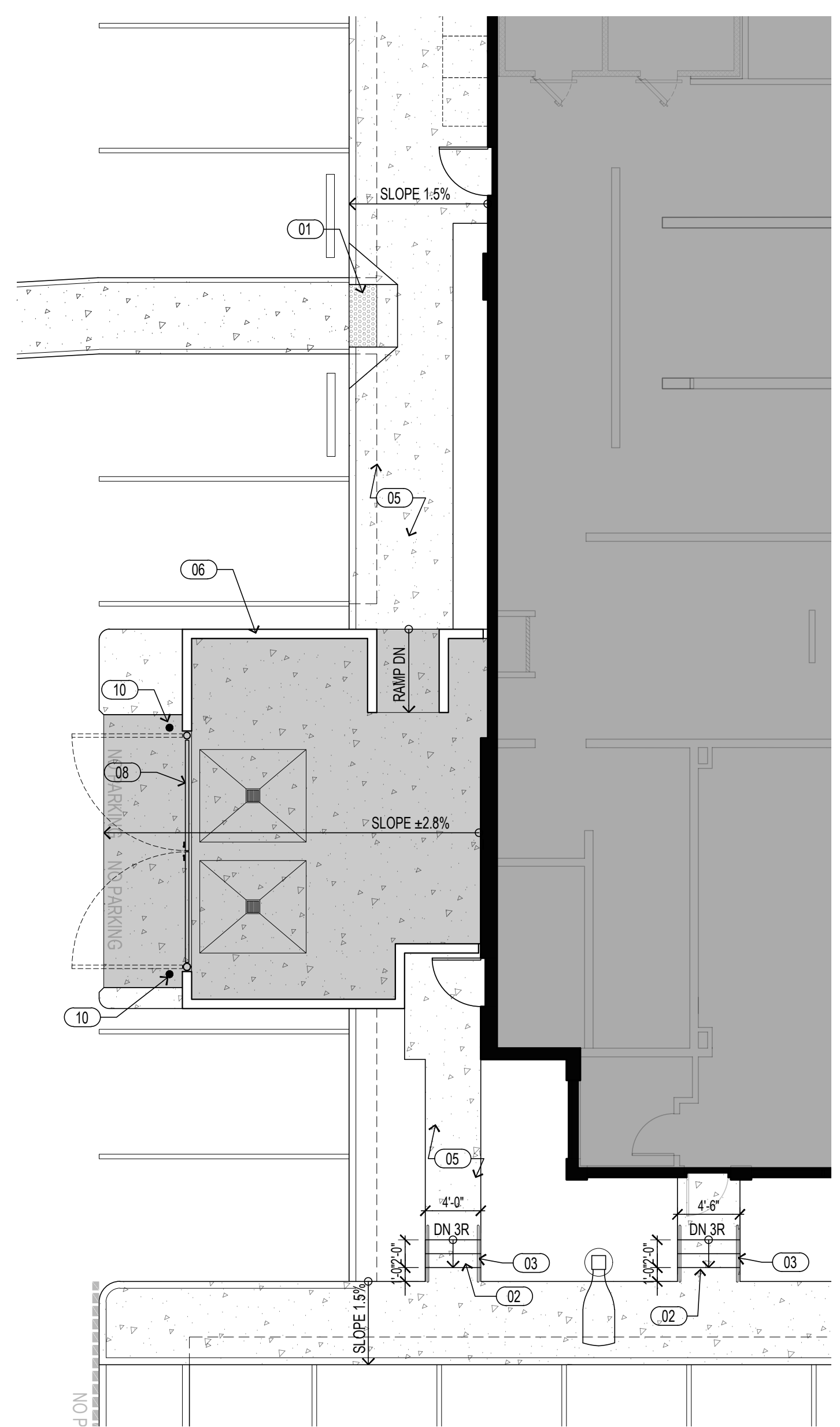
drawn by	CSC
checked by	CSC

5/12/26	SITE PLAN/DESIGN REVIEW-REV
12/30/25	REVISED LEASE EXHIBIT
issued date	description

