

**TRASH ENCLOSURE DETAILS**  
SCALE: 1/4" = 1'-0"

**OFFICE BUILDING FOR MARK RAY**  
7865 SOUTH 700 EAST  
SANDY, UTAH

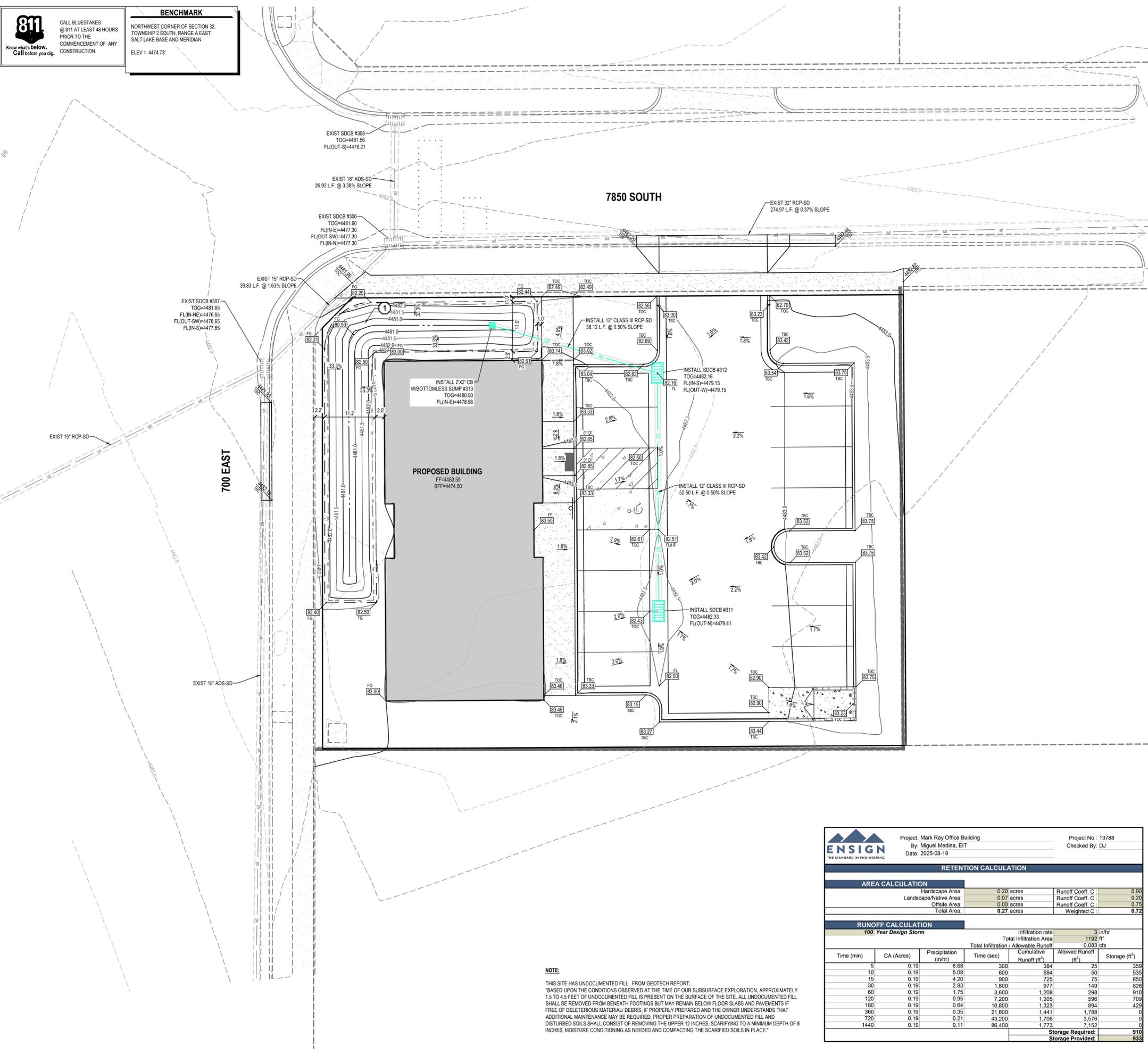
REVISIONS

DWN.BY: RLM  
DATE: APRIL 2024  
FILE NO.:  
JOB NO.: MARK RAY

SHEET NO.  
**A-1**

**811**  
CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

**BENCHMARK**  
NORTHWEST CORNER OF SECTION 32,  
TOWNSHIP 2 SOUTH, RANGE A EAST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4474.73'



- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
  - ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
  - THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
  - ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XXXX REPRESENTS AN ELEVATION OF 44XX.XX ON THESE PLANS.
  - LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
  - SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
  - EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
  - ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER SANDY CITY STANDARD PLANS AND SPECIFICATIONS.
  - ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
  - ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
  - THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
  - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- STORM WATER NOTES**
- NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
  - A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
  - ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
  - SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, AND STRUCTURES (INLET BOXES, COMBO BOXES, AND JUNCTION BOXES). SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
  - CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
  - ALL MATERIALS AND WORK DONE IN UDOT RIGHT-OF-WAY SHALL CONFORM TO UDOT STANDARDS AND SPECIFICATIONS (DELETE IF NOT APPLICABLE).
  - NON-SHRINK GROUT SHALL BE USED WHEREVER GROUT IS REQUIRED FOR THE STORM DRAIN FACILITIES.
  - CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE AND GROUT AT CONNECTION OF PIPE TO BOX TO A SMOOTH FINISH. ADDITIONALLY, ALL JAGGED OR SHARP EDGES AT PIPE CONNECTIONS ARE TO BE REMOVED AND GROUTED SMOOTH.
  - GROUT BETWEEN GRADE RINGS. FOR EACH INLET BOX THAT IS LOCATED NEXT TO A CURB, THE CURB AND GUTTER CONTRACTOR IS RESPONSIBLE TO REMOVE ALL PROTRUDING, JAGGED OR SHARP CONCRETE EDGES AND TO GROUT BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX. GROUT TO CREATE A SMOOTH, BEVELED TRANSITION AT ALL EDGES IN CLEAN OUT AND INLET BOXES. GROUT AROUND ALL EDGES OF THE RESTRICTIVE ORIFICE PLATE.
  - REMOVE SNAP TIES, NAILS, REBAR AND OTHER PROTRUSIONS FROM THE BOX OR PIPE INSIDE SURFACE, AS WELL AS ALL FORM WORK, PLASTIC AND CARDBOARD.
  - SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL INLET BOXES, COMBO BOXES, JUNCTION BOXES, AND PIPE. THE BOXES AND PIPES ARE TO BE MAINTAINED IN A CLEAN CONDITION UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
  - CLEAN OFF ALL MANHOLE LIDS AND INLET GRATES OF ASPHALT, CONCRETE, TAR OR OTHER ADHESIVES TO ALLOW ACCESS.
  - WHERE A SUMP IS REQUIRED, THE SANDY CITY PUBLIC UTILITIES INSPECTOR SHALL BE CONTACTED PRIOR TO CONSTRUCTION TO PROVIDE AN OPPORTUNITY TO CHECK THE VOLUME OF GRAVEL AND GRAVEL GRADATION.
  - SIGNS MUST BE POSTED NEAR EACH INLET BOX LOCATED IN A DRINKING WATER RECHARGE ZONE, WITH THE FOLLOWING WORDS "WARNING THIS IS A DRINKING WATER AQUIFER RECHARGE AREA. DISPOSAL OF ANY WASTE MATERIALS IN THE STORM WATER IS STRICTLY PROHIBITED."
  - ALL INLET, COMBO AND JUNCTION BOXES SHALL BE PLACED ON 12-INCH (MIN.) COMPACTED STABILIZATION MATERIAL.
  - A VIDEO OF ALL PIPES MUST BE COMPLETED BEFORE THE 90% OR 90% BOND RELEASE AND AGAIN BEFORE FINAL BOND RELEASE.
  - A REPRESENTATIVE OF THE MANUFACTURER OR SUPPLIER SHALL BE ON SITE DURING INSTALLATION OF OIL-WATER SEPARATOR, MECHANICAL TREATMENT DEVICES, MEDIA FILTERS, AND UNDERGROUND DETENTION/RETENTION SYSTEMS. THE MANUFACTURER OR SUPPLIER SHALL PROVIDE A LETTER STATING THAT THE SYSTEM WAS INSTALLED PER MANUFACTURER'S SPECIFICATIONS. IF IT IS UNKNOWN WHETHER A REPRESENTATIVE IS REQUIRED TO BE PRESENT DURING INSTALLATION, CONTACT THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
  - A STAMPED "LETTER OF CONFORMANCE" FROM THE DESIGN ENGINEER IS REQUIRED TO BE SUBMITTED TO SANDY CITY PUBLIC UTILITIES DEPARTMENT, PRIOR TO 90% BOND RELEASE, STATING THAT STORM WATER FLOW CONTROL ELEMENTS AND STORM WATER TREATMENT FACILITIES (E.G. DETENTION, RETENTION, LID BEST MANAGEMENT PRACTICES, OIL-WATER SEPARATORS, SUMPS, ETC.) WERE CONSTRUCTED ACCORDING TO THE APPROVED PLANS.

