



SANDY CITY COMMUNITY DEVELOPMENT

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Staff Report Memorandum May 7, 2026

To: Planning Commission
From: Community Development Department
Subject: Silver Sage Estates Subdivision (Preliminary Subdivision Review & Special Exception Request)
10175 S Dimple Dell Rd
(Community #29, The Dell)

SUB12082025-007089
SPX02202026-007116
R-1-10 Zone
Sensitive Area Overlay
3 Lots, 2.2 Acres

Public Meeting Notice:

This item has been noticed to property owners within 500 feet of the subject area, on public websites, and a sign posted on site.

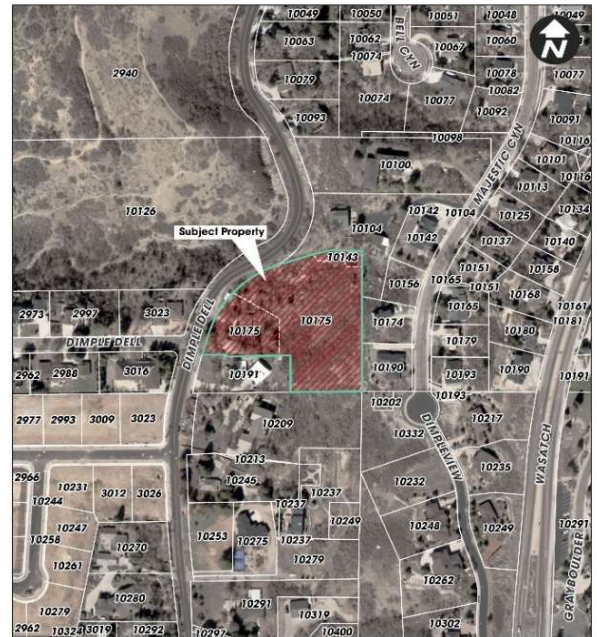
Request

The applicant, Alyssa Holbrook (representing the property owners, James and Carol Bay), is requesting preliminary subdivision review for the properties located at 10175 S Dimple Dell Rd. The proposal consists of consolidating the three (3) existing properties and then reconfiguring them into three (3) residential lots. Additionally, she is seeking special exception approval to not provide a parkstrip along Dimple Dell Road. (See Exhibit A to review application materials).

Background

The subject properties consists of approximately 2.2 acres and lies within the Sensitive Overlay Zone. The only existing development on the property is a single-family home that will be demolished as part of this project. The properties are zoned R-1-10. All surrounding properties are similarly zoned and have been developed into single-family homes. All properties in this area are within the Sensitive Overlay Zone and are subject to the requirements of that district.

The Orchards at Dimple Dell is a residential single-family project currently being developed southwest of this property. A large portion of hillside northwest of this development is zoned for Open Space (SD(OS)). The properties south and east are single family developments zoned R-1-20(A).



SUB12082025-007089
Silver Sage Estates Subdivision
10175 S Dimple Dell Rd

Community Development Department
Sandy City, UT

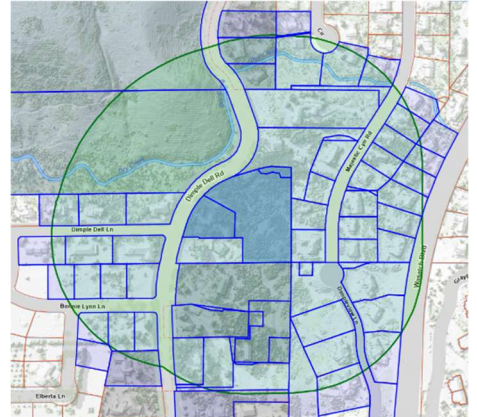


Property Case History	
Case Number	Case Summary
ANX10152024-006870	Bay Annexation - the R-1-10 Zone was applied which is the most similar zone to the previous County zoning.

Public Notice and Outreach

This item was noticed to all property owners within 500 feet of the proposal. A notice was posted to the Utah Public Notice website and the city website. A physical copy of the notice was posted at City Hall, and public notice signs were placed on the subject property.

