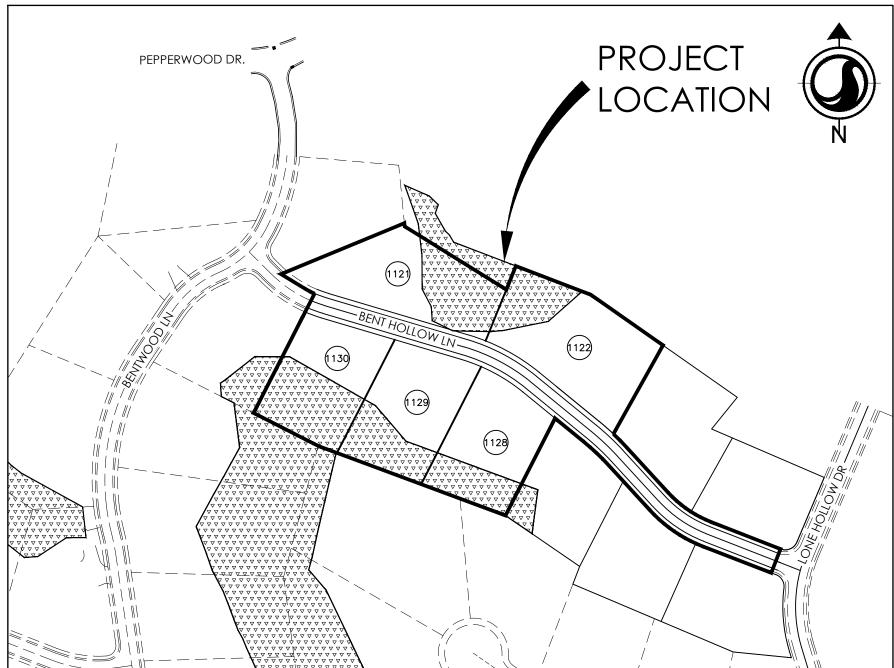


# AUTUMN RIDGE DEVELOPMENT

# SITE PLAN SUBMITTAL FOR PEPPERWOOD PHASE 11E SANDY, UTAH

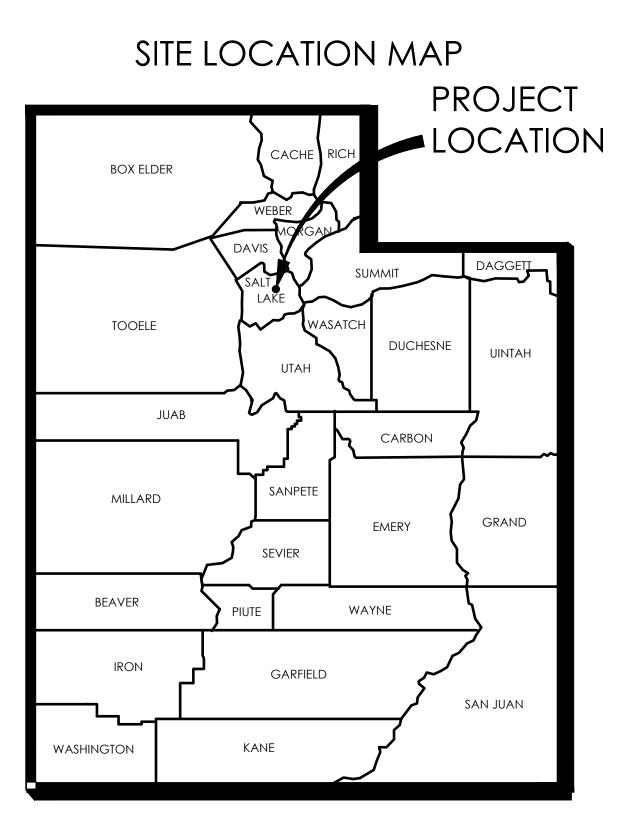


# JANUARY 11, 2021 Project Number: 2042598500



VICINITY MAP NO SCALE

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STATE OF UTAH

THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS, THE CONTRACTOR SHALL BE SATISFIED AS TO THEIR TRUE MEANING AND INTENT AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH. GENERAL NOTES: 1) ALL PUBLIC IMPROVEMENTS, WHICH ARE TO BE OWNED AND MAINTAINED BY SANDY CITY, SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION). THE SPECIFICATIONS CAN BE FOUND IN .PDF FORMAT ONLINE AT WW.SANDY.UTAH.GOV (CLICK ON "GOVERNMENT", THEN "PUBLIC WORKS", THEN "STANDARD SPECIFICATIONS") 2) PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT THE CITY OF SANDY FOR A PRE-CONSTRUCTION CONFERENCE. A. REGULATORY AGENCY: SANDY CITY 10000 CENTENNIAL PARKWAY SUITE 241, SANDY, UT 84070 CONTACT: RYAN KUMP (801) 568-2999 B. OWNER: AUTUMN RIDGE DEVELOPMENT LLC 716 EAST 4500 SOUTH #N260 MURRAY, UT 84107 CONTACT: DAVID BROMLEY (801) 713-1863 C. ENGINEER: STANTEC CONSULTING SERVICES INC 2890 EAST COTTONWOOD PARKWAY SUITE 300 SALT LAKE CITY UT 84121-7283 (801) 801-743-4957 CONTACT: SCOTT BOLTON D. SEWER: SANDY SUBURBAN SEWER DISTRICT 8855 SOUTH 700 WEST SANDY SANDY, UTAH 84070 AGENCY. (801)561-7662 E. WATER: SANDY CITY 10000 CENTENNIAL PARKWAY SUITE 241, SANDY, UT 84070 ROCKY MOUNTAIN POWER F. ELECTRIC: G. GAS DOMINION ENERGY 1140 W 200 S, SALT LAKE CITY, UT 84104 (800) 323-5517 H. TELEPHONE: CENTURYLINK (801) 974-8105 I. CABLE TELEVISION: COMCAST 9072 SOUTH 700 WEST, SANDY, UT 84070 (801) 401-32126 3) IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE. 4) WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED. 5) THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECILILAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES. WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS. 6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHTS-OF-WAY, EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION. 7) Contractor shall obtain an encroachment permit where applicable for any work done within rights-of-way OR EASEMENTS FROM THE CITY OF SANDY, AND/OR SALT LAKE COUNTY, AND/OR UTA. CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR UTA, 24 HOURS IN ADVANCE OF COMMENCING THE WORK, OR AS REQUIRED BY SAID PERMITS. 8) THE CONTRACTOR SHALL, AT THE TIME OF BIDDING, AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. 9) CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, REGUARDING THE LOCATION OF THE PROPOSED WORK, AND THE ACTUAL CONDITIONS AT THE SITE OF WORK. IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE OWNER/ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT. THEY HAVE PROVIDED. RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR 10) THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC 11) THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION. 12) THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER. 13) THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR LOSS OR DISTURBANCE. 14) THE CONTRACTOR AGREES THAT: A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK. B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER. C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES. D. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN FXPFNSF 5) PROVIDE A PROCTOR TEST FOR ROADBASE MATERIAL THAT IS TO BE PLACED IN THE PUBLIC RIGHT-OF-WAY, TO THE SANDY CITY PUBLIC WORKS INSPECTOR, WHEN DELIVERED OR PLACED ON SITE. 16) FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT. SANDY CITY STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN, HOWEVER, UNLESS GEOTECHNICAL REPORT RECOMMENDATIONS ARE MORE STRINGENT. 17) INSTALL SURVEY MONUMENTS ACCORDING TO THE RECORDED PLAT PER SALT LAKE COUNTY SPECIFICATIONS. 18) IT IS UNLAWFUL FOR ANY PERSON TO INSTALL SURVEY MONUMENTS HAVING A SPATIAL RELATIONSHIP WITH ANY SECTION OR QUARTER SECTION CORNER WITHOUT HAVING FIRST OBTAINED FROM SALT LAKE COUNTY SURVEYOR'S OFFICE A PERMIT FOR SUCH NSTALLATION (UT COD ANN. SECTION 17-23-17). ALL SURVEY MONUMENTS SHALL BE IN ACCORDANCE WITH THE PERMIT ISSUED AND IT SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE SALT LAKE COUNTY SURVEYOR'S OFFICE. STANDARD PRECAST

CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS: THE CONTRACTOR SHALL DEFEND, INDEMNIEY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER. 20) DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE. 21) CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTROLIERS MAY BE DONE BY STANTEC CONSULTING SERVICES INC. UNDER SEPARATE CONTRACT. ALL CONSTRUCTION STAKING IS THE RESPONSIBILITY OF THE CONTRACTOR.

22) FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED. CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION. SPECIAL CARE SHALL BE TAKEN TO COORDINATE WITH UTA TO ENSURE SAFE AND WELL DEFINED ACCESS TO THE TRAX STATION AND THE BUS STOPS DURING CONSTRUCTION.

23) THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER: ALL RE-TESTING AND/OR RE- INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.

FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.

25) WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY

26) THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL; ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; IMPROVEMENTS, UTILITIES, STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

AND DISK TO CITY WHICH HAVE BEEN PREPARED BY THE ENGINEER.

AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

CLEARING AND GRADING NOTES:

CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH CITY OF SANDY STANDARD SPECIFICATIONS, THE AMERICAN PUBLIC WORKS ASSOCIATION GENERAL CONDITIONS AND STANDARD SPECIFICATIONS FOR CONSTRUCTION IN ITS LATEST EDITION (APWA - UTAH EDITION), AND THE RECOMMENDED EARTHWORK SPECIFICATIONS FOUND IN THE PROJECT GEOTECHNICAL STUDY BY TERRACON DATED 10-8-2015, TERRACON PROJECT NAME: SANDY TOD CANAL RELOCATION PROJECT, PROJECT NUMBER 61155067.

2) THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS ARE BASED ON A TOPOGRAPHIC SURVEY COMPLETED BY STANTEC FIELD SURVEY CREWS.

3) STANTEC SHALL PROVIDE A TEMPORARY EROSION CONTROL PLAN AND CONTRACTOR SHALL SUBMIT REQUEST FOR SWPPP PERMIT. OWNER REQUIRED TO OBTAIN OTHER PERMITS FROM SANDY CITY, SALT LAKE COUNTY AND THE STATE OF UTAH FOR TEMPORARY EROSION CONTROL. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ALL TEMPORARY EROSION CONTROL AND MAINTENANCE, AND SHALL PROVIDE EROSION AND SEDIMENT CONTROL FORMS TO THE CITY IN CONFORMANCE WITH THE SWPPP & UPDES PERMIT.

4) SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK. COPIES OF THE SOILS REPORT MAY BE OBTAINED AT THE OFFICE OF OWNER. SOIL INVESTIGATIONS WERE CONDUCTED FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH AS PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, SOIL STABILITY AND THE PRESENCE, LEVEL AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION OPERATIONS.

5) COUNTY BENCH MARK IS THE NORTHWEST SECTION CORNER OF SECTION 7 TOWNSHIP 3S RANGE 1E WITH A RECORDED ELEVATION OF 4473.865 FT.

DEWATERING NOTES:

)) The contractor shall furnish, install, operate and maintain all machinery, appliances, and equipment to MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.

2) THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE

3) SUMPS SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.

4) THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS", DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF THE NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATIONS SOILS, PREVENT DISTURBANCE OF COMPACTED BACKFILL, AND PREVENT FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES AND SEWERS. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, AND IT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.

SANDY CITY PUBLIC WORKS GENERAL NOTES:

2) PROVIDE ESTIMATION OF QUANTITIES OF EXCAVATION AND FILL, AS WELL AS LOCATIONS OF BORROW SITES, SURPLUS DISPOSAL SITES AND HAUL ROUTES, TO THE SANDY CITY PUBLIC WORKS INSPECTOR.

3) NOTIFY SANDY CITY PUBLIC WORKS INSPECTION DEPARTMENT, (801) 568-2999, 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF ANY ROADWAYS OR PUBLIC IMPROVEMENTS, INCLUDING SEWER FACILITIES. ALL INSPECTIONS MUST BE DONE PRIOR TO, OR CONCURRENT WITH, CONSTRUCTION. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE UNCOVERING AND/OR REMOVAL OF ALL CONSTRUCTION DONE WITHOUT NOTIFICATION, AT THE DISCRETION OF THE CITY ENGINEER.

4) BUILDER/OWNER SHALL REPLACE ANY EXISTING SIDEWALK OR CURB & GUTTER ALONG FRONTAGE OF THIS PROJECT, THAT IS FOUND TO BE DEFECTIVE, AS DIRECTED BY THE SANDY CITY INSPECTOR.

5) DUST, MUD AND EROSION SHALL BE ADEQUATELY CONTROLLED BY WHATEVER MEANS NECESSARY, AND THE ROADWAY AND PARKING AREAS SHALL BE KEPT FREE OF MUD AND DEBRIS, AT ALL TIMES.

WORK IN THE SANDY CITY RIGHT OF WAY. TRAFFIC PLAN, BONDING, AND INSURANCE WILL BE REQUIRED.

7) 2H:1V MAXIMUM SLOPE IN LANDSCAPE AREAS.

8) ALL PUBLIC IMPROVEMENTS, WHICH ARE TO BE OWNED AND MAINTAINED BY SANDY CITY, SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION). THE SPECIFICATIONS CAN BE FOUND IN .PDF FORMAT ONLINE AT WWW.SANDY.UTAH.GOV (CLICK ON "DEPARTMENTS," THEN "PUBLIC WORKS", THEN "STANDARD SPECIFICATIONS").

9. ALL WATER LINES SHALL BE POLY-BAGGED IN ACCORDANCE WITH SANDY CITY SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION.