**SCOPE OF WORK:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

**RETENTION POND**  
VOLUME REQUIRED = 910 CU.FT.  
VOLUME PROVIDED = 933 CU.FT.  
TOP OF POND / HIGH WATER ELEVATION = 4482.20  
BOTTOM OF POND = 4481.50

**GRADING PLAN**

**RETENTION CALCULATION**

Area	Hardscape Area	Landscape/Native Area	Offsite Area	Total Area	Runoff Coeff. C	Weighted C
	0.20 acres	0.07 acres	0.00 acres	0.27 acres	0.90	0.72

**RUNOFF CALCULATION**  
100 Year Design Storm

Time (min)	CA (Acres)	Precipitation (in/hr)	Time (sec)	Total Infiltration / Allowable Runoff (in/hr)	Total Infiltration Area (ft <sup>2</sup> )	Cumulative Runoff (ft <sup>3</sup> )	Allowed Runoff (ft <sup>3</sup> )	Storage (ft <sup>3</sup> )	
5	0.19	6.68	300	3	384	384	25	359	
10	0.19	5.08	600	6	584	584	50	535	
15	0.19	4.20	900	9	725	725	75	650	
30	0.19	2.83	1,800	18	977	977	149	828	
60	0.19	1.75	3,600	36	1,208	1,208	298	910	
120	0.19	0.95	7,200	72	1,305	1,305	596	709	
180	0.19	0.64	10,800	108	1,323	1,323	894	429	
360	0.19	0.35	21,600	216	1,441	1,441	1,798	0	
720	0.19	0.21	43,200	432	1,706	1,706	3,576	0	
1440	0.19	0.11	86,400	864	1,773	1,773	7,152	0	
								Storage Required:	910
								Storage Provided:	933

**NOTE:**  
THIS SITE HAS UNDOCUMENTED FILL. FROM GEOTECH REPORT:  
"BASED UPON THE CONDITIONS OBSERVED AT THE TIME OF OUR SUBSURFACE EXPLORATION, APPROXIMATELY 1.5 TO 4.5 FEET OF UNDOCUMENTED FILL IS PRESENT ON THE SURFACE OF THE SITE. ALL UNDOCUMENTED FILL SHALL BE REMOVED FROM BENEATH FOOTINGS BUT MAY REMAIN BELOW FLOOR SLABS AND PAVEMENTS IF FREE OF DELETERIOUS MATERIAL/DEBRIS. IF PROPERLY PREPARED AND THE OWNER UNDERSTANDS THAT ADDITIONAL MAINTENANCE MAY BE REQUIRED. PROPER PREPARATION OF UNDOCUMENTED FILL AND DISTURBED SOILS SHALL CONSIST OF REMOVING THE UPPER 12 INCHES, SCARIFYING TO A MINIMUM DEPTH OF 8 INCHES, MOISTURE CONDITIONING AS NEEDED AND COMPACTING THE SCARIFIED SOILS IN PLACE."

