



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Agenda Planning Commission

Dave Bromley
Michael Christopherson
Monica Collard
Ron Mortimer
Cyndi Sharkey
Jamie Tsandes
Cameron Duncan (Alternate)
Jeff Lovell

Thursday, December 5, 2019

6:15 PM

Council Chambers

Meeting procedures are found at the end of this agenda.

Voting Roll Call

4:00 PM FIELD TRIP

1. [19-440](#) Field Trip for December 5, 2019

Attachments: [12-5-19](#)

6:15 PM REGULAR SESSION

Roll Call

Welcome

Pledge of Allegiance

Introductions

Public Hearing Item

2. [ZONE-10-19-5751\(PC\)](#) Rees Rezone
1680 E. Dimple Dell Road
[Community #22]

Attachments: [Staff Report, map and materials.pdf](#)
[11.13.19 Neighborhood Meeting Summary.pdf](#)

Public Meeting Items

3. [CUP-11-19-5761](#) Storybrook Kids Club
688 E. Union Square
[Community #5]

Attachments: [Staff Report, map and materials.pdf](#)
4. [SUB-05-19-5649](#) Larson Webster Subdivision No. 2
Amending Lot 2, Larson Webster Subdivision No. 1
3351 E. 9980 S.
[Community #29 - The Dell]

Attachments: [Staff Report, map and materials.pdf](#)
5. [SPR-02-19-5604](#) BD Medical Warehouse Addition
9450 S. State Street
[Community #2 - Civic Center]

Attachments: [Staff Report, map and materials.pdf](#)
6. [MISC-11-19-5766](#) Development Code Interpretation

Attachments: [Staff Report and materials.pdf](#)
[Map.pdf](#)

Administrative Business

1. [19-443](#) Planning Commission meeting minutes for 11.07.2019

Attachments: [11.07.19 PC Meeting Minutes](#)
2. Sandy City Development Report
3. Director's Report

Adjournment

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

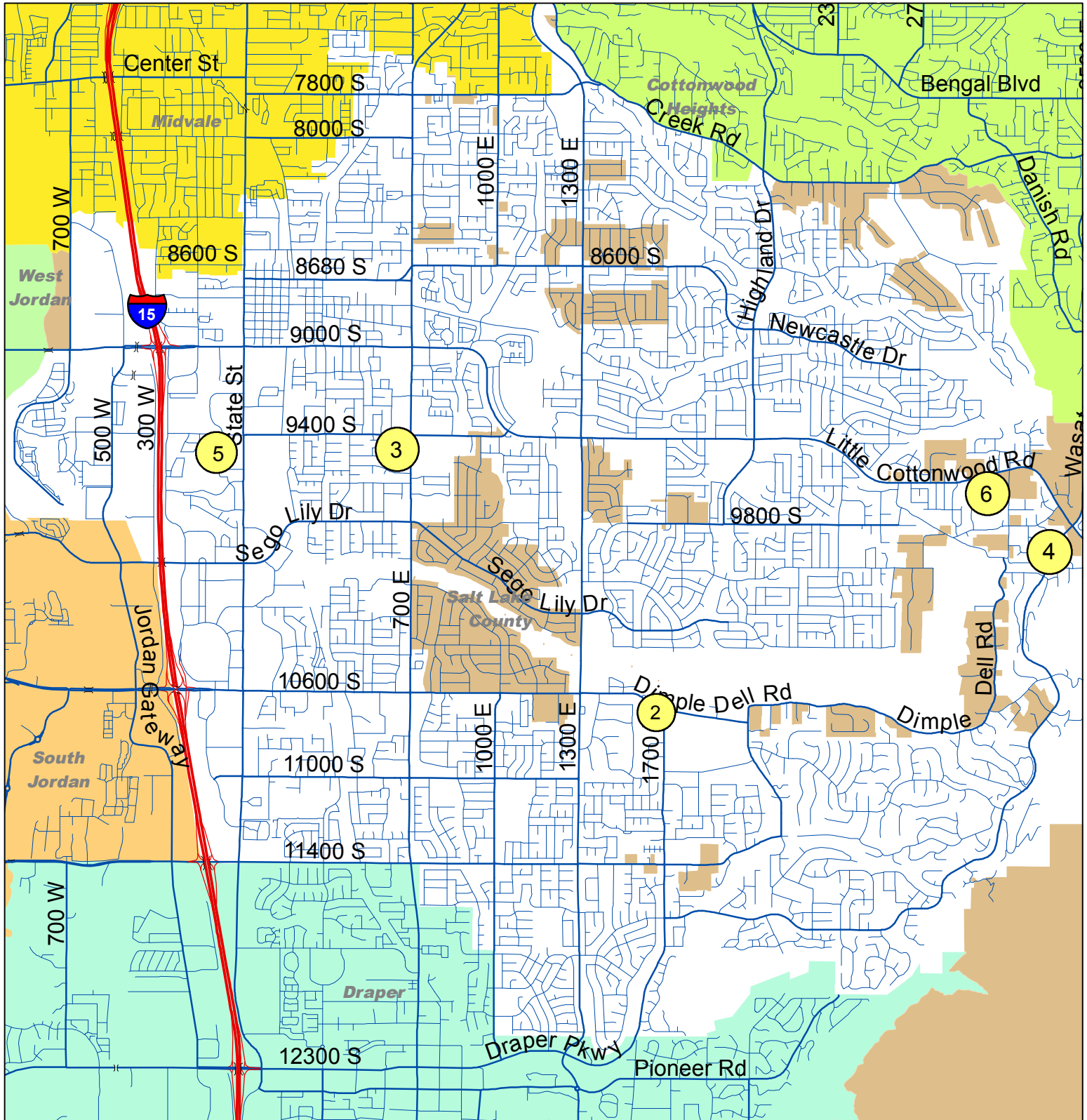
File #: 19-440, **Version:** 1

Date: 12/5/2019



Field Trip for December 5, 2019

Planning Commission Field Trip

December 5, 2019



Legend

-  Locations to visit individually, with agenda item number
-  Locations to be visited on tour, with agenda item number

See Planning Commission agenda packet for specific addresses and details regarding the application.





Staff Report

File #:
ZONE-10-19-5751(PC),
Version: 1

Date: 12/5/2019

Agenda Item Title:

Rees Rezone
1680 E. Dimple Dell Road
[Community #22]

Presenter:

Jake Warner

Description/Background:

IPOA, LLC. (Applicant) has submitted an application for a zone change of approximately 0.52 acres located at approximately 1680 E. Dimple Dell Road (Property) from the R-1-10 Zone (Single Family Residential District) to the PO Zone (Professional Office District). The subject property is located on the south west corner of 1700 E. and Dimple Dell Road. The property is surrounded on the west and south sides by the Villas at Dimple Dell Subdivision.

The Applicant submitted a concept plan with the Application. The concept plan depicts a single-story office building of 2,975 square feet and a 3-car garage. The building is located near the north east corner. It shows street access from both 1700 E. and Dimple Dell Road. There are 10 parking stalls located along the west portion of the property.

The Application was presented in a neighborhood meeting held on November 13, 2019. The meeting was attended by a total of 10 attendees.

Fiscal Impact:

Future development of the subject property for a commercial use will likely generate greater property tax revenue to the City than the property tax that would be generated from a low or medium density residential use.

Further action to be taken:

The action requested by the Application is a rezone, a legislative item, being presented to the Planning Commission to hold a public hearing and to forward a recommendation to the City Council. The City Council will make the final determination regarding the Application.

Recommended Action and/or Suggested Motion:

Hold a public hearing and forward a recommendation to the City Council.

Alternatives:

File #:
ZONE-10-19-5751(PC),
Version: 1

Date: 12/5/2019

-
1. Recommend that the City Council approve the zone change from the R-1-10 Zone to the PO Zone.
 2. Recommend that the City Council not approve the zone change from the R-1-10 Zone to the PO Zone.
 3. Table the decision for a future meeting.



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

KURT BRADBURN
MAYOR

MATTHEW HUISH
CHIEF ADMINISTRATIVE OFFICER

MEMORANDUM

November 7, 2019

To: Planning Commission
From: Community Development Department
Subject: Rees Rezone, R-1-10 to PO
1680 E. Dimple Dell Road
[Community #22]

ZONE-10-19-5751
0.52 Acres

HEARING NOTICE: *This item has been noticed to property owners within 500 feet of the subject area, on public websites, and in the newspaper.*

| PROPERTY CASE HISTORY | |
|-----------------------|---|
| Case Number | Case Summary |
| O# 14-33 | Hooser Annexation (11/19/2014) – 5.02 acres |

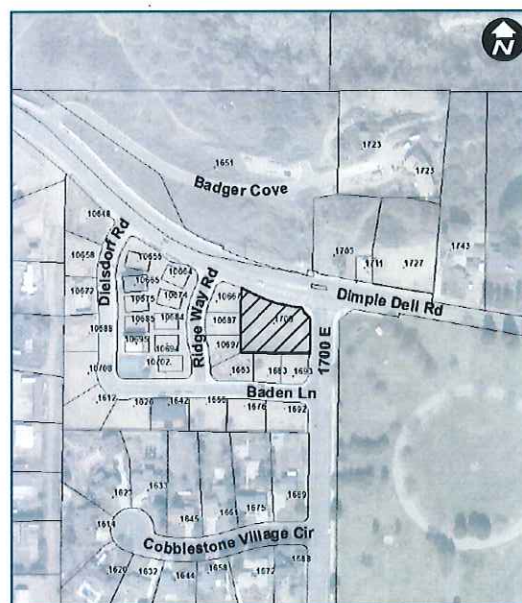
REQUEST

IPOA, LLC. (Applicant) has submitted an application for a zone change of approximately 0.52 acres located at approximately 1680 E. Dimple Dell Road (Property) from the R-1-10 Zone (Single Family Residential District) to the PO Zone (Professional Office District).