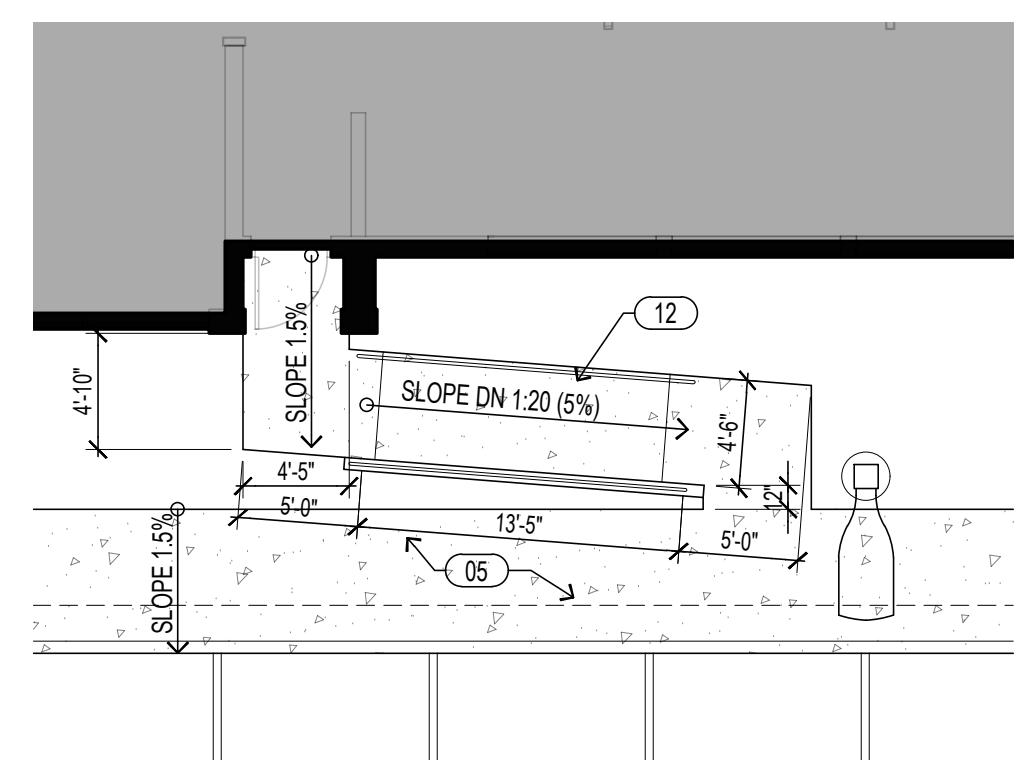
**A1.1**



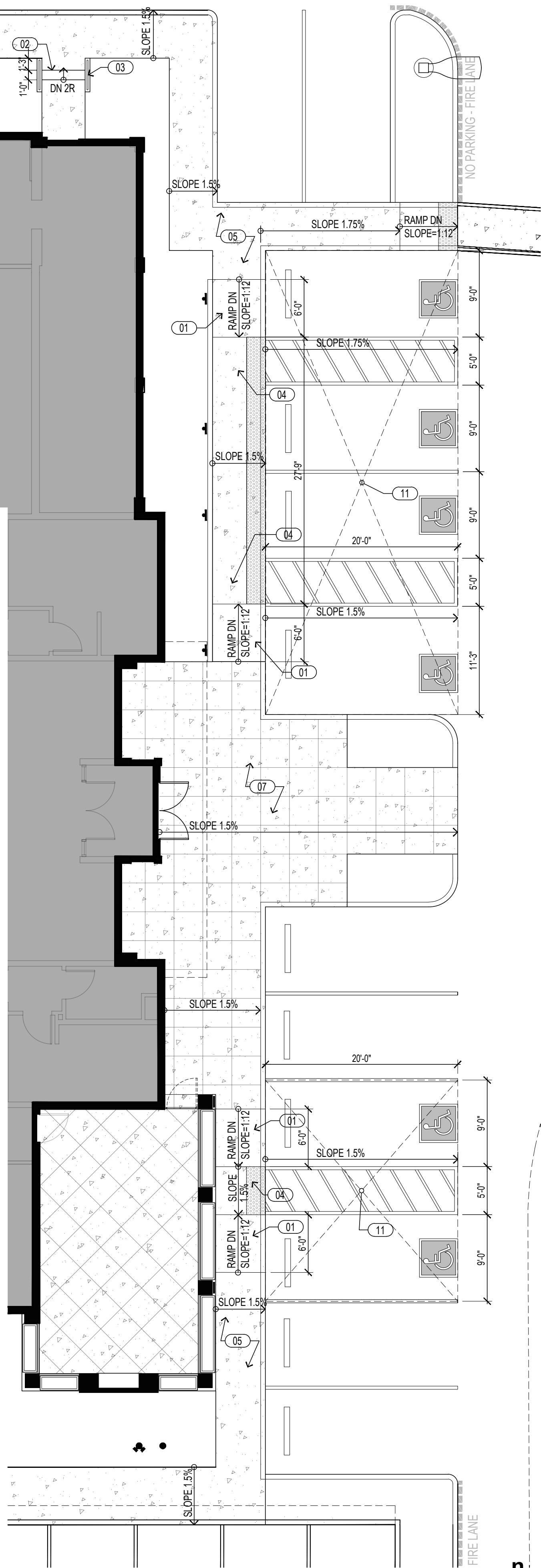
3 DETAIL SITE PLAN - TAKE AWAY ENTRY (NORTH)  
 A1.2 SCALE: 1/8" = 1'-0"



4 DETAIL SITE PLAN - KITCHEN DOOR/DUMPSTER (SOUTHWEST)  
 A1.2 SCALE: 1/8" = 1'-0"



4 DETAIL SITE PLAN - EXIT SIDEWALK (SOUTH)  
 A1.2 SCALE: 1/8" = 1'-0"

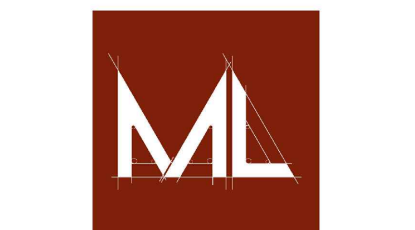


1 DETAIL SITE PLAN - BUILDING ENTRY (EAST)  
 A1.2 SCALE: 1/8" = 1'-0"

DETAIL SITE PLAN NOTES

- 01 CONCRETE RAMP DOWN; SLOPE=1:12 MIN. WIDTH AS INDICATED
- 02 CONCRETE STAIR DOWN; TREAD WIDTH AS SHOWN; RISER HEIGHT = 7" MAX., PER DETAIL
- 03 HANDRAIL EA. SIDE; 1-1/4" GALV. TOP @ +36" ABOVE RAMPING/SLOPE; MIN. 1-1/2" CLEAR TO WALL; EXTEND 12" MIN. BEYOND TOP AND BOT. OF RAMP/STAIR; RETURN ENDS TO WALL/POST
- 04 60" RAMP LANDING; MAX 2% SLOPE
- 05 CONCRETE WALK; 4" CONC. SLAB ON GRADE OVER 4" MIN. GRANULAR BASE COURSE OVER COMPACTED FILL AS REQ'D
- 06 CMU DUMPSTER ENCLOSURE WALL, PER STRUCTURAL
- 07 CONCRETE WALK PER NOTE 5; W/ TOOLED JOINTS @ 3'-0" o.c. EA. WAY, AS SHOWN
- 08 DUMPSTER GATE PER X/A1.2
- 09 PROVIDE FLAT CONCRETE PAD FOR OIL RECOVERY SYSTEM
- 10 6"Ø x48" BOLLARD; STEEL PIPE FILLED W/ CONCRETE; EMBED 42" IN 18" DIAMETER FTG
- 11 2% MAX SLOPE IN ANY DIRECTION AT ACCESSIBLE PARKING SPACE AND LOADING AREA
- 12 CONCRETE WALK PER NOTE 5. MAX. SLOPE = 5%

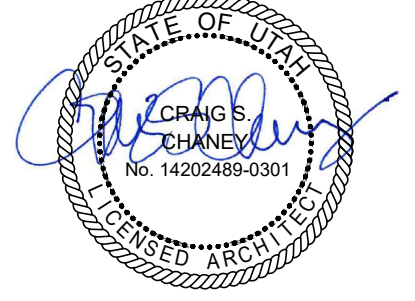
UNPUBLISHED WORK  
 © 2025 MERRICK LENTZ ARCHITECTURE/  
 CHANEY BEAGLE ARCHITECTS, PLLC  
 Unpublished use or reproduction of these drawings  
 or any part herein without the permission of  
 Merrick Lentz Architecture is not permitted.



MERRICK LENTZ  
 ARCHITECTURE

12815 NE 126th Place, Kirkland, WA 98034  
 1.425.747.3177 www.mlararch.com

stamp



This seal/signature is valid only for the original version of this document as issued by the Consultant. Any subsequent modifications, alterations, or unauthorized use render the seal/signature invalid.