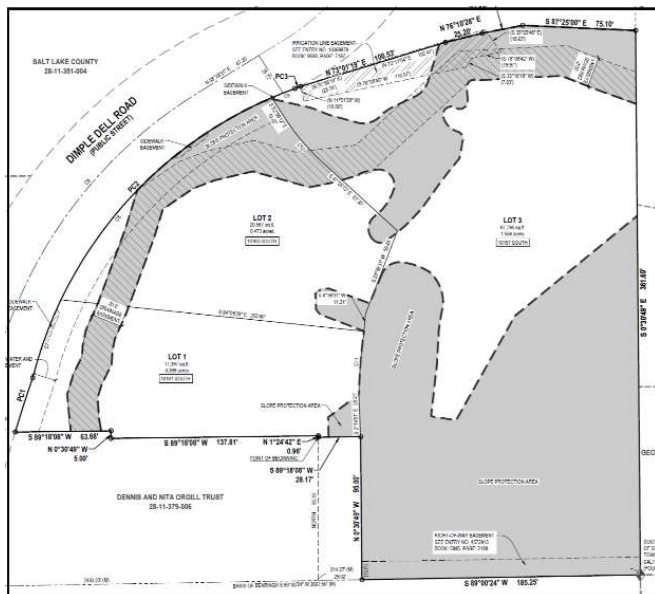
Staff held a virtual neighborhood meeting via Zoom on February 18, 2026. The input received from residents has been summarized in the attached minutes. (see Exhibit “B”).



Analysis

Subdivision

The applicant is proposing to consolidate the lot three (3) existing parcels and then subdivide them into three (3) revised single-family residential lots. The existing home will be demolished.



The configuration of the proposed lots was driven by the location of sensitive slopes and a drainage corridor that runs along the north and west sides of the property. A private driveway will provide access over the drainage easement to reach the buildable areas of Lot 3. The existing natural drainage area is being retained through a drainage easement and is shown on the subdivision plat.

Street improvements would consist of curb, gutter, and sidewalk. No parkstrips are sought as this development to comply with the 45-foot street cross section agreement between Sandy City and Salt Lake County. Street lighting will be installed per Sandy City requirements. A total of three (3) lights will be installed per the standard residential specifications and set no further apart than 145 feet. One will replace the existing light at the south end, another at the north end to illuminate the private driveway access, and a third in the middle of the project along the curve of the road.

Sensitive Area Overlay Zone

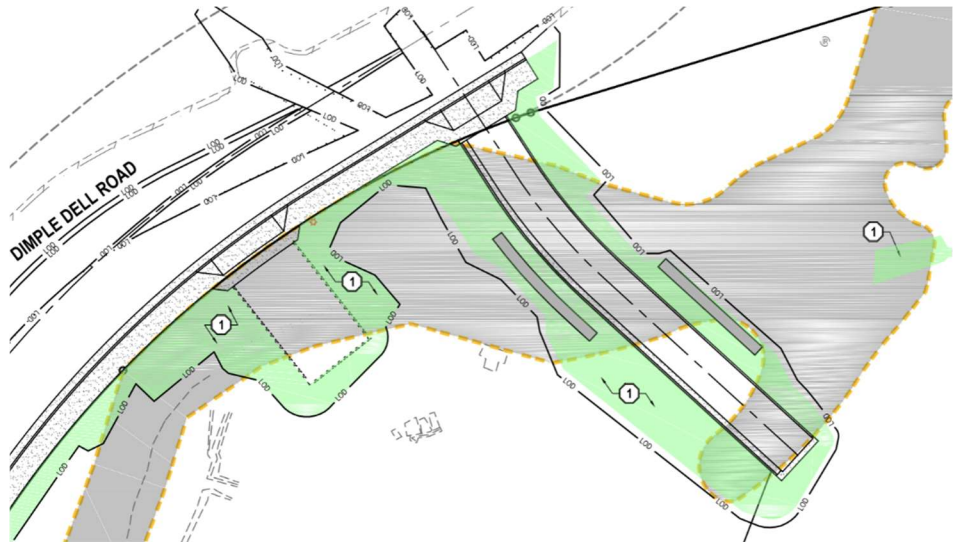
This property is also within the Sensitive Area Overlay zone. There are significant areas of 30% or greater slope that affects the proposed lots. These areas have been located on the plat, and the buildable areas of each lot are indicated. The City Engineer has also reviewed the slope study and other geotechnical documents provided by the applicant. Besides the steep slopes and drainage channel, there are no other geologic issues that require further mitigation.