BACKGROUND

The subject property includes approximately 0.52 acres on one parcel located on the south west corner of 1700 E. and Dimple Dell Road. The property is surrounded on the west and south sides by the Villas at Dimple Dell Subdivision.

The zoning designation (and existing land use) of the surrounding properties are as follows:



ZONE-10-19-5751 :: Rees
1680 E. Dimple Dell Road

North: OS (Dimple Dell Road, Dimple Dell Park)
East: R-1-20A (1700 E., Larkin Mortuary)
South: PUD 4.56 (Villas at Dimple Dell)
West: PUD 4.56 (Villas at Dimple Dell)

The Applicant submitted a concept plan with the Application. The concept plan depicts a single-story office building at 2,975 square feet with a 3-car garage. The building is located near the north east corner. It shows street access from both 1700 E. and Dimple Dell Road. There are 10 parking stalls located along the west portion of the property.

The Application was presented in a neighborhood meeting held on November 13, 2019. The meeting was attended by a total of 10 attendees.

FACTS AND FINDINGS

- Dimple Dell Road is classified as a Minor Arterial and 1700 E. is classified as a Major Collector.
- There are no streets stubbed from the adjacent neighborhood.
- None of the adjacent properties are zoned R-1-10.
- The PO Zone requires a 30-foot setback when abutting a residential district, and allows for a maximum building height of 25 feet, with an exception to allow for additional height based on increased setbacks. The R-1-10 Zone requires a 10-foot side yard setback and a 25-foot rear yard setback, and allows for a maximum building height of 35 feet.
- The Sandy City General Plan contains applicable goals and policies, including the following:

LAND USE

- *Goal 1.0 – Provide for orderly and efficient development which will be compatible with the natural and built environment*
- *Goal 1.1 – Encourage new growth where vacant land already is served by public utilities.*

GROWTH PRINCIPLES

- *Policy 1.1 – Promote redevelopment to better utilize existing infrastructure.*
- *Policy 1.3 – Promote compact development consistent with market demand.*

COMMERCIAL ZONING & DEVELOPMENT

- *Policy 1.4 – Provide alternatives for rectifying inconsistent zoning.*

CONCLUSIONS

- The Planning Commission makes recommendation to the City Council regarding zoning amendments to “regulate the use and development of land within all or any part of the area of the City.” (Development Code of Sandy City 2008, 21-5-3(a)(1))
- The zoning regulations of the PO Zone may be more restrictive to the size and siting of structures on the property than the R-1-10 Zone.

ATTACHMENTS


- Zoning Map
- Concept Plan

Planner:

Reviewed by:



Jake Warner
Long Range Planning Manager



Brian McCuiston
Planning Director

File Name: S:\USERS\PLN\STAFFRPT\2019\ZONE-10-19-5751 Rees

OS



Badger Cove

Dielsdorf Rd

Dimple Dell Rd

R-1-10

PUD 4.56

1700 E

R-1-20A



**ZONE-10-19-5751 :: Rees
1680 E. Dimple Dell Road**

PRODUCED BY JAKE WARNER
THE COMMUNITY DEVELOPMENT DEPARTMENT

NORTH
 SITE PLAN
 SCALE: 1" = 10'



| | | | | | | |
|-----------------|----------------------------|--|--|------------|---|---|
| PROGRESS SET | PRINTED DATE 09.25.2019 | <div data-bbox="974 1921 1258 1984"> LAYTON DAVIS ARCHITECTS </div> <div data-bbox="958 1984 1274 2026"> 2005 EAST 2700 SOUTH SUITE 200 SALT LAKE CITY, UTAH 84109 P: 801.487.0715 WWW.LAYTONDAVISARCHITECTS.COM </div> | <div data-bbox="649 1911 909 1963"> SANDY OFFICE </div> <div data-bbox="673 1974 885 2037"> 1680 E DIMPLE DELL RD. Sandy, UT 84090 </div> | CHRONOLOGY | <div data-bbox="373 1921 414 2026"> PROJECT NO 19.130 </div> <div data-bbox="332 1921 373 2026"> DWN BY/CHK BY JLD / — </div> | <div data-bbox="251 1921 316 2026"> TITLE EXISTING SITE PLAN </div> <div data-bbox="170 1921 243 2026"> 24X36 SHEET # A001 </div> |
|-----------------|----------------------------|--|--|------------|---|---|



Neighborhood Meeting Summary – Community #22

Date: 11/13/2019

Location: Sandy City Hall Room 220

Community #/Name: #22

Community Coordinator: Lamar Beckstead

Project Name: Rees Rezone

Number of Attendees: 10

Applicants: Rollin & Amy Anderson (IPOA, LLC) **Number of Invitees:**

Length of Meeting: 1-hour

Notice Radius: 500 ft.

Project Description: Property currently zoned R1-1-10 (.52acres) asking for a re-zone to Professional Office Use. Applicant Rollin Anderson will be the owner/occupant of the property. Development will be a 3000 sq. ft single story office building with a 3-car garage, exterior parking for 10 vehicles. Will operate during normal business hours with minimal vehicle/ people traffic.

Community Comments:

1. What are the long-term intentions of the applicants with this office?
2. Can stipulations be placed on this property to keep PO use only?
3. How will this affect the property values of neighboring homes?
4. Some residents would prefer not to re-zone.
5. Lighting impact to residents
 - a. Regulations. (pole lighting is required)
6. Traffic Safety concerns.
7. Height of the building.
8. Timeline for project.
9. Signs. (no freestanding)
10. Dividing wall height (current 6ft)
11. Residents would prefer this development over any other proposed alternatives.
12. Most residents had positive comments.

Resident e-mailed Comments:

1. Traffic Concerns
 - a. Safety concerns of ingress and egress and the total distance from the entrance and exit approached when traveling east bound towards 1700 east.



SANDY CITY COMMUNITY DEVELOPMENT

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CHIEF ADMINISTRATIVE OFFICER

- b. Driveway on Dimple Dell would have to be a right turn only for the egress. If it is allowed for left and right turn egress across the predetermined right turn lane and the pass-through lane, this could be a safety and traffic flow issue.
 - c. Safety for children/residents with the potential traffic flow disruption.
 2. Property Value concerns for the residents backing the commercial space.
 3. Curb cuts
 - a. Curb cuts along Dimple Dell Road and 1700 E. appear to not be compatible with the nearby intersection and will add an increased level of danger to the intersection and our nearby neighborhood.
 - b. Curb cut on 1700 east to the intersection of 1700 E. and Baden Lane as they would be very close to one another.
 4. Pole lighting in the parking lot may be higher than the 8' required fence and will be an annoyance for the homes whose decks and windows face the proposed development.
 5. Building height concern.
 - a. Resident would like to ensure this development does not go over the maximum allowable height.



Staff Report

File #: CUP-11-19-5761,
Version: 1

Date: 12/5/2019

Agenda Item Title:
Storybrook Kids Club
688 E. Union Square
[Community #5]

Presenter:
Claire Hague

Description/Background:

The applicant, Savana Bauer for Storybrook, is requesting that the Planning Commission consider a request for a Conditional Use Permit to allow for a daycare business to operate within 250 feet of a residential property located at 688 E. Union Square. *(See Exhibit #1: Application Materials).*

The applicant is proposing to operate an hourly daycare center for children and infants at Storybrook's current location. The applicant is proposing to utilize the 2,500 square foot basement as a daycare and continue using the main floor as an indoor play place and café. At full capacity the applicant is proposing to care for 20 kids on site with an employee to child ratio being dependent on the age of the child and state requirements. The applicant is aware of Utah State requirements and has agreed to maintain those ratios. The business will operate from 8 AM-7 PM Monday through Thursday, 8 AM-10 PM Fridays and 9 AM-10 PM on Saturdays.

The subject property is located in the Planned Center- Community District (CC) zone and is .05 acres (2,178 square feet) with a 4,500 square foot commercial building space containing three levels. The tenants occupy the middle and bottom floors and do not currently utilize the top space. The property is located within a shopping center and customer traffic will utilize the front entrance on the north side of the building.

Parking for the proposed business will utilize the existing parking lot for the Union Square shopping center. There are two access points to the shopping center, from the north via 9400 South, and from the east via 700 East.

Recommended Action and/or Suggested Motion:

STAFF RECOMMENDATION

Staff recommends that the Planning Commission approve a Conditional Use Permit to allow for Storybrook Kids to operate a daycare within 250 feet of a residential property at 688 E. Union Square based on the findings listed below and the subject to the following conditions:

Finding

1. Based on the proposed use, staff finds that there is sufficient separation from the commercial building and nearest residential district at 50 feet.

