



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

KURT BRADBURN
MAYOR

MATTHEW HUISH
CHIEF ADMINISTRATIVE OFFICER

MEMORANDUM

October 17, 2019

To: Planning Commission
From: Community Development Department
Subject: Chick-Fil-A Restaurant Site Plan Review
10090 S. State Street
[Community #9, South Towne]

CBD Zone
SPR-06-19-5671
1.36 Acres

Public Notice: In addition to the posting of the meeting agenda, this project was noticed for this meeting to property owners within 500 feet of the subject property, by U.S. Mail delivery.

PROPERTY CASE HISTORY	
Case Number	Case Summary
SPR-95-01	Site Plan Review for the original shopping center project for the Target Store and other shops totaling 28.6 acres and 316,000 square feet of building. Approved in March 1995.
SPR-02-15	Site Plan Review for the original Chick-Fil-A restaurant building, approved by the Planning Commission on July 11, 2002.
CUP-02-31	Conditional Use approval for a Drive-up Window in the CBD zoning district, approved by the Planning Commission on July 11, 2002.
SPR-09-12-2526	Modified Site Plan Review for site changes to allow dual queuing lanes and ordering menu boards at the existing restaurant, approved by the planning staff on November 2, 2012.

DESCRIPTION OF REQUEST

The applicant, Mr. Logon Vogt, representing Merrick & Company and ST Mall Owners, LLC, is requesting that the Planning Commission review and approve a modified commercial site plan for a building addition and exterior remodeling of the existing Chick-Fil-A restaurant. The Planning Commission is the land use approval body for this action, as designated in the Sandy City Development Code.

BACKGROUND

The existing restaurant is located in the northeast corner of the existing large parking lot area that is part of the "South Town Marketplace" shopping center. The site was developed as a "commercial pad site" for the existing Chick-Fil-A restaurant in 2002. The existing site was modified in 2012 to re-arrange the drive-up window queuing to create dual lanes and order points and improve site circulation. The applicants now desire to remodel the exterior of the existing building to modify it to follow a nationwide re-branding of the architecture by adding cloth awnings to the windows, metal awnings over the entry doors and metal canopies to protect

employees and customers from direct sunlight and inclement weather while in the drive-up window queues. A 300 square foot addition to the south side of the existing building is also proposed. Because the property is zoned CBD, the site plan must be approved by the Planning Commission. The CBD zone also triggers a requirement that the proposed building be reviewed by the Sandy City Architectural Design Review Committee. The entire area around this site is zoned CBD and CBD-O to the northwest.

NEIGHBORHOOD MEETING

A Neighborhood meeting was not held for the Conditional Use on this project, because there is no residential development or population in this immediate area.

ANALYSIS

Access and Parking. Vehicle access and parking will not be impacted by the proposed changes to the building and the installation of the metal canopies to the queuing areas, and will therefore be adequate for the existing and proposed uses.

Building Siting and Massing. The building siting and mass are not being substantially changed by the proposed remodeling. The siting of the building is suitable for the use. The building massing will be minimally increased by the addition to the south side of the structure and the attachment of the awnings and metal canopies.

The proposed 300 foot addition will increase the building to 4,796 square feet. The building is a single story in height. Staff has no concerns about the building siting or massing as proposed.

Landscaping. The existing landscaping will be minimally modified as per the attached landscaping plan. Landscaping will meet the City requirements. (Please see the attached vicinity map, site plan and landscaping plan.)

Architectural Design & Materials. The proposed building architectural design and building materials and colors were presented to the Sandy City Architectural Design Review Committee on September 25, 2019 and received favorable comments about the architectural design, building materials and colors. (Please see the attached building elevation drawings and building renderings for details on the proposed building changes. Also, please see the attached minutes from the September 25, 2019 meeting of the Architectural Design Review Committee.)

Metal Canopies. Metal canopies are proposed over the automobile queuing lanes for the drive-up window ordering and the food delivery areas. These will be located on both the west and the east sides of the building. These metal canopies are part of the national re-branding of the building architecture and are also for the purpose of protecting the order assisting employees and the customers from direct sunlight and inclement weather. Circulating fans and heaters will be installed under the canopies to increase the comfort of the employees who approach the customer's vehicles during rush hours to take orders and payments in an effort to speed the customers through the drive-up queuing layout.

The metal canopies will be made of steel and covered with aluminum and the support elements will be black in color. The 10 inch tall horizontal steel I-beams will support sheet

metal roofing material contained within the 10 inch height of the beam, to provide the desired weather protection. The roofing material will be internally sloped toward the center of the canopy structure, to direct storm water to the vertical roof support beams.

Staff Issue. The Architectural Design Review Committee did discuss an issue that was brought up by planning staff. This issue is the proposed design of the roof drainage water from the new canopies being directed down through the support posts and discharged onto the driveway surface. Staff is concerned that this water will freeze in the winter and become a hazard. Staff has drafted a condition into this report that will require the canopy drainage water to be routed below ground surface and discharge into the storm drainage system or to a landscaped planting area, as determined by City staff during the administration of the final site plan review. The building architectural design, materials and colors meet the provisions of the City's Architectural Design Requirements and the CBD zoning district.

City and Agency Reviews. All of the regular reviewing agencies and City Departments have reviewed and approved, subject to their normal conditions, the site plan and site civil engineering design drawings, except as noted as to the site storm water drainage plan.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission determine that preliminary site plan review is complete, based on this staff report, and the **three findings listed below and subject to the following nine conditions:**

FINDINGS:

- A. That the various City Departments and Divisions, including the City Engineer, Transportation Engineer, Fire Marshal, and the Public Utilities Department Chief Engineer have all preliminarily approved the proposed site plan.
- B. That the proposed building addition and the exterior building and site modifications, as requested by the applicant will improve the operation of the existing restaurant and improve customer and employee comfort and safety.
- C. That the proposed building addition, architectural design, materials and colors, meet the requirements of the Sandy City Architectural Design Standards and have been favorably recommended by the Sandy City Architectural Design Review Committee to the Planning Commission.

CONDITIONS:

1. That the developer proceed through the final site plan review process with staff prior to the start of any construction (including payment of development fees and posting of an appropriate bond to guarantee completion of all required improvements on and off the site), according to the Site Plan Review Procedures Handout. The final site plan shall be in compliance with all Development Code requirements and those modifications determined by the Planning Commission.

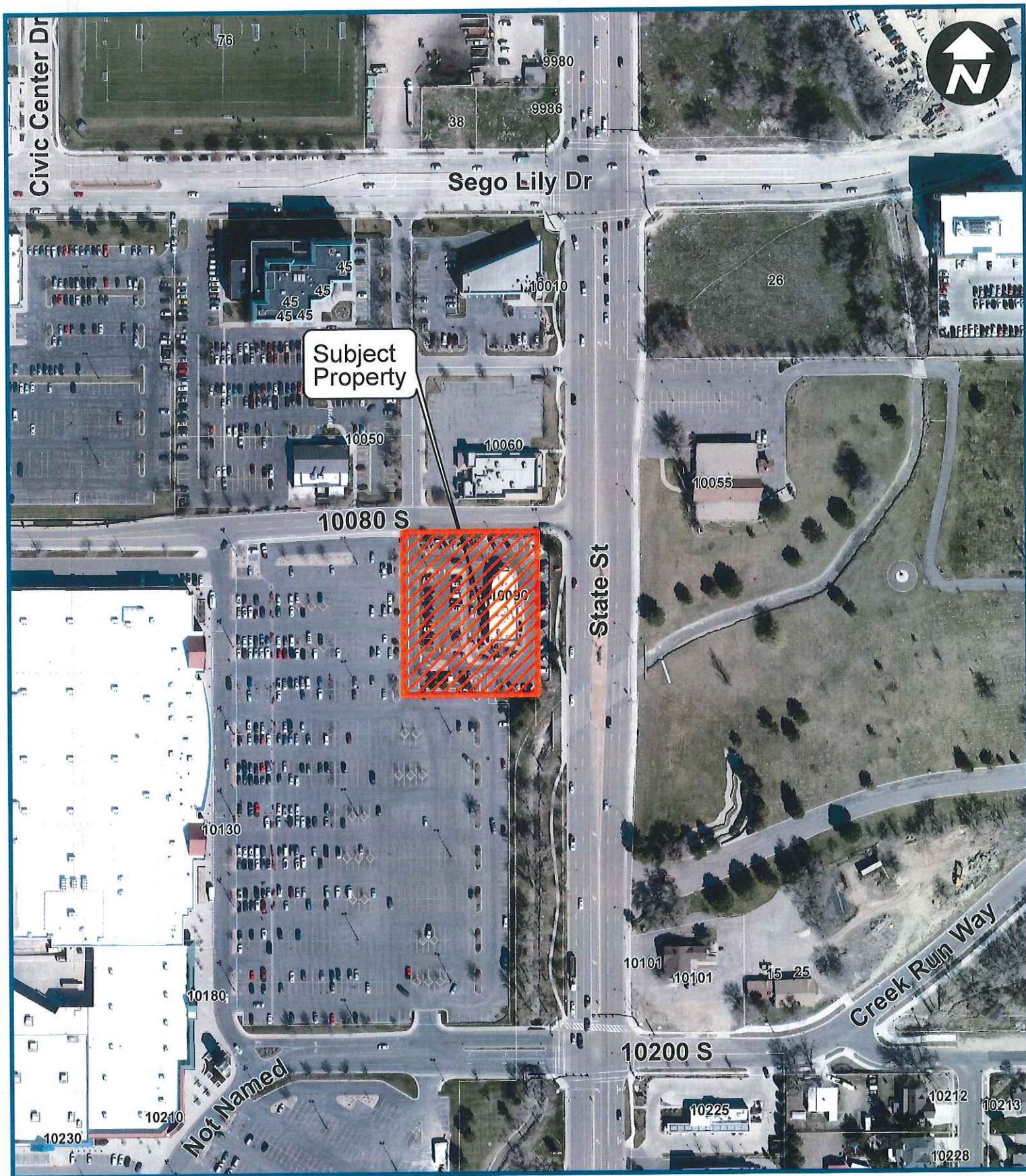
2. That the proposed storm water drainage design for the roof and the proposed metal canopy areas be modified to direct all run-off water to be discharged below grade and into the storm water drainage system or into existing landscaped planting beds, as determined by City staff during final site plan review.
3. That the development comply with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.
4. All utility boxes shall be screened from view to the extent possible (i.e. transformers, switch gear, telephone, cable TV, etc.) and shall be shown on the site plan and shall be placed underground or moved behind the front setback (minimum of 30 feet from the front property line) and screened from view. Each box shall be shown in its exact location and shall be noted with its exact height, width and length and approved by staff.
5. That the architectural design, colors and materials proposed for this development comply with the Sandy City Architectural Design Standards and shall be finalized with staff prior to the issuance of a building permit.
6. That the developer be responsible for the placement of a temporary 6 foot high chain link fence around the perimeter of the project during the construction phase of the project for security. Said fence shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the Community Development Department during Site Plan Review.
7. That the applicant comply with the Sandy City Noise Ordinance, including working hours during construction.
8. That the applicant comply with all department requirements as noted in all Preliminary Review letters prior to submittal for final site plan review.
9. That all building and site signage must be reviewed separately and meet the Sandy City Development Code provisions for signage.