Within the Sensitive Overlay zone, vehicle access ways must follow the natural terrain as close as possible to minimize the amount of cuts and fills required. In this case, accessing the upper eastern usable areas cannot be achieved without crossing

a substantial portion of sensitive slopes. City staff have worked extensively with the developer to identify the least impactful way to reach these usable areas, and the current plans reflect the outcome of that collaboration. The Planning Commission may approve this access configuration upon receiving a recommendation from the City Engineer. (see Exhibit A for City Engineer recommendation)

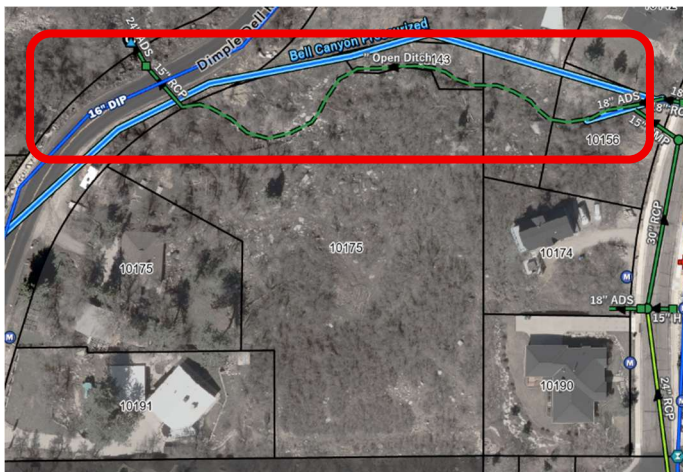
These lots also have large areas of natural vegetation and fall under the Wildland Urban Interface Overlay. Thus, balancing removal of natural vegetation with mitigating fire hazards is an important consideration. A mitigation of removal of natural vegetation is to require fire resistive building materials. Sandy City requires that geotechnical report be provided that in part, analysis the environmental effects of development on wildlife. The report received makes no mention of impacts to wildlife.

New development within Sensitive Areas requires approval of a revegetation plan that outlines how disturbed ground will be restored and stabilized following construction. The applicant has submitted a preliminary plan that will require further refinement at final. Additionally, a portion of the proposed Lot 3 was graded and flattened some time ago to accommodate garden boxes. This previously disturbed area will also need to be regraded and revegetated to return it as close as possible to native conditions.



Special Exception

Full street improvements are required for all new subdivisions under Sandy City’s Standard Specifications unless the Planning Commission grants a Special Exception based on a recommendation from the City Engineer. Sandy City and Salt Lake County have an existing agreement that the Dimple Dell Road frontage must follow the County’s 45-foot street profile. This profile creates a narrower corridor and removes the parkstrip that would otherwise be required. All other applicable street standards are being met, and the City Engineer has issued a positive recommendation for the proposed improvements. (See exhibit C)



Staff Concerns

Neighbors have expressed significant concern about potential impacts to local wildlife, particularly deer that rely on this area as a movement corridor between the upper bench and the Dimple Dell Park area. If future property owners install perimeter fencing, this connection could be severely restricted or eliminated altogether. Although the Sensitive Overlay Zone establishes certain fence material standards through hillside areas, it does not restrict where fencing may be placed, unless it is delineated as a wildlife corridor. The drainage easement that extends through the natural drainage on the north side of the property will already be restricted to fencing. Staff would suggest that a

wildlife corridor could be established within that area and the additional land north of the easement be included.