2. There should be minimal impact, if any, to the adjacent residential use.

Conditions

1. That the proposed structure comply will all applicable Building& Safety, and Fire & Life Codes identified within the attached letter, dated November 21, 2019 by the Assistant Building Official.
2. That the applicant be responsible for meeting all provisions of the Sandy City Development Code, and all conditions of approval imposed by the Planning Commission to mitigate a reasonably anticipated detrimental effects of the proposed use.
3. That the applicant obtain a business license from the Community Development Department.
4. That the applicant meet all Utah State licensure requirements for an hourly drop-in daycare.
5. That the use be reviewed upon legitimate complaint.



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

KURT BRADBURN
MAYOR

MATTHEW HUISH
CHIEF ADMINISTRATIVE OFFICER

MEMORANDUM

December 5, 2019

To: Planning Commission
From: Community Development Department
Subject: Storybrook Kids Club
688 E. Union Square
[Community #5]

CUP-11-19-5761
Zone: CC

HEARING NOTICE: *This item has been noticed to property owners within 500 feet of the subject area.*

| PROPERTY CASE HISTORY | |
|-----------------------|--------------|
| Case Number | Case Summary |
| | None |

DESCRIPTION OF REQUEST AND BACKGROUND

The applicant, Savana Bauer for Storybrook, is requesting that the Planning Commission consider a request for a Conditional Use Permit to allow for a daycare business to operate within 250 feet of a residential property located at 688 E. Union Square. (*See Exhibit #1: Application Materials*).

The applicant is proposing to operate an hourly daycare center for children and infants at Storybrook's current location. The applicant is proposing to utilize the 2,500 square foot basement as a daycare and continue using the main floor as an indoor play place and café. At full capacity the applicant is proposing to care for 20 kids on site with an employee to child ratio being dependent on the age of the child and state requirements. The applicant is aware of Utah State requirements and has agreed to maintain those ratios. The business will operate from 8 AM-7 PM Monday through Thursday, 8 AM-10 PM Fridays and 9 AM-10 PM on Saturdays.

The subject property is located in the Planned Center- Community District (CC) zone and is .05 acres (2,178 square feet) with a 4,500 square foot commercial building space containing three levels. The tenants occupy the middle and bottom floors and do not currently utilize the top

space. The property is located within a shopping center and customer traffic will utilize the front entrance on the north side of the building.

Parking for the proposed business will utilize the existing parking lot for the Union Square shopping center. There are two access points to the shopping center, from the north via 9400 South, and from the east via 700 East.

ANALYSIS

Per **Section 21-08-02** of the Sandy City Land Development Code, a daycare center located within 250 feet of a residential district requires a Conditional Use approval from the Planning Commission. The distance is measured from the property line to the nearest residential zone district.

The distance from the property line to the nearest residentially zoned district is 50 feet. (*See Exhibit #2: Residential Distance*). The shopping center and residential properties are separated by a 6 foot concrete wall and 50 foot parking lot. Distance from the front entrance (north side of the building) to the adjacent residential property is 115 feet. The applicant is requesting a CUP for its location in relation to residential properties.

COMPLIANCE WITH SECTION 21-33-04

Staff response in *italics*.

Conditions. In order to achieve compliance with the standards set forth herein, the City may impose conditions, which address standards 21-33-04 “1” to “15”, as contained in the Sandy City Development Code. This proposed conditional use meets or satisfies all of Conditions “1” through “15”, except the following conditions, which merit discussion or additional consideration by the Planning Commission:

13. Identifying a time for regular review and monitoring, as determined necessary, to ensure the use continues to operate in compliance with all conditions and requirements of approval;

Compliance with conditions is reviewed by the renewal of the applicant's business license.

14. Measures to ensure compliance with all conditions and requirements of approval including but not limited to bonds, letters of credit, improvement agreements, agreements to conditions, road maintenance funds, restrictive covenants;

To be reviewed upon legitimate complaint.

15. Such other conditions determined reasonable and necessary by the City to allow the operation of the proposed conditional use, at the proposed location in compliance with the requirements of this Code.

That the applicant complies with all Building & Safety, and Fire & Life Codes.

NOTICE

A neighborhood meeting was held on Tuesday, November 26 at 7:00 PM by the Community Development Department. Notices were mailed to the property owners within a 500-foot radius of the subject parcels in advance of the Planning Commission meeting. At the time of writing the staff report, staff has not received any comment on this application.

CONCERNS

Staff's primary concern is for the safety of the children. Upon building inspection some safety concerns were raised by the Sandy City Fire Marshal and the Assistant Building Official. (*Exhibit 3: Staff Review*) In order to address these concerns staff has added as a condition of approval that these specific code requirements are addressed by the owner as part of the business license approval.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission approve a Conditional Use Permit to allow for Storybrook Kids to operate a daycare within 250 feet of a residential property at 688 E. Union Square based on the findings listed below and the subject to the following conditions:

Finding

1. Based on the proposed use, staff finds that there is sufficient separation from the commercial building and nearest residential district at 50 feet.
2. There should be minimal impact, if any, to the adjacent residential use.

Conditions

1. That the proposed structure comply with all applicable Building & Safety, and Fire & Life Codes identified within the attached letter, dated November 21, 2019 by the Assistant Building Official.
2. That the applicant be responsible for meeting all provisions of the Sandy City Development Code, and all conditions of approval imposed by the Planning Commission to mitigate a reasonably anticipated detrimental effects of the proposed use.
3. That the applicant obtain a business license from the Community Development Department.
4. That the applicant meet all Utah State licensure requirements for an hourly drop-in daycare.
5. That the use be reviewed upon legitimate complaint.

Planner: Claire Hague Reviewed by: BM

Claire Hague, Zoning Technician

S:\USERS\PLN\STAFFRPT\2019\CUP-11-19-5761 Storybrook Kids Club

Exhibit #1 – Application Materials

We own Storybrook Play Cafe in Union Square and are wanting to add a new addition to our space! We are wanting to create the downstairs area into an hourly drop in daycare center to enrich the community of those around us. The kids club would be an hourly drop-in daycare center to accommodate parents childcare needs that do not need a full time daycare spot. In the downstairs area of Storybrook, we have a large open space that is completely sprinkler equipped with 2 wide staircases leading directly to exits. We are hoping to host this during the hours of 8am-7pm Monday through Thursday, 8am-10pm Fridays and 9am-10pm Saturdays. We will accept ages 6 months through 8 years of age. We are applying for a max capacity of 20 kids in our space of 2500 square feet. The drop-off system would entail the parents parking and bringing the child inside for check-in. We will provide enrichment activities for the children in attendance on top of our fun playspace for children. This should not impact the traffic in any way as we are in a space with a very large parking lot. We will have 2 employees who will park in the back. This change would still keep in character with the zoning as many of the businesses next to us are child oriented as well. Thank you for your time.