10. ALL WATER MAINS AND SERVICE LATERALS SHALL BE INSTALLED, PRESSURE TESTED AND BACTERIOLOGICAL SAMPLES TAKEN IN ACCORDANCE WITH THE SANDY CITY STANDARD SPECIFICATION AND DETAILS FOR MUNICIPAL CONSTRUCTION.

11. A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH THE SANDY CITY ENGINEER, RYAN KUMP (801-568-2962), PRIOR TO CONSTRUCTION BEGINNING.

12. OWNER IS RESPONSIBLE FOR MAINTENANCE OF WATER LINE ON PRIVATE PROPERTY BEGINNING AT PROPERTY LINE.

ORIGINAL SHEET - ARCH D

19) THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY

24) IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE THE CONTRACTOR

27) PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE. CONTRACTOR SHALL THEN SUBMIT MYLAR

28) WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY

1) THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS, FOR DUST SUPPRESSION, IS ABSOLUTELY PROHIBITED.

6) BUILDER/OWNER SHALL SECURE AN EXCAVATION PERMIT FROM SANDY CITY PUBLIC WORKS DEPARTMENT PRIOR TO DOING ANY

13. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER. 14. PRIOR TO RELEASE OF THE GUARANTEE FOR IMPROVEMENTS, AND ACCORDING TO THE "CITY ENGINEER REQUIREMENTS" LETTER FOR THIS PROJECT, THE DEVELOPER SHALL SUBMIT A SCANNED COPY OF THE CONTRACTORS'S SITE (NOT BUILDING) CONSTRUCTION DRAWINGS SET TO SANDY CITY PUBLIC WORKS DEPARTMENT. AN AS-BUILT FIELD SURVEY IS NOT REQUIRED. THE AS-BUILT DRAWING, AS AN ELECTRONIC FILE, MAY BE SUBMITTED BY E-MAIL AT dpoulsen@sandy.utah.gov,OR ON A USB FLASH DRIVE, OR THE HARD COPY ORIGINAL SET MAY BE SUBMITTED TO SANDY CITY (DAVE POULSEN, 801-568-6058) WHERE THE SET WILL BE SCANNED AND RETURNED TO THE OWNER.

SEWER CONSTRUCTION NOTES:

- 1) SEWER IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH SANDY SUBURBAN IMPROVEMENT DISTRICT (SSID) DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS. COPIES OF THE DISTRICT STANDARDS AND SPECIFICATIONS ARE AVAILABLE AT THE DISTRICT OFFICE, 8855 S. 700 W. SANDY, UTAH 84070
- 2) VIDEO INSPECTION, AIR TESTS, VACUUM TESTS OF MANHOLES AND DEFLECTION TESTS SHALL BE PERFORMED ON ALL INSTALLED SEWER IMPROVEMENTS PRIOR TO FINAL ACCEPTANCE, ADDITIONAL TESTS MAY BE REQUIRED BY THE DISTRICT ENGINEER OR INSPECTOR. DEFECTS DESIGNATED BY THE DISTRICT ENGINEER OR INSPECTOR SHALL BE REPAIRED AT NO COST TO THE DISTRICT PRIOR TO ACCEPTANCE OF THE SEWER IMPROVEMENTS.
- 3) CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE S TAKING OR CONSTRUCTING ANY NEW SEWER LINES

SANDY CITY STREETLIGHT NOTES (Current as of 10/18/2018) 1. Notify Sandy City Public Utilities Inspector (801-568-7280), at least one business day (24 hours) prior to beginning construction. 2. A pre-construction meeting is required once final approval has been granted. The pre-construction meeting shall be scheduled through Sandy City Public Works Department. 3. All construction shall conform to the latest revision of the Sandy City Standard specifications and Details for Municipal Construction and/or other requirements as set forth in the Public Utilities Final Review and Approval Letter established for the development. Specifications and details can be obtained on the Sandy City website. 4. Submittals are required to be approved by the Consulting Engineer for streetlights, junction boxes, and electrical wiring. Submittals must have sufficient information to show that the proposed items conform to Sandy City standards and specifications. 5. Installations shall be located as indicated on the approved plans for the project. Field modifications must be approved by the Sandy City Public Utilities

Inspector 6. Street light poles shall not be installed in a manner that will not hinder the operation of fire hydrants, underground water system isolation valves, and other

utilities 7. Installations within close proximity to trees shall be avoided unless approved by Sandy City Public Utilities Inspector

## ABBREVIATIONS AGGRE AB AND APPROX. APPROX ARV AIR RELE BND BOUND BVC BEGININ CATV CABLE T CB CATCH CL OR CENTER CMP CORRU CONC CONCR COURT CT. DETAIL DET. DIA DIAMET DUCTILE DISTRIC DRIVE DR. DRIVEW DRAWIN DWG FAST EACH EXISTINC ENV. ENVIRO EDGE OI ELEV ELEVATIO EVC END OF E.W. EACH W FXISTINC EXP EXPIRAT FINISHED FG@BOW FINISHED FIRE HYD FINISH FLOWLIN GRADE HIGH P HDPE HIGH DE IMPRO IMPROV INV INVERT IRR IRRIGATI LENGTH LANE **I INFAR** LOW PO L.U.D LIMITED MFR MANUE MAX ΜΑΧΙΜΙ MANHC MINIMUM NORTH NTS NOT TO SCALE



Stantec Consulting Services Inc. 2890 EAST COTTONWOOD PARKWAY SUITE 300 Salt Lake City UT 84121-7283 Tel. (801) 743-4957 www.stantec.com

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Consultants

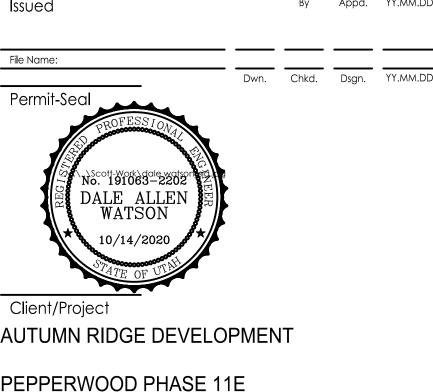
Legend

Notes

Revision

EGATE BASE	O.C. O.C.E.W.	ON CENTER ON CENTER EACH
XIMATELY	O.D.	OUTSIDE DIAMETE
EASE VALVE	OG	ORIGINAL GROUN
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ARY	PC	POINT OF CURVE
	P.E.	REGISTERED PROF
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BASIN	PL	PROPERTY LINE
RLINE	PP	POWER POLE
IGATED METAL PIPE	PRC	POINT OF REVERSI
RETE	PRV	PRESSURE REDUCI
	PSF	POUNDS PER SQU
	PS	PRESSURE SEWER
ER	PSI	POUNDS PER SQU
E IRON PIPE	PT	POINT OF TANGER
T	PUE	PUBLIC UTILITY EAS
1	PVC	POLYVINYL CHLO
/AY	PVI	POINT OF VERTICA
NG	PVMT	PAVEMENT
NG	PVT.	PRIVATE
	R	RADIUS
	RCP	REINFORCED CON
G GRADE	REF.	REFERENCE
	ROW	RIGHT-OF-WAY
OF PAVEMENT	S	
ION	S S=	SOUTH
VERTICAL CURVE		SLOPE
VAY	SS	SANITARY SEWER
3	SD	STORM DRAIN
TION OR EXPANSION	S.L. CO.	SALT LAKE COUNT
D GRADE	S.V.S.D.	SOUTH VALLEY SE
d grade at bottom of wall	SW	SIDEWALK
DRANT	SF	SQUARE FEET
	SHT.	SHEET
NE	STA	STATION
BREAK	STD.	STANDARD
OINT	TBC	TOP BACK OF CU
ENSITY POLY-ETHELYNE	TEMP.	TEMPORARY
VEMENT	TFW	TOP OF FOUNDAT
ELEVATION	THRU	THROUGH
<b>FION</b>	TG	TOP OF GRATE
1	TOP	TOP OF PORCH
	TW	TOP OF WALL
FEET	TYP.	TYPICAL
TAIC	VAR.	VARIOUS
USE DRIVEWAY	U.N.O.	UNLESS NOTED OT
ACTURER	VERT.	VERTICAL
UM	W	WATER
DLE	W	WEST
	W/	WITH

	ON CENTER
.W.	ON CENTER EACH WAY
	OUTSIDE DIAMETER
	ORIGINAL GROUND/GRADE
	OVERHEAD
	POINT OF CURVEVATURE
	REGISTERED PROFESSIONAL ENGINEER
	POINT OF INTERSECTION
	PROPERTY LINE
	POWER POLE
	POINT OF REVERSE CURVE
	PRESSURE REDUCING VALVE
	POUNDS PER SQUARE FOOT
	PRESSURE SEWER
	POUNDS PER SQUARE INCH
	POINT OF TANGENT
	POINT OF VERTICAL INTERSECTION
	PAVEMENT
	PRIVATE
	RADIUS
	REINFORCED CONCRETE PIPE
	REFERENCE
	RIGHT-OF-WAY
	SOUTH
	SLOPE
	SANITARY SEWER
	STORM DRAIN
0.	SALT LAKE COUNTY
о. Э.	SOUTH VALLEY SEWER DISTRICT
2.	SIDEWALK
	SQUARE FEET
	SHEET
	STATION
	STANDARD
	TOP BACK OF CURB
	TEMPORARY
	TOP OF FOUNDATION WALL
	THROUGH
	TOP OF GRATE
	TOP OF PORCH
	TOP OF WALL
	TYPICAL
	VARIOUS
	UNLESS NOTED OTHERWISE
•	VERTICAL
	-
	WATER
	WEST
	WITH



Βv

By

Appd. YY.MM.DI

Appd. YY.MM.DD

SANDY, UTAH

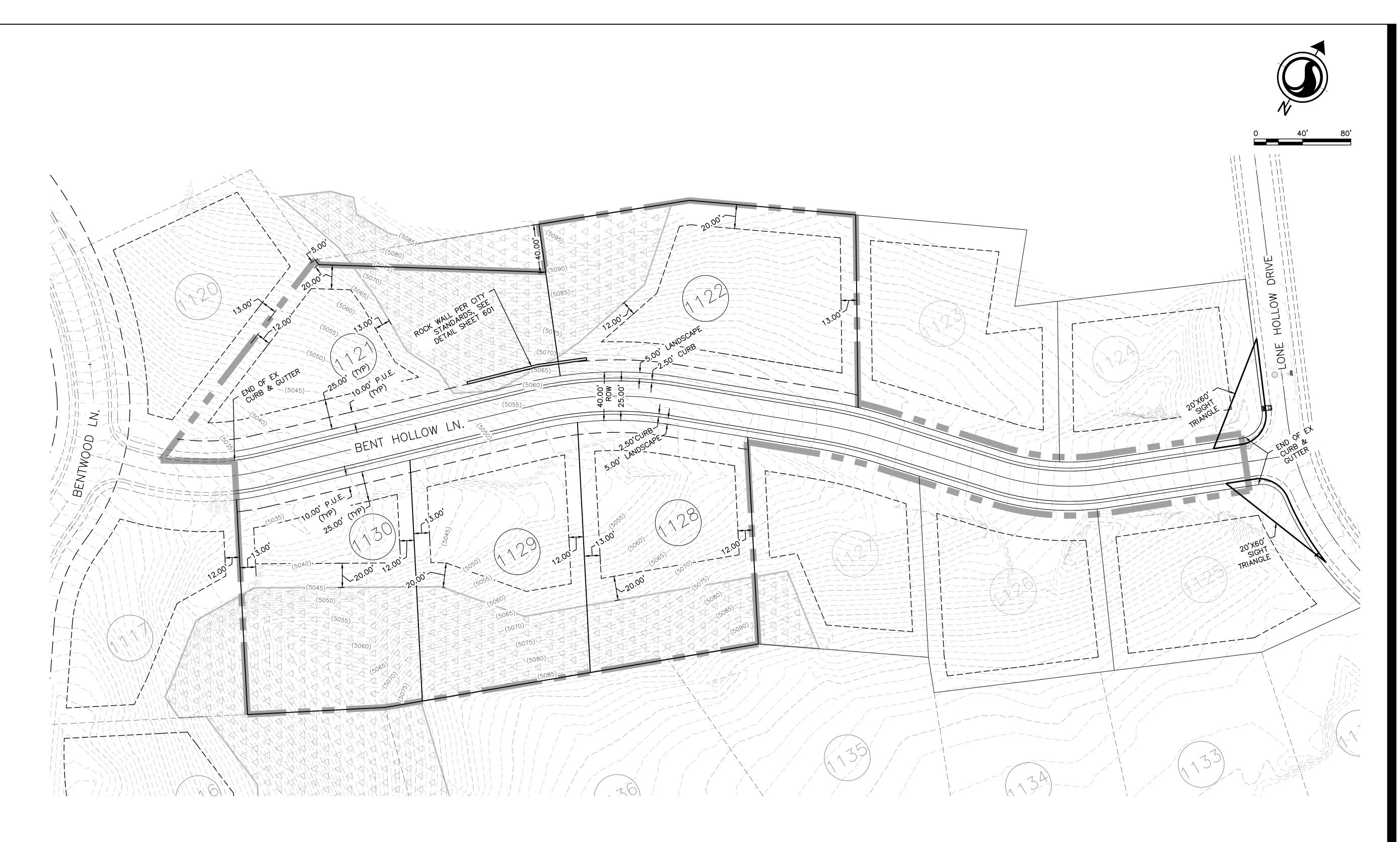
GENERAL NOTES AND ABREVIATIO

Project No. 042598500 Drawing No.