Planner:

Reviewed by:

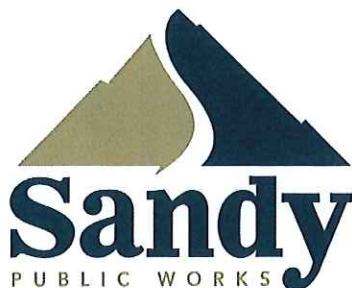


Douglas L. Wheelwright
Development Services Manager



SPR-06-19-5671
Chick-fil-A Addition
10090 S. State St.

PRODUCED BY DARRYLL WOLNIK
THE COMMUNITY DEVELOPMENT DEPARTMENT



DEPARTMENT OF PUBLIC WORKS

Kurt Bradburn
Mayor

Matthew Huish
Chief Administrative Officer

Michael Gladbach, P.E.
Director

READY-FOR-PLANNING-COMMISSION MEMORANDUM

Date: July 5, 2019

To: Doug Wheelwright, Development Services Manager

From: Ryan C. Kump, P.E., City Engineer
Britney Ward, P.E., City Transportation Engineer
David J. Poulsen, Development Engineering Coordinator

Ryan Kump

Britney Ward

David J. Poulsen

Project Name: Chick-Fil-A FSU #1288

Plan Case Number: SPR-06-19-005671

Project Address: 10090 South State Street

A review of the above-mentioned project has been made. Following is a list of comments from the Public Works Department:

1. THE PRELIMINARY SITE PLAN AND OTHER DOCUMENTS SUBMITTED BY THE DEVELOPER ARE GENERALLY ADEQUATE at this stage of the project with regard to Public Works Department concerns. A number of items will be required prior to final approval, including items mentioned in the drawing redlines, the "Plan Case Comments," and the "City Engineer Requirements" letter, but these items are not required as part of this preliminary submittal.
2. THE PUBLIC WORKS DEPARTMENT RECOMMENDS THAT THE PLANNING COMMISSION DECLARE THAT PLANNING COMMISSION PRELIMINARY SITE PLAN REVIEW IS COMPLETE, and that final project documents be prepared by the developer for review by city staff members.
3. PRIOR TO FINAL APPROVAL BY THE PUBLIC WORKS DEPARTMENT, the developer is required to complete all items mentioned in the drawing redlines, the "Plan Case Comments," and the "City Engineer Requirements" letter.

**Architectural Review Committee Meeting
September 25, 2019**

Those Present:

Jared Gerber
Brian McCuiston
Doug Wheelwright
Steve Burt
Lyle Beecher
Jennifer Gillen

Those Absent:

James Sorenson
Cheryl Bottorff
Scott Westra
Kris Nichol
Cyndi Sharkey

Chick-Fil-A Building Addition – located at 10090 South State Street

Doug passed out site plans and map of the Chick-Fil-A Building addition.

Steve started out by explaining what the Architectural Review Committee does when in regards to the Cairns District. We are to look at the Chick-Fil-A addition as proposed by the current owner on the existing Chick-Fil-A site at the Market Place just off of State Street. Steve had everyone introduce themselves and explained how the meeting would proceed.

Christopher Strong is the Architect for reinvestment/remodels for the southwest and west regions for Chick-Fil-A. He heads up all the remodels, and is here for the remodel on 10090 S. State Street, and wants to explain all the improvements that will be done for this remodel.

Steve asked Christopher to explain where all the additions and changes will be made.

Christopher said that this Chick-Fil-A was built in 2002, and it has been a few years since it has been updated. They want to come in and do a brand image remodel. That means they will come in update all the interior finishes, and update colors to the warm tones of browns, grays, and whites. They are going to take off the awnings and put up sunbrella canvas awnings on aluminum frames over each window giving them a more contemporary look. They are going to also be installing metal awnings over the doors giving them a more iron look. They are going to also be installing these canopies called order point menu canopies, which is a dual order queue, and will be on the west side of building. On the east side of the building it will have a meal delivery canopy added, which will be by the drive-thru window. They will also be adding an addition to the back of the building.

Steve asked if they are going to keep the kids play area.

Cristopher said yes.

Doug mentioned that initially they were proposing this addition be stucco, and he talked to them about our limits regarding stucco. They came back to us saying this addition would be brick.

Christopher said because of our requirements, they agreed to have that addition be all brick.

Jared asked if they are painting the brick.

Christopher said they are not painting the brick and said that the pictures looked like they were. But no, the brick will not be painted.

Doug explained that another change staff wanted to have was a roof access hatch instead of an exterior roof ladder. Doug told them that he did not want that. So they moved the roof access to the addition area. One of the bigger concerns Doug had with the first round of plans was he could not tell that the canopy structure on the west was not attached to the building; but it is separated 6 to 8 feet from the building.

Steve stated that the canopy would not provide protection from the people on the sidewalk, just in their cars.

Christopher said yes. The canopies will just provide protection to the employees, and the people in their cars.

Steve asked what was the construction of these shading devices.

Christopher said there would be steel columns covered by an aluminum skin, which will be dark bronze.

Doug asked if the horizontal members are steel on the roof structure.

Christopher said yes, that the roof structure is steel and would be covered with aluminum decking.

Doug explained that the canopy drains within the height of the beam by sloping to the center, and that they want to take the drains down the center column and discharge that on the ground. Doug explained that this would be an issue because it would freeze frequently. Doug suggested LID methods and to look at taking the water to the nearest planter bed and discharging it there.

Steve said we want to have that water discharged well away from where the cars drive so we don't wash any oils into the storm drain system.

Doug agreed that it does need to go down and drain underground.

Christopher will run that by Logon, his Civil Engineer. He thought previously this was discussed and that the existing building currently drains above ground so theoretically they are matching with existing, so they are not increasing any water.

Steve said that he was concerned specifically about draining water where the cars drive.

Doug said if you use that LID you can take that clean water from the roof and not have to run that through the oil water separator, and discharge that into the flower beds.

Christopher will discuss this concern with Logon Vogt, his Civil Engineer.

Doug said that you will not want to dump this water where you are planning to because of liability issues. The water will freeze.

Christopher said that this site is different, and that this has a flat parking lot. Usually they use a daylight curb, go right down into the sewage system if they can, or again a sheep's tongue above grade.

Doug explained that the sheep's tongues that are in the back of the building, actually have a curb that contains that water before it goes into the driveways.

Steve asked if they had any new HVAC equipment.

Christopher said he believes that they are exchanging 1 for 1. There is a new HVAC RTU unit #1 that will help power the AC.

Doug said that Sandy approved a remodel about four years ago to go to double queuing and double order boards. So the canopies will be placed over that existing area.

Christopher said that the menu boards (ugly red ones) will be replaced by nice dark bronze ones.

Doug asked if they would be pulling the menu boards back (north) from where they are now.

Christopher said yes they are, which will provide more stacking for the drive thru area.