Exhibit #2 – Site Separation

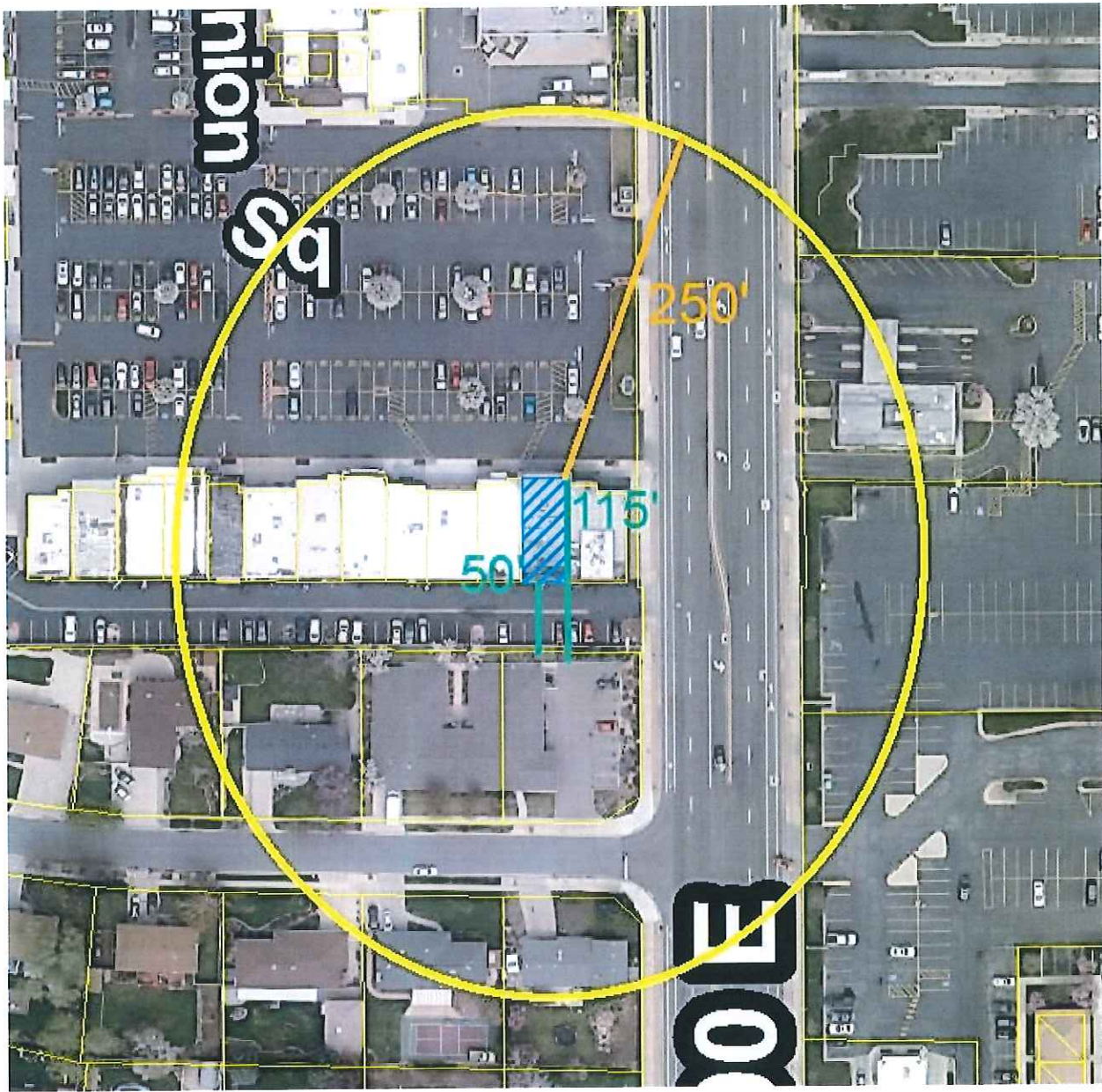


Exhibit #3 – Staff Review



Community Development Department

Kurt Bradburn
Mayor

Matthew Huish
Chief Administrative Officer

James L. Sorensen
Director

November 21, 2019

Re: Storybook Day Care
688 E. Union Square

This is a review of building code requirements and the business owners request to have up to 20 receiving day care at the Storybook location. State of Utah requirements are separate from these items.

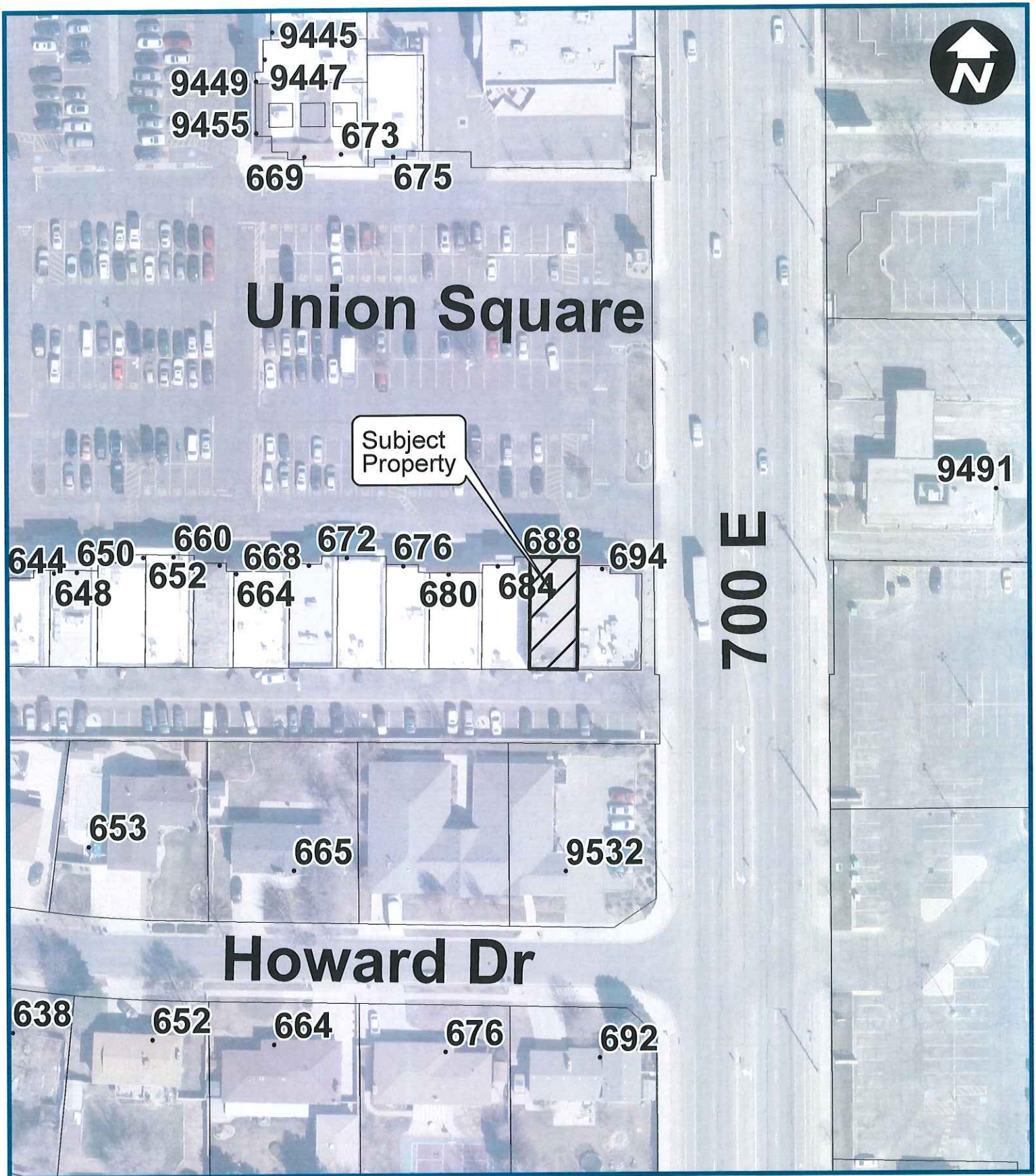
- Occupancy classification based on the 2018 IBC will be an I-4 daycare center
- Building is required to be fire sprinkled and all rooms and areas will need to be in compliance and approved by the Sandy City Fire Marshal
- Any associated alarms and fire extinguishers will also be required to be approved by the Sandy City Fire Marshal
- Secured areas must be code compliant for exiting requirements
- All associated stairs with the occupancy must have code compliant handrails on both sides of stairways
- Access gates cannot be located on stairs and need to be relocated to allow for a landing at top and bottom of stairs
- Exits must be clear of any furniture and storage
- Exits must be clearly marked and properly lit.
- Thumbturn lock will only be allowed on the main entry with proper signage on door for it to remain unlocked during business hours
- Thumbturn on rear exit door must be removed
- Daycare must be separated from adjoining businesses by a 1 hour fire wall
- All required supervisory requirements must be as required by State of Utah

Jim McClintic



Assistant Building Official

Exhibit #4 – Vicinity Map



CUP-11-19-5761
Storybrook Kids Club
688 E Union Square



PRODUCED BY CLAIRE HAGUE
THE COMMUNITY DEVELOPMENT DEPARTMENT



Staff Report

File #: SUB-05-19-5649,
Version: 1

Date: 12/5/2019

Agenda Item Title:

Larson Webster Subdivision No. 2
Amending Lot 2, Larson Webster Subdivision No. 1
3351 E. 9980 S.
[Community #29 - The Dell]

Presenter:

Mike Wilcox

Description/Background:

Mr. Ivan Utrera is requesting to modify Lot 2 of the Larson Webster Subdivision No. 1 plat to formerly amend a 30% slope designation on his property located at 3351 East 9980 South (see map for location). This proposal is to have the Planning Commission re-determine the area of 30% or greater slope and increase the buildable area of the property. An approval will expand the buildable area to allow greater flexibility to construct a proposed single family home. No new lots would be created with this proposal.

For further information, please see the attached staff report.

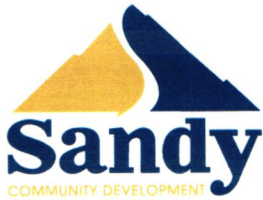
Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission determine that preliminary subdivision review and Sensitive Area Overlay Zone review is complete for the proposed amended plat, Larson Webster Subdivision No. 2, located at 3351 East 9980 South, and be subject to the following conditions:

1. That compliance be made with the Sandy City Water Policy, e.g., water line extensions, connections, water rights, and fire protection.
2. That the property comply with all requirements of the R-1-40 zone, Wildland Urban Interface Zone, and Sensitive Area Overlay Zone. That this amended plat be approved with a legal non-conforming approval disclosed on the plat in relation to the minimum lot size due to the previous plat boundary error of the Larson Webster Subdivision No. 1.
3. That the typical minimum setbacks remain unchanged from previous approvals.
4. That dwelling structures be prohibited from any area that is equal to or in excess of a 30% slope. The location of a dwelling or detached structures shall be no closer than an average of 20 feet (no point being closer than 10 feet) of a continuous hillside slope of 30% or greater.
5. That any area equal to or in excess of a 30% slope be indicated (cross-hatched) on the final

plat, and that perspective builders and homeowners be apprised of the restrictive nature of the hillside lots.