**ENSIGN**  
THE STANDARD IN ENGINEERING

**SANDY**  
45 W 10000 S, Suite 500  
Sandy, UT 84070  
Phone: 801.255.0529

**LAYTON**  
Phone: 801.547.1100

**TOOELE**  
Phone: 435.843.3590

**CEDAR CITY**  
Phone: 435.865.1453

**RICHFIELD**  
Phone: 435.896.2983

**WWW.ENSIGNENG.COM**

FOR: ROBERT MONEY ARCHITECT  
2457 WEST COUNTRYSIDE LANE  
WEST JORDAN, UTAH, 84084

CONTACT: ROBERT MONEY  
PHONE: 801-573-1029

**7865 OFFICE BUILDING**

**7865 SOUTH 700 EAST**  
**SANDY CITY, UTAH**

**DAVID A. JENKINS**  
REGISTERED PROFESSIONAL ENGINEER  
#5936  
STATE OF UTAH

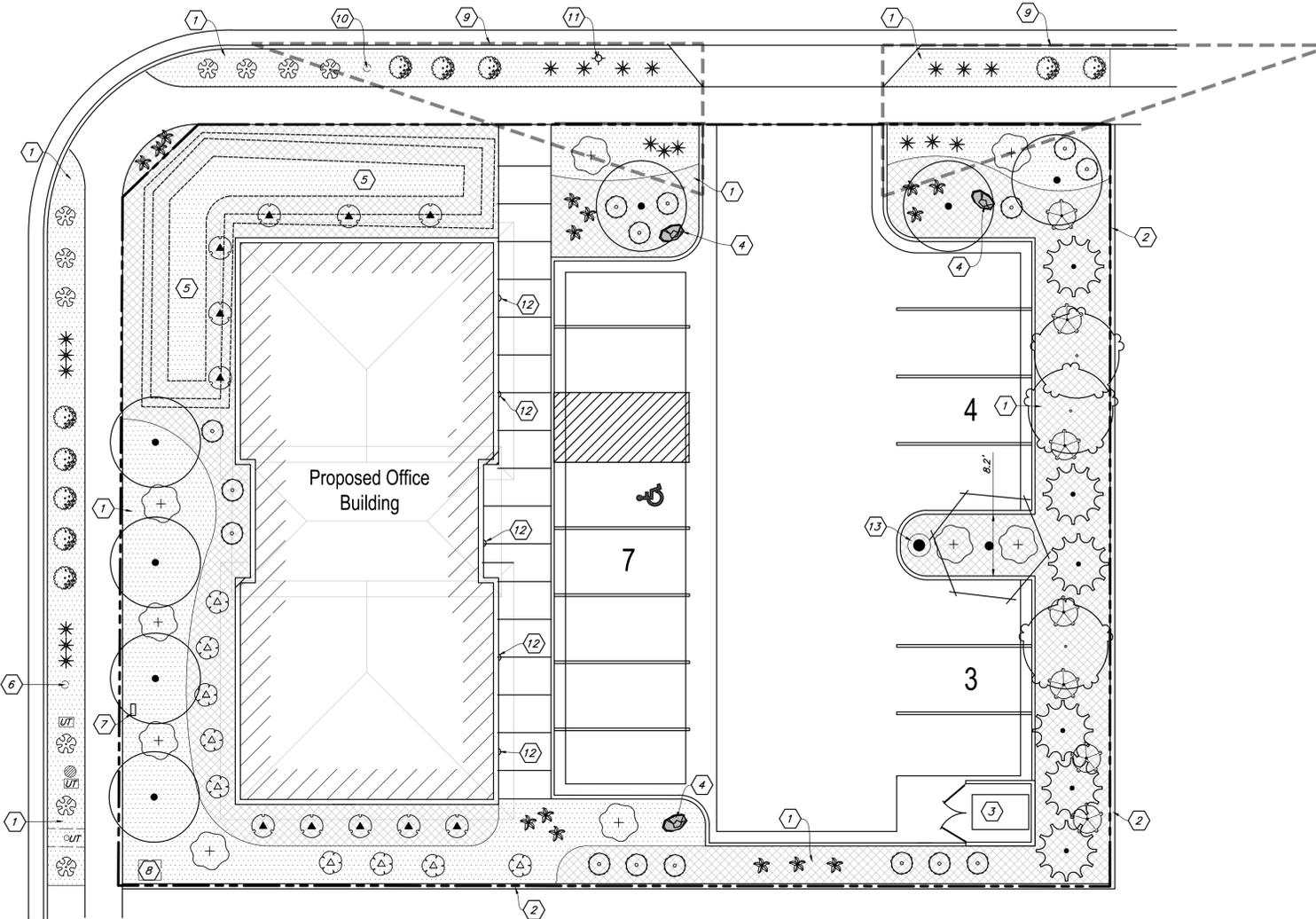
**GRADING PLAN**

PROJECT NUMBER: 13788  
PRINT DATE: 2026-02-06  
PROJECT MANAGER: DJ  
DESIGNED BY: MM

**C-200**

PONDEROSA DRIVE

700 EAST



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
<b>SITE TREES</b>			
[Symbol]	6	Juniperus scopulorum 'Gray Gleam' / Gray Gleam Juniper	6' Min. Ht.
[Symbol]	1	Quercus robur fastigiata / Pyramidal English Oak	2" Caliper
[Symbol]	3	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac*	2" Caliper
<b>STREET TREES</b>			
[Symbol]	7	Acer tataricum 'GarAnn' / Hot Wings Tatarian Maple	2" Caliper
<b>SHRUBS</b>			
[Symbol]	7	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	5 gal
[Symbol]	9	Pinus mugo 'Compacta' / Dwarf Mugo Pine	5 gal
[Symbol]	10	Potentilla fruticosa 'Gold Drop' / Gold Drop Potentilla	5 gal
[Symbol]	9	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal
[Symbol]	11	Ribes aureum / Golden Currant	5 gal
[Symbol]	10	Rosa x 'Meigalpio' / Red Drift Rose	5 gal
[Symbol]	15	Spiraea betulifolia 'Tor' / Tor Birchleaf Spirea	5 gal
<b>ORNAMENTAL GRASSES</b>			
[Symbol]	15	Pennisetum alopecuroides 'Little Bunny' / Little Bunny Fountain Grass	1 gal
<b>PERENNIALS</b>			
[Symbol]	19	Nepeta x faassenii 'Dropmore' / Catmint	1 gal

MATERIAL SCHEDULE

- Decorative Stone #1 - Install a Three (3) inch Depth over Dewitt Pro5 Weed Barrier; Stone Shall be Used in all Shrub Areas/Pond and Washed Prior to Installation; Remove all Soil From Weed Barrier Prior to Installing Stone; Stone Shall be Crushed Tan Color, 1 1/2" in Diameter From Geneva Rock Point of the Mountain East Pit; Provide Sample for Approval. Detail: 4/L-3
- Decorative Stone #2 - Install over Dewitt Pro5 Weed Barrier and Make Sure it Covers Weed Barrier; Carefully Place Around Plant Material; Stone Shall be Used in all Shrub Areas/Pond and Washed Prior to Installation; Interlock on Pond Hillside; Remove all Soil From Weed Barrier Prior to Installing Stone; Stone Shall be Angular, Gray in Color, and 3-5" in Diameter; Stone Shall be From Staker Parsons Lehi Pit or Approved Equiv; Provide Sample for Approval. Detail: 4/L-3
- Landscape Accent Boulders - Boulders Shall be 2-3' in Diameter, Angular and Match Proposed Stone #1 (Brown's Canyon); Boulders Shall be Placed into the Stone Two (2) Inches and Not Set on Top of Stone; No Boulder Shall be Placed Adjacent to a Curb Where a Car Could Potential Hit With Bumper or Car Door. Detail: 5/L-3