Residents also raised concerns about how additional streetlighting along Dimple Dell Road could affect wildlife, noting that excessive illumination may discourage deer and other species from using the area. Ensuring adequate lighting for public safety must be balanced with minimizing light pollution and preserving wildlife movement. Public Utilities is requiring three residential-scale streetlights along the corridor, each consisting of a 22-foot pole with a downward-facing LED fixture. These standard city street lights comply with [International Dark-Sky Association](#) guidelines and reduces glare which is wildlife-friendly. Staff believes this will provide the necessary safety while reducing potential impacts on wildlife.



This proposal will involve significant disturbances to protected hillsides during construction. Additionally, protected areas were disturbed prior to the current request. A complete revegetation and restoration plan must be provided by the applicant during the final review process that addresses how all of these areas will be restored to a native condition.

Staff Recommendations

Motion #1 Special Exception

Staff recommends that the Planning Commission approve the requested special exception for the Silver Sage Estates Subdivision located at 10175 S Dimple Dell Rd to omit the parkstrip along the frontage of Dimple Dell Road based upon the following findings:

Findings:

1. The proposed lot configuration equitably balances the needs of the public and presents the most efficient use of the land.
2. The public street design will comply with the 45-foot street cross section agreement between Sandy City and Salt Lake County.
3. The proposed public improvements will improve existing conditions and increase public safety through this corridor.
4. Elimination of the parkstrip will allow for retention of the natural drainage channel while allowing for a smoother and gentler curve along Dimple Dell Road.
5. That the City Engineer has provided a recommendation on the proposed development within the Sensitive Area Overlay Zone, including the street profile that supports these requests.

Motion #2 Subdivision Review

Staff recommends that the Planning Commission determine that preliminary subdivision review is substantially complete for the Silver Sage Estates Subdivision located at 10175 S Dimple Dell Rd based on the following findings and subject to the following conditions:

Findings:


1. That the proposed lot configuration equitably balances the needs of the public and presents the most efficient use of the land.

2. That the proposed lots comply with the requirements of the R-1-10 and Sensitive Area Overlay Zones.
3. That the various City Departments and Divisions have preliminarily approved the proposed subdivision plat.
4. That the City Engineer has provided a recommendation on the proposed development within the Sensitive Area Overlay Zone.

Conditions:

1. That street improvements and right of way dedications on Dimple Dell Rd be carried out in accordance with the approved plans as shown in the application materials.
2. That all lots comply with all requirements of the R-1-10 Zone and the Sensitive Area Overlay Zone.
3. That any area equal to or in excess of a 30% slope be indicated (cross-hatched) on the final plat, and that perspective builders and homeowners be apprised of the restrictive nature of the hillside lots.
4. That all lots comply with the requirements of the Wildland Urban Interface requirements without removal of natural vegetation within the protected slope areas of the lots and homeowners be apprised of this requirement.
5. That a grading and drainage plan be submitted and approved for all lots prior to issuance of a building permit. The grading plan shall include a driveway plan and profile to assure conforming driveway slope. Any down sloping driveway will require approval by the City Engineer.
6. That the applicant complies with each department's comments and redlines throughout the final review process and that all issues be resolved before the subdivision can be recorded.
7. That a revegetation plan be provided at final staff review for all areas of protected hillsides that were previously disturbed or will be through the proposed development.

Planner:



Thomas Irvin
Senior Planner

File Name: S:\USERS\PLN\STAFFRPT\2025\SUB12082025-007089 – SILVER SAGE ESTATES SUBDIVISION\PLANNING COMMISSION\STAFF REPORT

Exhibit “B”
NEIGHBORHOOD MEETING NOTES AND PUBLIC COMMENT

Neighborhood Meeting Summary

Meeting Date: February 18, 2026
Neighborhood: The Dell #29
Project: Silver Sage Estates Subdivision
Applicant: Alyssa Holbrook

Project Summary

The proposal is a Preliminary Subdivision review for a 4-lot single-family development within the Sensitive Overlay Zone along Dimple Dell Road.

The property is zoned R-1-10. The applicant is also seeking Special Exception approval to create a private lane to access two of the lots.