consultant

project name



Dual Store

11114 S. State Street  
 Sandy, Utah 84070

site plan review

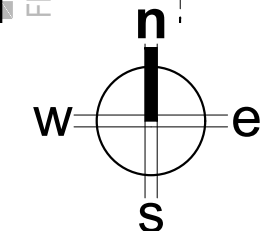
drawing title

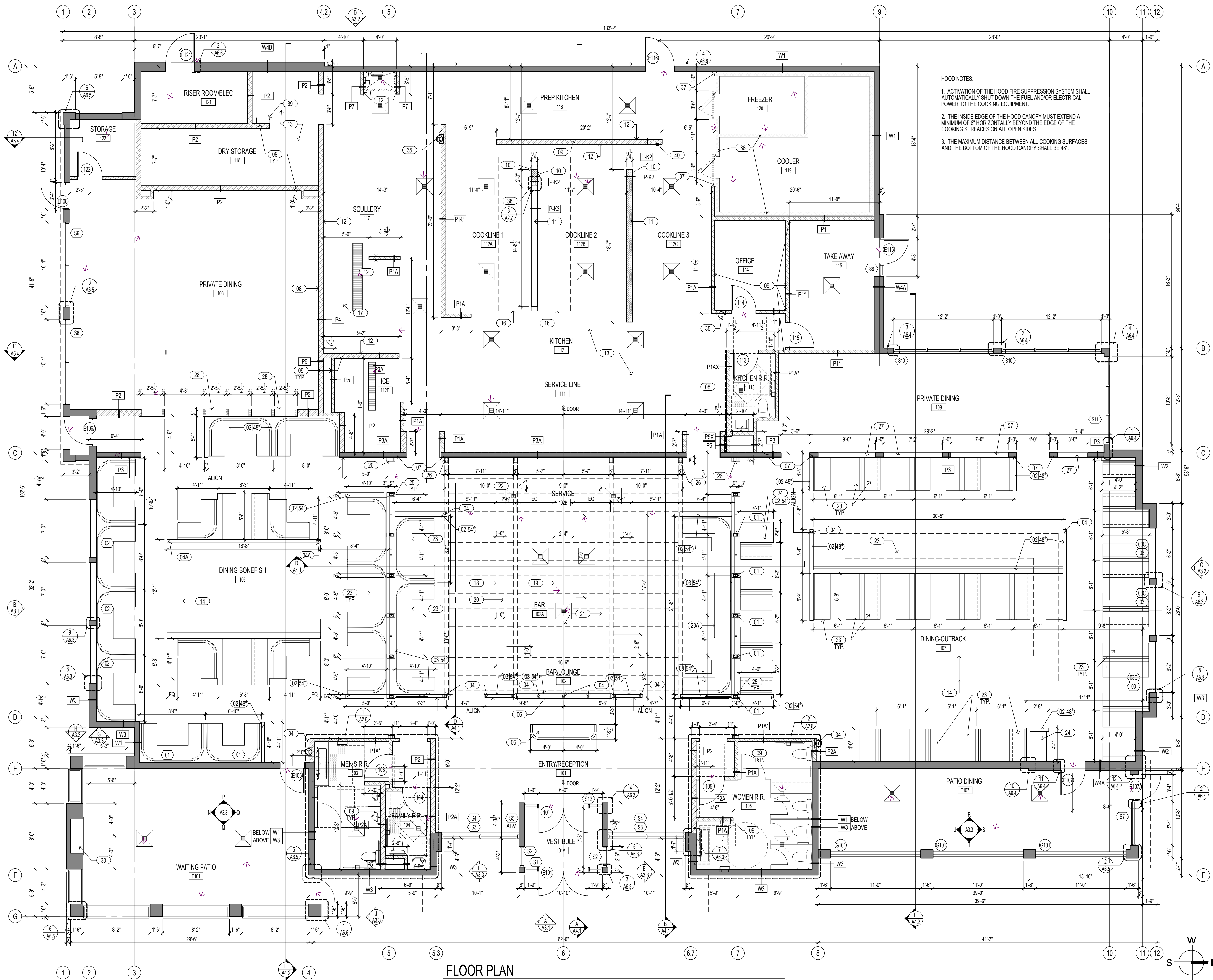
ARCHITECTURAL  
 DETAIL SITE  
 PLANS

drawn by CSC  
 checked by CSC

issued	date	description
5/12/26	5/12/26	SITE PLAN/DESIGN REVIEW-REV
12/30/25	12/30/25	REVISED LEASE EXHIBIT

A1.2





**HOOD NOTES:**

1. ACTIVATION OF THE HOOD FIRE SUPPRESSION SYSTEM SHALL AUTOMATICALLY SHUT DOWN THE FUEL AND/OR ELECTRICAL POWER TO THE COOKING EQUIPMENT.
2. THE INSIDE EDGE OF THE HOOD CANOPY MUST EXTEND A MINIMUM OF 6" HORIZONTALLY BEYOND THE EDGE OF THE COOKING SURFACES ON ALL OPEN SIDES.
3. THE MAXIMUM DISTANCE BETWEEN ALL COOKING SURFACES AND THE BOTTOM OF THE HOOD CANOPY SHALL BE 48".

**FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

- FLOOR PLAN NOTES**
- 01 COLUMN PER STRUCTURAL, TYP.; W/ MILLWORK SURROUND PER DETAIL AT "A"
  - 02 PARTIAL HEIGHT WALL PER SCHEDULE AND DETAIL; FINISHED TOP AT ELEV. INDICATED
  - 03 PARTIAL HEIGHT WALL W/ SIGHT-OBSCURING SCREEN ON FINISHED WALL CAP PER SCHEDULE AND DETAIL; FINISHED WALL CAP AT ELEV. INDICATED; TOTAL WALL HEIGHT = 5'-9"; U.N.O.
  - 04 PARTIAL HEIGHT WALL BRACE IN WALL FRAMING; CLARKDIETRICH PW36, OR EQ. TYP.; ANCHOR TO SLAB W/ (4) 1/2" TITEN HD OR (4) 1/2" x3-3/4" EXP. ANCHOR. W/ LGPW36 AT "A"
  - 05 RECEPTION DESK, F.O.I.C.; REFER ELEC'L FOR ELECTRICAL ROUGH-INS AND TRIM
  - 06 PARTIAL HEIGHT WALL W/ INSET DECORATIVE SIGHT-OBSCURING SCREEN PER SCHEDULE AND DETAIL; TOTAL WALL HEIGHT = 7'-2"
  - 07 INTERIOR BEARING WALL PER SCHEDULE AND STRUCTURAL
  - 08 INTERIOR STRUCTURAL WALL PER SCHEDULE AND STRUCTURAL
  - 09 INTERIOR NON-BEARING PARTITION WALL PER SCHEDULE, TYP. U.N.O.
  - 10 NON-COMBUSTIBLE KITCHEN HOOD WALL PER SCHEDULE THIS:
    - METAL STUDS @16"o.c. PER SCHEDULE
    - 14 GAUGE SHEET METAL WALL BACKING UP TO 106" A.F.F. AGAINST STUDS
    - 1/2" CEMENTITIOUS BOARD HOOD SIDE(S)
    - 5/8" GWB OPPOSITE SIDE WHERE APPLICABLE
    - STAINLESS STEEL WALL PANELS FULL HEIGHT OF WALL EA. SIDE
  - 11 PARTIAL HEIGHT NON-COMBUSTIBLE KITCHEN HOOD WALL PER SCHEDULE AND NOTE 10, TOP AT +4'-6"; WITH S.S. CLADDING ON SIDES AND TOP
  - 12 STAINLESS STEEL PANEL CLADDING FULL HEIGHT OF WALL - 22 GAUGE
  - 13 F.R.P. PANEL CLADDING FULL HEIGHT, TYP THROUGH KITCHEN, EXCEPT AS NOTED OTHERWISE, PROVIDE J-TRIM TERMINATION MOLDINGS AS FLOOR BASE, CEILINGS AND OTHER TERMINATIONS, PROVIDE T-MOLDINGS AT PANEL EDGES IN FIELD, AND INSIDE AND OUTSIDE CORNER MOLDING AT THEIR RESPECTIVE LOCATIONS.
  - 14 LINE OF SUSPENDED GWB SOFFIT ABOVE, REFER REFLECTED CEILING PLAN.
  - 15 LINE OF SUSPENDED DECORATIVE TRELLIS ABOVE, REFER REFLECTED CEILING PLAN
  - 16 LINE OF TYPE 1 KITCHEN EXHAUST HOOD ABOVE; REFER MECH DRAWINGS AND KITCHEN EQUIPMENT DRAWINGS.
  - 17 LINE OF TYPE 2 KITCHEN EXHAUST HOOD ABOVE; REFER MECH DRAWINGS AND KITCHEN EQUIPMENT DRAWINGS.
  - 18 BAR TOP, TOP @ 42" A.F.F.
  - 19 BAR CENTER ISLAND BY MILLWORK MANUF. COUNTER @ +42" A.F.F.; REFER KITCHEN DRAWINGS ELECTRICAL AND PLUMBING DRAWINGS.
  - 20 BAR DIE WALL; REFER BAR SECTION #18/2
  - 21 REFER KITCHEN DRAWINGS FOR BAR EQUIPMENT; EQUIPMENT BY KITCHEN SUPPLIER, REFER ELECTRICAL AND PLUMBING FOR ROUGH-INS AND CONNECTIONS.
  - 22 BACK BAR COUNTER AND CASEWORK, REFER KITCHEN DRAWINGS
  - 23 BUILT-IN BOOTH/BANQUET SEAT; REFER DINING PLAN FOR BOOTH TYPE, BOOTH SEAT ON 5-1/2" ELEVATED PLATFORM AT "A"
  - 24 SERVICE STATION CASEWORK, W/ SOLID SURFACE COUNTER @ + 42" A.F.F., PER 7/A9.3
  - 25 MILLWORK COLUMN SURROUND, TYP.; REFER DETAIL INDICATED
  - 26 BACK BAR WALL MILLWORK; REFER BUILDING SECTION AND INTERIOR ELEVATION FOR DETAIL CALLOUTS
  - 27 SILL @ +48" A.F.F.
  - 28 MILLWORK DIVIDING WALL; REFER INTERIOR DETAILS.
  - 29 HSS COLUMN PER STRUCTURAL.
  - 30 PREMANUFD GAS FIREPLACE; ZERO CLEARANCE, DIRECT VENT TO EXTERIOR, MAJESTIC ECHELON II 48 (NATURAL GAS), INSTALL AT ELEVATION INDICATED ON ELEVATION
  - 31 PREMANUFRD GFRC PLANTER; REFER ELEVATIONS
  - 32 1-1/2"x1-1/2" STEEL GUARDRAIL, COLOR: MT-1, TOP @ +42"
  - 33 STEEL GATE W/ PANIC EXITING HARDWARE
  - 34 FIRE EXTINGUISHER, RATED 2A:10-B:C, IN SEMI-RECESSED CASE
  - 35 FIRE EXTINGUISHER, CLASS K, IN SEMI-RECESSED CASE
  - 36 PREMANUFACTURED COOLER WALL BY KITCHEN EQUIPMENT SUPPLIER, TYP. REFER KITCHEN DRAWINGS
  - 37 COOLER CLOSURE PANEL, FULL HEIGHT TO UNDERSIDE OF CEILING ABOVE
  - 38 SIS FRYER CHASE BY KEC VENDOR, REFER DTL. 3/A2.7
  - 39 ROOF ACCESS LADDER PER 1/A2.3.1.
  - 40 HOOD FIRE SUPPRESSION MANUAL ACTIVATION DEVICE AT +52" A.F.F.;

UNPUBLISHED WORK  
© 2025 MERRICK LENTZ ARCHITECTURE/  
CHANEY BEAGLE ARCHITECTS, PLLC  
Unauthorized use or reproduction of these drawings  
or any part herein without the permission of  
Merrick Lentz Architecture is not permitted.