Doug stated that staff's only remaining concern is working out this drainage issue with the engineers.

Lyle agreed especially for safety reasons of not creating ice fields.

Christopher will go back to Logon and see what they can do.

Steve stated there are a lot of different things that can be done.

Steve commented because of liability issues, you don't want surface water on your drive area especially in this climate.

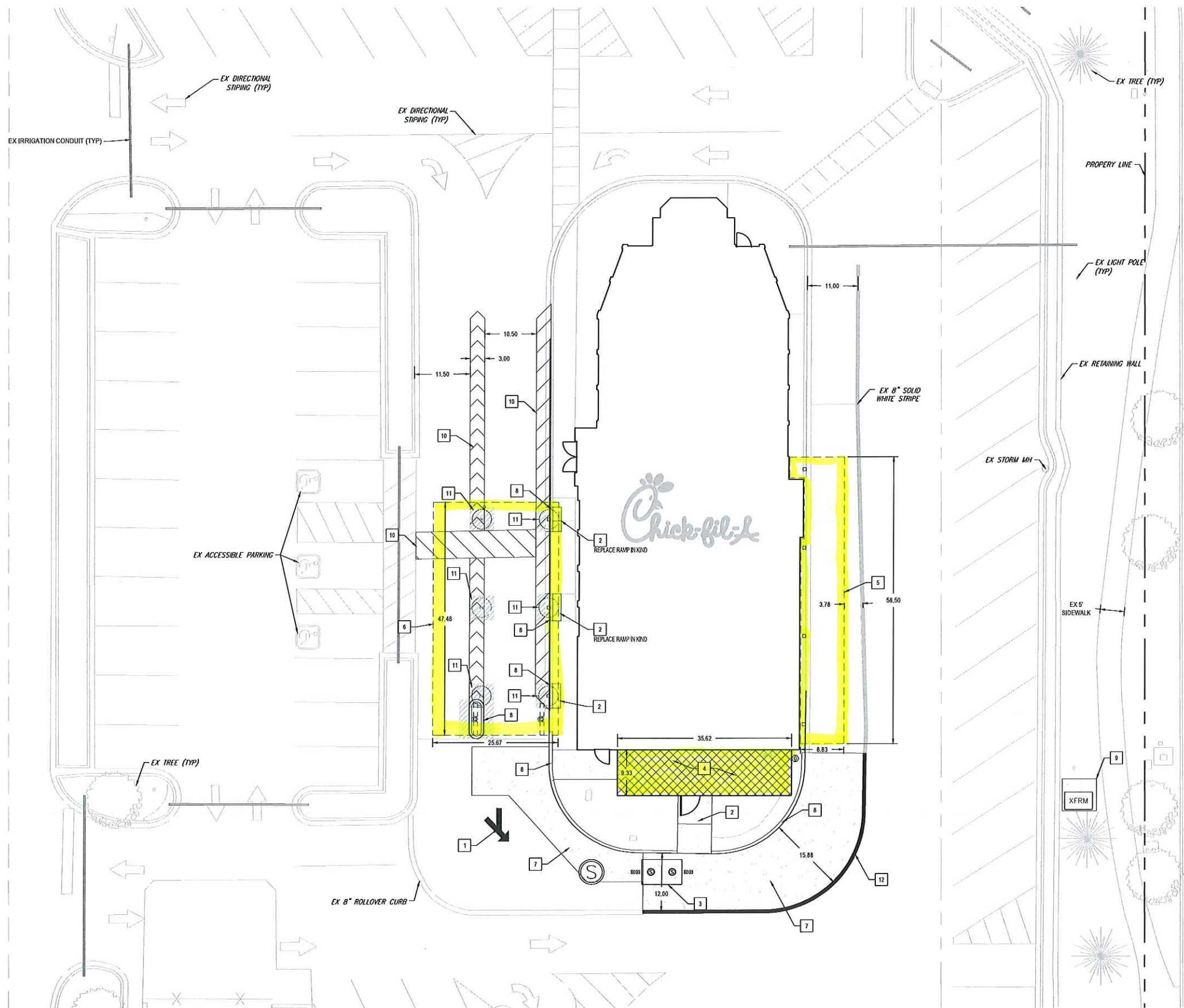
Lyle agreed and said there would be problems with slipping on and off that curb

Jared also stated that there is a lot of pedestrian traffic trying to get into that area. We will continue to try and work on this area.

Christopher explained that the canopies help to protect employees from the sun. The only difference from the standard protocol for this location is that they will also install gas heaters.

Motion to Vote:

Lyle Beecher moved, Jared Gerber seconded. All are in favor of making a positive recommendation for this project to the Planning Commission.



PARKING LOT STRIPING SPECIFICATIONS:

- STANDARDS:
1. ALWAYS FOLLOW ALL APPLICABLE GOVERNING AUTHORITY'S STANDARDS.
 2. SURFACES SHOULD BE CLEAN, DRY, AND FREE FROM LOOSE OR PEELING PAINT. REMOVE ALL OIL, DUST, GREASE, DIRT, AND OTHER FOREIGN MATERIAL TO ENSURE ADEQUATE ADHESION. DO NOT APPLY WHEN AIR OR SURFACE TEMPERATURES ARE BELOW 40°F.
 3. APPLY SHERWIN-WILLIAMS SETFAST PREMIUM ALKYD ZONE MARKING PAINT A300 WHITE OR A303 YELLOW USING EITHER AIRLESS OR CONVENTIONAL LINE STRIPING EQUIPMENT. USE THE FOLLOWING SETTINGS AS A GUIDE-ACTUAL SETTINGS DEPEND ON ATMOSPHERIC CONDITIONS AT THE TIME OF APPLICATION:

AIRLESS	
• PRESSURE	1800-2700 PSI
• HOSE	3/4" ID
• TIP	0.015"-0.017"
• FILTER	60 MESH
• REDUCTION	ONLY IF NECESSARY, UP TO 1PT/GAL VM&P NAPTHA R1K3

CONVENTIONAL	
• GUN	BLINKS 21 (BLEEDER) OR EQUIVALENT
• FLUID NOZZLE	#88
• AIR NOZZLE	INTERNAL MIX, #709
• ATOMIZATION PRESSURE	45-80 PSI
• FLUID PRESSURE	40-70 PSI
• REDUCTION	ONLY IF NECESSARY, UP TO 1PT/GAL VM&P NAPTHA R1K3

- SHERWIN WILLIAMS, H&C SHARK GRIP SLIP RESISTANT ADDITIVE TO BE MEASURED AND ADDED TO ALL PAINT PER MANUFACTURER'S WRITTEN SPECIFICATIONS. MIX THOROUGHLY PER MANUFACTURER'S RECOMMENDATIONS SO THAT NO CLUMPING IS APPARENT AND UNTIL EVEN DISTRIBUTION IS ACHIEVED. MAINTAIN EVEN DISTRIBUTION OF ADDITIVE IN PAINT THROUGHOUT THE APPLICATION PROCESS.
- MIX PAINT THOROUGHLY BY BOXING, STIRRING, OR POWER AGITATION BEFORE USE. APPLY AT 15 MILS
- WET TO ACHIEVE A SPREAD RATE OF 400-500 LINEAL FEET OF STANDARD 4" STRIPE PER GALLON.
- APPLIED AT THIS RATE AT 70 DEGREES F AND 50% RELATIVE HUMIDITY, PAINT WILL DRY WITH NO TRAFFIC PICKUP AFTER 20 MINUTES.
- GENERAL CONTRACTOR TO RE-STRIP THE LOT 45 DAYS AFTER OPENING.

NOTES:

1. REFER TO SHEET C-0.0 FOR LEGEND AND STANDARD ABBREVIATIONS.
2. REFER TO SHEET C-4.0 FOR DETAILS.
3. REFER TO ARCHITECTURE PLANS FOR CANOPY INFORMATION.
4. REFER TO SIGNAGE PACKAGE FOR ALL SITE AND CHICK-FIL-A SIGN DETAILS.