Scale

Sheet

Revision





RC LAN

TOTAL

# PEPPERWOOD PHASE E DEVELOPMENT AREAS

AREA (SF)	AREA (AC)
31,400	0.72
36,731	0.84
27,442	0.63
28,565	0.66
26,948	0.62
151,086	3.47
25,552	0.59
8,532	0.20
34,084	0.78
185,170	4.25
	31,400 36,731 27,442 28,565 26,948 <b>151,086</b> 25,552 8,532 <b>34,084</b>



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Legend 

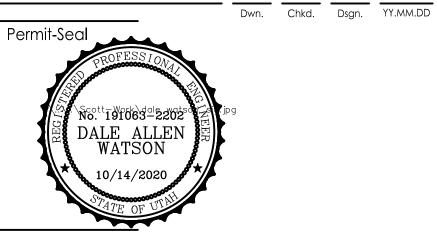


PHASE BOUNDARY

30% SLOPE

Notes

Appd. YY.MM.DD Revision Βv Issued Appd. YY.MM.DD



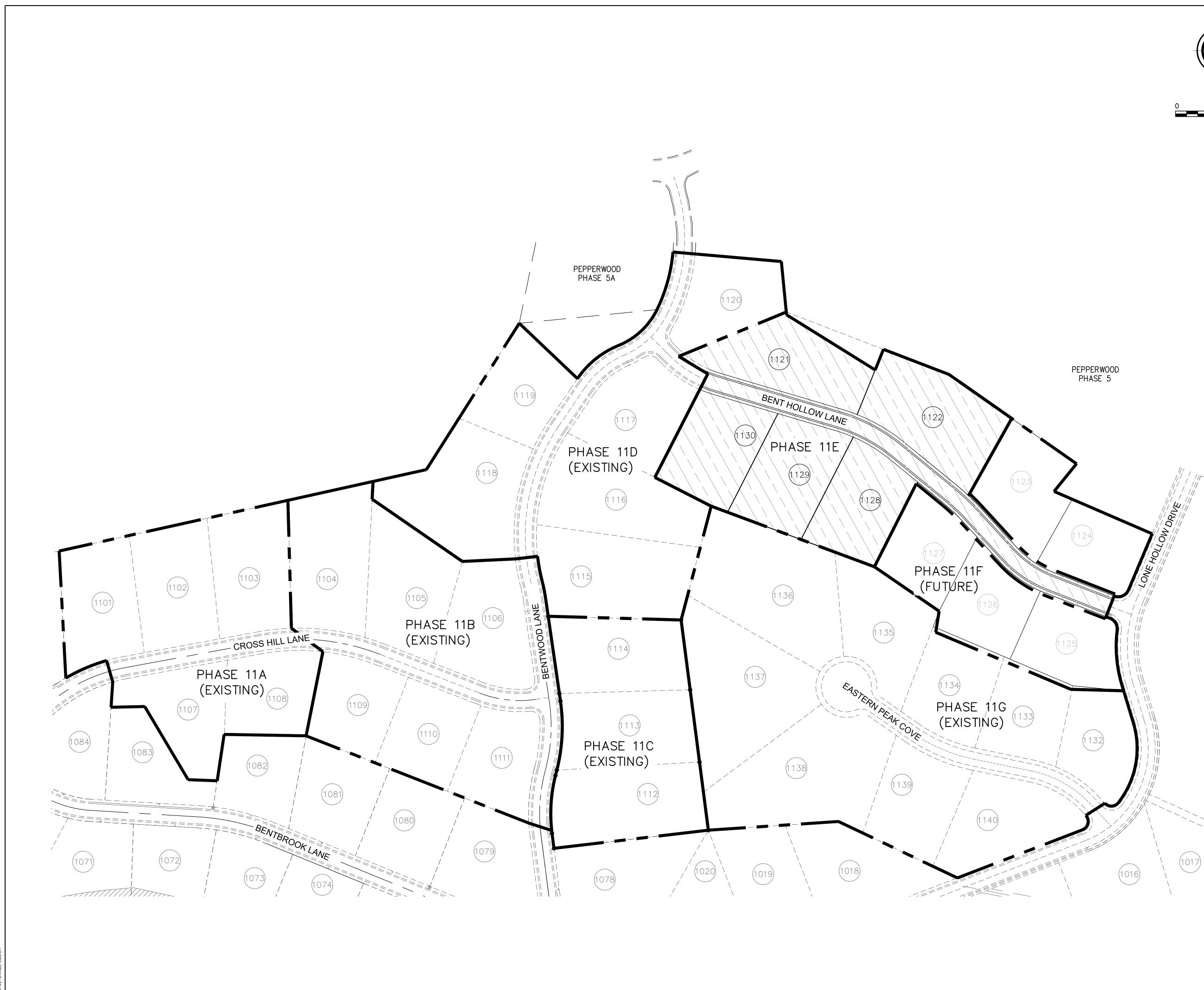
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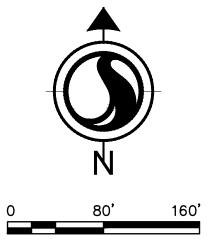
Client/Project AUTUMN RIDGE DEVELOPMENT

PEPPERWOOD PHASE 11E SANDY, UTAH

Title OVERALL SITE PLAN

Project No. 2042598500	Scale 1" = 40'	
Drawing No.	Sheet	Revision
C-100	3 of 12	







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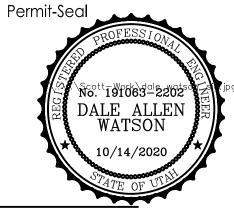
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Notes

Revision Appd. YY.MM.DI Βv

Issued Appd. YY.MM.DD

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Client/Project AUTUMN RIDGE DEVELOPMENT

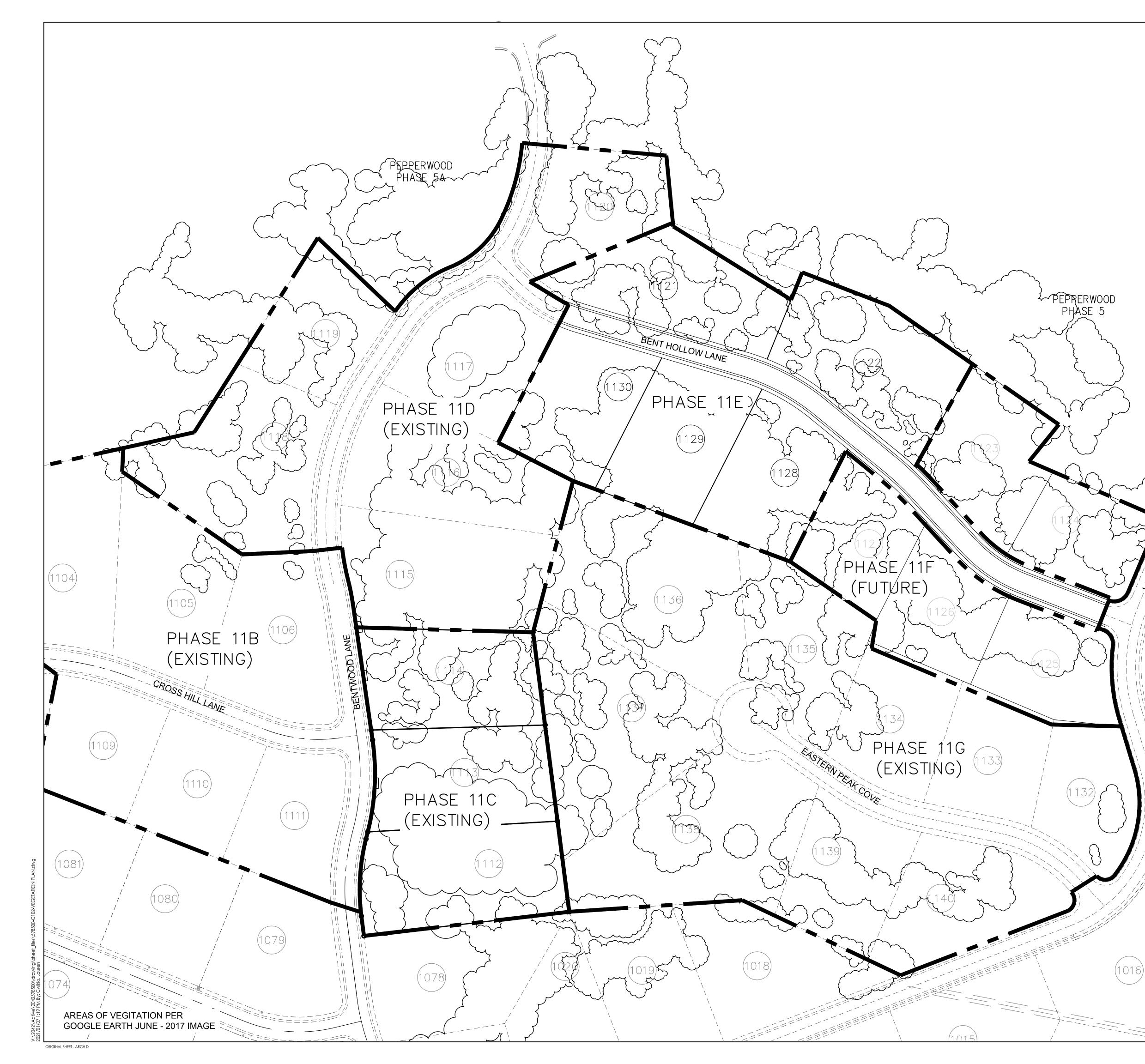
PEPPERWOOD PHASE 11E SANDY, UTAH

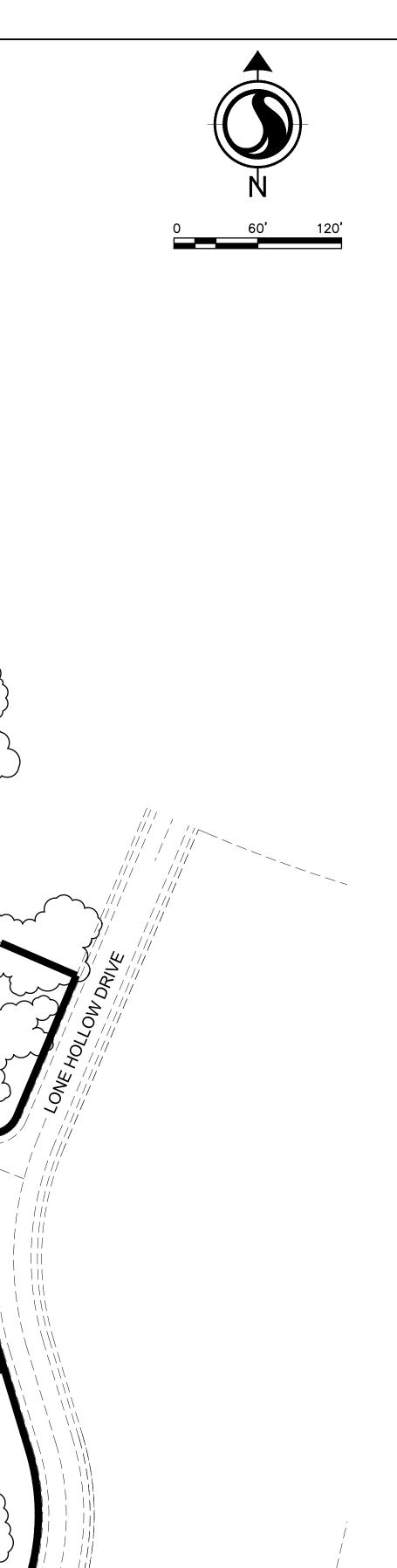
Title

File Name:

PHASING PLAN

Project No. 2042598500	Scale 1"=80'	
Drawing No.	Sheet	Revision
C-101	4 of 12	





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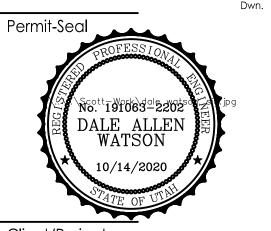
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SCRUB OAK