**MERRICK LENTZ ARCHITECTURE**

12815 NE 126th Place, Kirkland, WA 98034  
1425.747.3177 www.mllarch.com

stamp

STATE OF WASHINGTON  
Professional Engineer  
No. 1420262-0301  
MERRICK LENTZ ARCHITECTURE

This seal/signature is valid only for the original version of this document as issued by the Consultant. Any subsequent modifications, alterations, or unauthorized use render the seal/signature invalid.

consultant

project name

**OUTBACK STEAKHOUSE**  
**BONEFISH GRILL**

Dual Store

11114 S. State Street  
Sandy, Utah 84070

site plan review

drawing title

**FLOOR PLAN**

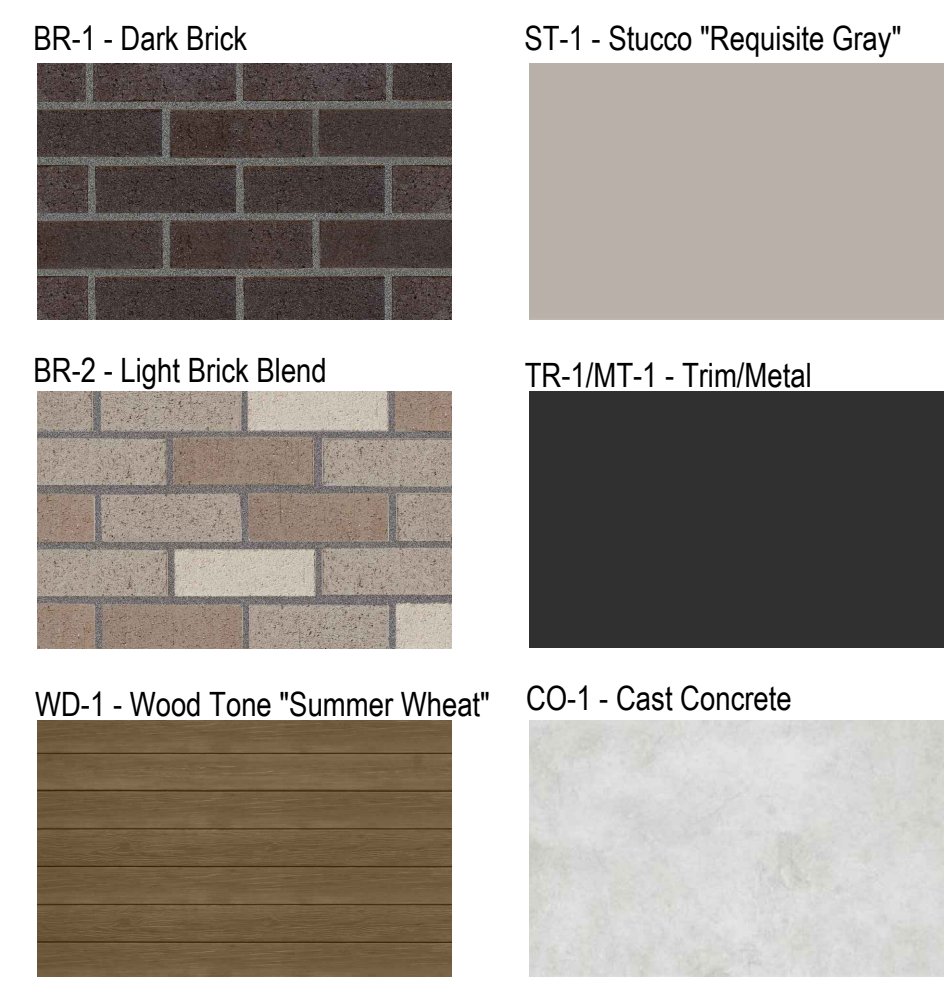
drawn by CSC  
checked by CSC

5/12/26 SITE PLAN REVIEW-D.R. REVISION  
12/30/25 REVISED LEASE EXHIBIT

issued date description

**A2.1**

EXTERIOR ELEVATIONS MATERIALS KEY (XXX)



BR-1  
Interstate Brick Thin Modular; Color: "Coal"

BR-2  
Interstate Brick Thin Modular Blend;  
Color: Platinum - 60%  
Color: Smokey Mountain - 25%  
Color: Ash - 15%

WD-1  
Woodtone "Summer Wheat"  
On James Hardie Lap Siding, 7" exposure  
www.woodtone.com 800.663.9844

CMU-1  
Suncore Masonry  
Split Face, Color: Java  
www.suncoremasonry.biz

MT-1/TR-1  
Sherwin Williams  
SW6258 "Tricorn Black"