6. That grading, home placement, and vegetation plans be submitted and approved prior to issuance of a building permit. The grading plan shall include a driveway plan and profile to assure conforming driveway slope.
7. That the home be constructed of materials approved with a minimum of a one hour rated fire resistive construction on the exterior side or constructed with approved noncombustible materials. This will be determined on a case-by-case basis at building permit review. Also, that an approved noncombustible or fire treated roof covering be utilized for the home.
8. That the previous of conditions of approval of the Larson Webster Subdivision approvals remain in force and are not nullified by this action.



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

KURT BRADBURN
MAYOR

MATTHEW HUISH
CHIEF ADMINISTRATIVE OFFICER

MEMORANDUM

November 14, 2019

To: Planning Commission
From: Community Development Department
Subject: Larson Webster Subdivision No. 2
Amending Lot 2, Larson Webster Subdivision No. 1
3351 East 9980 South
[Community #29 – The Dell]

SUB-05-19-5649
R-1-40 Zone
SAO Overlay Zone

HEARING NOTICE: *This item has been noticed to property owners within 500 feet of the subject area and all lots within this phase of development.*

| PROPERTY CASE HISTORY | |
|-----------------------|---|
| Case Number | Case Summary |
| S#03-04 | The Plat for the Larson Webster Subdivision No. 1 was recorded on 6/16/2005 and includes 2 lots within the R-1-40 Zone. |

REQUEST

Mr. Ivan Utrera is requesting to modify Lot 2 of the Larson Webster Subdivision No. 1 plat to formally amend a 30% slope designation on his property located at **3351 East 9980 South** (see map for location). This proposal is to have the Planning Commission re-determine the area of 30% or greater slope and increase the buildable area of the property. An approval will expand the buildable area to allow greater flexibility to construct a proposed single family home. No new lots would be created with this proposal.

BACKGROUND

The subject property is Lot 2 of the Larson Webster Subdivision No. 1 (see the recorded plat). This property is within the Wildland Urban Interface Zone and Sensitive Area Overlay (SAO) Zone. The existing plat designated areas that contained slopes greater than 30%. This property is within the R-1-40 zone district and has been developed with single-family homes on all sides. The lot has not yet had a home built on the property. The property to the north is now owned by the City and will be converted to open space and serve as a future trailhead to the Bell Canyon Recreation Area.

NOTICE

Mailed notices were sent to property owners within a 500-foot radius of the subject parcel to notify them of the Planning Commission meeting. No neighborhood meeting has been held on this item.

ANALYSIS

Mr. Utrera has presented new information and evidence through a land survey that shows some discrepancies with the previously recorded plat and the natural contours of the lot. They do not match the 30% unbuildable slope areas that was recorded (see attached comparative survey exhibit). The survey reveals that the buildable area of the lot is larger than what is shown on the plat.

The City Engineer has reviewed the request and the materials provided by the applicant thoroughly. After this review and a site visit, he has provided a positive recommendation to the Planning Commission to approve the request of the applicant (see the attached Public Works Letter).

Another issue that has surfaced with this new survey is that the lot boundaries are actually smaller than what was shown on the existing plat. The previous plat created an overlap with the property to the north. This adjustment to the agreed upon boundary line reduces the lot area to below the minimum allowed within the zone. Because this lot has been approved as a buildable lot with the previous plat, Staff would support approving this proposed plat and associated lot as a legal, non-conforming lot to the existing zone.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission determine that preliminary subdivision review and Sensitive Area Overlay Zone review is complete for the proposed amended plat, Larson Webster Subdivision No. 2, located at 3351 East 9980 South, and be subject to the following conditions:

1. That compliance be made with the Sandy City Water Policy, e.g., water line extensions, connections, water rights, and fire protection.
2. That the property comply with all requirements of the R-1-40 zone, Wildland Urban Interface Zone, and Sensitive Area Overlay Zone. That this amended plat be approved with a legal non-conforming approval disclosed on the plat in relation to the minimum lot size due to the previous plat boundary error of the Larson Webster Subdivision No. 1.
3. That the typical minimum setbacks remain unchanged from previous approvals.
4. That dwelling structures be prohibited from any area that is equal to or in excess of a 30% slope. The location of a dwelling or detached structures shall be no closer than an average of 20 feet (no point being closer than 10 feet) of a continuous hillside slope of 30% or greater.
5. That any area equal to or in excess of a 30% slope be indicated (cross-hatched) on the final plat, and that perspective builders and homeowners be apprised of the restrictive nature of the hillside lots.
6. That grading, home placement, and vegetation plans be submitted and approved prior to issuance of a building permit. The grading plan shall include a driveway plan and profile to

issuance of a building permit. The grading plan shall include a driveway plan and profile to assure conforming driveway slope.

7. That the home be constructed of materials approved with a minimum of a one hour rated fire resistive construction on the exterior side or constructed with approved noncombustible materials. This will be determined on a case-by-case basis at building permit review. Also, that an approved noncombustible or fire treated roof covering be utilized for the home.
8. That the previous of conditions of approval of the Larson Webster Subdivision approvals remain in force and are not nullified by this action.

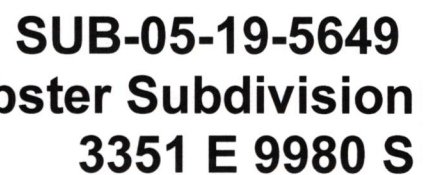
Planner:

Reviewed by: *FW*



Mike Wilcox
Zoning Administrator

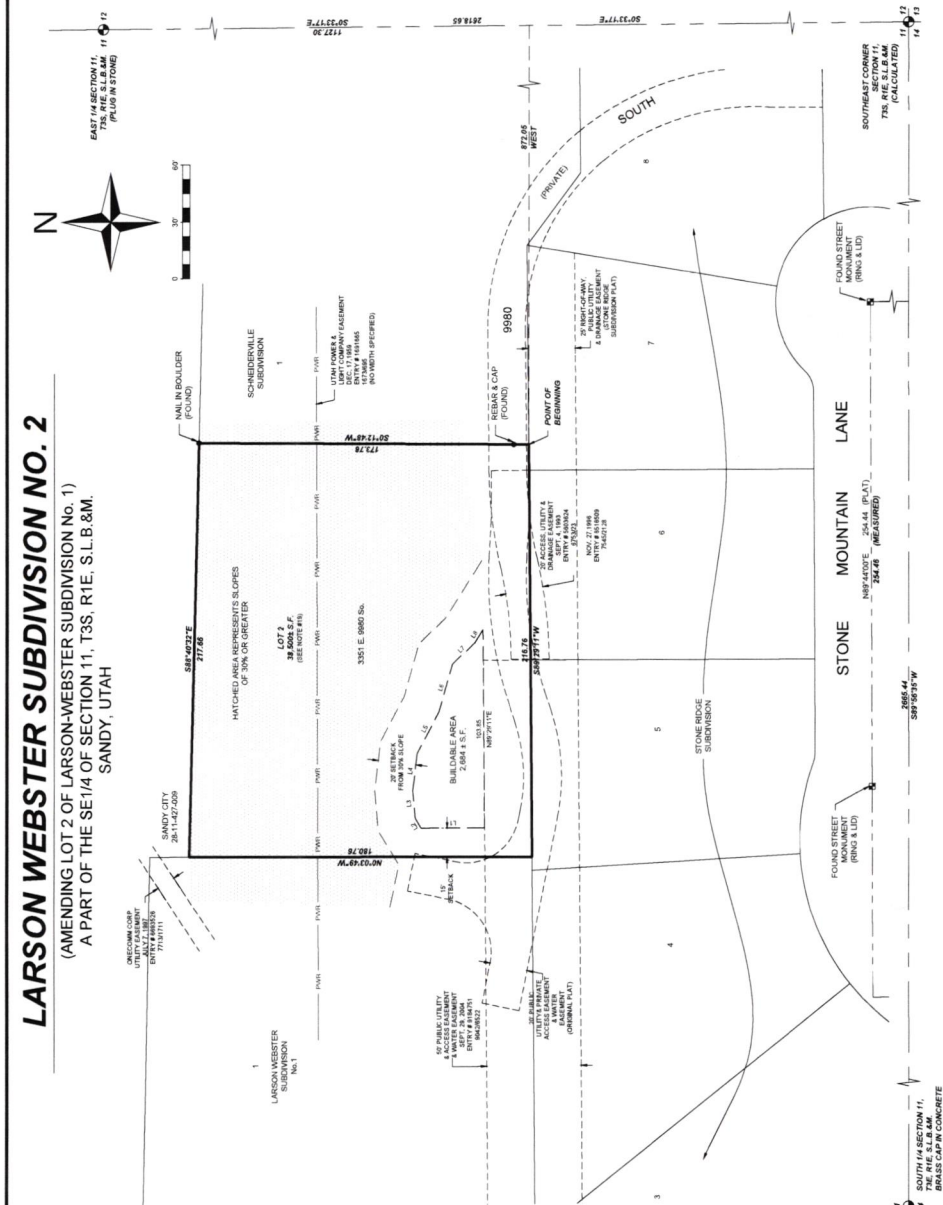
File Name: S:\USERS\PLN\STAFFRPT\2019\SUB-05-19-5649 LARSEN WEBSTER 2\STAFF REPORT.DOCX



0 50 100 200 300 400 500 Feet

33 of 90
12/5

(AMENDING LOT 2 OF LARSON-WEBSTER SUBDIVISION No. 1)
A PART OF THE SE1/4 OF SECTION 11, T3S, R1E, S.L.B.&M.
SANDY UTAH



| LINE TABLE | | |
|------------|---------------|--------|
| LINE # | BEARING | LENGTH |
| L.1 | 80° 03' 40"E | 33.37 |
| L.2 | 85° 51' 21"W | 5.09 |
| L.3 | 88° 44' 41"W | 14.38 |
| L.4 | N88° 14' 03"W | 19.88 |
| L.5 | N62° 06' 30"W | 24.73 |
| L.6 | N74° 15' 16"W | 25.90 |
| L.7 | N43° 27' 45"W | 15.90 |
| L.8 | N57° 41' 09"W | 8.15 |

BOUNDARY NOTES

1) The boundary of that Plat differs from the LARSON WEBSTER No. 1 Subdivision plat due to boundary related errors disclosed in the following:

g Survey 82019/06/0510 prepared by Ensign Engineering.