Meeting Minutes

The neighborhood meeting was conducted online, via Zoom with approximately 12 residents in attendance. After the initial presentation, residents expressed concerns about the following:

Impacts to the Natural Character of Dimple Dell

Several residents brought up concerns about the existing low-density character of the neighborhood that will be impacted by additional development. Deer frequently use the property to migrate up and down the canyon. Additionally, several types of bird's nest in and around the property including great horned owls and hawks. This natural environment is seen as a community amenity residents prefer to retain.

Street lighting was also a concern as it will brighten the roadway further serving to drive wildlife away. It would also impact the dark sky character neighbors have come to enjoy.

Questions were also asked concerning fencing. If the future owners enclose their property with fencing, it will leave little to no access down the canyon for wildlife.

Drainage

As the property is a hillside development, drainage was also a concern. Public Utilities has been making improvements along majestic Canyon which runs up-hill of this development. Residents wanted to understand how building 4 additional homes would impact existing drainage patterns.

It was explained that the natural drainage of the property would not be changed as part of this development. The existing ravine that runs along the west side will continue to be the primary drainage corridor. The proposed private lane at the north that crosses over this ravine will have drainage pipes installed beneath it to allow for the continuous flow of water.

Vehicle Access and Traffic

Residents wanted to know how many more points of vehicle entry were being proposed along Dimple Dell Road (one). It was mentioned that cars frequently speed down the canyon along this stretch and that having additional vehicle entry points may create the potential for accidents. Additionally, in the winter, vehicles often slide down the hill and off the road. It was explained that having full improvements to include curb and gutter would actually serve to prevent this after development.

Exhibit "C"
CITY ENGINEERS RECOMMENDATION
 See the attached file for full information



SANDY CITY PUBLIC WORKS

RYAN KUMP, PE
 PUBLIC WORKS DIRECTOR

MONICA ZOLTANSKI
 MAYOR

SHANE PACE
 CHIEF ADMINISTRATIVE OFFICER

CITY ENGINEERS RECOMMENDATION
MEMORANDUM

Date: February 27, 2026
To: Thomas Irvine, Development Services Manager
From: Britney Ward, P.E., City Engineer/Assistant Public Works Director

Project Name: Silver Sage Estates
Plan Case Number: SUB12082025-007089
Project Address: 10175 S Dimple Dell Rd

In accordance with the Sandy City Land Development Code Chapter 21-15-4(b)(7)a, the above referenced property qualifies for special exception to allow a private lane in the Sensitive Area Overlay Zone through a 30% or greater slope. It is recommended that the exception be approved and construction of the private lane be allowed on the subject property.

Findings include the following:

"Streets, roadways, and private streets, lanes, and driveways through protected 30 percent or greater slopes are prohibited unless all the following criteria are met and approved by the Planning Commission upon recommendation of the Director and City Engineer:

1. *No alternative location for access is feasible or available;*

The parcel of land being subdivided has little existing street frontage, restricted to the northwest corner of the property. The remaining parcel boundary is surrounded by developed single family homes. The parcel has been subdivided to provide 4 buildable lots, dictated by the 30% or greater slope areas. Hence, Lots 3 and 4 have no street frontage along Dimple Dell Rd. Lots 1 and 2 both have street frontage onto Dimple Dell Rd, however there are existing 30% or greater slopes along the full frontage. To gain access to all four lots, it is necessary to cut through the steep slope. To limit the amount of cut required, the development has combined the access into Lots 3 and 4, and identified the least impactful locations for accesses into the other 2 lots.

2. *No individual segment or increment of the street, roadway, private street, lane, or driveway is more than 150 feet in length that crosses any continuous 30 percent or greater slopes;*

The private lane has been located as far north as possible to provide clear sight distance coming in and out of the access. While the private lane is greater than 150', it includes a hammer head turn-around for fire. To gain access to the buildable area withing Lot 4, an access over 150' is needed.

3. *All crossings of a continuous 30 percent or greater slope shall be designed and constructed to eliminate significant adverse environmental, or safety impacts as determined by AASHTO guidelines and geotechnical*

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