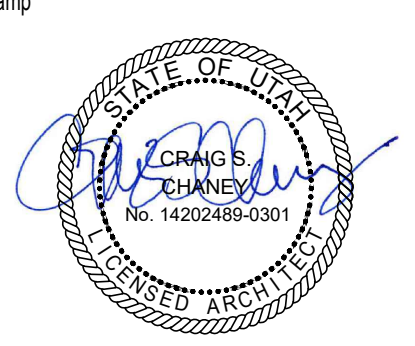
EXTERIOR ELEVATION NOTES

- 01 STOREFRONT ENTRY DOOR SIDELIGHT AND/OR TRANSOM SYSTEM PER SCHEDULE
- 02 STOREFRONT WINDOW SYSTEM PER SCHEDULE
- 03 F.R.C PANEL VERTICAL FAUX COLUMN, COLOR TR.1
- 04 BRAKE METAL CORNER TRIM; MATCH STOREFRONT COLOR
- 05 F.R.C PANEL FACADE, COLOR TR.1
- 06 PREMANUFPRD 3-1/2"x13" ALUM. SUNSHADE, PREFIN. BY FENWALL OR EQ.; REFER TO WALL SECTIONS
- 07 PREMANUFPRD, PREFIN. FASCIA; METAL-ERA ANCHOR-TITE STANDARD FASCIA, OR EQ.; FASCIA SIZE PER DETAIL
- 08 5/4"x. F.R.C FASCIA TRIM PER DETAIL, COLOR TR.1
- 09 LINE OF ROOF BEYOND PARAPET WALL
- 10 PREMANUFACTURED ELECTRIC BIFOLD OVERHEAD DOOR PER SCHEDULE; COLOR TBD;
- 11 NOT USED
- 12 NOT USED
- 13 PREMANUFACTURED, PREFIN. FIXED LOUVER PER NOTE 11, OVER BLANK EXTERIOR WALL ASSEMBLY REFER APPLICABLE DETAIL
- 14 PREMANUFACTURED, PREFIN. METAL SUNSHADE; BY FENWALL, OR EQ.; REFER 12/A6.2
- 15 PREMANUFACTURED, PREFIN. ENTRY CANOPY; BY FENWALL, OR EQ. REFER APPLICABLE DETAIL
- 16 EIFS V-GROOVE REVEAL TYP.
- 17 GFRC PLANTER; TOURNESOL "WILSHIRE GFRC"; COLOR; SHADOW ACID ETCH; 24" HIGH, 18" WIDE, LENGTH AS SHOWN ON PLAN
- 18 GUARDRAIL AT PATIO OPENINGS; TOP @ +4' A.F.F.; PER X/A1.2
- 19 NOT USED
- 20 NOT USED
- 21 NOT USED
- 22 COLUMN AND BASE PER STRUCT'L
- 23 WINDOW PER SCHEDULE AND PLAN
- 24 8" CMU DUMPSTER ENCLOSURE, WALL PER PLAN AND STRUCT'L; CMU: SUNCORE MASONRY SPLIT-FACE, INTEGRAL COLOR: JAVA
- 25 STEEL DUMPSTER GATE PER A1/A1.4; COLOR PER ELEVATION.
- 26 PREFAB. PREFIN. ALUM. BAHAMA SHUTTER; MFR. BY FENWALL; COLOR MT-1 REFER APPLICABLE WALL SECTIONS, PROVIDE BACKING IN WALL AS REQ'D FOR ATTACHMENT
- 27 PREFIN. SCUPPER AND RAINLEADER PER ROOF PLAN, COLOR MT-1
- 28 WALL SCONCE PER LIGHTING SCHEDULE
- 29 WALL-MOUNTED AREA AND/OR EMERGENCY EXIT LIGHT PER LIGHTING SCHEDULE
- 30 WALL-MOUNTED ADDRESS LETTERS, 12" TALL, COLOR MT-1
- 31 VERT. METAL TRIM PER X.A.X.; COLOR MT-1
- 32 PREMAN. GAS FIREPLACE PER PLAN
- 33 TILE SURROUND; TILE T-1 12X24, STACKED LAYUP AS SHOWN
- 34 OVERHEAD ROLLUP DOOR W/ HIGH LIFT TRACK PER SCHED'L
- 35 PREFAB. ZERO CLEARANCE FIREPLACE PER PLAN
- 36 ELECTRICAL SWITCHGEAR; PAINT TO MATCH BACKGROUND.
- 37 NEW ROOFTOP EQUIPMENT SCREEN BEYOND PER ROOF PLAN

UNPUBLISHED WORK  
© 2025 MERRICK LENTZ ARCHITECTURE/  
CHANEY BEAGLE ARCHITECTS, PLLC  
Unauthorized use or reproduction of these drawings  
or any part herein without the permission of  
Merrick Lentz Architecture is not permitted.



12815 NE 126th Place, Kirkland, WA 98034  
1425.747.3177 www.mlarch.com



This seal/signature is valid only for the original version of this document as issued by the Consultant. Any subsequent modifications, alterations, or unauthorized use render the seal/signature invalid.

consultant

project name



11114 S. State Street  
Sandy, Utah 84070

site plan review

drawing title

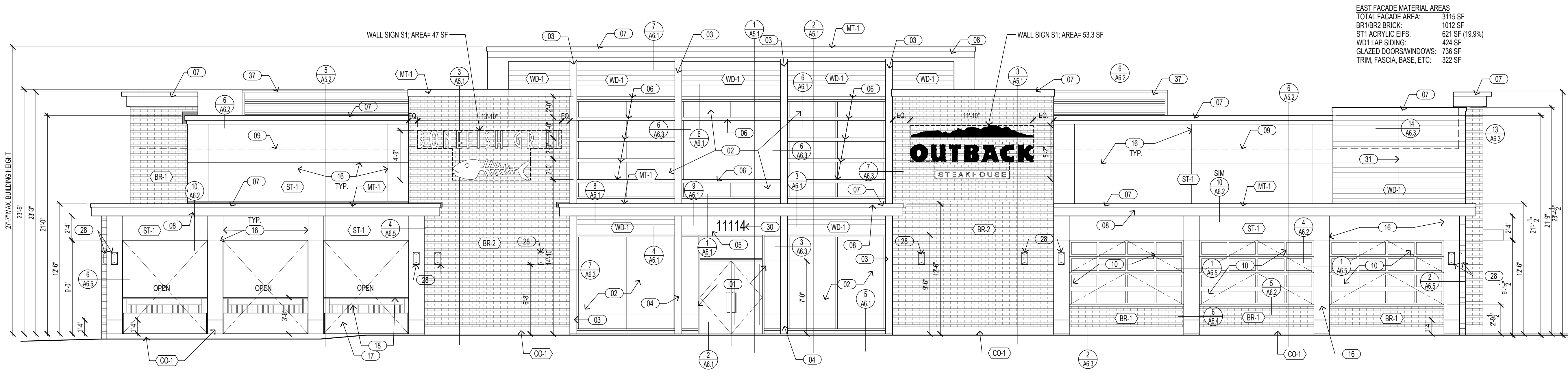
EXTERIOR ELEVATIONS

drawn by CSC  
checked by CSC

BUILDING CONSTRUCTION TYPE:  
TYPE VB, SPRINKLERED

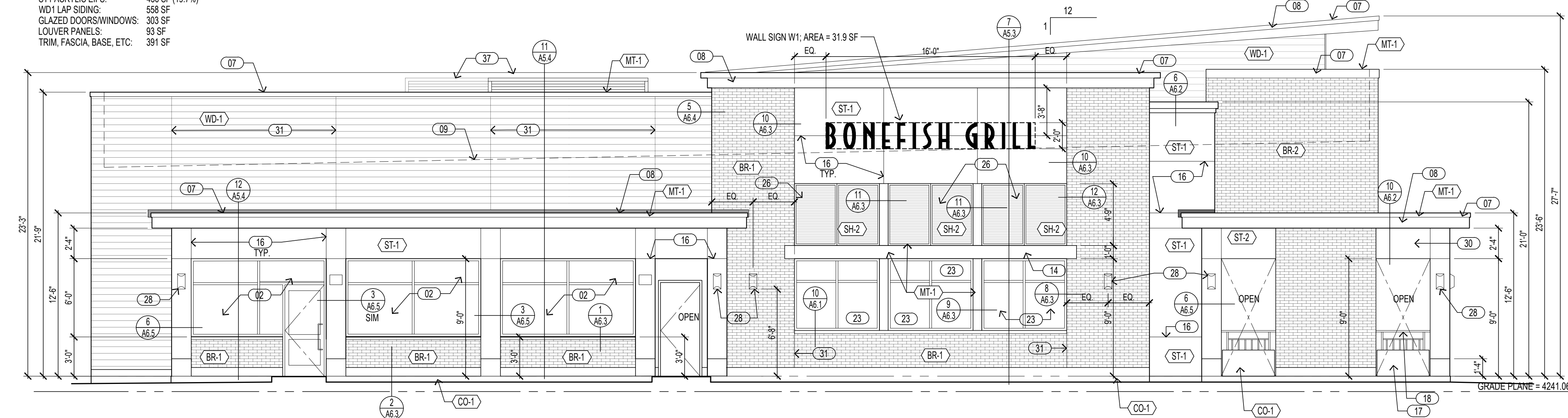
DATE	DESCRIPTION
5/12/26	SITE PLAN/DESIGN REVIEW-REV
12/30/25	REVISED LEASE EXHIBIT
ISSUED	DATE DESCRIPTION