Landscape Data

Site Area 13,127 s.f. (0.301 ac.)  
 Onsite Landscape Area Provided = 4,211 s.f. (32%)  
 Offsite Landscape Area Provided = 960 s.f.  
 1 Tree per 500 s.f. of Landscape = 9 Trees (9 New)  
 7865 South Frontage = 90 Lf.  
 7865 South Street Trees Required = 3 Trees (3 Provided)  
 700 East Frontage = 93 Lf.  
 700 East Street Trees Required = 4 Trees (4 Provided)  
 Parking Lot = 4,920 s.f.  
 Parking Lot Landscape Required = 246 s.f. (5%)  
 Parking Lot Landscape Provided = 253 s.f. (5.1%)  
 At Plant Maturity, Plant Material Shall Provide 33% Plant Coverage

Landscape Notes:

- See Sheet L-3 for Planting Details.
- All Landscape Material shall be Fully Irrigated by an Automatic Irrigation System. See Sheet L-2 for Irrigation Layout. See Sheet L-3 for Irrigation Details.
- The Irrigation System Shall be Equipped with a Watersense Approved Irrigation Controller and Rain Shut Off Device. See Irrigation Plan for More Detail.
- Adjust Plant Material as Needed to Accommodate New and Existing Utilities.
- From the Beginning of the Project Through the Final Walk Thru Parking Lots, Sidewalks and Gutters Shall be Free of Dirt and Debris at the End of Each Day.
- Edging Shall not be Used Between Different Type of Stone. Provide a Define Distinct Smooth Flowing Line Between the Two Stone Types.

Landscape Installation Keynotes

- Install Shrub Planter with Decorative Stone Over Dewitt Pro5 Weed Barrier - See Material Sch. for Type and Size
- Existing 92" High CMU Wall
- Dumpster Enclosure - See Civil Plans
- Install Landscape Accent Boulder - See Material Sch. for More Detail
- Detention Pond - See Civil Grading Plan for More Detail; Interlock Stone on Hillside
- Irrigation Meter - See Civil Utility Plan for More Detail
- Irrigation Backflow Preventer - Install in an Enclosure on a Concrete Pad; Secure Enclosure to Concrete Pad; See Irrigation Plan for More Detail
- Existing Elect. Transformer
- 20'x60' Clear View Triangle - No Obstacles (Including Plant Material) Over Three Feet High, as Measured From Top of Back of Curb are Allowed Within the Clear View Triangle; Tree Canopies in the Clear View Need to be Limbed up to 8' if Behind the Street Curb and 14' if Hanging Over the Curb Out in the Roadway
- New Water Meter for Bldg. - See Civil Utility Plan for More Detail
- New Street Light - See Arch. Plan for More Detail
- Wall Mount Luminaire - See Site Elect. Plan for More Detail
- New Light Pole - See Site Elect. Plan for More Detail

UT - Existing Utility Box

General Landscape Notes:

- Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
- Contractor shall call Blue Stake before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractor's responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
- The contractor shall install all landscape material per plan, notes and details.
- Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet or frozen.
- Imported topsoil shall be used for all landscape areas. The topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. The landscape contractor shall perform a soil test on the imported topsoil and amend per soil test recommendations. The soil test shall be done by a certified soil testing agency.
- Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils. Remove all construction debris and foreign material.
- Provide an eight (8) inch depth of imported topsoil in all shrub areas.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from plant and tree pit and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
- Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil pep, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
- All new plants shall be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the strings, burlap or plastic cut and pulled away from the trunk exposing 1/3 of the root ball. For trees in wire baskets, cut and remove the wire basket.
- Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over Dewitt Pro5 weed barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas.
- All deciduous trees shall be double staked per tree staking details. Tree stakes shall be wood and ties shall be V.I.T. Cinche Ties #CT32. It is the contractor's responsibility to remove tree staking after one year.
- Bury 2 inches of boulder height into soil, keeping best visual side above ground. Use care to minimize marring and scratching.
- Landscape installer shall repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner, or incidents that are beyond installer's control. Warranty period shall be 12 months and begin at date of final project acceptance. Dead plant material shall be replaced in a timely manner.