PAVING LEGEND

	CONCRETE PAVEMENT		ASPHALT PAVEMENT
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SITE PLAN DESIGN NOTES & KEY PLAN

- | | | | | | |
|----|--|----|------|---|------|
| 1 | MULTI LANE DIRECTIONAL GRAPHIC | 4 | C4.0 | 1 | C4.0 |
| 2 | TYPICAL CONCRETE SIDEWALK | | | | |
| 3 | GREASE INTERCEPTOR RE: PLUMBING | | | | |
| 4 | 332 SF BUILDING ADDITION RE: ARCHITECTURAL PLANS | | | | |
| 5 | OUTSIDE MEAL DELIVERY CANOPY RE: ARCHITECTURAL PLANS | | | | |
| 6 | ORDER POINT CANOPY RE: ARCHITECTURAL | 25 | C4.1 | 3 | C4.0 |
| 7 | CONCRETE PAVING SECTION | | | | |
| 8 | CURB & GUTTER | | | | |
| 9 | ELECTRICAL TRANSFORMER RE: ELECTRICAL | | | | |
| 10 | 4" WIDE WHITE STRIPE @ 3" O.C. W/ ANTI SLIP ADHESIVE | | | | |
| 11 | ASPHALT PAVEMENT SECTION | 21 | C4.1 | | |
| 12 | 8" SOLID WHITE STRIPE | | | | |

SITE DATA TABLE	
LOT SIZE SQ FT	59146
BUILDING SQ FT (ORIGINAL / ADDITION / TOTAL)	4496 / 300 / 4796
BUILDING CONSTRUCTION TYPE	VB
OCCUPANCY TYPE	A2



5200 Bullington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By



Mark Date By



Mark Date By



Seal

FOR AND ON BEHALF OF

MERRICK & COMPANY

MERRICK
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741



STORE
CHICK-FIL-A
FSU #1288

SOUTH TOWNE
MARKETPLACE
10090 S. STATE ST.
SANDY, UT 84070

SHEET TITLE

SITE PLAN

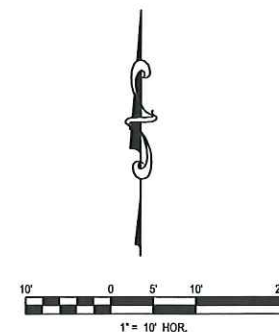
Job No. : 65120153
Store : XXXX
Date : 8/13/2019
Drawn By : LV
Checked By: KW

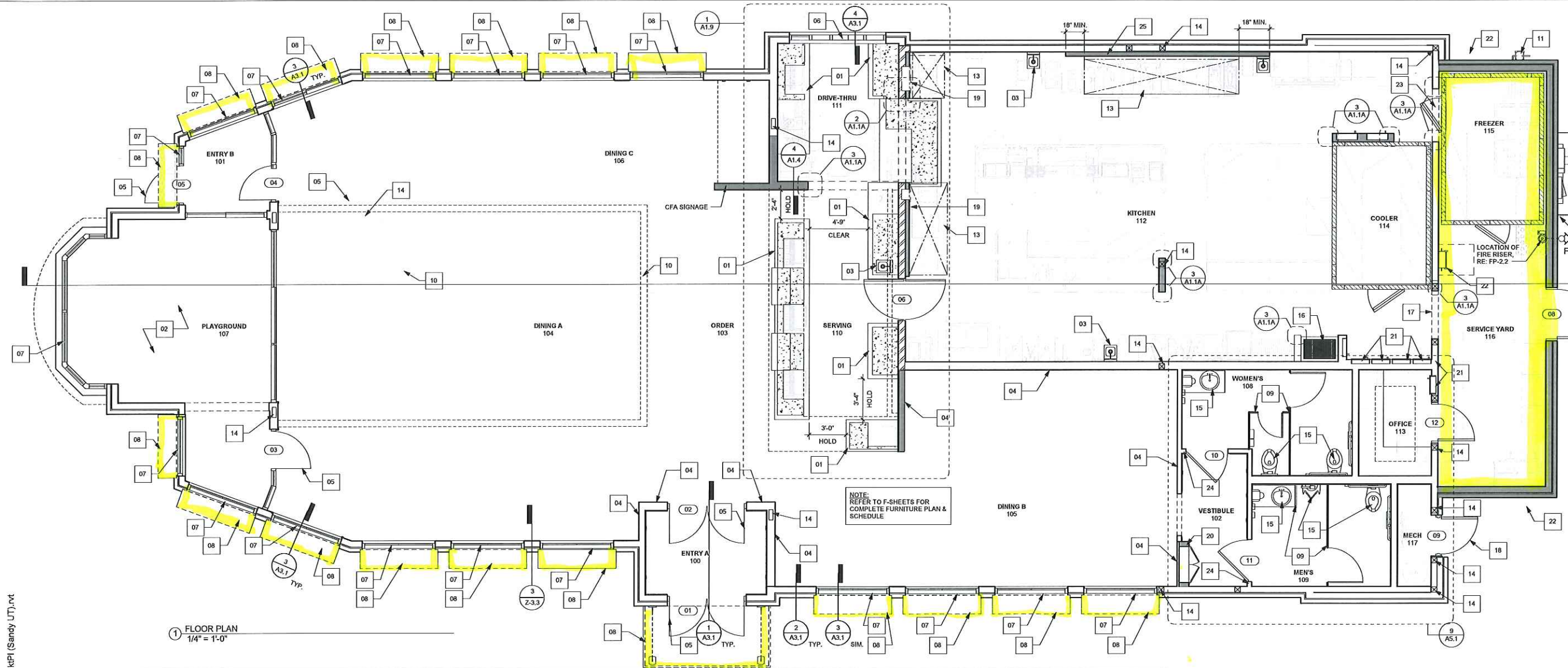
Sheet

C2.0



Know what's below.
Call before you dig.





KEY NOTES

- 01 LINE OF NEW MILLWORK; REFER TO MILLWORK SHOP DRAWINGS FOR SIZE LOCATIONS AND INSTALLATION
- 02 PLAYGROUND EQUIPMENT AND AREAS TO BE CLEANED, INSTALL ANY CHILD SAFETY EQUIPMENT FOR THE DOORS NEEDED OR REQUIRED.
- 03 RELOCATED HAND SINK. RE. PLUMBING
- 04 PROVIDE BLOCKING FOR WALL ART
- 05 REUSE EXISTING DOOR AND STOREFRONT. ALL STOREFRONT DOOR TO RECEIVE CLEAR ANODIZED PUSH PULL HARDWARE. REFER TO DOOR SCHEDULE. G.C. TO PROTECT DURING DEMOLITION AND CONSTRUCTION. RESTORE TO "LIKE NEW" CONDITION
- 06 NEW DRIVE-THRU WINDOW. REFER TO A1.3 DOOR SCHEDULE AND A4.3 DETAILS AND NOTES
- 07 PROVIDE NEW SOLID SURFACE SILL AT STOREFRONT. REFER TO FINISH SCHEDULE A1.2
- 08 NEW CANOPIES / AWNINGS TO BE PROVIDED BY OWNER. REFER TO SIGNAGE PACKAGE
- 09 PROVIDE NEW PARTITIONS, AND SCREENS. REFER TO MILLWORK SHOP DRAWINGS
- 10 NEW LOW STEEL WALL PROVIDED BY CHI. REFER TO FURNITURE SHEETS
- 11 RELOCATED GAS METER. RE. PLUMBING
- 12 NEW LOCATION OF NEW RELOCATED ELECTRICAL MOP AND METER
- 13 NEW CFA SPECIFIC HOODS. REFER TO MECHANICAL SHEETS.
- 14 EXISTING STRUCTURAL COLUMN. G.C. TO VERIFY SIZE AND LOCATION PRIOR TO START OF CONSTRUCTION. NOTIFY CHICK-FIL-A CONSTRUCTION MANAGER OF ANY DISCREPANCIES
- 15 PROVIDE NEW FIXTURES AND VANITIES. REFER TO MILLWORK SHOP DRAWINGS
- 16 NEW MOP SINK. RE. PLUMBING
- 17 NEW 48" Cased Opening.
- 18 FLIP DOOR SWING.
- 19 NEW PIN & SLEEVE BOXES AT NEW FUR OUT WALL.
- 20 NEW JANITORIAL MILLWORK CABINET RECESSED IN NEW WALL. REFER TO CLAYTON FIXTURES.
- 21 EXISTING ELECTRICAL PANELS TO REMAIN. G.C. TO PROTECT DURING DEMO AND CONSTRUCTION. REFER TO ELECTRICAL SHEETS.
- 22 LOCATION OF NEW ROOF ACCESS LADDER.
- 23 NEW 52" STAINLESS STEEL Cased Opening TO ADDITION.
- 24 REPLACE EXISTING DOORFRAME. G.C. TO PROTECT DOOR DURING DEMO & CONSTRUCTION.
- 25 3" FIRE PROTECTION NON COMBUSTIBLE WALL BEHIND NEW KITCHEN HOOD LOCATION. RE. 11/A4.2

WALL LEGEND:

- NEW WALL CONSTRUCTION
- EXISTING WALL CONSTRUCTION

LEGEND

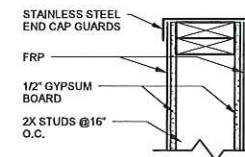
- 1 DOOR TAGS - REFER TO SHEET A1.4
- E FIRE EXTINGUISHER

FIRE NOTES:

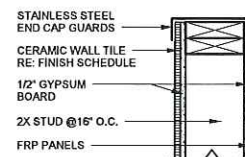
G.C. TO EVALUATE EXISTING FIRE EXTINGUISHERS. PROVIDE NEW IF EXISTING EXTINGUISHERS DO NOT MEET THE REQUIREMENTS BELOW. REPLACE WITH NEW EXTINGUISHERS: 10ABC FIRE EXTINGUISHERS SUITABLE FOR CLASS A, B, C FIRES USING DRY CHEMICALS - LOCATE AS REQUIRED BY LOCAL AUTHORITIES, AND MIN OF 1 K-RATED EXTINGUISHER AS REQUIRED IN KITCHEN.