A3.1

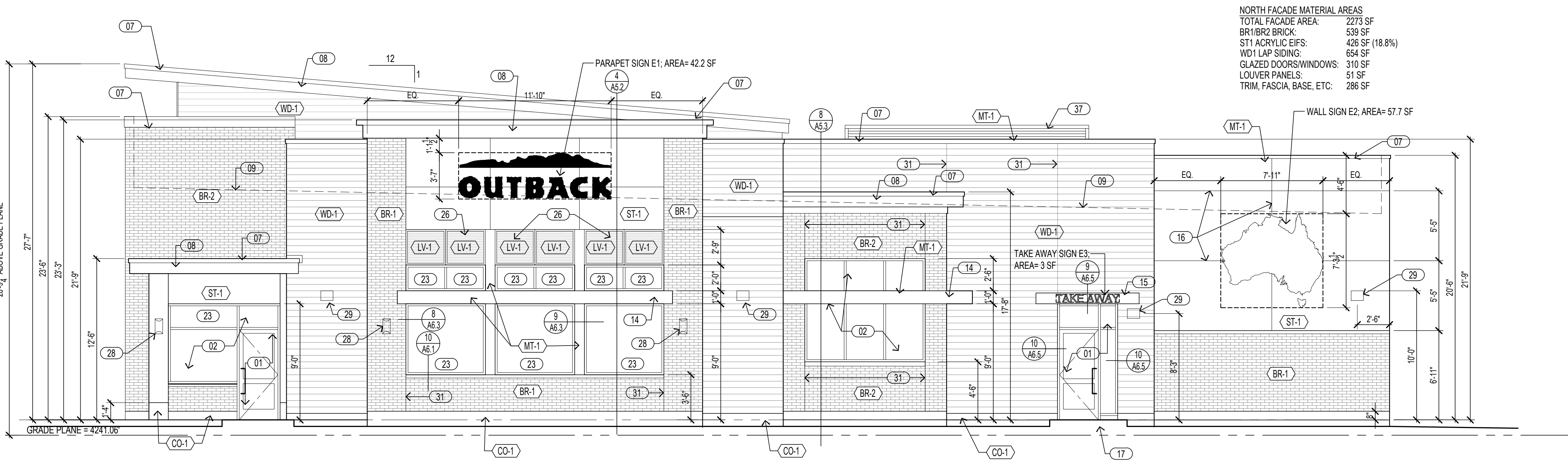


A EAST ELEVATION (STATE STREET)  
SCALE: 3/16" = 1'-0"

SOUTH FACADE MATERIAL AREAS  
TOTAL FACADE AREA: 2314 SF  
BR1/BR2 BRICK: 513 SF  
ST1 ACRYLIC EIFS: 456 SF (19.7%)  
WD1 LAP SIDING: 558 SF  
GLAZED DOORS/WINDOWS: 303 SF  
LOUVER PANELS: 93 SF  
TRIM, FASCIA, BASE, ETC.: 391 SF

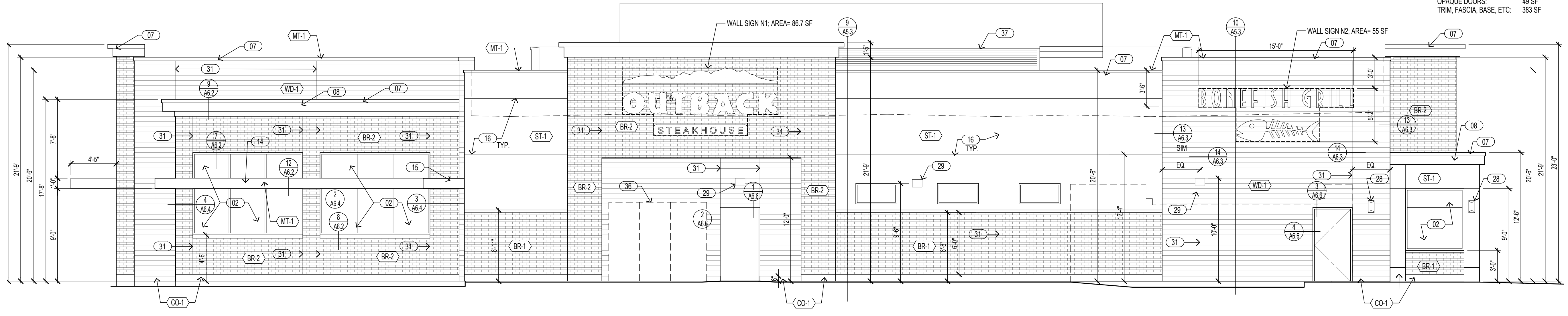


B SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



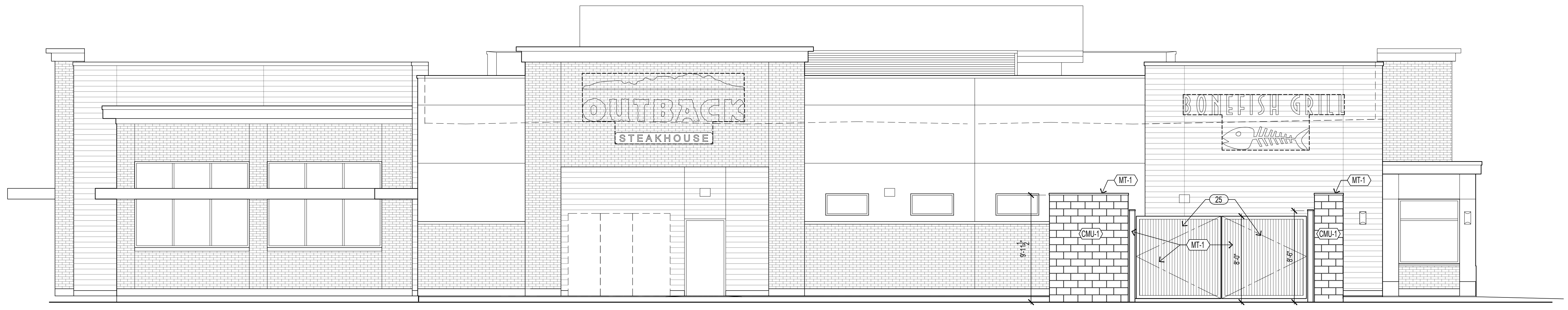
**NORTH FACADE MATERIAL AREAS**  
 TOTAL FACADE AREA: 2273 SF  
 BR1/BR2 BRICK: 539 SF  
 ST1 ACRYLIC EIFS: 426 SF (18.8%)  
 WD1 LAP SIDING: 654 SF  
 GLAZED DOORS/WINDOWS: 310 SF  
 LOUVER PANELS: 51 SF  
 TRIM, FASCIA, BASE, ETC.: 286 SF

**C NORTH ELEVATION**  
 A3.2 SCALE: 3/16" = 1'-0"



**WEST FACADE MATERIAL AREAS**  
 TOTAL FACADE AREA: 2856 SF  
 BR1/BR2 BRICK: 499 SF  
 ST1 ACRYLIC EIFS: 562 SF (20.0%)  
 WD1 LAP SIDING: 323 SF  
 GLAZED DOORS/WINDOWS: 208 SF  
 OPAQUE DOORS: 49 SF  
 TRIM, FASCIA, BASE, ETC.: 383 SF