The authority, line of the Subject Property was held to be the north boundary of the STONE RIDGE Subdivision per existing monuments and a Boundary Agreement and Relocation and Abandonment of Easements recorded in Deed Book 6753 Page 23. The northerly line of the Subject Property was determined to be the North line of the EVANS BEECHER SUBDIVISION as noted and described in the "various Survey referenced above. Original monuments from and Subdivision were found and held. The easterly line of the Subject Property was determined to be the northerly line of Lot 1, SCOTTSVILLE Subdivision that honors the same line, as the Cornerstone Survey.

LEGEND

| | |
|--|------------------------------|
| | EXISTING POWER LINE |
| | SLOPES OF 10% OR GREATER |
| | SECTION CORNER/SECTION LINES |
| | BOUNDARY LINE |
| | EASEMENT LINE |
| | DEED/PLAT LINES |
| | DEED BOOK/PAGE |
| | EXISTING STREET MONUMENT |

18) FOR EACH RESIDENTIAL LOT, EACH LOT IS REQUIRED TO RETAIN ALL STORM WATER ON SITE (EXCEPT FOR THE PORTION OF THE DRIVEWAY THAT DRAINS DIRECTLY TO THE STREET DURING AND AFTER CONSTRUCTION)

19) THIS IS A LEGAL, NON-CONFORMING LOT (AS IT PERTAINS TO MINIMUM LOT SIZE OF THE ZONE DISTRICT) DUE TO A SURVEY ERROR DISCOVERED ON THE ORIGINAL LARSON WEBSTER No. 1 SUBDIVISION PLAT. RECORDED AS ENTRY No. 940558 IN BOOK 2005F PAGE 181 OF THE OFFICIAL RECORDS OF SAULT LEBLANC COUNTY.

civil solutions
SANDY CITY

CACHE VALLEY | P. 435.213.3762



SALT LAKE | P. 801.216.3192
UTAH VALLEY | P. 801.874.1432
info@civilsolutionsgroup.net

www.consultantgroup.net

[illegible]

SANDY CITY ENGINEER

APPROVED THIS _____ DAY OF _____ A.D. 20____

EASEMENT APPROVAL

FOOTY MOUNTAIN POWER _____ DATE _____


INDOSHEN ENERGY _____ DATE _____

COMCAST _____ DATE _____

CENTURIALINK _____ DATE _____

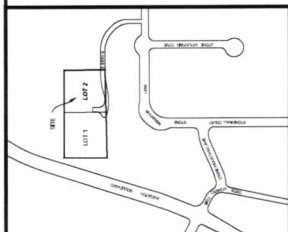
| | |
|--|---|
| <p>SALT LAKE COUNTY HEALTH DEPARTMENT</p> | <p>APPROVED THIS _____ DAY OF _____ A.D. 20____</p> |
| <p>_____ COLLECTOR</p> | <p>COTTONWOOD IMPROVEMENT DISTRICT</p> |
| <p>_____ CITY ENGINEER</p> | <p>APPROVED THIS _____ DAY OF _____ A.D. 20____</p> |

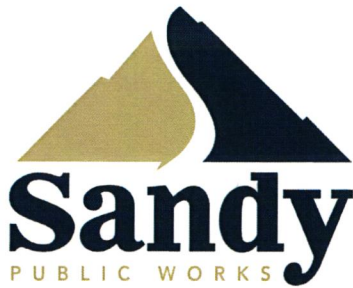
| | | |
|------------------------------------|--|--|
| SANDY CITY PARKS AND RECREATION | APPROVED THIS _____ DAY OF _____ A.D. 20____ | APPROVED _____ DIRECTOR |
| SANDY CITY PUBLIC UTILITIES | THIS _____ DAY OF _____ A.D. 20____ | FOR AND ON BEHALF OF SANDY CITY PUBLIC UTILITIES |

| | | | |
|--|--|--|---------------------|
|  <p> civilsolutionsgroup inc 6040 E. VALLEY P.O. BOX 113, 87602 SALT LAKE P.O. BOX 1216, 21602 UTAH VALLEY P.O. BOX 1774, 14302 www.civilsolutionsgroup.com 801.466.8888 </p> | SANDY CITY ATTORNEY APPROVED THIS _____ DAY OF _____ A.D. 20____ | | SANDY CITY ATTORNEY |
| | SANDY CITY ATTORNEY | | SANDY CITY ATTORNEY |



LARSON WEBSTER SUBDIVISION No. 2 **CONTOUR EXHIBIT AND SLOPE COMPARISON** FOR REFERENCE ONLY





DEPARTMENT OF PUBLIC WORKS

Kurt Bradburn
Mayor

Matthew Huish
Chief Administrative Officer

Michael Gladbach, P.E.
Director

READY-FOR-PLANNING-COMMISSION MEMORANDUM

Date: May 15, 2019

To: Mike Wilcox, Zoning Administrator

From: Ryan C. Kump, P.E., City Engineer
Britney Ward, P.E., City Transportation Engineer
David J. Poulsen, Development Engineering Coordinator

Project Name: Larson Webster Subdivision No. 2

Plan Case Number: SUB-05-19-005649

Project Address: 3351 East 9980 South

A review of the above-mentioned project has been made. Following is a list of comments from the Public Works Department:

1. THE PRELIMINARY SUBDIVISION PLAT AND OTHER DOCUMENTS SUBMITTED BY THE DEVELOPER ARE GENERALLY ADEQUATE at this stage of the project with regard to Public Works Department concerns. A number of items will be required prior to final approval, including items mentioned in the drawing redlines, the "Plan Case Comments," and the "City Engineer Requirements" letter, but these items are not required as part of this preliminary submittal.
2. THE PUBLIC WORKS DEPARTMENT RECOMMENDS THAT THE PLANNING COMMISSION DECLARE THAT PLANNING COMMISSION PRELIMINARY SUBDIVISION PLAT REVIEW IS COMPLETE, and that final project documents be prepared by the developer for review by city staff members.
3. PRIOR TO FINAL APPROVAL BY THE PUBLIC WORKS DEPARTMENT, the developer is required to complete all items mentioned in the drawing redlines, the "Plan Case Comments," and the "City Engineer Requirements" letter.



Staff Report

File #: SPR-02-19-5604,
Version: 1

Date: 12/5/2019

Agenda Item Title:

BD Medical Warehouse Addition
9450 S. State Street
[Community #2 - Civic Center]

Presenter:

Douglas L. Wheelwright

Description/Background:

Description of Request

The applicant, Mr. Jake Tate, P.E., of Anderson Wahlen & Associates Engineers, representing Becton, Dickinson & Co., property owner, is requesting that the Planning Commission review a site plan for a proposed warehouse building addition to the existing BD Medical Device Manufacturing Campus. This request also includes the review and approval of the proposed building's architectural design, building materials and colors, under the requirements of the Sandy City Architectural Design Standards. The Planning Commission is the land use approval body for these actions, as designated in the Sandy City Development Code.

BACKGROUND

This approximately 40 acre site is owned by the Becton, Dickinson & Co., and has been operating as a medical device manufacturer at this location since at least the early 1970's. The facility is highly productive and its products are marketed world-wide. BD Medical is committed to this site and plans to continue to expand its operations here for the foreseeable future. In recognition of BD's longstanding and unique business presence, at BD's request, Sandy City rezoned the site from Central Business District (CBD) zoning to a Special Development-Medical Device Manufacturing zoning district in June of 2018. This was also done in anticipation of some significant phased expansion at this location. This project is the first phase of those planned expansions.

The campus is located on the southwest corner of 9400 South Street and State Street. Zoning to the east, across State Street, and to the south is zoned CBD. Existing zoning to the north, across 9400 South Street is Regional Commercial (RC). To the west of the property is a steep slope downward and the East Jordan Canal, running along the top of the hill. Zoning to the west is Residential, R-1-6 and Residential Multi-family (RM-12). The existing campus has many mature trees, which screen the buildings from view from State Street and from the south.