LANDSCAPING PLAN  
 SCALE: 1" = 10'-0"

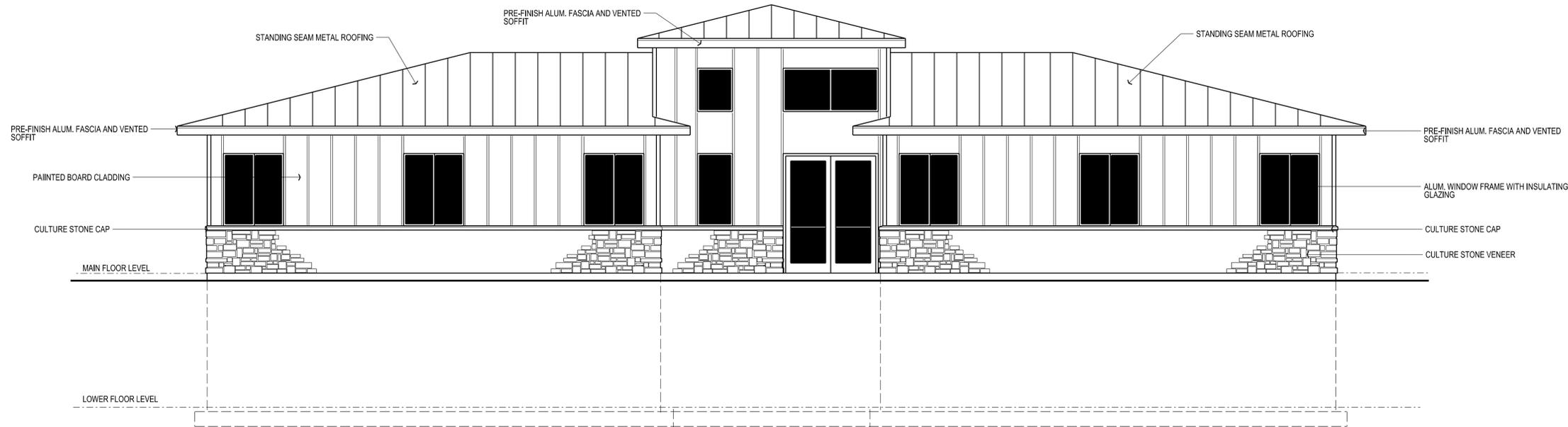


REVISIONS

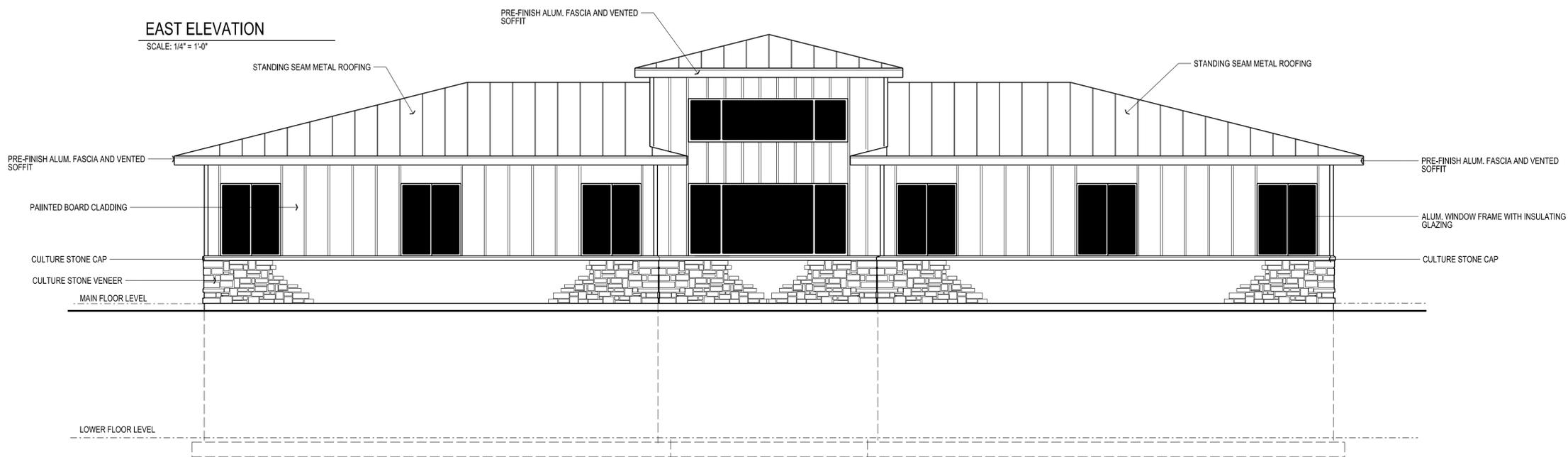
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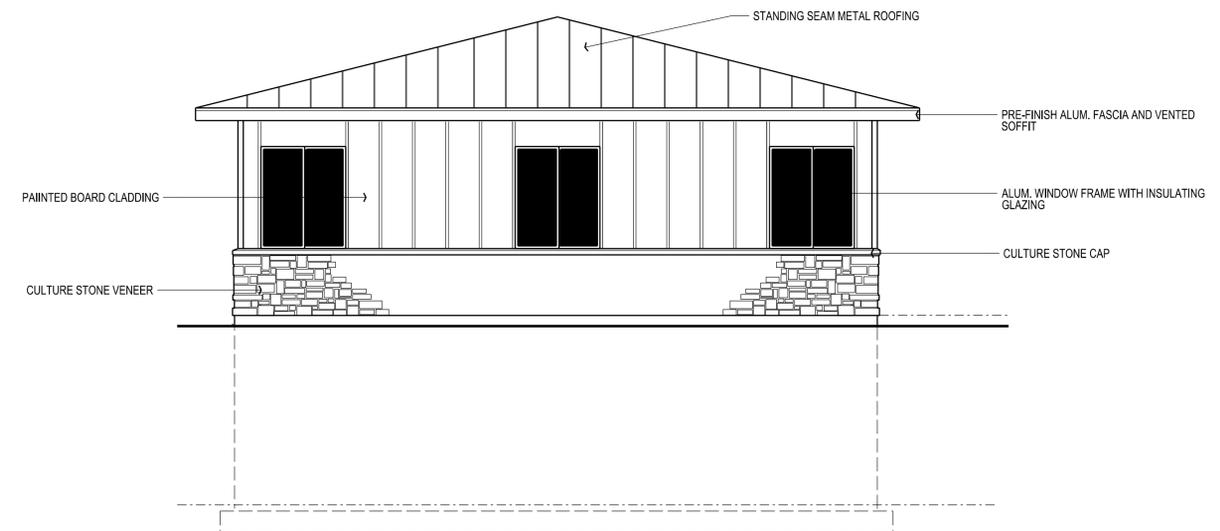
811  
 Know what's below.  
 Call before you dig.  
**ANNA**  
 2010 North Redwood Road, Salt Lake City, Utah 84116  
 (801) 521-8529 - AWEngineering.net