GENERAL NOTES

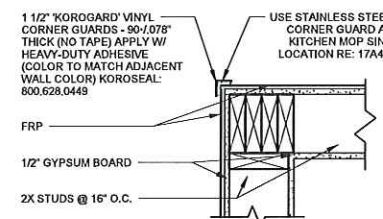
- 1 ALL WORK SHALL COMPLY WITH CODES STATED ON THE COVER SHEET AND A0.1.
- 2 G.C. SHALL COORDINATE ALL WORK AND SHUTDOWN TIMES WITH THE UNIT OPERATOR AND CHICK-FIL-A CONSTRUCTION MANAGER.
- 3 BEVERAGE INSTALLER TO INSTALL NEW BEVERAGE LINES, PUMPS, CARBONATES AND REGULATORS AS REQUIRED. G.C. TO COORDINATE WORK SCHEDULE WITH LOCAL BEVERAGE VENDOR TO ENSURE COMPLETE SERVICE RESTORATION BY REOPEN DATE.
- 4 G.C. TO CONFIRM ALL EXISTING CONDITIONS AND NOTIFY CHICK-FIL-A CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
- 5 ANY AND ALL "PLUS OR MINUS" DIMENSIONS SHOWN ARE TO BE VERIFIED BY THE G.C.; COORDINATE WITH SHOP DRAWINGS AS REQUIRED.
- 6 DIMENSIONS ARE FROM THE FACE OF STUD UNLESS NOTED OTHERWISE. REFER TO A1.2 DIMENSIONAL CONTROL PLAN.
- 7 REPAIR TO "LIKE NEW CONDITION" ANY DAMAGE INCURRED DURING DEMOLITION OR CONSTRUCTION TO EXISTING SURFACES OR EQUIPMENT AS REQUIRED.
- 8 PATCH/REPAIR ALL REMAINING AND DAMAGED AND/OR MISSING FLOOR, BASE, WALL OR CEILING TILES AS REQUIRED. ALL PATCHES, REPAIRS, AND MODIFICATIONS, SHALL BE MADE FLUSH WITH EXISTING SURFACES AND SHALL MATCH TEXTURES, WOOD SPECIES, COLOR AND FINISHES UNLESS NOTED OTHERWISE.
- 9 PATCH EXISTING DRAFTSTOP WALL BETWEEN KITCHEN AND SERVICE AT NEW BEVERAGE CHASES.
- 10 ALL NEW FASTENERS, ANCHORS, CLIPS, STRAPS, ETC., WHICH ARE IN CONTACT WITH COPPER BASED TREATED WOOD AND ARE LESS THAN 3/8" THICK SHALL BE C185 COATED GALVANIZED, STAINLESS STEEL OR AN APPROVED EQUAL.
- 11 REFER TO EQUIPMENT PLAN FOR LOCATIONS OF ALL NEW EQUIPMENT.
- 12 REFER TO INTERIOR ELEVATIONS FOR LOCATIONS AND TYPE OF CORNER GUARDS.
- 13 WORK AREA SHALL BE CLEAN AT ALL TIMES AND DEBRIS SHALL BE REMOVED IMMEDIATELY.
- 14 REPLACE AND RELOCATE EXISTING GREASE TRAP. REFER TO CIVIL SHEETS FOR LOCATION AND PLUMBING SHEET P1.1 FOR NOTES AND DETAILS.
- 15 REPLACE ALL EXISTING ROLLERSHADES.
- 16 G.C. TO HAVE ALL SLABS X-RAYED PRIOR TO SAWCUTTING. G.C. TO PROVIDE RECORD OF THIS. DO NOT CUT TENDONS OR GRADE BEAMS
- 17 ALL PLAYGROUND EQUIPMENT TO REMAIN.



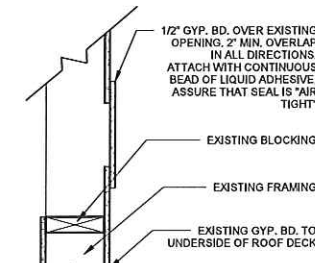
3 END CAP 1 1/2" = 1'-0"



2 END CAP WITH TILE 1 1/2" = 1'-0"



4 CORNER GUARD 1 1/2" = 1'-0"



5 DRAFTSTOPPING PATCH 1 1/2" = 1'-0"



5200 Buffington Rd.
Atlanta, GA
30349-2998

Revisions:	Mark	Date	By
1	06-13-2019		
ROOF DRAIN & EXTERIOR FINISH			
REVISION			
2	07-23-2019		
PLANNING REVIEW			
COMMENTS			

Mark	Date	By

Mark	Date	By



MICHAEL R. MAYSE, ARCHITECT
Architect
Planning
Construction Management
1481 Quince Dr.
Salt Lake City, UT 84119
Phone: (801) 466-0338
Fax: (801) 466-0338

STORE
CFA 01288
SOUTH TOWNE
MARKETPLACE FSU
10090 S. STATE ST.
SANDY, UT 84070

MLBIR 97-162

SHEET TITLE
FLOOR PLAN

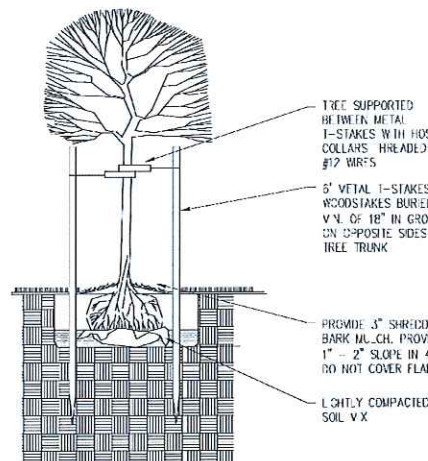
Job No. : 18114
Store : 01288
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Drawn By : GW
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A1.1A

IRRIGATION NOTES:

- MULCH:** AFTER COMPLETION OF ALL PLANTING, ALL IRRIGATED NON-TURF AREAS SHALL BE COVERED WITH A MINIMUM LAYER OF FOUR (4) INCHES OF MULCH TO RETAIN WATER, INHIBIT WEED GROWTH AND MODERATE SOIL TEMPERATURE. NON-POROUS MATERIAL SHALL NOT BE PLACED UNDER THE MULCH.
- LANDSCAPE WATER METER:** A WATER METER AND BACKFLOW PREVENTION ASSEMBLY THAT ARE IN COMPLIANCE WITH STATE CODE SHALL BE INSTALLED FOR LANDSCAPE IRRIGATION SYSTEMS, AND THE LANDSCAPE WATER METER AND BACKFLOW PREVENTION ASSEMBLY SHALL BE SEPARATE FROM THE WATER METER AND BACKFLOW PREVENTION ASSEMBLY INSTALLED FOR INDOOR USES. THE SIZE OF THE METER SHALL BE DETERMINED BASED ON IRRIGATION DEMAND.
- PRESSURE REGULATION:** A PRESSURE REGULATING VALVE SHALL BE INSTALLED AND MAINTAINED BY THE CONSUMER IF THE STATIC SERVICE PRESSURE EXCEEDS 80 POUNDS PER SQUARE INCH (PSI). THE PRESSURE-REGULATING VALVE SHALL BE LOCATED BETWEEN THE LANDSCAPE WATER METER AND THE FIRST POINT OF WATER USE, OR FIRST POINT OF DIVISION IN THE PIPE, AND SHALL BE SET AT THE MANUFACTURER'S RECOMMENDED PRESSURE FOR SPRINKLERS.
- AUTOMATIC CONTROLLER:** ALL IRRIGATION SYSTEMS SHALL INCLUDE AN ELECTRIC AUTOMATIC CONTROLLER WITH MULTIPLE PROGRAM AND MULTIPLE REPEAT CYCLE CAPABILITIES AND A FLEXIBLE CALENDAR PROGRAM. ALL CONTROLLERS SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.
- ON SLOPES EXCEEDING 30%, THE IRRIGATION SYSTEM SHALL CONSIST OF DRIP EMITTERS, BUBBLERS, OR SPRINKLERS WITH A MAXIMUM PRECIPITATION RATE OF 0.85 INCHES PER HOUR AND ADJUSTED SPRINKLER CYCLE TO ELIMINATE RUNOFF.
- EACH VALVE SHALL IRRIGATE A LANDSCAPE WITH SIMILAR SITE, SLOPE AND SOIL CONDITIONS AND PLANT MATERIALS WITH SIMILAR WATERING NEEDS. TURF AND NON-TURF AREAS SHALL BE IRRIGATED ON SEPARATE VALVES.
- DRIP EMITTERS OR A BUBBLER SHALL BE PROVIDED FOR EACH TREE WHERE PRACTICABLE. BUBBLERS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE PER DEVICE. BUBBLERS FOR TREES SHALL BE ON SEPARATE VALVE UNLESS SPECIFICALLY EXEMPTED BY THE SANDY CITY PUBLIC UTILITIES DEPARTMENT DUE TO THE LIMITED NUMBER OF TREES ON THE PROJECT SITE.
- SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATE WITH EACH CONTROL VALVE CIRCUIT.
- CHECK VALVES SHALL BE REQUIRED WHERE ELEVATION DIFFERENCES WILL CAUSE LOW-HEAD DRAINAGE. PRESSURE COMPENSATING VALVES AND SPRINKLERS SHALL BE REQUIRED WHERE A SIGNIFICANT VARIATION IN WATER PRESSURE WILL OCCUR WITHIN THE IRRIGATION SYSTEM DUE TO ELEVATION DIFFERENCES.
- DRIP IRRIGATION LINES SHALL BE PLACED UNDERGROUND OR OTHERWISE PERMANENTLY COVERED, EXCEPT FOR DRIP EMITTERS AND WHERE APPROVED AS A TEMPORARY INSTALLATION. FILTERS AND END FLUSH VALVES SHALL BE PROVIDED AS NECESSARY.
- IRRIGATION ZONES WITH OVERHEAD SPRAY OR STREAM SPRINKLERS SHALL BE DESIGNED TO OPERATE BETWEEN 8:00 P.M. AND 10:00 A.M. TO REDUCE WATER LOSS FROM WIND AND EVAPORATION. THIS WOULD EXCLUDE DRIP OR BUBBLER ZONES.
- PROGRAM VALVES FOR MULTIPLE REPEAT CYCLES WHERE NECESSARY TO REDUCE RUNOFF, PARTICULARLY SLOPES AND SOILS WITH SLOW INFILTRATION RATES.
- FOLLOWING CONSTRUCTION AND PRIOR TO RELEASE OF THE SECONDARY BOND GUARANTEE POSTED FOR THE PROJECT, A WATER USE EFFICIENCY REVIEW WILL BE CONDUCTED BY A LANDSCAPE IRRIGATION AUDITOR. THE AUDITOR SHALL BE INDEPENDENT OF THE CONTRACTOR, DESIGN FIRM, AND OWNER/DEVELOPER OF THE PROJECT. THE WATER PERFORMANCE AUDIT WILL VERIFY THAT THE IRRIGATION SYSTEM COMPLIES WITH THE MINIMUM STANDARDS REQUIRED BY SANDY CITY ORDINANCE. THE MINIMUM EFFICIENCY REQUIRED FOR THE IRRIGATION SYSTEM IS 80% FOR DISTRIBUTION EFFICIENCY FOR ALL FIXED SPRAY SYSTEMS AND 70% DISTRIBUTION EFFICIENCY FOR ALL ROTOR SYSTEMS. THE AUDITOR SHALL FURNISH A CERTIFICATE TO THE CITY, DESIGNER, INSTALLER AND OWNER/DEVELOPER CERTIFYING COMPLIANCE WITH THE MINIMUM DISTRIBUTION REQUIREMENTS. COMPLIANCE WITH THIS PROVISION IS REQUIRED BEFORE THE CITY WILL RELEASE THE BOND FOR THIS PROJECT.