Notes

Chkd. Dsgn. YY.MM.DD



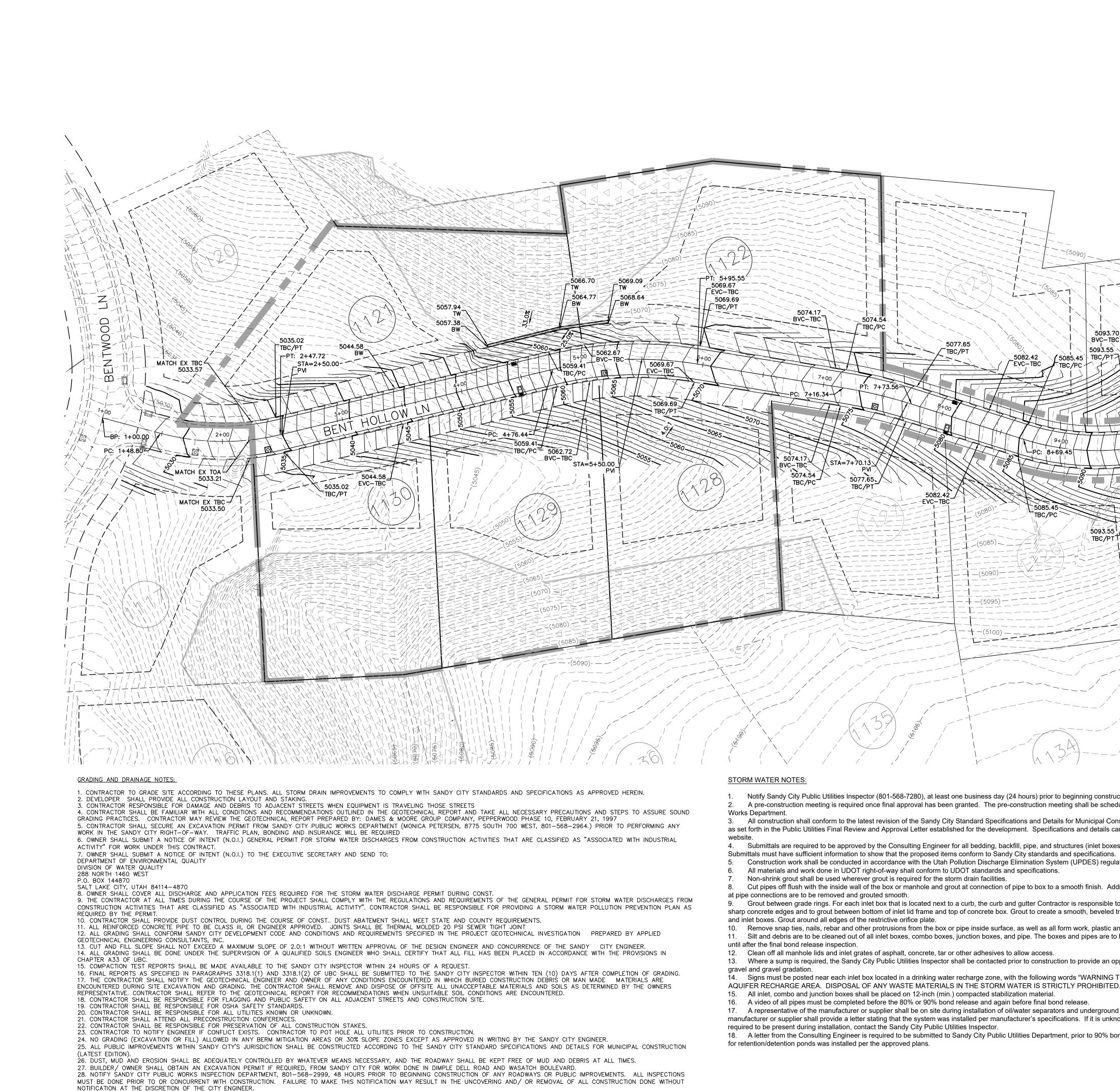
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Client/Project AUTUMN RIDGE DEVELOPMENT

PEPPERWOOD PHASE 11E SANDY, UTAH

# Title EXISTING VEGETATION PLAN

2042598500	NO SCALE	
Project No.	Scale	
Drawing No.	Sheet	Revision
C-102	5 <sub>of</sub> 12	



29 PROVIDE A PROCTOR TEST FOR ROADBASE MATERIAL WHEN DELIVERED OR PLACED ON SITE.

Notify Sandy City Public Utilities Inspector (801-568-7280), at least one business day (24 hours) prior to beginning construct A pre-construction meeting is required once final approval has been granted. The pre-construction meeting shall be sched

3. All construction shall conform to the latest revision of the Sandy City Standard Specifications and Details for Municipal Const as set forth in the Public Utilities Final Review and Approval Letter established for the development. Specifications and details ca

4. Submittals are required to be approved by the Consulting Engineer for all bedding, backfill, pipe, and structures (inlet boxes Submittals must have sufficient information to show that the proposed items conform to Sandy City standards and specifications.

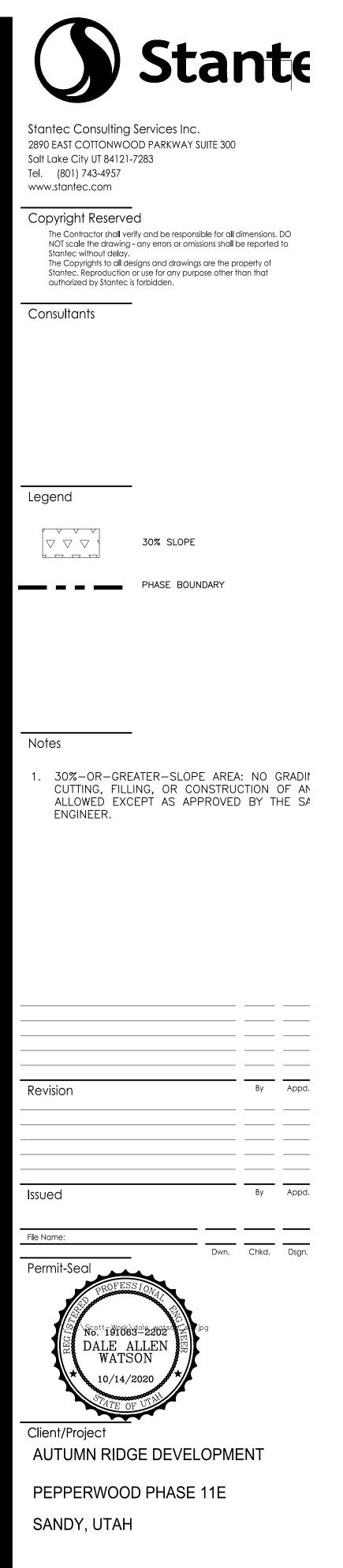
sharp concrete edges and to grout between bottom of inlet lid frame and top of concrete box. Grout to create a smooth, beveled the

11. Silt and debris are to be cleaned out of all inlet boxes, combo boxes, junction boxes, and pipe. The boxes and pipes are to l

14. Signs must be posted near each inlet box located in a drinking water recharge zone, with the following words "WARNING AQUIFER RECHARGE AREA. DISPOSAL OF ANY WASTE MATERIALS IN THE STORM WATER IS STRICTLY PROHIBITED

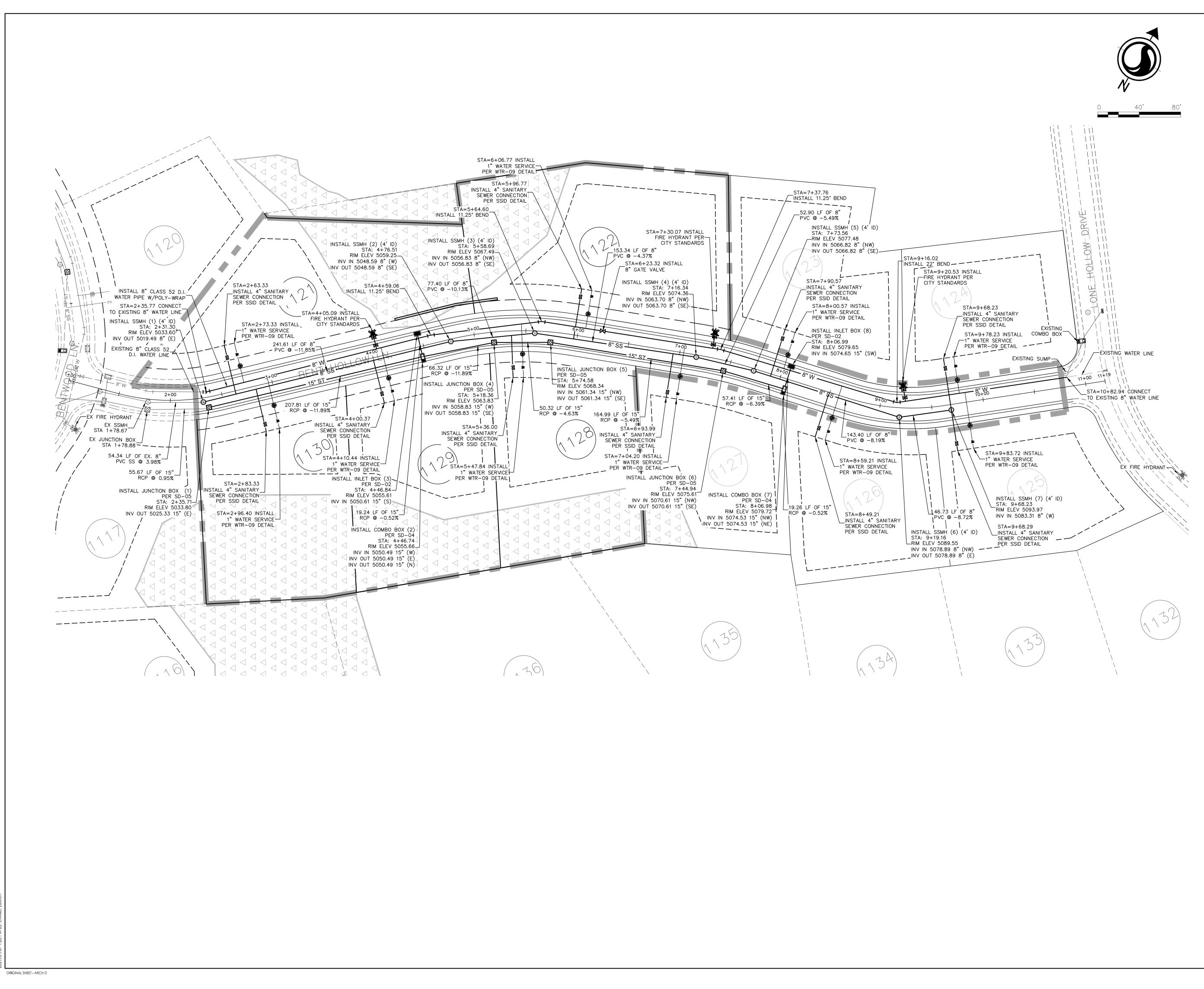
18. A letter from the Consulting Engineer is required to be submitted to Sandy City Public Utilities Department, prior to 90% bot

A DIAL SOBOLUTION AND A DIAL SOBOLUTICA AND A DIAL SOBOLUTICA AND A DIAL SOBOLUTICA AND A DIAL SOBOLUTICA AND
60       5095         MATCH EX TOA         5098.72         11+00         10+00         PT: 9+60.64         S00         5095
Sta=10+03.60 PVI BVC-TBC
ction. duled through Sandy City Public nstruction and/or other requirements an be obtained on the Sandy City s, combo boxes, and junction boxes). ations.
ditionally, all jagged or sharp edges to remove all protruding, jagged or transition at all edges in clean out nd cardboard. be maintained in a clean condition
THIS IS A DRINKING WATER )." d detention/retention systems. The own whether a representative is and release, verifying that the volume



# Title DETAILED GRADING PLAN

roject No. 2042598500	Scale 1" = 40'	
rawing No.	Sheet	Rev
C-200	6 <sub>of</sub> 12	





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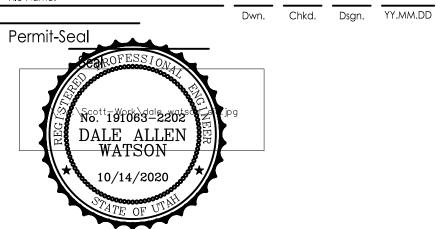
Legend

Notes

By Appd. YY.MM.DD Revision \_\_\_\_\_ By Appd. YY.MM.DD Issued

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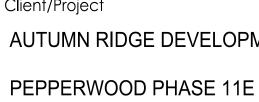
Revision



Client/Project







AUTUMN RIDGE DEVELOPMENT

Scale

Sheet

1" = 40'

7 <sup>of</sup> 12

File Name:

SANDY, UTAH

UTILITY PLAN

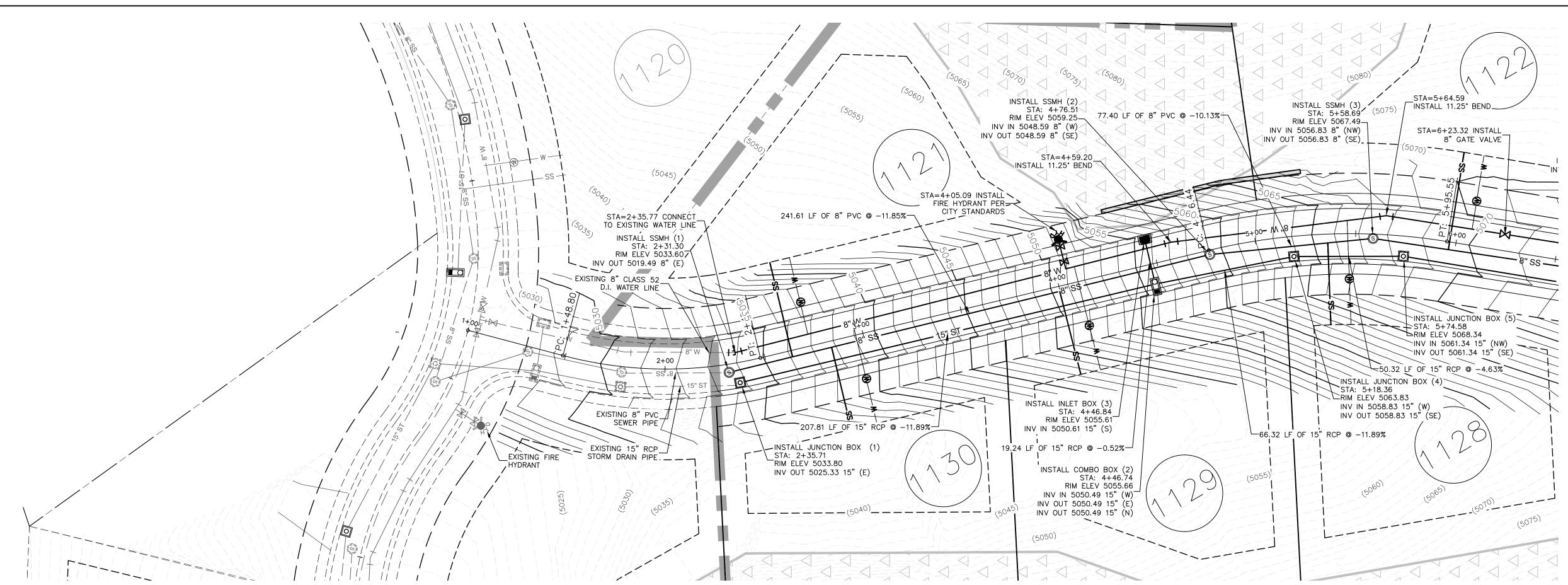
Title

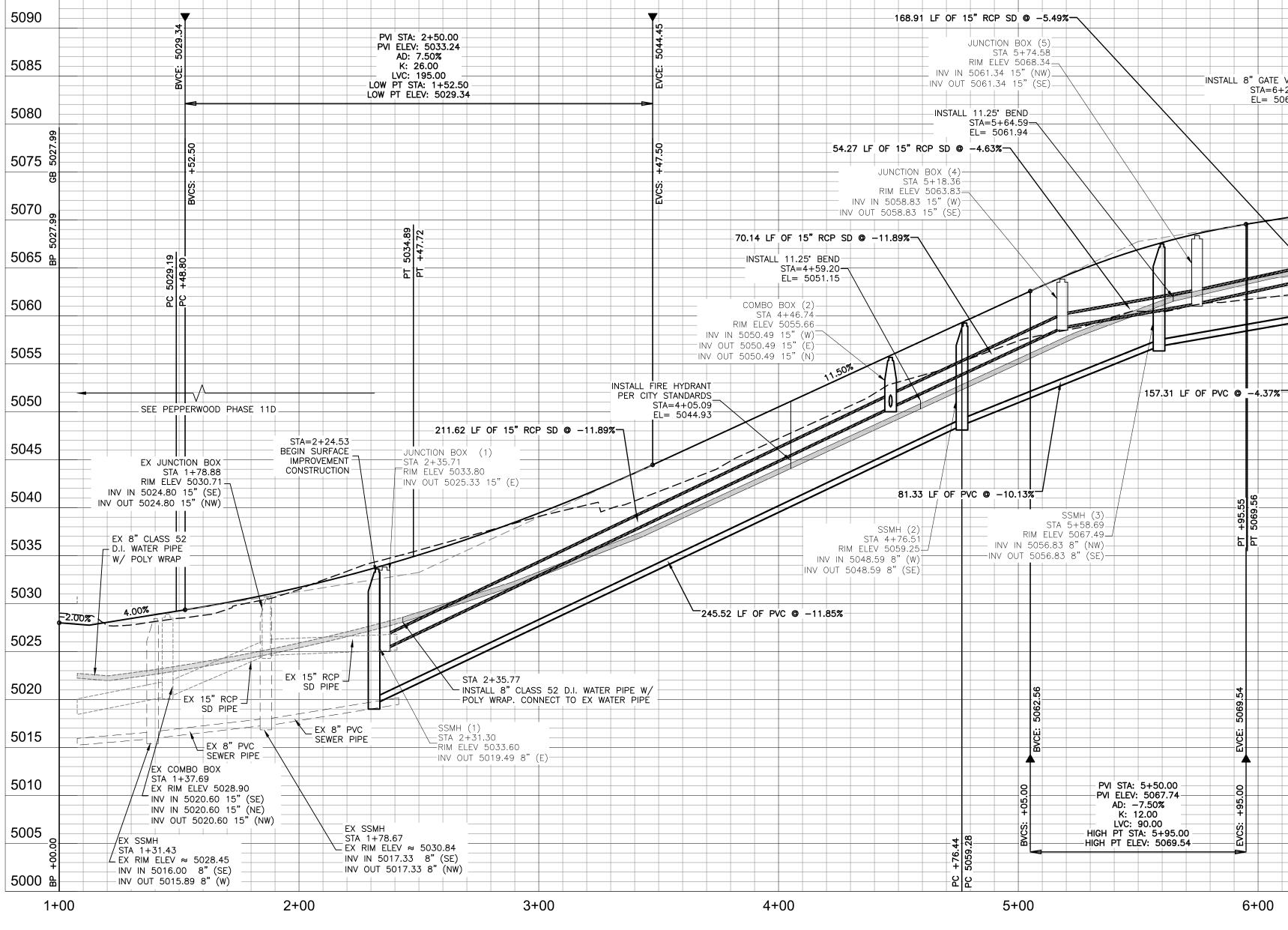
Project No.

2042598500

Drawing No.

C-300





42\Active\2042598500\drawing\sheet\_files\598500-C400-401-PP.dw

ORIGINAL SHEET - ARCH D

**SEE SHEET 401 FOR CONTINUATION** 

INSTALL 8" GATE VALVE STA=6+23.32 EL= 5064.87 -4.00% 6+00 6+50



) 30′ 60



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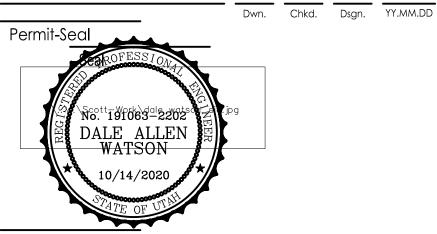
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Legend

Notes



Client/Project

File Name:

Title

AUTUMN RIDGE DEVELOPMENT

PEPPERWOOD PHASE 11E SANDY, UTAH

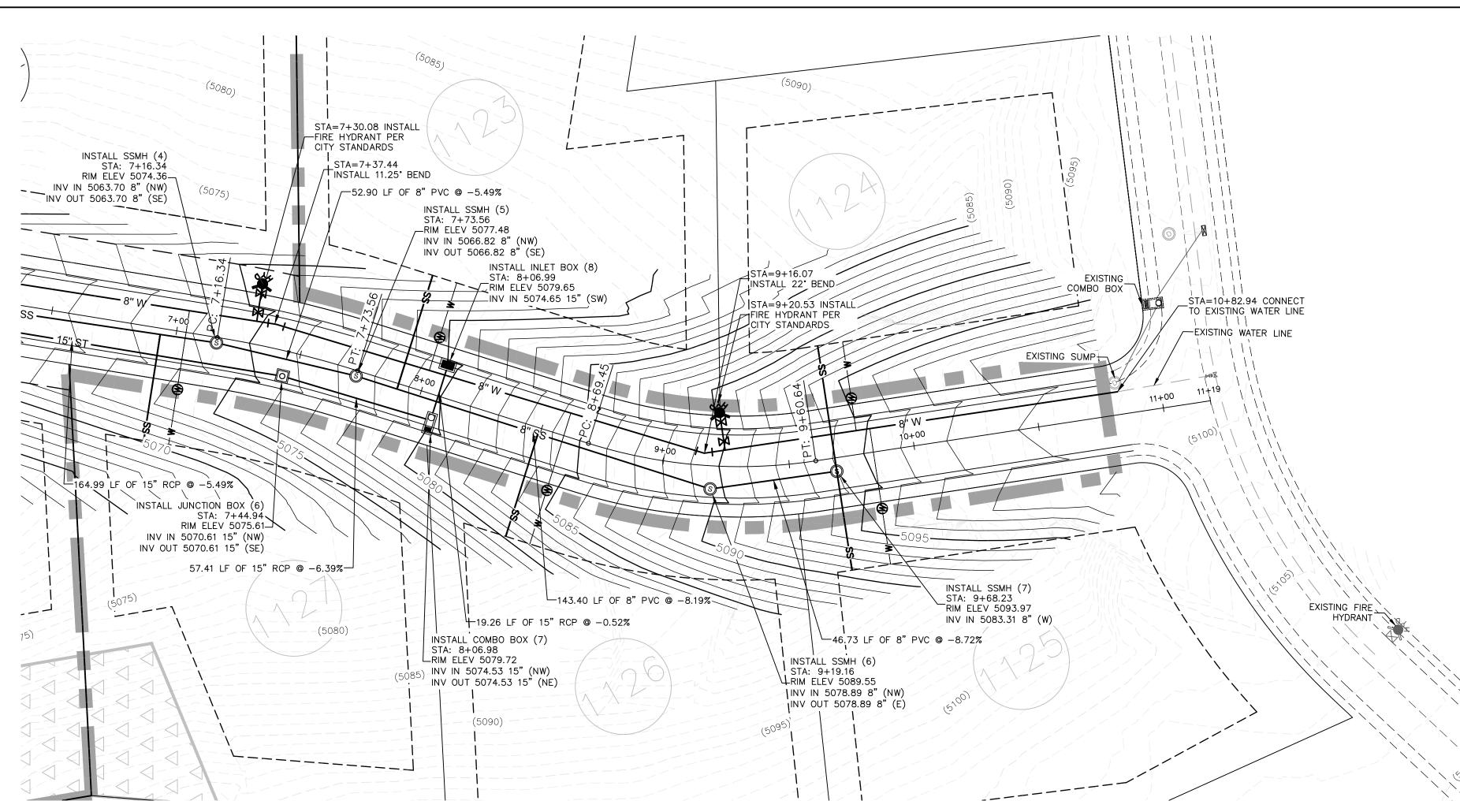
PLAN & PROFILE-I BENT HOLLOW LN.

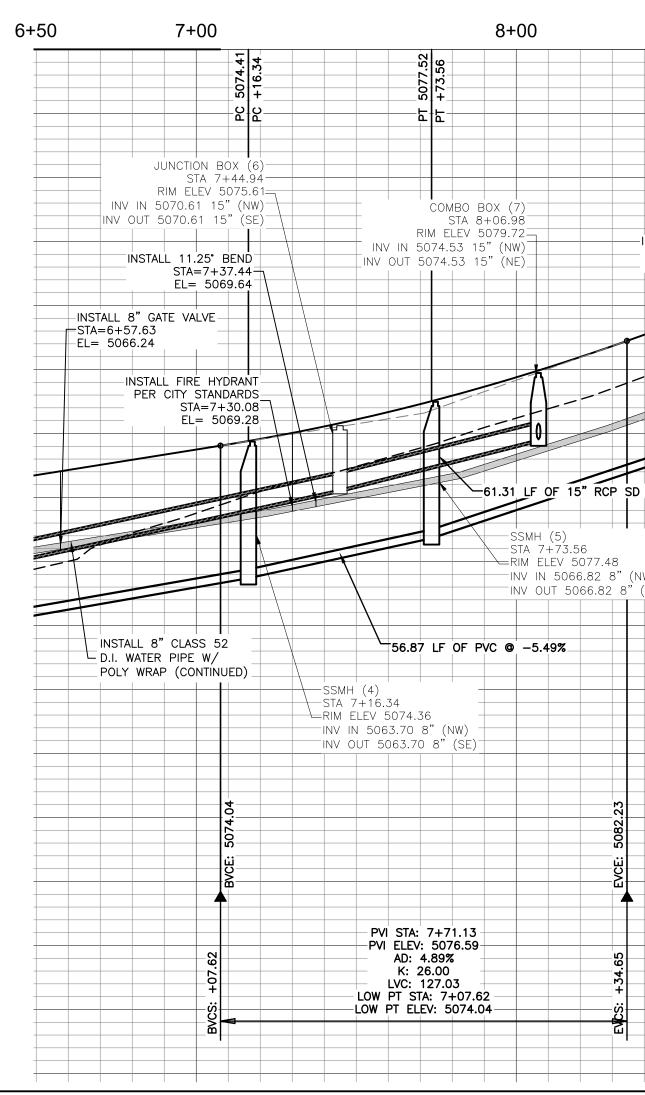
 Project No.
 Scale

 2042598500
 1" = 30' V: 1"=10'

 Drawing No.
 Sheet
 Revision

 C-400
 8 of 12

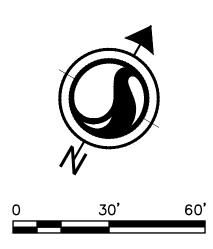




ORIGINAL SHEET - ARCH D



9+00	10+00	11+00	11+505105
PC 5085.32 PC +69.45	b1 2003.42 b1 5093.42 b1 5093.42 b1 460.64 b1 5093.42 b1 5093	%	5100
INSTALL FIRE HYDRANT PER CITY STANDARDS STA=9+20.53			5095
SIA=9+20.53 EL= 5083.85 			5090
STA=9+16.07 EL= 5083.48 8.89%	STA 10+82.94 CONNECT 8" CLASS 52 D.I. WATER PIPE W/ POLY WRAP TO EX WATER PIPE	CB 2039.17 CB 5039.17	5085
	SSMH (7) STA 9+68.23 RIM ELEV 5093.97 INV IN 5083.31 8" (W)		5080
	50.67 LF OF PVC @ -8.72%		5075
SD @ -6.39%7.35 LF OF PVC @ -8.19%	SSMH (6)       STA 9+19.16       RIM ELEV 5089.55       INV IN 5078.89 8" (NW)       INV OUT 5078.89 8" (E)		5070
			5065
(NW) 3" (SE)			5060
	20033.57 5093.57 5098.07 5098.07		5055
Image: Sector	BVCE: 5093.		5050
	PVI STA: 10+03.60		5045
	N:       PVI ELEV: 5097.24       N:         AD:       -6.89%       44         +       K: 12.00       +         K:       12.00       +         HIGH PT STA:       10+44.92       X:         HIGH PT ELEV:       5098.07       X:		5040
			5035
			5030
			5025





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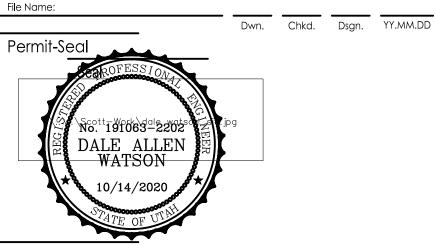
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Legend

Notes

\_\_\_\_ \_\_\_ \_\_\_



Client/Project

AUTUMN RIDGE DEVELOPMENT

PEPPERWOOD PHASE 11E

SANDY, UTAH

Title

 Project No.
 Scale

 2042598500
 1" = 30' V"=10'