Recommended Action and/or Suggested Motion:

STAFF RECOMMENDATION

Staff recommends that the Planning Commission **approve** the proposed master development and phasing plan and determine that preliminary site plan for phase one is complete and that the building architectural design, materials and colors are approved, based on the staff report, and the **three findings listed below and subject to the following seven conditions:**

FINDINGS:

- A. That the various City Departments and Divisions, including the City Engineer and the Transportation Engineer, have preliminarily approved the proposed site plan.
- B. That the proposed buildings design, materials and colors meet the Sandy City Architectural Design Requirements.
- C. That the location of the proposed warehouse building provides sufficient buffering and distance within the current campus to minimize the potential negative effects of the primarily pre-engineered metal building, and that the modifications proposed by the development design team have substantially mitigated the look of the building so as to not appear as a strongly discouraged metal building.

CONDITIONS:

- 1. That the developer proceed through the final site plan review process with staff prior to the start of any construction (including payment of development fees and posting of an appropriate bond to guarantee completion of all required improvements on and off the site), according to the Site Plan Review Procedures Handout. The final site plan shall be in compliance with all Development Code requirements and those modifications required/allowed by the Planning Commission.
- 2. That the development comply with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.
- 3. All utility boxes (i.e. transformers, switch gear, telephone, cable TV, etc.) shall be shown on the final site plan and shall be placed underground or moved behind the front setback (minimum of 30 feet from the front property line) and screened from view. Each box shall be shown in its exact location and shall be noted with its exact height, width and length and approved by staff.
- 4. That the architectural design, colors and materials proposed for this development and as approved by the Planning Commission as complying with the Sandy City Architectural Design Standards be finalized with staff prior to the issuance of a building permit.
- 5. That the developer be responsible for the placement of a temporary 6 foot high chain link fence around the perimeter of the project during the construction phase of the project for security. Said fence shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the Community Development Department during Site Plan Review.
- 6. That the applicant comply with the Sandy City Noise Ordinance, including working hours during construction.

7. That the applicant comply with all department requirements as noted in all Preliminary Review letters prior to submittal for final site plan review.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

KURT BRADBURN
MAYOR

MATTHEW HUISH
CHIEF ADMINISTRATIVE OFFICER

MEMORANDUM

December 5, 2019

To: Planning Commission
From: Community Development Department
Subject: BD Medical Warehouse Building Site Plan Review
9450 South State Street
Zone SD-MDM
SPR-02-19-5604
[Community # 2-Civic Center] Portion of 39 Acres

Public Notice: In addition to the posting of the meeting agenda, this project was noticed to property owners within 500 feet of the subject property, by U.S. Mail delivery.

| PROPERTY CASE HISTORY | |
|-----------------------|--|
| Case Number | Case Summary |
| CUP-72-10 | Conditional Use for Deseret Pharmaceutical, 1972. |
| CUP-73-01 | Conditional Use review for Deseret Pharmaceutical, 1973. |
| SPR-92-38 | Site Plan Review for BD Medical Expansion, 1992. |
| SPR-05-27 | Site Plan Review for BD Medical--south Parking lot Expansion, 2005. |
| SPR-05-28 | Site Plan Review for BD Medical Building Expansion, 2005. |
| SPR-05-31 | Site Plan Review for BD Medical--north loading docks, 2005. |
| CODE-04-18-5389 | Rezoning of BD Medical Prop. From CBD to SD-MDM, 39.57 Ac., June, 2018 |

DESCRIPTION OF REQUEST

The applicant, Mr. Jake Tate, P.E., of Anderson Wahlen & Associates Engineers, representing Becton, Dickinson & Co., property owner, is requesting that the Planning Commission review a site plan for a proposed warehouse building addition to the existing BD Medical Device Manufacturing Campus. This request also includes the review and approval of the proposed building's architectural design, building materials and colors, under the requirements of the Sandy City Architectural Design Standards. The Planning Commission is the land use approval body for these actions, as designated in the Sandy City Development Code.

BACKGROUND

This approximately 40 acre site is owned by the Becton, Dickinson & Co., and has been operating as a medical device manufacturer at this location since at least the early 1970's. The facility is highly productive and its products are marketed world-wide. BD Medical is committed to this site and plans to continue to expand its operations here for the foreseeable future. In recognition of BD's

longstanding and unique business presence, at BD's request, Sandy City rezoned the site from Central Business District (CBD) zoning to a Special Development—Medical Device Manufacturing zoning

district in June of 2018. This was also done in anticipation of some significant phased expansion at this location. This project is the first phase of those planned expansions.

The campus is located on the southwest corner of 9400 South Street and State Street. Zoning to the east, across State Street, and to the south is zoned CBD. Existing zoning to the north, across 9400 South Street is Regional Commercial (RC). To the west of the property is a steep slope downward and the East Jordan Canal, running along the top of the hill. Zoning to the west is Residential, R-1-6 and Residential Multi-family (RM-12). The existing campus has many mature trees, which screen the buildings from view from State Street and from the south.

NEIGHBORHOOD MEETING

A neighborhood/community meeting was determined to be not required for this application.

ANALYSIS

PROPOSED SITE PLAN AND BUILDING.

Master Development and Phasing Plan. BD has a master development plan for the south portion of the campus. This warehouse will be the first phase of that development plan. The second phase is expected in about five years and will revise the public streets of Safety Lane and 9560 South Street, to create space for formal parking lot expansions and a future large building.

Access. Existing vehicle and semi-truck access exists on 9400 South Street and from both 9560 South Street and from Safety Lane and Towne Ridge Parkway. A transportation impact analysis has been conducted for the proposed phased expansion and has been approved by the City Transportation Engineer. The new warehouse building will not significantly alter total trip generation, but will shift mostly truck traffic from 9400 South Street to the access to the south. Access and egress will be sufficient for the phased expansion.

Building Siting and Massing. The proposed warehouse building is sited well away from major City streets in what is the "back" of the property. It is sited here to follow the production flow of the manufacturing processes which is north to south. Materials are received on the north side of the plant. Finished products will be warehoused on the south side of the plant, prior to shipping off site. The siting of the building is well suited for the operation and will be minimally visible from surrounding properties. The plan calls for additional screening from view on the west and south sides with additional tree plantings. The building mass complies with all zone required heights and setbacks. Building siting and massing are appropriate for the project.

Parking. The new warehouse building and associated trailer parking and loading dock area will remove 177 existing employee parking stalls from the site. Phase 2 will provide the permanent replacement employee parking in the area now bisected by the existing public street layout of 9560 South and Safety Lane. The proposed warehouse building will not add new employees to the plant, as warehousing employees currently are located elsewhere in the plant complex, and will be shifted to the new warehouse. In the interim between phase 1 and phase 2, temporary hard surfaced parking has been developed on property recently purchased on the south side of 9560 South Street to accommodate displaced employee parking. BD will manage employee on-site parking to prevent any

overspill into the surrounding area. Parking will be adequate to accommodate the intended land uses and activities.

Landscaping. Approximately 19,000 square feet of new landscaping will be added to the new development area. Two rows of trees will be planted on the west and south sides of the phase 1 area to additionally screen the view of the warehouse building from Towne Ridge Parkway. (Please see the photo rendering of the view of the project from Towne Ridge Parkway.) Landscaping will meet City requirements.

City Department Review. All other City Departments and Divisions have reviewed the phase 1 project plans and support the preliminary site plan review by the Planning Commission, subject to their usual and standard comments and conditions, to be perfected with the final site plan review by staff.

Building Architectural Design, Materials & Colors. The building architectural design, materials and colors have been modified from the first submittal to reduce costs and to better meet the requirements of the City's Architectural Design Requirements. (Please see the attached building elevation drawings and building renderings for details on the proposed new building.) The revised building design was reviewed by the Sandy Architectural Design Review Committee at their meeting held on November 6, 2019. (Please see the attached minutes of that meeting for details about the discussion and recommendation.)

At that meeting, the committee received a briefing from planning staff about the discussions between the owner's design team and the city staff, during the past year. Originally, the warehouse building was going to be made of tilt-up concrete panels. Because of materials price increases, labor shortages and increase construction demand, this building material became too expensive. BD was forced to seek cost saving solutions for the project, that would still allow the additional warehouse capacity, and then settled on a pre-engineered metal building design.

Since pre-engineered metal buildings are "strongly discouraged" under the Sandy City Architectural Design Standards, the owner's design team and the city staff worked to find ways to make the new building type work within the context of this unique medical device manufacturing facility.

Building design, materials and colors. The premise behind strongly discouraging pre-engineered metal buildings in the Architectural Design Standards is their generally cheap appearance, lower construction cost and the resultant lower finished value. To mitigate these potential negatives, the following changes have been applied to this project:

- Insulated metal panels were selected for the exterior rather than simple metal siding typically used for metal buildings. These cost more and provide a different exterior surface and appearance. These panels come with a factory applied paint/powder coating that will look better for a longer period of time.
- Parapets were added by extending the height of the insulated metal panels above the pitched roof design on all sides of the warehouse building.
- Sixteen-foot wide corner elements are proposed to be added to the exterior of the pre-engineered building on three of the four corners of the building. These will extend outward from the building wall plane 2 to 3 feet to help articulate the otherwise unbroken flat wall plane, add shadows and be of a contrasting color to the insulated metal panels.