NOTES:

- SOIL M/X FOR ALL TREES, SHRUBS AND GROUND COVER SHALL BE 30% EXISTING SOIL EXCAVATED FROM PLANT HOLE, 30% IMPORTED LOAMY TOPSOIL, 20% CLEAN COARSE SAND, 20% PEAT MOSS.
TYPICAL PLANTING DEPTH: FROM ROOT FLAIR TO BOTTOM OF BALL LESS 2"
TYPICAL PLANTING WIDTH: TWICE THE WIDTH OF ROOT BALL +6".
- TREE MUST BE PLANTED SUCH THAT THE TRUNK FLAIR IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL CUT AND REMOVE BURLAP, TWINE & WIRE FROM TOP 2/3 OF BALL.

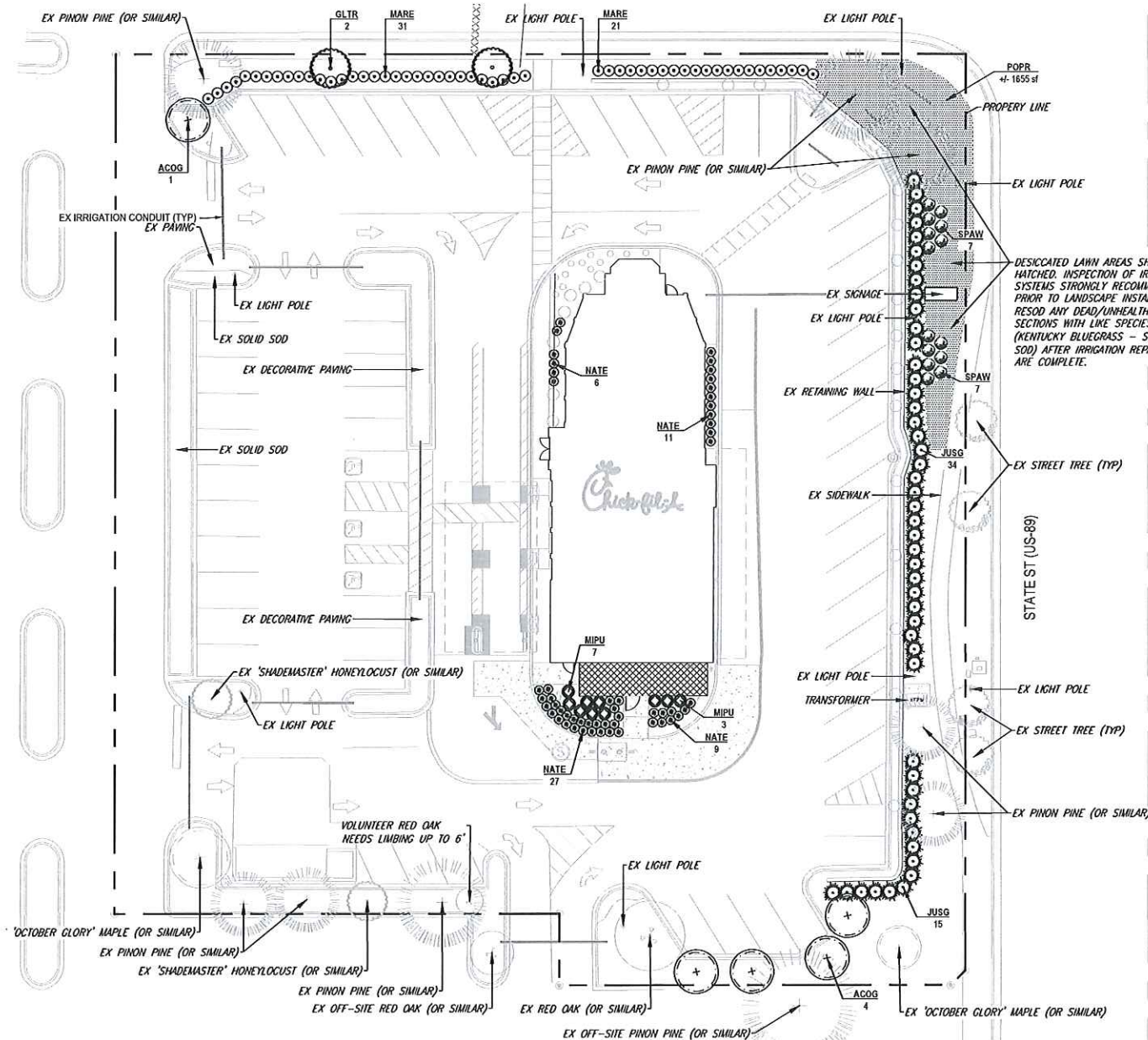
DETAIL - TREE PLANTING & STAKING
NTS

LANDSCAPE NOTES:

- PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARD OF THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK."
- PLANT BED PREPARATION PROCEDURE SHALL BE TO ADD 3" OF COMPOST AND 20 POUNDS OF ORGANIC FERTILIZER (GREENSENSE, SYSTANE OR APPROVED EQUAL) PER 1,000 SQUARE FEET IN ENTIRE BED, OR A SLOW RELEASE MANUFACTURED FERTILIZER ACCORDING TO RATES SUGGESTED BY THE MANUFACTURER. BEDS SHOULD BE TILLED TO A DEPTH OF 6" TO 8".
- TREE PLANTING PITS SHALL BE BACKFILLED WITH EXISTING SOIL ONLY AND CLEARED OF ROCKS, LUMPS OF CLAY AND OTHER FOREIGN MATERIAL. PLACE 3" OF SHREDDED HARDWOOD BARK MULCH ON TOP OF THE ROOT BALL. CLEAR MULCH FROM AROUND THE TRUNK.
- LAWN AREAS SHALL BE TREATED WITH AN ORGANIC FERTILIZER APPLIED AT A MINIMUM OF 20 POUNDS PER 1,000 SQUARE FEET, OR A SLOW RELEASE MANUFACTURED FERTILIZER ACCORDING TO RATES SUGGESTED BY THE MANUFACTURER.
- ALL PLANT BEDS SHALL BE TOP DRESSED WITH 4" OF SHREDDED HARDWOOD BARK MULCH.
- THE LANDSCAPE CONTRACTOR SHALL USE WHATEVER METHOD HE/SHE DEEMS FIT TO STAKE TREES, INCLUDING NO STAKING AT ALL. HOWEVER, HE/SHE WILL BE HELD RESPONSIBLE FOR ANY DAMAGES CAUSED TO THE TREES DUE TO IMPROPER STAKING METHODS, INCLUDING NO STAKING, AND WILL BE RESPONSIBLE FOR UPRIGHTING AND REPLANTING TREES THAT ARE BLOWN OVER OR OUT OF PLUMB DURING THE WARRANTY PERIOD.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE DRAWINGS AND PLANT LIST, THE DRAWING SHALL PREVAIL.
- LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED BY HIS WORK.
- ALL LANDSCAPE AREAS SHALL BE FULLY IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION SYSTEM IS TO INCLUDE RAIN AND FREEZE SENSORS.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT OR OWNER.
- THE OWNER, TENANT AND/OR THEIR AGENT, IF ANY, SHALL BE JOINTLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT LIMITED TO MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF THE LANDSCAPE. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY AS SOON AS THE WEATHER WILL ALLOW.
- THE CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE, HEALTHY AND VIGOROUS FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE OR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
- CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.