 Drawing No.
 Sheet
 Revision

 C-401
 9 of 12

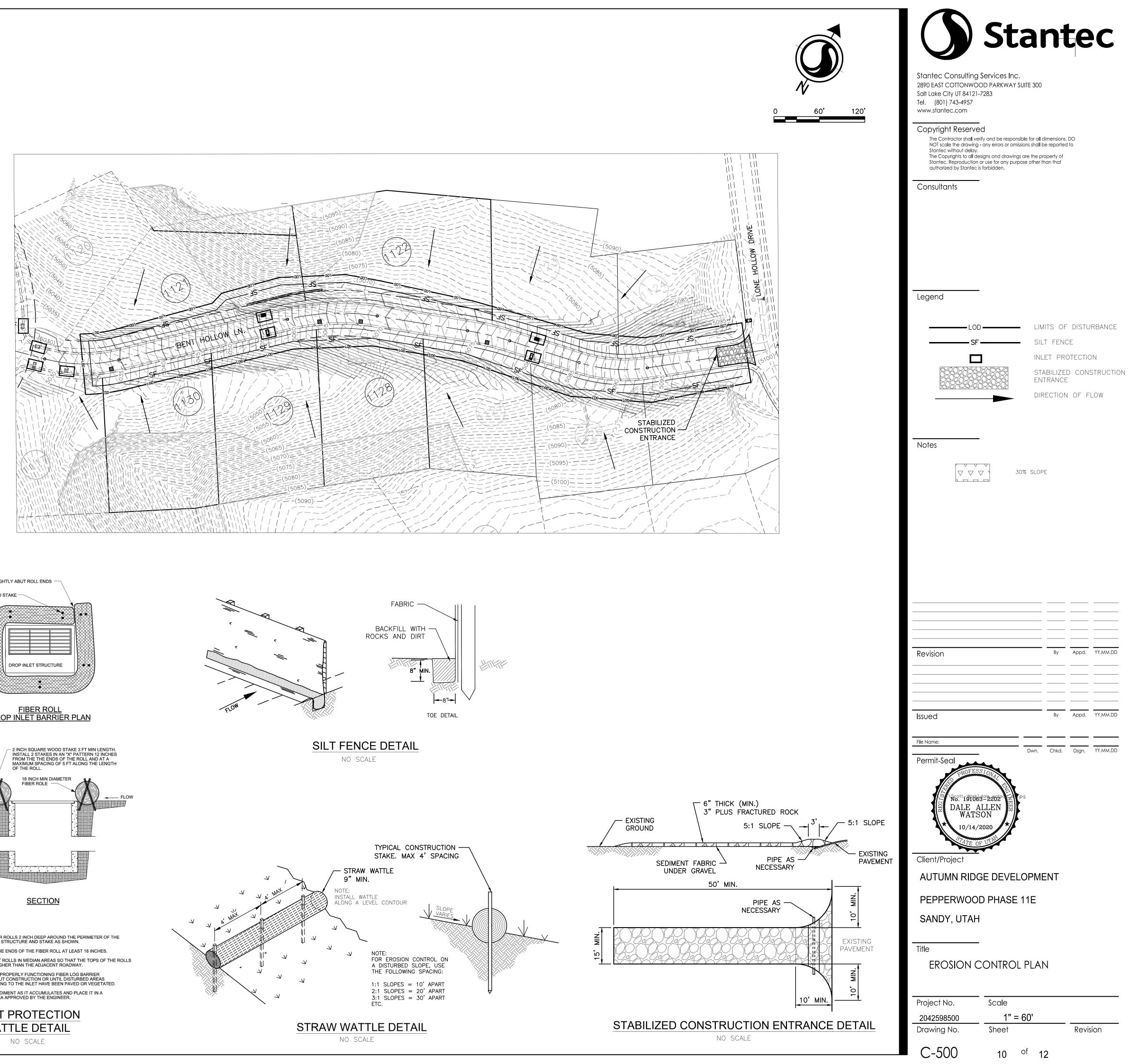
PLAN & PROFILE-II BENT HOLLOW LN.

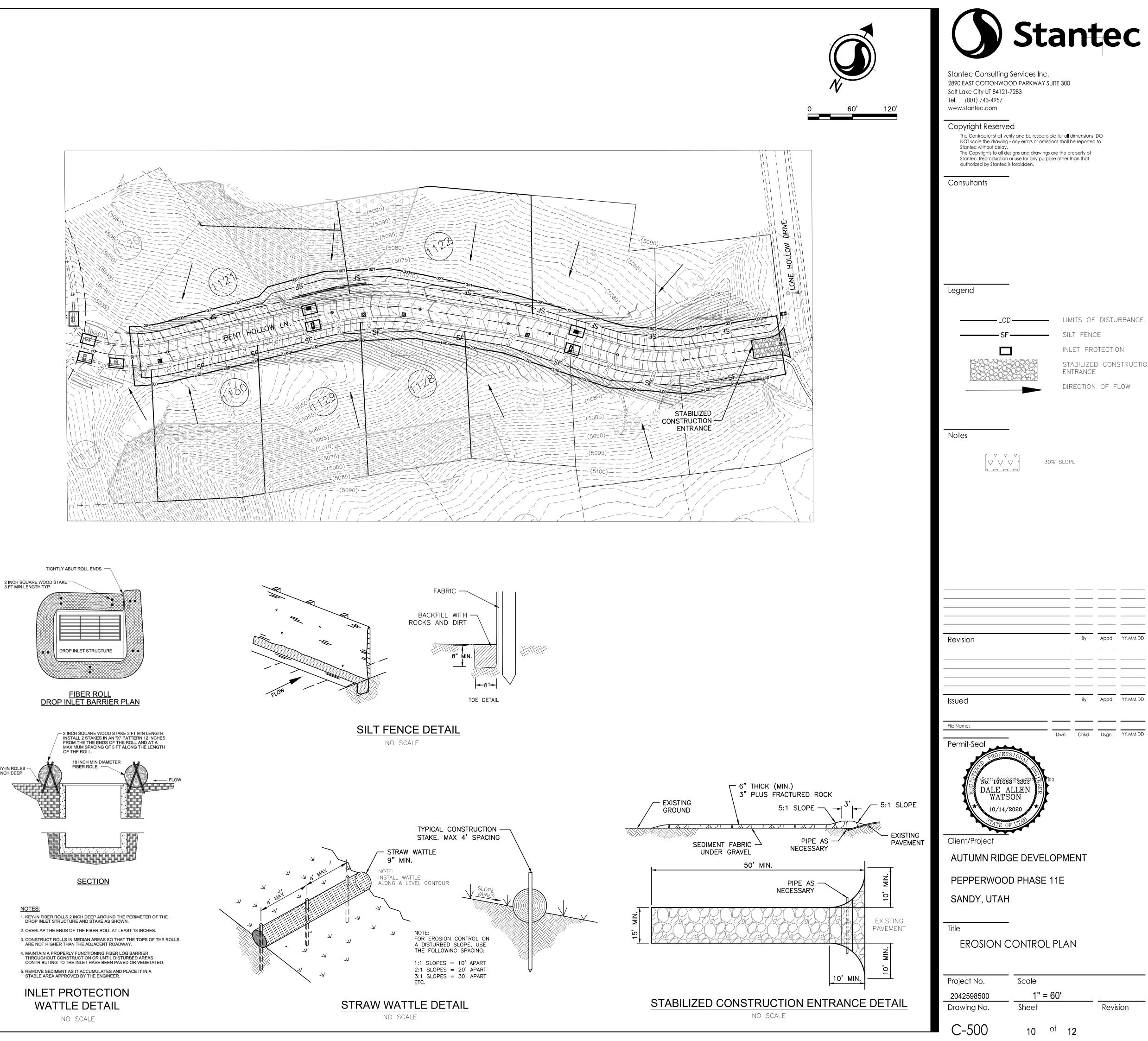
## <u>GENERAL NOTES:</u> 1. ALL PUBLIC IMPROVEMENTS, WHICH ARE TO BE OWNED AND MAINTAINED BY SANDY CITY, SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION). THE SPECIFICATIONS CAN BE FOUND IN .PDF FORMAT ONLINE AT WWW.SANDY.UTAH.GOV (CLICK ON "DEPARTMENTS", THEN "PUBLIC WORKS", THEN "STANDARD SPECIFICATIONS").

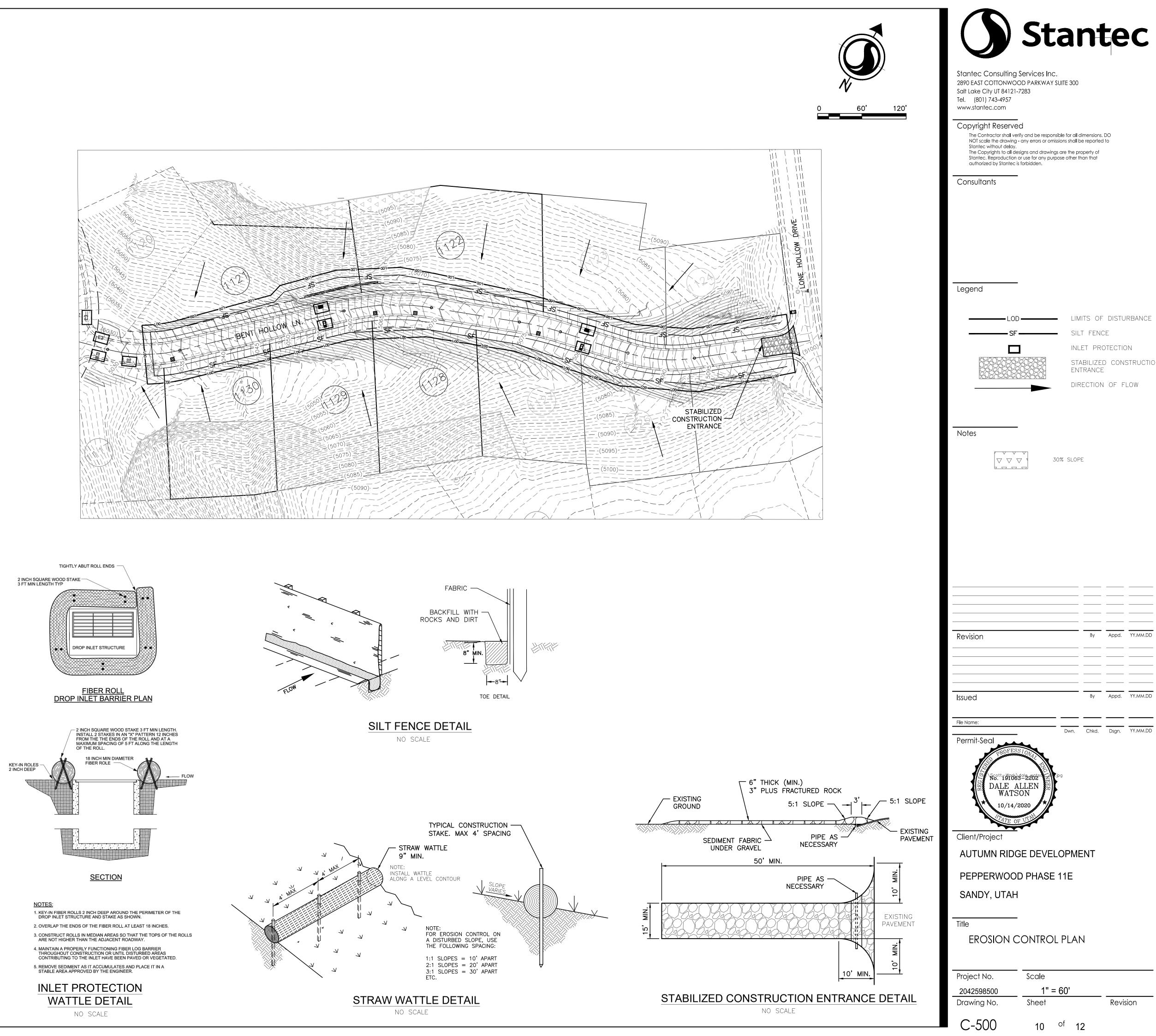
ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.