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

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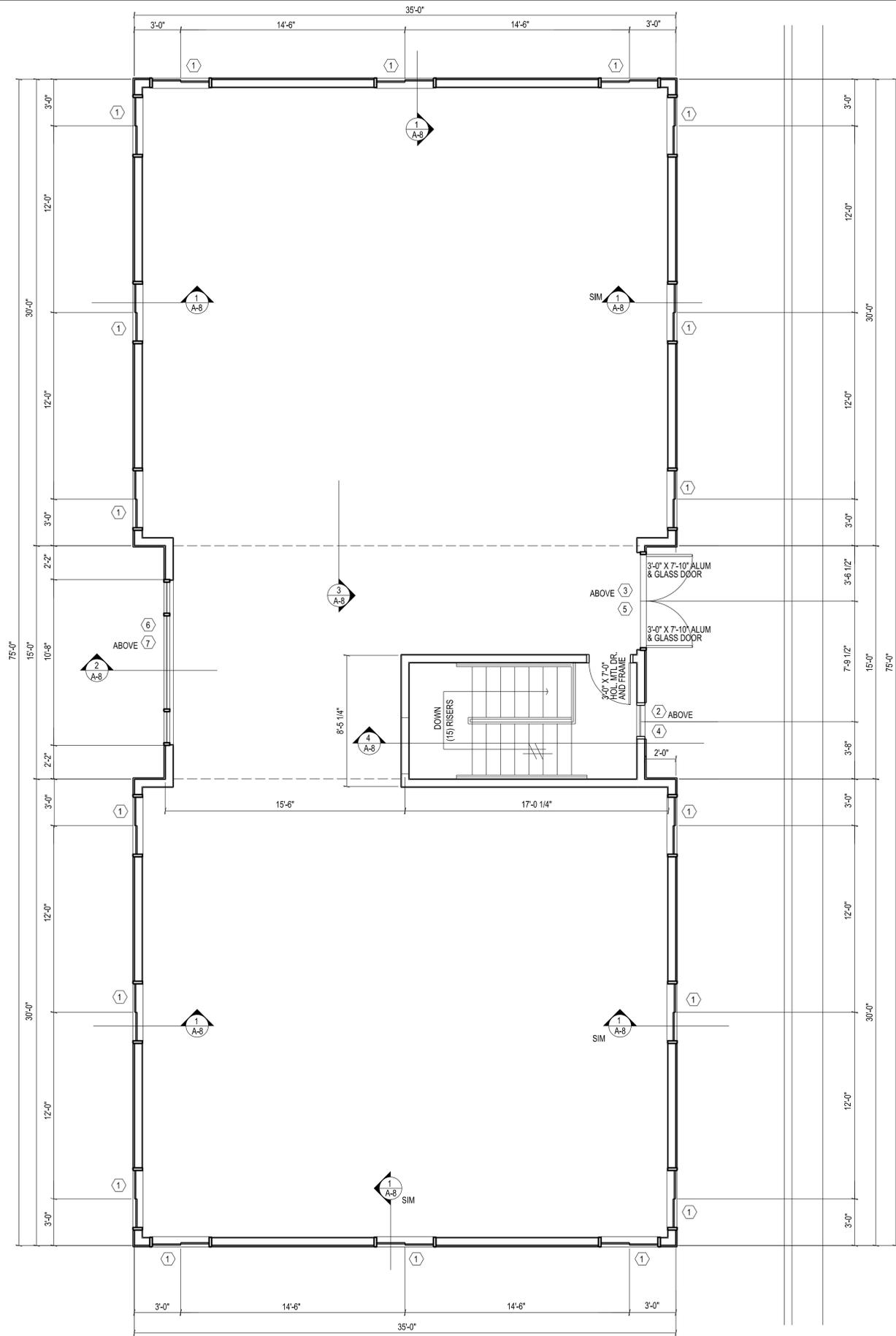
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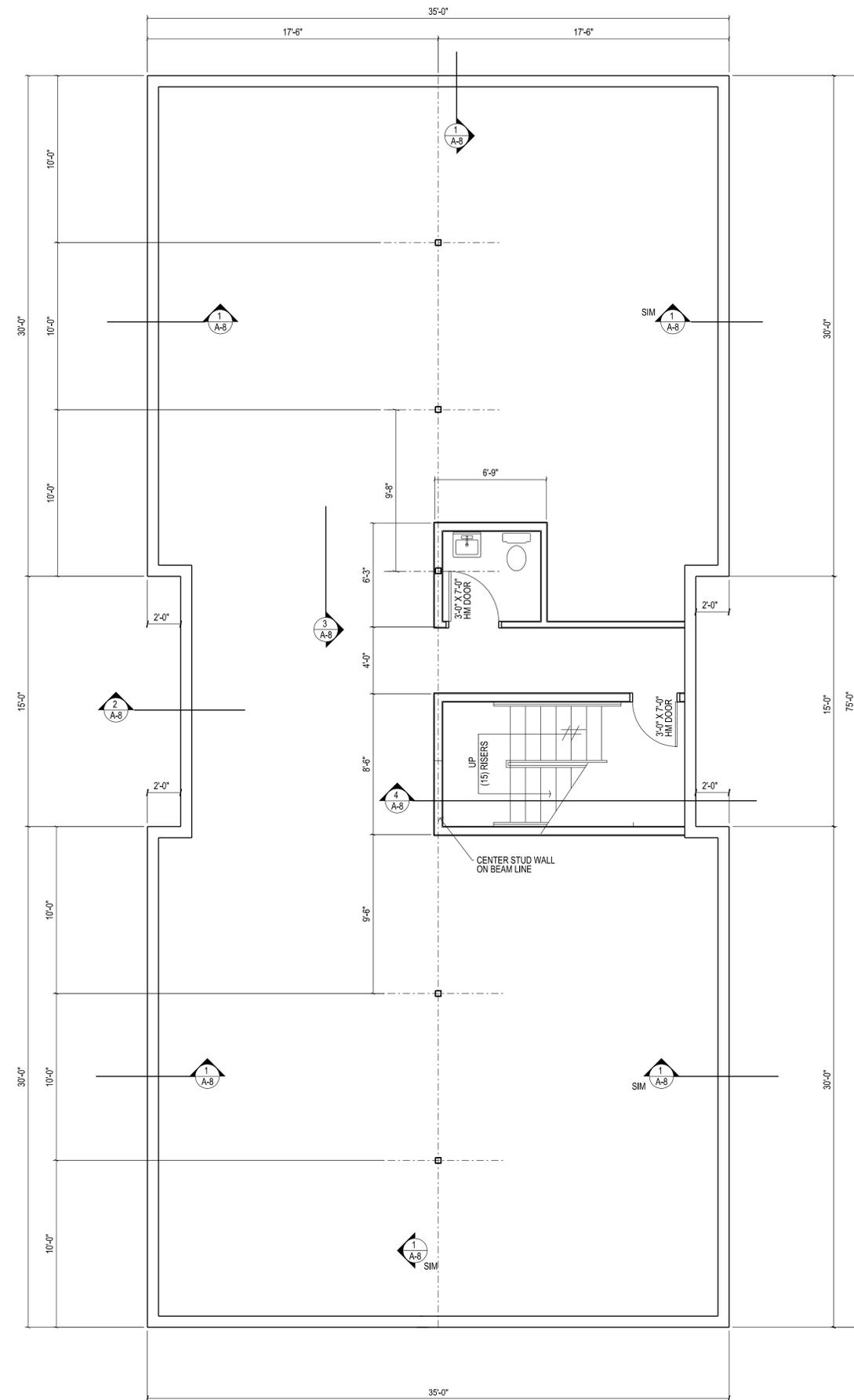
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A-4



NORTH  
**MAIN FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



NORTH  
**LOWER FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DESCRIPTION

**OFFICE BUILDING FOR MARK RAY**  
 7865 SOUTH 700 EAST  
 SANDY, UTAH

DWN. BY:	RLM
DATE:	DECEMBER 2024
FILE NO.:	
JOB NO.:	MARK RAY

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