**D WEST ELEVATION - DUMPSTER ENCLOSURE OMITTED**  
 A3.2 SCALE: 3/16" = 1'-0"



**D1 WEST ELEVATION - DUMPSTER ENCLOSURE SHOWN**  
 A3.2 SCALE: 3/16" = 1'-0"

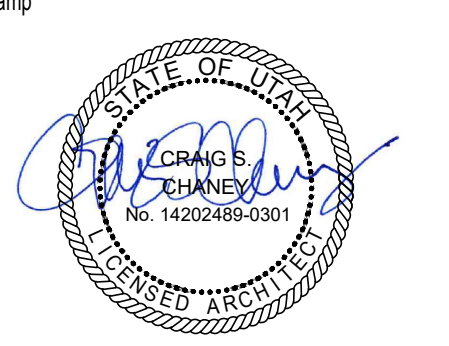
**EXTERIOR ELEVATION NOTES**

- 01 STOREFRONT ENTRY DOOR SIDELIGHT AND/OR TRANSOM SYSTEM PER SCHEDULE
- 02 STOREFRONT WINDOW SYSTEM PER SCHEDULE
- 03 F.R.C PANEL VERTICAL FAUX COLUMN, COLOR TR.1
- 04 BRAKE METAL CORNER TRIM: MATCH STOREFRONT COLOR
- 05 F.R.C PANEL FACADE, COLOR TR.1
- 06 PREMANUFROD 3-1/2"x13" ALUM. SUNSHADE. PREFIN.; BY FENWALL OR EQ.; REFER TO WALL SECTIONS
- 07 PREMANUFROD. PREFIN. FASCIA. METAL-ERA ANCHOR-TITE STANDARD FASCIA, OR EQ.; FASCIA SIZE PER DETAIL
- 08 5/4" F.R.C FASCIA TRIM PER DETAIL, COLOR TR.1
- 09 LINE OF ROOF BEYOND PARAPET WALL
- 10 PREMANUFACTURED ELECTRIC BIFOLD OVERHEAD DOOR PER SCHEDULE; COLOR TBD;
- 11 NOT USED
- 12 NOT USED
- 13 PREMANUFACTURED. PREFIN. FIXED LOUVER PER NOTE 11. OVER BLANK EXTERIOR WALL ASSEMBLY REFER APPLICABLE DETAIL
- 14 PREMANUFACTURED. PREFIN. METAL SUNSHADE. BY FENWALL, OR EQ.; REFER 12/A6.2
- 15 PREMANUFACTURED. PREFIN. ENTRY CANOPY. BY FENWALL, OR EQ. REFER APPLICABLE DETAIL.
- 16 EIFS V-GROOVE REVEAL TYP.
- 17 GFRC PLANTER, TOURNESOL "WILSHIRE GFRC". COLOR: SHADOW ACID ETCH; 24" HIGH, 18" WIDE, LENGTH AS SHOWN ON PLAN
- 18 GUARDRAIL AT PATIO OPENINGS; TOP @ +42" A.F.F.; PER XA1.2
- 19 NOT USED
- 20 NOT USED
- 21 NOT USED
- 22 COLUMN AND BASE PER STRUCT'L
- 23 WINDOW PER SCHEDULE AND PLAN
- 24 8" CMU DUMPSTER ENCLOSURE. WALL PER PLAN AND STRUCT'L; CMU. SUNCORE MASONRY, SPLIT-FACE, INTEGRAL COLOR: JAVA
- 25 STEEL DUMPSTER GATE PER A1/A1.4; COLOR PER ELEVATION.
- 26 PREFAB. PREFIN. ALUM. BAHAMA SHUTTER; MFR BY FENWALL; COLOR MT-1 REFER APPLICABLE WALL SECTIONS; PROVIDE BACKING IN WALL AS REQ'D FOR ATTACHMENT
- 27 PREFIN. SCUPPER AND RAINELEADER PER ROOF PLAN; COLOR MT-1
- 28 WALL SCONCE PER LIGHTING SCHEDULE
- 29 WALL-MOUNTED AREA AND/OR EMERGENCY EXIT LIGHT PER LIGHTING SCHEDULE
- 30 WALL-MOUNTED ADDRESS LETTERS, 12" TALL, COLOR MT-1
- 31 VERT. METAL TRIM PER X.A.X.; COLOR MT-1
- 32 PREMAN. GAS FIREPLACE PER PLAN
- 33 TILE SURROUND; TILE T-1 12X24, STACKED LAYUP AS SHOWN
- 34 OVERHEAD ROLLUP DOOR W/ HIGH LIFT TRACK PER SCHED'L
- 35 PREFAB. ZERO CLEARANCE FIREPLACE PER PLAN
- 36 ELECTRICAL SWITCHGEAR; PAINT TO MATCH BACKGROUND.
- 37 NEW ROOFTOP EQUIPMENT SCREEN BEYOND PER ROOF PLAN

UNPUBLISHED WORK  
 © 2025 MERRICK LENTZ ARCHITECTURE/  
 CHANEY BEAGLE ARCHITECTS, P.L.L.C.  
 Unpublished work or reproduction of these drawings  
 or any part herein without the permission of  
 Merrick Lentz Architecture is not permitted.



12815 NE 126th Place, Kirkland, WA 98034  
 1425.747.3177 www.mllarch.com



This seal/signature is valid only for the original version of this document as issued by the Consultant. Any subsequent modifications, alterations, or unauthorized use render the seal/signature invalid.  
 consultant



11114 S. State Street  
 Sandy, Utah 84070

site plan review

drawing title

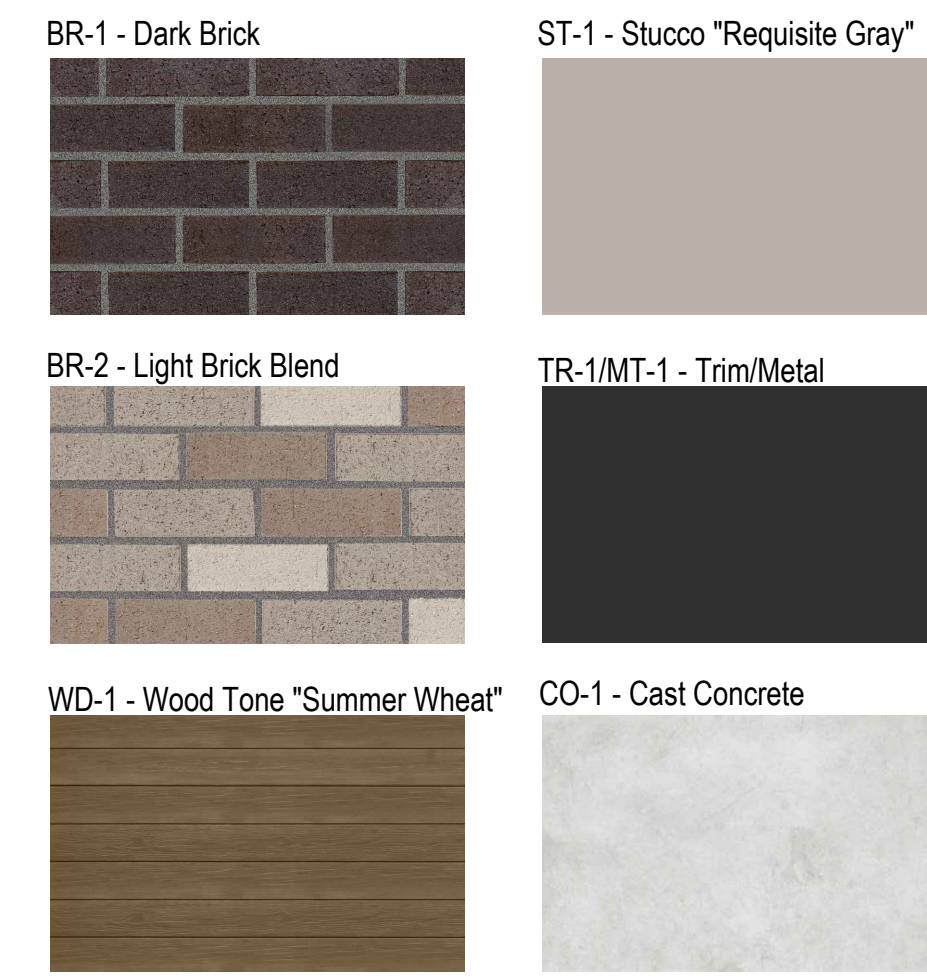
**EXTERIOR ELEVATIONS**

drawn by CSC  
 checked by CSC

5/12/26 SITE PLAN/DESIGN REVIEW-REV  
 12/30/25 REVISED LEASE EXHIBIT  
 issued date description

**A3.2**

EXTERIOR ELEVATIONS MATERIALS KEY (XX-X)



BR-1  
Interstate Brick Thin Modular; Color: "Coal"

BR-2  
Interstate Brick Thin Modular Blend;  
Color: Platinum - 60%  
Color: Smokey Mountain - 25%  
Color: Ash - 15%

WD-1  
Woodtone "Summer Wheat"  
On James Hardie Lap Siding, 7" exposure  
www.woodtone.com 800.663.9844

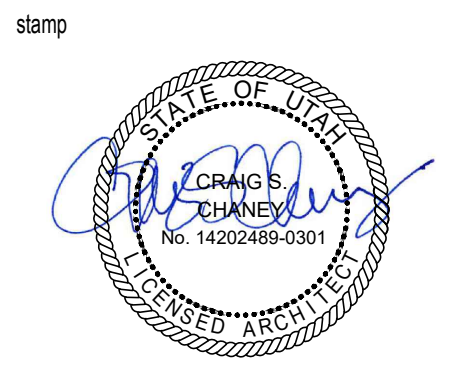
CMU-1  
Suncore Masonry  
Split Face, Color: Java  
www.suncoremasonry.build

MT-1/TR-1  
Sherwin Williams  
SW6258 "Tricorn Black"

UNPUBLISHED WORK  
© 2025 MERRICK LENTZ ARCHITECTURE/  
CHANEY BEAGLE ARCHITECTS, PLLC  
Unauthorized use or reproduction of these drawings  
or any part herein without the permission of  
Merrick Lentz Architecture is not permitted.