EROSION CONTROL NOTES:

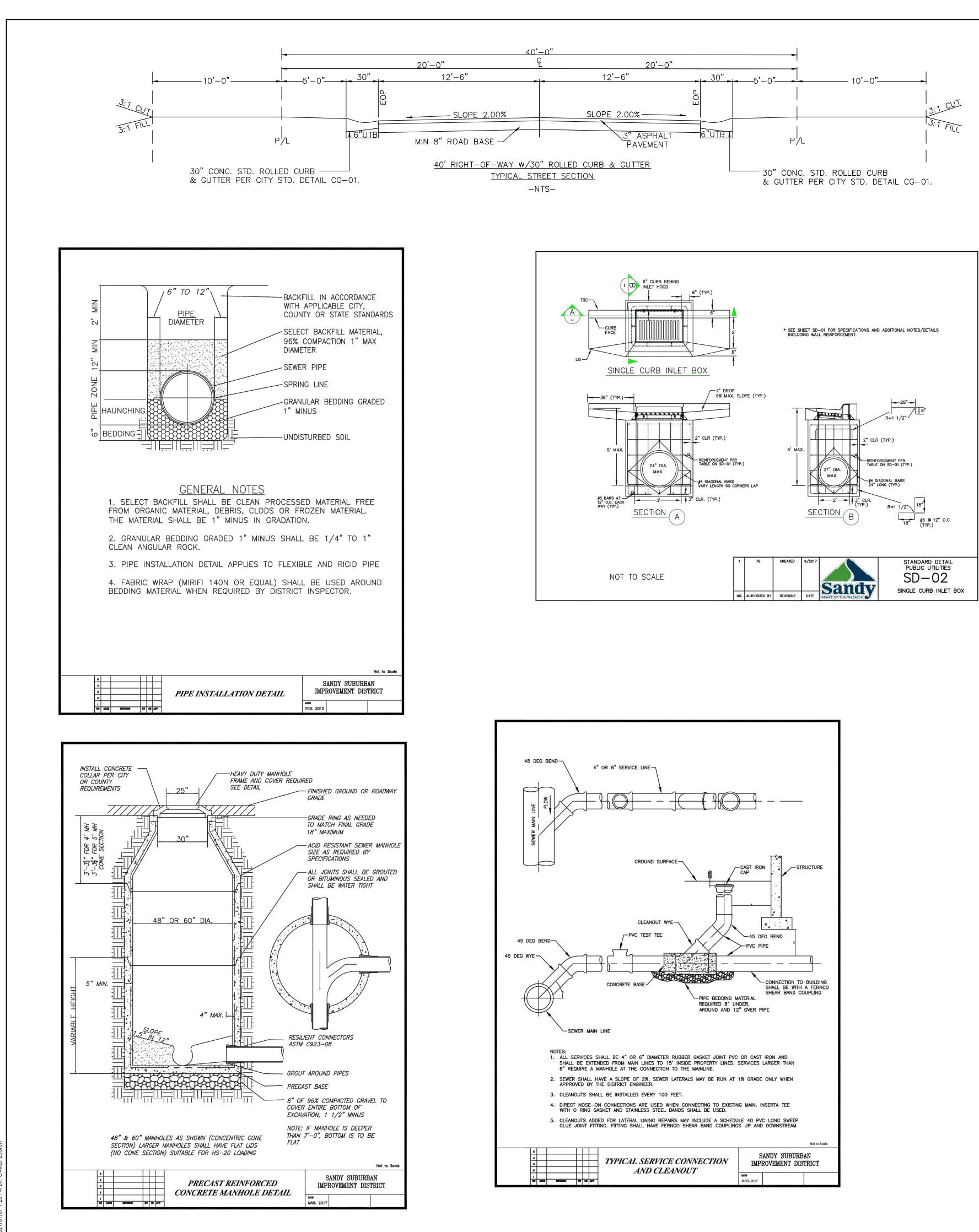
- 1. CONTROLLING SEDIMENT TRANSPORT AND PREVENTING AND/OR CORRECTING PROBLEMS ASSOCIATED WITH EROSION AND RUNOFF PROCESSES THAT COULD OCCUR BOTH DURING AND AFTER PROJECT CONSTRUCTION WILL BE CLOSELY MONITORED. PERIODIC MAINTENANCE AND INSPECTION OF SEDIMENT CONTROL DEVICES WILL BE SCHEDULED. PARTICULAR ATTENTION SHALL BE GIVEN TO EXISTING DRAINAGE PATTERNS THAT RUN THROUGH DISTURBED AREAS AND OVER EXTREME SLOPES. THESE PATTERNS WILL BE IDENTIFIED TO ISOLATE PROBLEM AREAS WHERE WATER WILL CONCENTRATE. PROVISIONS SHALL BE MADE TO CHANNEL RUNOFF AWAY FROM NEW OR EXISTING IMPROVEMENTS TO PREVENT UNDERMINING AND GENERAL SITE EROSION. THESE PROVISIONS SHALL BE STABILIZED AND SHALL REMAIN IN PLACE UNTIL THE PERMANENT STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.
- 2. EROSION CONTROL A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED IN ACCORDANCE WITH THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT FOR CONSTRUCTION, OUTLINING HOW EROSION AND SILTATION WILL BE CONTROLLED. A NOTICE OF INTENT (NOI) HAS BEEN SUBMITTED TO OBTAIN THE UPDES CONSTRUCTION PERMIT. A COPY OF THE PLAN MUST BE ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PLAN AND INSTALLING AND MAINTAINING THE EROSION CONTROL FACILITIES WITH EACH PHASE OF WORK. SHOULD SILT LEAVE THE SITE OR EROSION OCCURS, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE CORRECTIVE ACTION AND REPAIR ANY DAMAGE CAUSED BY THE SILT OR EROSION IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE MODIFICATION AND APPROVAL OF THE PLAN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 3. BEFORE CONSTRUCTION BEGINS, THE LIMITS OF DISTURBANCE (LOD) BOUNDARY SHALL BE FLAGGED ON SITE AND APPROVED BY THE OWNER'S REPRESENTATIVE AND THE ENGINEER. UNDER NO CIRCUMSTANCES SHALL SITE DISTURBANCE OCCUR OUTSIDE THE DESIGNATED AREAS AT ANY TIME DURING CONSTRUCTION.
- 4. EXCAVATION AND EMBANKMENT OPERATIONS SHALL PROCEED IN SUCH A MANNER SO THAT FINISHING OF SLOPES, INCLUDING REVEGETATION SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER ROUGH GRADING. ALL SLOPES 2:1 OR FLATTER SHALL BE SCARIFIED WITH HEAVY EQUIPMENT, LEAVING TRACKS PERPENDICULAR TO THE SLOPE. SLOPES OVER 1:1 SHALL UTILIZE EROSION CONTROL/REVEGETATION MATTING.
- 5. CUT SLOPES SHALL BE 2:1 MAXIMUM AND FILL SLOPES 2:1 MAXIMUM UNLESS ROCK IS ENCOUNTERED. CUT SLOPES IN ROCK MAY BE STEEPENED, ONLY IF APPROVED BY CITY ENGINEER. THE TOPS OF ALL CUT SLOPES IN SOIL SHALL BE ROUNDED FOR A HORIZONTAL DISTANCE OF THREE (3) FEET BEYOND THE CATCH POINT. SLOPE ROUNDING SHALL OCCUR AS THE SLOPE IS BEING BROUGHT DOWN. THE OVERALL SHAPE. HEIGHT AND GRADE OF ANY CUT AND/OR FILL SLOPE SHALL BE DEVELOPED IN CONCERT WITH THE EXISTING NATURAL CONTOURS, SCALE AND VEGETATION OF NATURAL TERRAIN.
- 6. EXISTING VEGETATION SHOULD BE PRESERVED WHEREVER POSSIBLE AND DISTURBED PORTIONS OF THE SITE SHALL BE STABILIZED. STABILIZATION PRACTICES MAY INCLUDE, BUT NOT BE LIMITED TO TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, PROTECTION OF TREES, PRESERVATION OF NATURAL VEGETATION AND OTHER APPROPRIATE MEASURES. USE OF IMPERVIOUS SURFACES FOR STABILIZATION SHALL BE AVOIDED. EXCEPT AS PROVIDED BELOW, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE IN DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. A. WHERE DEEP SNOW OR FROZEN GROUND CONDITIONS PRECLUDE THE INITIATION OF STABILIZATION
- MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY PERMANENTLY CEASES, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE. B. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING WILL RESUME WITHIN 21 WORKING DAYS, TEMPORARY STABILIZATION MEASURES NEED
- NOT BE INITIATED ON THAT PORTION OF THE SITE 7. SPECIFICALLY OUTLINED DISTURBED AREAS, BOTH ON AND OFF-SITE SHALL BE REVEGETATED. THESE AREAS SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL UNSURFACED AREAS WITHIN THE FLAGGED LOD, STAGING AND STORAGE AREAS, MATERIAL WASTE AREAS, UNDERGROUND UTILITY CONSTRUCTION AREAS, BENCHED AREAS, INCLUDE RETAINING WALL BENCHES, AND TEMPORARY OR EXISTING ACCESS ROADS USED FOR CONSTRUCTION ACTIVITIES. CUT AND FILL SLOPES OVER 3:1 REQUIRE THE PLACEMENT OF EROSION CONTROL/REVEGETATION MATTING. SLOPES LESS THAN 3:1 MAY BE SPRAYED
- WITH TACKIFIER. ROCK CUTS STEEPER THAN 1:1 WILL NOT BE REVEGETATED. 8. A SWALE SEDIMENT TRAP FOR ALL DRAINAGE WAYS INTERCEPTED BY PROPOSED ROAD CONSTRUCTION WILL BE FORMED, TRAPS WILL BE PLACED IN SURFACE DRAIN DITCHES JUST BEFORE THE RUNOFF LEAVES THE PROPERTY. ENTERS A WATERCOURSE OR IMMEDIATELY PROCEEDING DITCH INLETS OR STABILIZED OUTLETS. SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED (PREFERABLY UNDISTURBED) GROUND OR LEFT TO PERCOLATE INTO THE GROUND.
- 9. CONTROLLED OUTLETS SHALL DIRECT COLLECTED RUNOFF THROUGH SILT FENCES OR STRAW BALES 10. TYPICAL FUGITIVE DUST SHALL BE CONTROLLED BY WATERING AND/OR CHEMICAL STABILIZATION, PROVIDING VEGETATIVE OR SYNTHETIC COVER AND WIND BREAKS CONSISTENT WITH THE UTAH STATE DIVISION OF AIR QUALITY STANDARDS. 11. ANY SEDIMENT TRACKED OFF-SITE SHALL BE REMOVED IMMEDIATELY.
- 12. CONTRACTOR MAY ADJUST THE LOCATIONS OF THE CONSTRUCTION FENCE, CONSTRUCTION TRAILERS, AND CONSTRUCTION MATERIALS RECEIVING AND STORAGE AREAS, AS NEEDED TO ACCOMPLISH THE CONSTRUCTION. ALL CHANGES SHALL BE NOTATED ON THE EROSION CONTROL PLAN.
- 13. THE OWNER'S REPRESENTATIVE SHALL CONDUCT PERIODIC INSPECTIONS OF THE EROSION CONTROL MEASURES, AS REQUIRED AND NOTATED IN THE SWPPP. THE OWNER'S REPRESENTATIVE WILL MAINTAIN A LOG ON-SITE OF ALL INSPECTIONS WITH THE SWPPP. 14. ANY TREE 12" IN DIAMETER OR LARGER WILL NOT BE REMOVED UNTIL LOCATED BY SURVEY AND
- THE REMOVAL APPROVED BY THE OWNER OR EQUAL. 15. ALL DITCHES AND SWALES BETWEEN 5% AND 8% SHALL BE ARMORED WITH A STRAW TYPE EROSION
- CONTROL/REVEGETATION STABILIZATION MAT TO PROMOTE REVEGETATION. 16. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED UNTIL SUCH TIME AS ROADS ARE
- ASPHALTED AND INDIVIDUAL HOME LOTS ARE BEING DEVELOPED. 17. PORTABLE TOILETS MAY BE LOCATED UPON ANY INDIVIDUAL HOME LOT.
- 18. CONTRACTOR MAY ADJUST THE LOCATION OF CONCRETE WASHOUT AREAS AS NEEDED TO ACCOMPLISH THE CONSTRUCTION.
- 19. A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP OR SWP3) SHALL BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES, PER THE REQUIREMENTS OF THE UPDES CONSTRUCTION GENERAL PERMIT 20. THE SWPPP SHALL BE REVISED AS NEEDED AND KEPT UP-TO-DATE THROUGHOUT THE TIME OF
- CONSTRUCTION. 21. THE DUST, MUD, AND EROSION CONTROL PLAN SHALL BE ADJUSTED AS NEEDED. IF THE CONTROL PLAN DOES NOT FUNCTION AS INTENDED, A REPRESENTATIVE OF THE SANDY CITY PUBLIC WORKS DEPARTMENT MAY MAKE SUGGESTIONS, BUT THE DEVELOPER/CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE EFFECTIVENESS OF THE PLAN AND COMPLIANCE WITH ALL PERMITS AND REGULATIONS
- 22. ALL DUST, MUD AND EROSION CONTROL DEVICES SHALL BE CHECKED BY THE CONTRACTOR AS NEEDED. NEEDED CLEANING AND REPAIRS SHALL BE DONE IMMEDIATELY UPON DISCOVERY. 23. ALL STORM DRAIN FACILITIES ON SITE AND ADJACENT TO THE SITE SHALL BE PROTECTED FROM SOIL EROSION FLOWS. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY AS INDIVIDUAL
- INLETS ARE INSTALLED. ALL PIPE LINES THAT ARE CONNECTED TO THE PUBLIC SYSTEM SHALL BE KEPT FREE OF DIRT AND DEBRIS. 24. EROSION CONTROL METHODS AND STRUCTURES SHALL REMAIN IN PLACE AND SHALL BE MAINTAINED
- BY THE CONTRACTOR AS LONG AS NEEDED TO PREVENT EROSION. 25. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE. 26. THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS, FOR DUST
- SUPPRESSION, IS ABSOLUTELY PROHIBITED. 1. ALL PRIVATE STREETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST
- EDITION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION, THE DEVELOPMENT CODE, AND ALL OTHER APPLICABLE CITY ORDINANCES, PER CITY CODE 15-06-03(L)(5). 2. A PROFESSIONAL ENGINEER, CURRENTLY LICENSED IN UTAH, SHALL INSPECT AND
- APPROVE ANY RETAINING WALLS THAT ARE HIGHER THAN 4 FEET (FROM BOTTOM OF FOOTING TO TOP OF WALL), ONCE CONSTRUCTED. 3. FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT. SANDY
- CITY STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN, HOWEVER, UNLESS GEOTECHNICAL REPORT RECOMMENDATIONS ARE MORE STRINGENT. 4. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND
- APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER. 5. ALL PUBLIC IMPROVEMENTS WITHIN SANDY CITY'S JURISDICTION SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION). 6. NOTIFY BRUCE COOK, SANDY CITY PUBLIC WORKS INSPECTION DEPARTMENT,
- 801-568-2999, 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF ANY ROADWAYS OR PUBLIC IMPROVEMENTS. ALL INSPECTIONS MUST BE DONE PRIOR TO OR CONCURRENT WITH CONSTRUCTION. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE UNCOVERING AND/OR REMOVAL OF ALL CONSTRUCTION DONE WITHOUT NOTIFICATION AT THE DISCRETION OF THE CITY ENGINEER.
- 7. BUILDER/OWNER SHALL SECURE AN EXCAVATION PERMIT FROM SANDY CITY PUBLIC WORKS DEPARTMENT (MONICA PETERSEN, 8775 SOUTH 700 WEST, 801-568-2964) PRIOR TO DOING ANY WORK IN THE SANDY CITY RIGHT-OF-WAY. TRAFFIC PLAN, BONDING & INSURANCE WILL BE REQUIRED.
- 8. IT IS UNLAWFUL FOR ANY PERSON TO INSTALL SURVEY MONUMENTS HAVING A SPATIAL RELATIONSHIP WITH ANY SECTION OR QUARTER SECTION CORNER WITHOUT HAVING FIRST OBTAINED FROM THE SALT LAKE COUNTY SURVEYOR'S OFFICE A PERMIT FOR SUCH INSTALLATION (UT. CODE ANN. SECTION 17-23-17). ALL SURVEY MONUMENTS INSTALLED SHALL BE IN ACCORDANCE WITH THE PERMIT ISSUED AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE SALT LAKE COUNTY SURVEYOR'S OFFICE. CONTACT PAM BIRT AT 801-468-2013 OR HENNA BROWN AT 801-468-2046 TO OBTAIN A PERMIT. STANDARD PRECAST MONUMENTS WILL BE FURNISHED BY THE COUNTY SURVEYOR'S OFFICE.