GENERAL NOTES:

- REFER TO SHEET C-0.0 FOR LEGEND AND STANDARD ABBREVIATIONS.
- REFER TO SHEET C-4.0 FOR DETAILS.
- REFER TO ARCHITECTURE PLANS FOR CANOPY INFORMATION.
- REFER TO SIGNAGE PACKAGE FOR ALL SITE AND CHICK-FIL-A SIGN DETAILS.



LANDSCAPE WATER ALLOWANCE

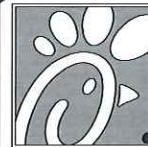
LWA = 31.18 x 1.0 x 0.62 x 10,130 SF (LANDSCAPE AREA) = 195,829.11 GALLONS PER GROWING SEASON

PLANTING SCHEDULE

Key	Qty.	Botanic Name	Cultivar	Common Name	Size	Comments
EXISTING TREES TO BE PRESERVED IN PLACE						
ACOG	2	Acer rubrum	"October Glory"	October Glory Red Maple	Established	Exact species may vary
GLTR	2	Gleditsia triacanthos	"Shademaker"	Shademaker Honeylocust	Established	Exact species may vary
PIED	8	Pinus edulis		Pinon pine	Established	Exact species may vary
QURU	2	Quercus rubra		Northern Red Oak	Established	Exact species may vary
PROPOSED TREES						
ACOG	5	Acer rubrum	"October Glory"	October Glory Red Maple	2-2.5" cal.; 24" box	B&B
GLTR	2	Gleditsia triacanthos	"Shademaker"	Shademaker Honeylocust	2-2.5" cal.; 24" box	B&B
PROPOSED SHRUBS						
JUSG	49	Juniperus x pfitzeriana	"Sea Green"	Sea Green Chinese Juniper	5 gal.	Full
MARE	52	Mahonia repens		Creeping Mahonia	5 gal.	Full
MIPU	10	Miscanthus sinensis	"Purpurascens"	Flame Grass	5 gal.	Full
NATE	53	Nassella tenuissima		Mexican Feather Grass	5 gal.	Full
SPAW	14	Spiraea x bumalda	"Anthony Waterer"	Anthony Waterer Japanese Spiraea	5 gal.	Full
PROPOSED GROUNDCOVERS						
POPR	1655 sf	Poa pratensis		Kentucky Bluegrass		Solid sod

PLANTING KEY:

- ACOG: Acer rubrum "October Glory"
October Glory Red Maple
- GLTR: Gleditsia triacanthos "Shademaker"
Shademaker Honeylocust
- JUSG: Juniperus x pfitzeriana "Sea Green"
Sea Green Chinese Juniper
- MARE: Mahonia repens
Creeping Mahonia
- MIPU: Miscanthus sinensis "Purpurascens"
Flame Grass
- NATE: Nassella tenuissima
Mexican Feather Grass
- SPAW: Spiraea x bumalda "Anthony Waterer"
Anthony Waterer Spiraea



Chick-fil-A

5200 Bullington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

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Mark Date By

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Mark Date By

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Seal

FOR AND ON BEHALF OF
MERRICK & COMPANY

MERRICK



5070 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
CHICK-FIL-A
FSU #1288

SOUTH TOWNE
MARKETPLACE
10090 S. STATE ST.
SANDY, UT 84070

SHEET TITLE

LANDSCAPE
PLAN

Job No. : 65120153

Store : XXXX

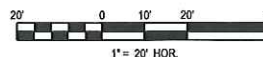
Date : 8/13/2019

Drawn By : LV

Checked By : KW


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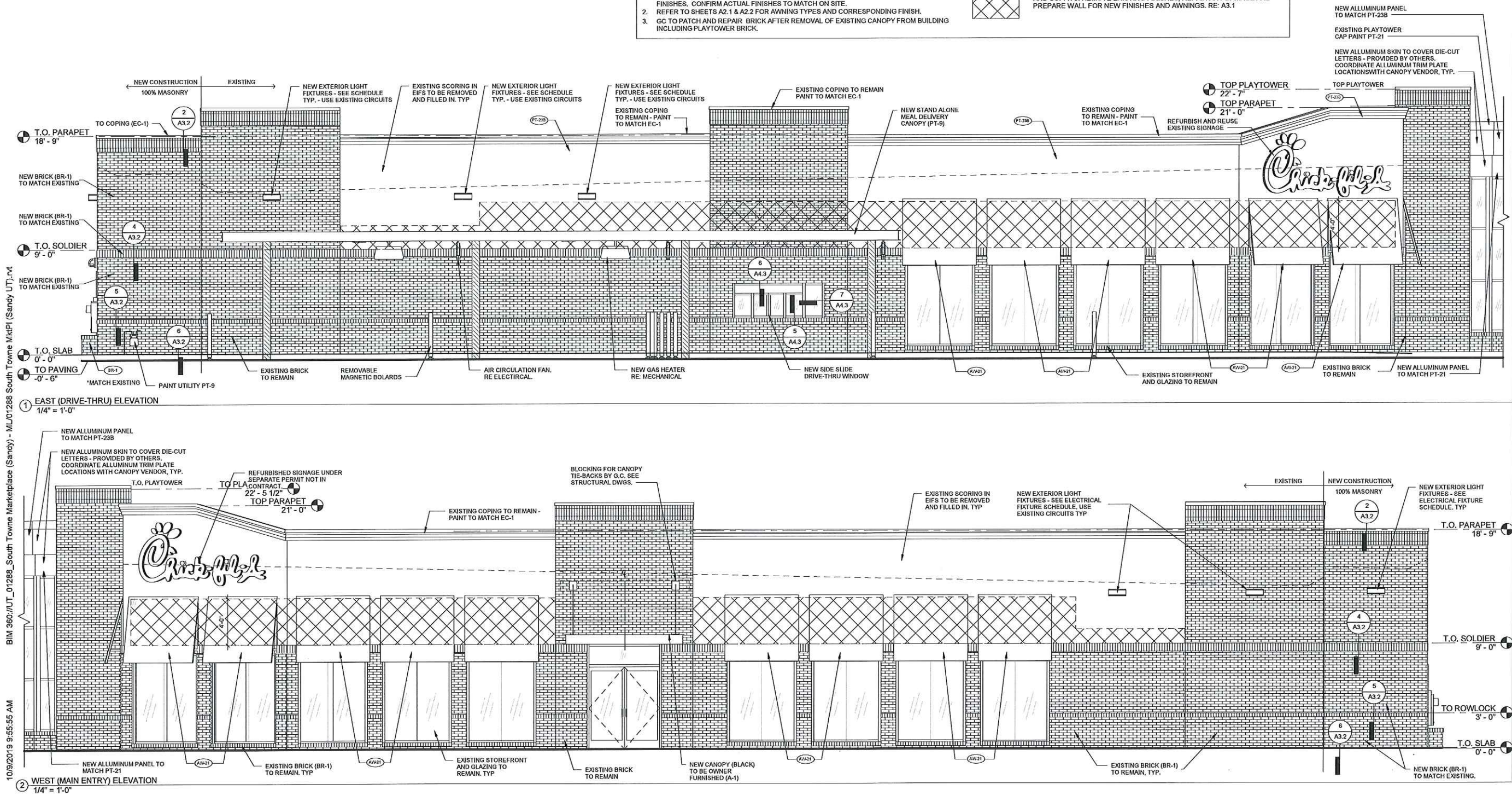
L1.0



Know what's below.
Call before you dig.