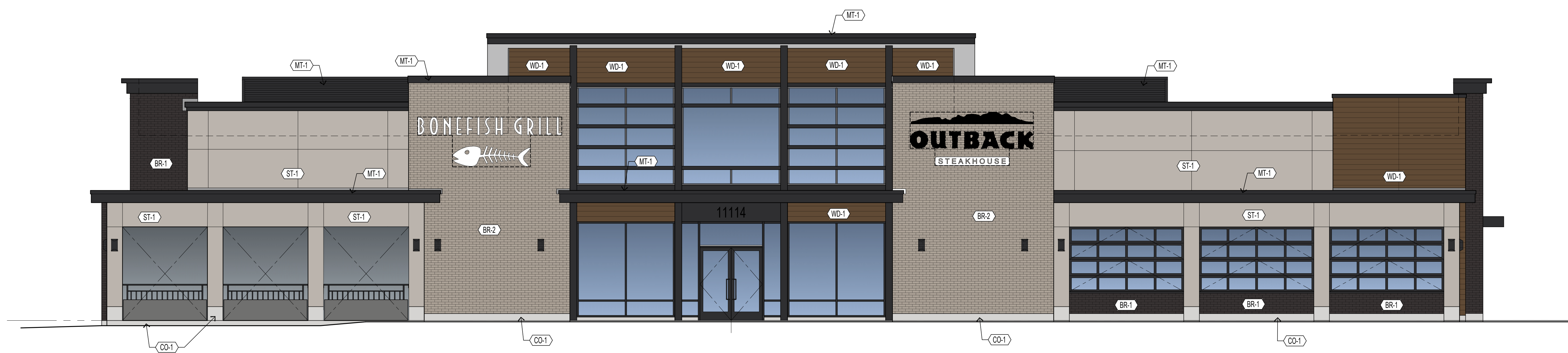


12815 NE 126th Place, Kirkland, WA 98034  
1.425.747.3177 www.mlarch.com



This seal/signature is valid only for the original version of this document as issued by the Consultant. Any subsequent modifications, alterations, or unauthorized use render the seal/signature invalid.

consultant



**A**  
A3.1 EAST ELEVATION (STATE STREET)  
SCALE: 3/16" = 1'-0"

project name



11114 S. State Street  
Sandy, Utah 84070

site plan review

drawing title

EXTERIOR  
ELEVATIONS  
(COLOR)



**B**  
A3.1 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

drawn by CSC

checked by CSC

issued	date	description
5/12/26	12/30/25	SITE PLAN/DESIGN REVIEW-REV REVISED LEASE EXHIBIT

A3.1A



**MERRICK LENTZ  
 ARCHITECTURE**

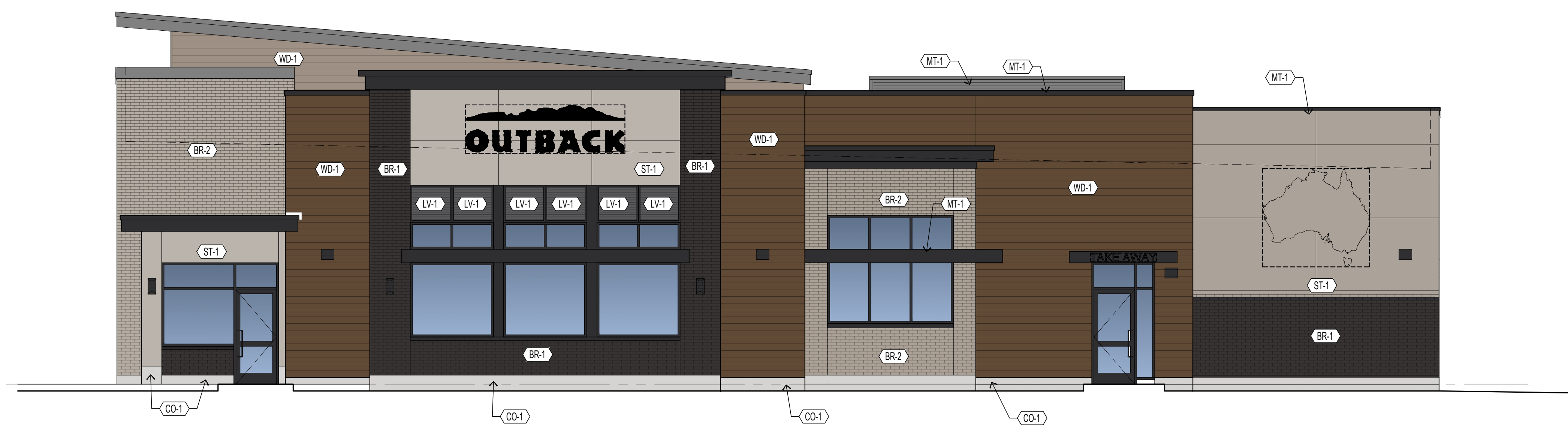
12815 NE 126th Place, Kirkland, WA 98034  
 1.425.747.3177 www.mllarch.com

stamp

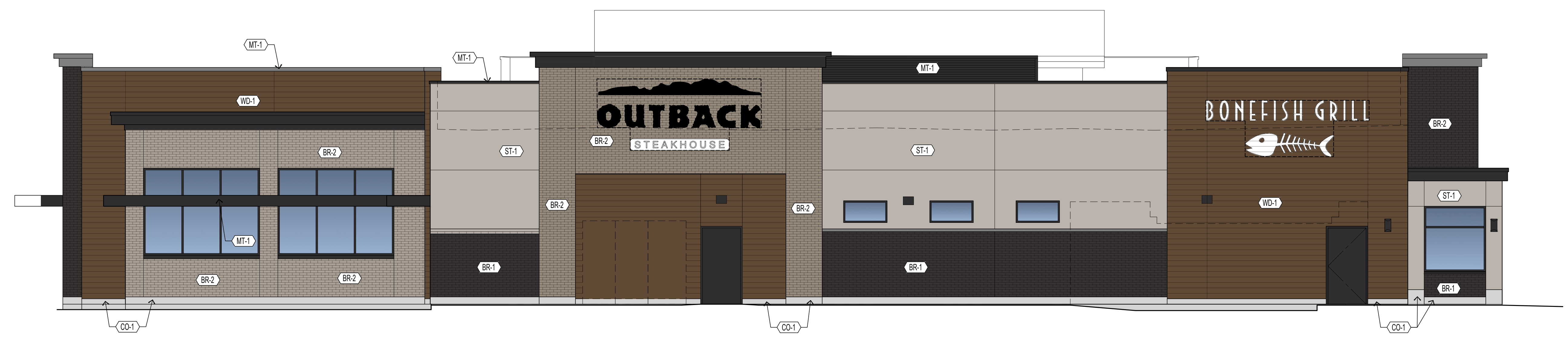


This seal/signature is valid only for the original version of this document as issued by the Consultant. Any subsequent modifications, alterations, or unauthorized use render the seal/signature invalid.

consultant



**C NORTH ELEVATION**  
 A3.2 SCALE: 3/16" = 1'-0"



**D WEST ELEVATION - DUMPSTER ENCLOSURE OMITTED**  
 A3.2 SCALE: 3/16" = 1'-0"

project name



11114 S. State Street  
 Sandy, Utah 84070

site plan review

drawing title

**EXTERIOR  
 ELEVATIONS  
 (COLOR)**

drawn by CSC  
 checked by CSC

issued	date	description
5/12/26		SITE PLAN/DESIGN REVIEW-REV
12/30/25		REVISED LEASE EXHIBIT

**A3.2A**