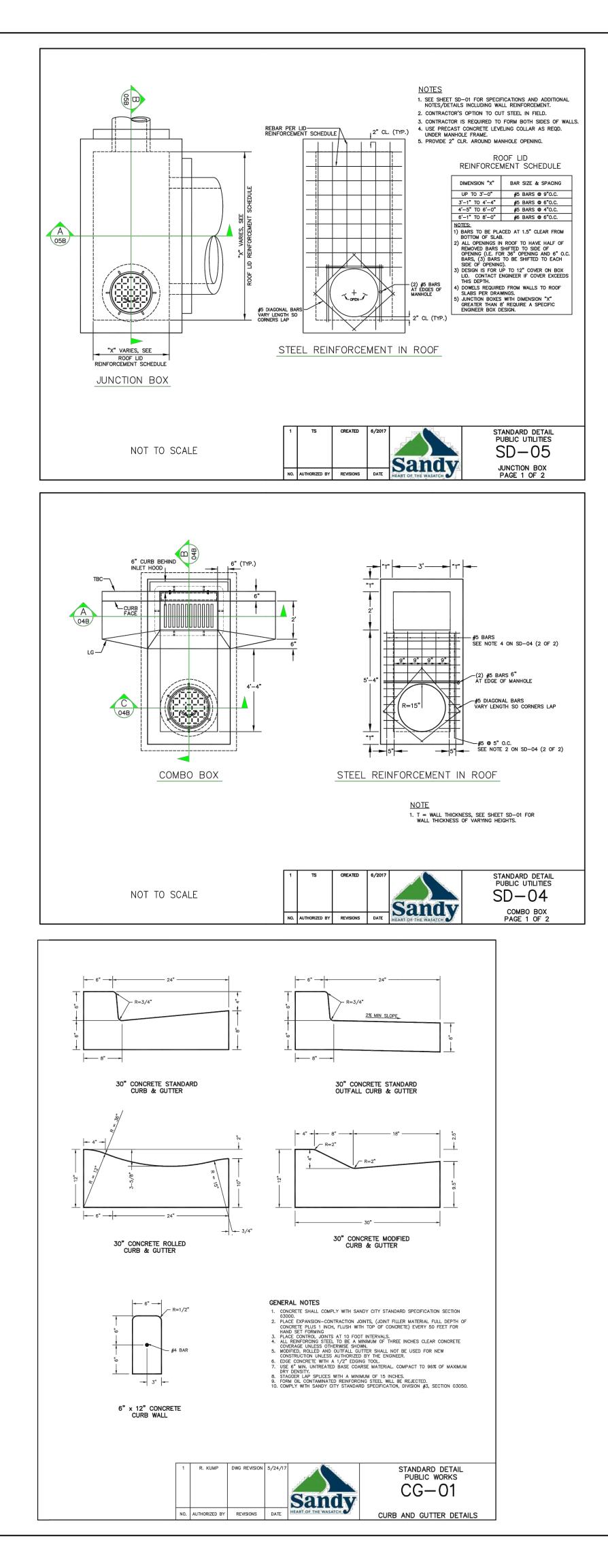




ORIGINAL SHEET - ARCH D



ORIGINAL SHEET - ARCH D





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Client/Project

AUTUMN RIDGE DEVELOPMENT

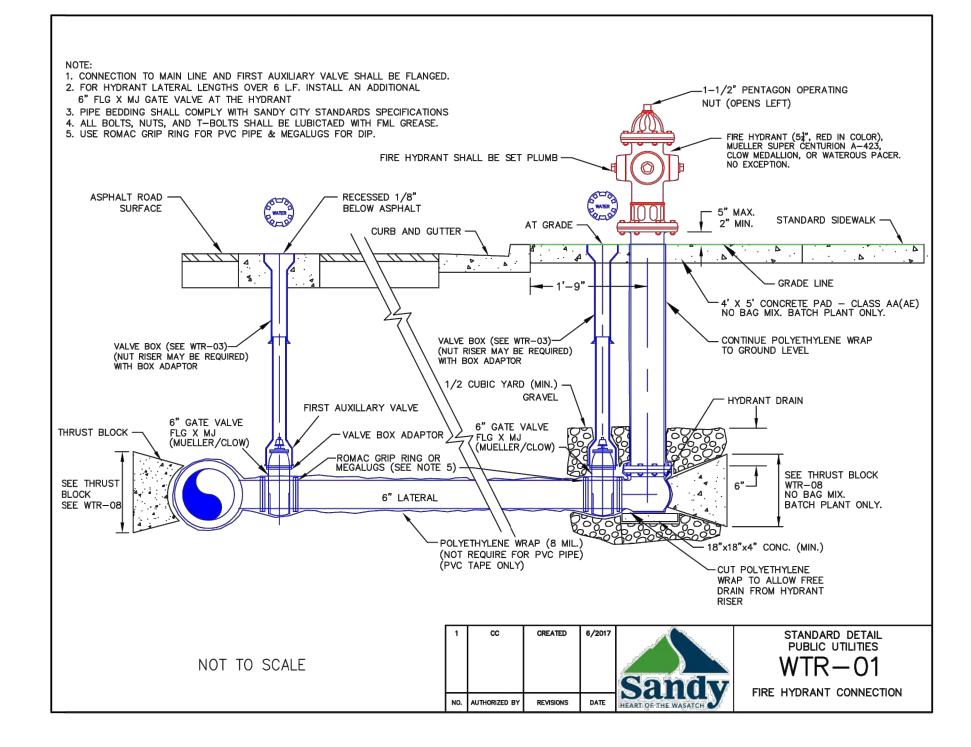
PEPPERWOOD PHASE 11E SANDY, UTAH

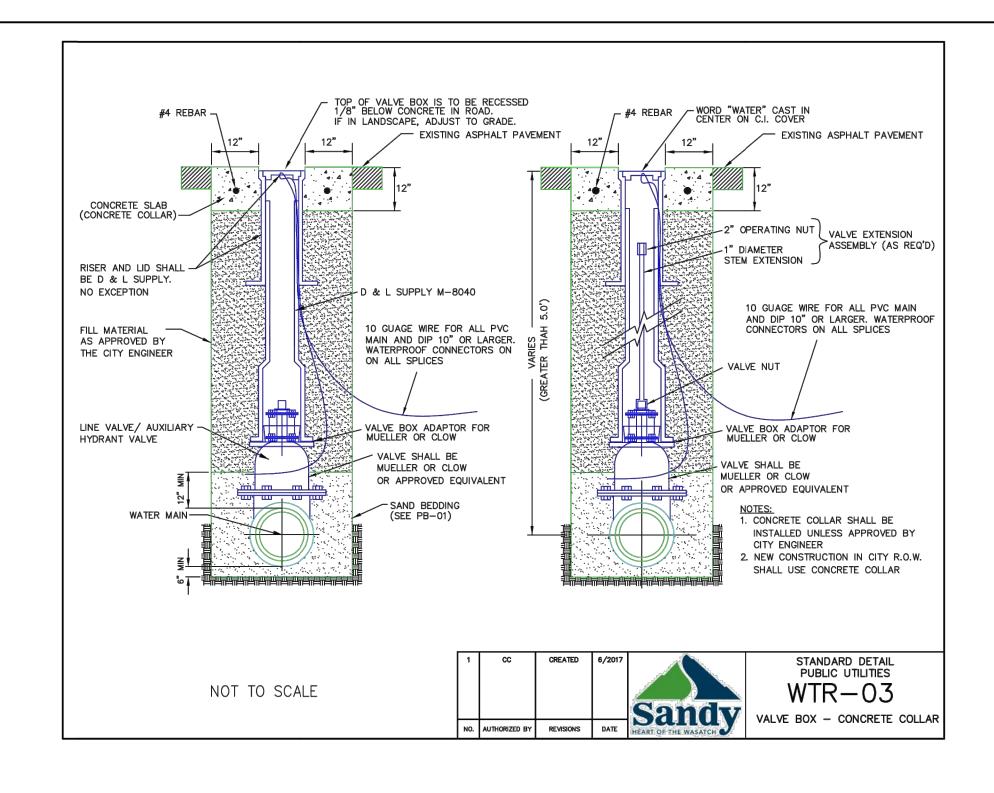
SD-SS DETAILS

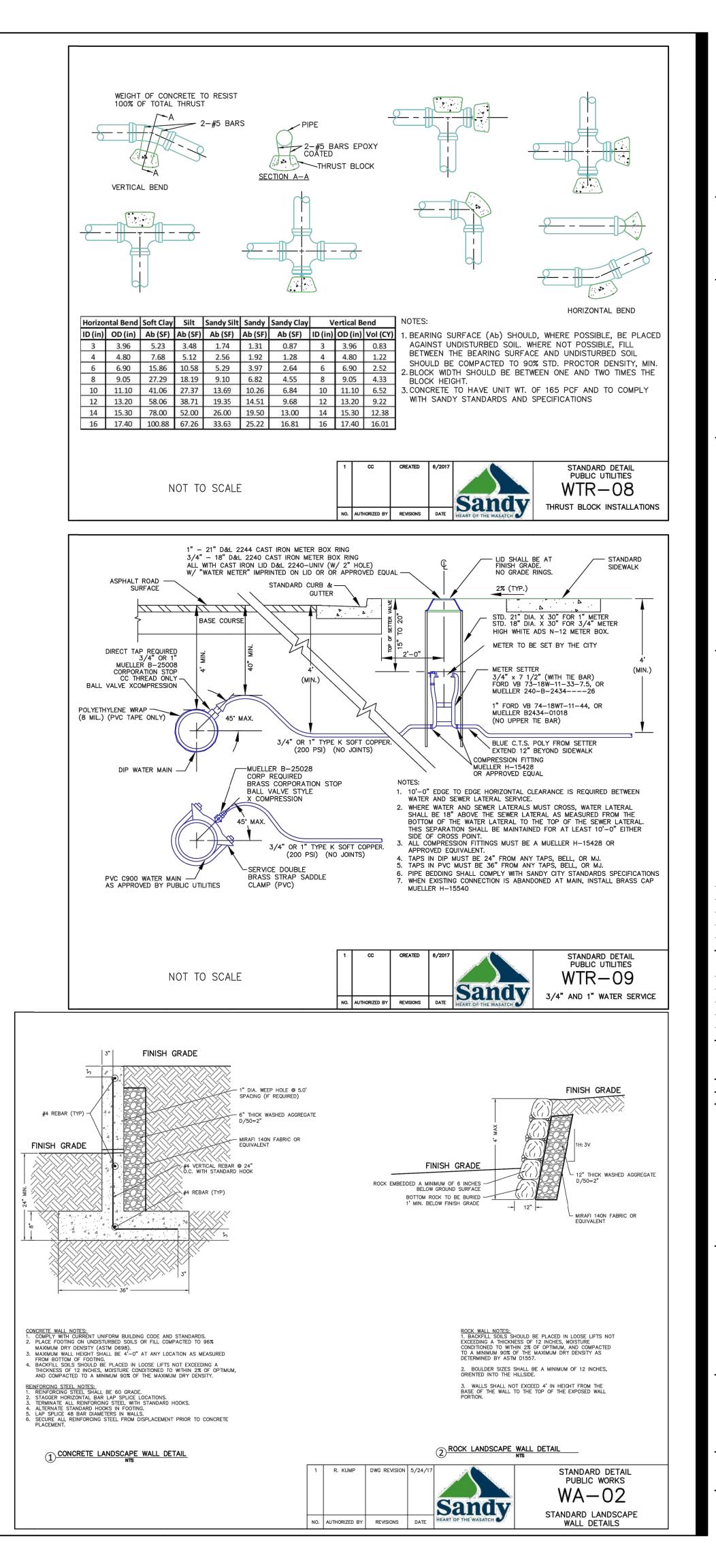
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AUTUMN RIDGE DEVELOPMENT
PEPPERWOOD PHASE 11E
SANDY, UTAH

SS-WATER DETAILS

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