	EAST	WEST
BRICK MASONRY	(1206 SF) 61%	(982 SF) 55%
EIFS	(785 SF) 39%	(793 SF) 45%
TOTAL EXTERIOR FINISH	1991 SF	1775 SF

3 EXTERIOR FINISH SCHEDULE			
BR-1	BRICK #1 (MODULAR SIZE) - BICKERSTAFF BRICK COMPANY COLOR: MOUNT VERNON GROUT: BUFF	PT-21	EXTERIOR PAINT FOR SITE METALS SHERWIN WILLIAMS, PRO INDUSTRIAL MULTI-SURFACE ACRYLIC COATING SW6258 / TRICORN BLACK, USED WITH SW PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER.
EC-1	NEW PARAPET WALL COPING AS REQUIRED FOR NEW LOCATIONS DUROLAST/ EXCEPTIONAL METALS COLOR - MIDNIGHT BRONZE (MATTE)	PT-23B	EXTERIOR PAINT FOR E.I.F.S. SHERWIN WILLIAMS, PRO INDUSTRIAL MULTI-SURFACE ACRYLIC COATING SW6108 / LATTE, MUST BE USED WITH SW LOXON CONDITIONER UNIVERSAL PRIMER
MP-1	ALUMINUM FASCIA DUROLAST/ EXCEPTIONAL METALS COLOR - MIDNIGHT BRONZE (MATTE)	AW-21	AWNING FABRIC SUNBRELLA 4684-000 / SLATE
MP-2	ALUMINUM FASCIA DUROLAST/ EXCEPTIONAL METALS COLOR - BROWNSTONE (MATTE)	A-1	ALUMINUM AWNING - COVERED COLOR - BLACK SIZE - VERIFY IN FIELD
PT-7	EXTERIOR PAINT REFUSE ENCLOSURE SHERWIN WILLIAMS, #SW2807 "ROCKWOOD (MEDIUM BROWN)" SEMI-GLOSS FINISH ON DOOR FRAMES, SATIN FINISH ON WALLS		
PT-9	EXTERIOR PAINT MISCELLANEOUS METALS SHERWIN WILLIAMS - SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350 COLOR - DARK BRONZE SEMI-GLOSS FINISH		
EXTERIOR FINISH NOTES:			
1. FINISHES LISTED IN THIS SCHEDULE DO NOT REPRESENT ORIGINAL PROTOTYPE FINISHES. CONFIRM ACTUAL FINISHES TO MATCH ON SITE. 2. REFER TO SHEETS A2.1 & A2.2 FOR AWNING TYPES AND CORRESPONDING FINISH. 3. GC TO PATCH AND REPAIR BRICK AFTER REMOVAL OF EXISTING CANOPY FROM BUILDING INCLUDING PLAYTOWER BRICK.			HATCH INDICATES EXTENT OF EIFS REMOVAL OF EXISTING CANOPIES AND SOFFITS. REMOVE EXISTING FINISHES, REPAIR ANY DAMAGE AND PREPARE WALL FOR NEW FINISHES AND AWNINGS. RE: A3.1



5200 Buffington Rd.
Atlanta, GA
30349-2998

Revisions:

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PLANNING REVIEW COMMENTS		

Mark Date By

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STATE OF UTAH
Professional Engineer
Michael R. Mayse
14881 Quana Dr.
Dallas, Texas
Phone: (972) 395-0339
Fax: (972) 395-0576

MICHAEL R. MAYSE, A ARCHITECT
Architecture Planning Construction Management
14881 Quana Dr.
Dallas, Texas
Phone: (972) 395-0339
Fax: (972) 395-0576

STORE
CFA 01288
SOUTH TOWNE MARKETPLACE FSU
10090 S. STATE ST.
SANDY, UT 84070
ML/BIR 97-162

SHEET TITLE
EXTERIOR ELEVATIONS

Job No. : 18114
Store : 01288
Date : 10/9/2019 9:55:55 AM
Drawn By : GW
Checked By : CS
Sheet : A2.2

FINISH PERCENTAGES

	NORTH	SOUTH
BRICK MASONRY	(346 SF) 58%	(783 SF) 94%
EIFS	(255 SF) 42%	(49 SF) 6%
TOTAL EXTERIOR FINISH	601 SF	832 SF

3 EXTERIOR FINISH SCHEDULE

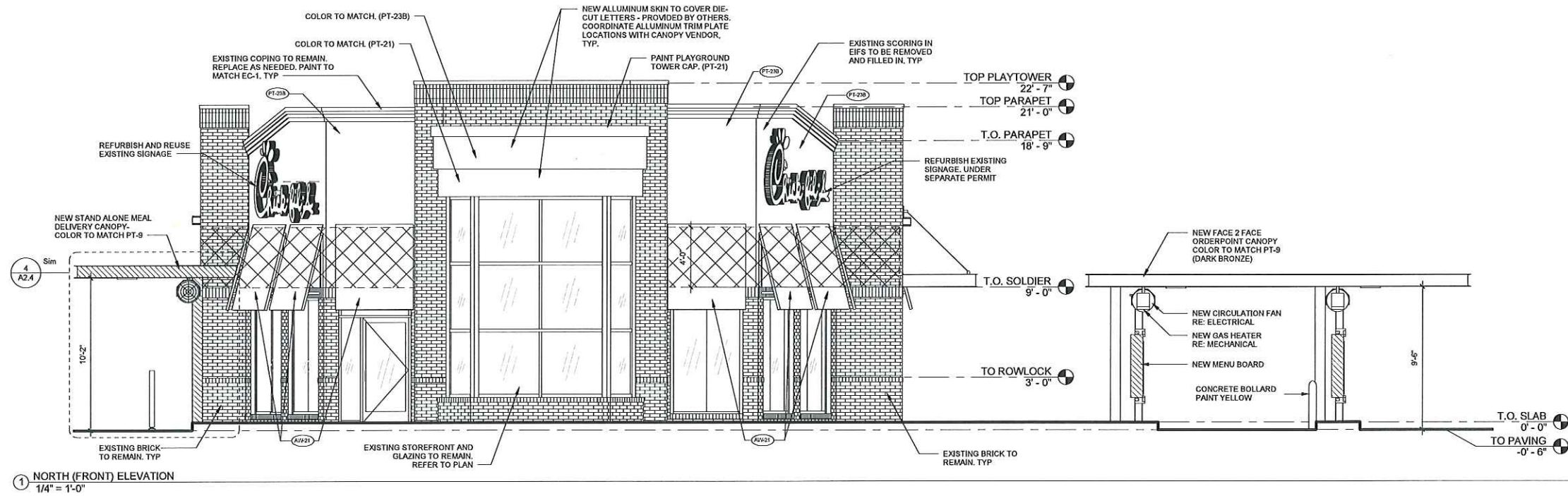
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EXTERIOR FINISH NOTES:

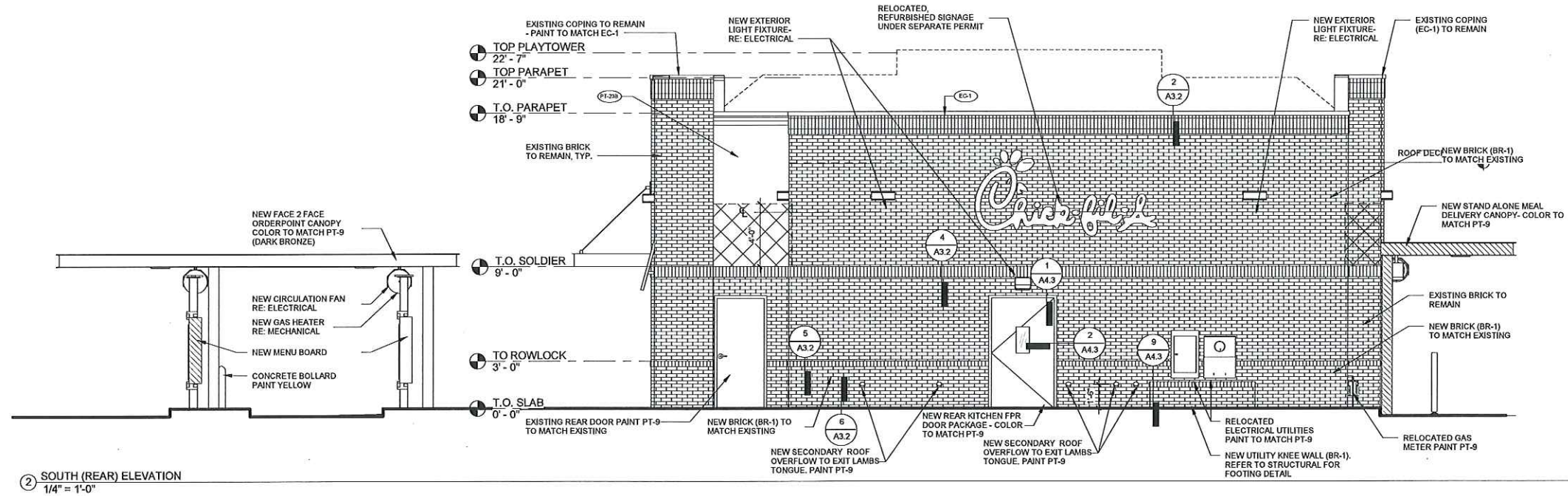
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1 NORTH (FRONT) ELEVATION
1/4" = 1'-0"



2 SOUTH (REAR) ELEVATION
1/4" = 1'-0"



Chick-fil-A
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ROOF DRAIN &

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PLANNING REVIEW

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STORE
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SHEET TITLE
EXTERIOR
ELEVATIONS

Job No. : 18114

Store : 01288

Date : 10/9/2019

9:55:53 AM

Drawn By : GW

Checked By : CS

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