- Cornices were added to the top of the corner segment parapets on the three corner sections.
- Horizontal metal awnings were added over the loading dock doors, building windows and the entry/exit doors.
- Roof drainage will be routed within the building. This eliminates roof edge dripping or external downspouts, which are not permitted in the Design Standards.
- There will not be any roof top mechanical units. Units will be ground mounted on the west side of the building and screened with plantings.

Site development elements. The main supporting reason for allowing this building to be constructed as now proposed is the fact that the building's location on the campus will provide significant screening from view from the main public streets. The proposed warehouse will be located 990 feet from State Street and 510 feet from Towne Ridge Parkway. The area of the campus that is between the proposed building and State Street is well vegetated with mature trees and existing buildings. To increase the screening from Towne Ridge Parkway, and from view from the west, a row of new trees is planned to be planted along the south and west edges of the phase 1 project area. Finally, the view of the new building from the west, where the residential units are located is mostly blocked by the crest of the hill that rises above these units and the setback of the new building from the crest of the hill being approximately 250 feet.

After discussions about the proposed changes to the building and the site development, the Architectural Design Review Committee unanimously recommended that the Planning Commission approve the revised building architectural design, materials and colors.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission **approve** the proposed master development and phasing plan and determine that preliminary site plan for phase one is complete and that the building architectural design, materials and colors are approved, based on the staff report, and the **three findings listed below and subject to the following seven conditions:**

FINDINGS:

- A. That the various City Departments and Divisions, including the City Engineer and the Transportation Engineer, have preliminarily approved the proposed site plan.
- B. That the proposed buildings design, materials and colors meet the Sandy City Architectural Design Requirements.
- C. That the location of the proposed warehouse building provides sufficient buffering and distance within the current campus to minimize the potential negative effects of the primarily pre-engineered metal building, and that the modifications proposed by the development design team have substantially mitigated the look of the building so as to not appear as a strongly discouraged metal building.

CONDITIONS:

1. That the developer proceed through the final site plan review process with staff prior to the start of any construction (including payment of development fees and posting of an appropriate bond

to guarantee completion of all required improvements on and off the site), according to the Site Plan Review Procedures Handout. The final site plan shall be in compliance with all Development Code requirements and those modifications required/allowed by the Planning Commission.

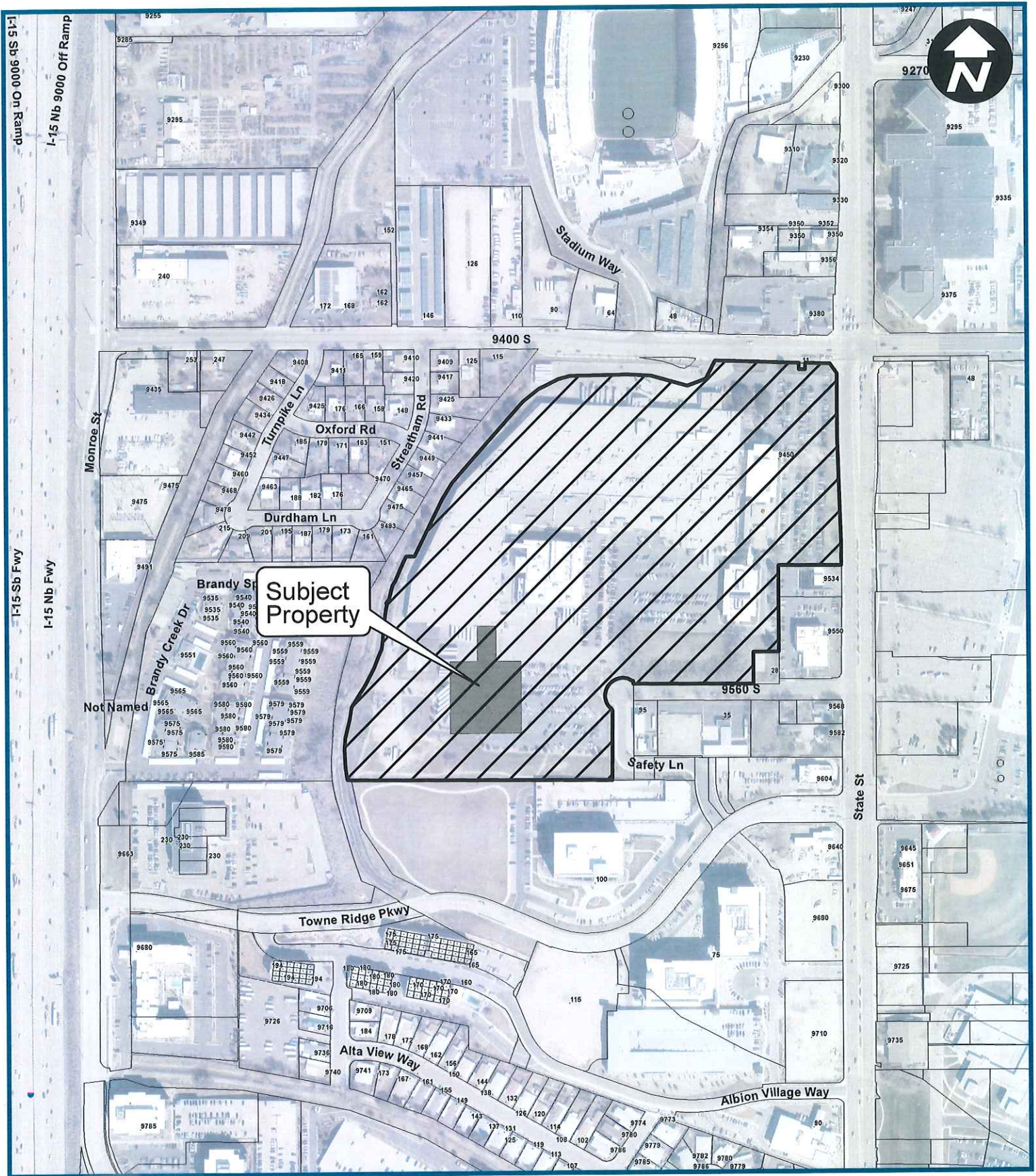
2. That the development comply with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.
3. All utility boxes (i.e. transformers, switch gear, telephone, cable TV, etc.) shall be shown on the final site plan and shall be placed underground or moved behind the front setback (minimum of 30 feet from the front property line) and screened from view. Each box shall be shown in its exact location and shall be noted with its exact height, width and length and approved by staff.
4. That the architectural design, colors and materials proposed for this development and as approved by the Planning Commission as complying with the Sandy City Architectural Design Standards be finalized with staff prior to the issuance of a building permit.
5. That the developer be responsible for the placement of a temporary 6 foot high chain link fence around the perimeter of the project during the construction phase of the project for security. Said fence shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the Community Development Department during Site Plan Review.
6. That the applicant comply with the Sandy City Noise Ordinance, including working hours during construction.
7. That the applicant comply with all department requirements as noted in all Preliminary Review letters prior to submittal for final site plan review.

Planner:

Reviewed by:



Douglas L. Wheelwright
Development Services Manager



0 100 200 400 600 800 1,000 Feet
46 of 90
1280

SPR-02-19-5604 **BD Medical Warehouse Addition** **9450 S. State St.**

PRODUCED BY CLAIRE HAGUE
 THE COMMUNITY DEVELOPMENT DEPARTMENT



DEPARTMENT OF PUBLIC WORKS

Kurt Bradburn
Mayor

Matthew Huish
Chief Administrative Officer

Michael Gladbach, P.E.
Director

READY-FOR-PLANNING-COMMISSION MEMORANDUM

Date: November 21, 2019

To: Doug Wheelwright, Development Services Manager

From: Ryan C. Kump, P.E., City Engineer
Britney Ward, P.E., City Transportation Engineer
David J. Poulsen, Development Engineering Coordinator

Project Name: Becton Dickinson Warehouse Expansion
Plan Case Number: SPR-02-19-005604
Project Address: 125 West 9565 South

A review of the above-mentioned project has been made. Following is a list of comments from the Public Works Department:

1. THE PRELIMINARY SITE PLAN AND OTHER DOCUMENTS SUBMITTED BY THE DEVELOPER ARE GENERALLY ADEQUATE at this stage of the project with regard to Public Works Department concerns. A number of items will be required prior to final approval, including items mentioned in the drawing redlines, the "Plan Case Comments," and the "City Engineer Requirements" letter, but these items are not required as part of this preliminary submittal.
2. THE PUBLIC WORKS DEPARTMENT RECOMMENDS THAT THE PLANNING COMMISSION DECLARE THAT PLANNING COMMISSION PRELIMINARY SITE PLAN REVIEW IS COMPLETE, and that final project documents be prepared by the developer for review by city staff members.
3. PRIOR TO FINAL APPROVAL BY THE PUBLIC WORKS DEPARTMENT, the developer is required to complete all items mentioned in the drawing redlines, the "Plan Case Comments," and the "City Engineer Requirements" letter.



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

KURT BRADBURN
MAYOR

MATTHEW HUISH
CHIEF ADMINISTRATIVE OFFICER

SANDY CITY ARCHITECTURAL DESIGN REVIEW COMMITTEE MEETING

AGENDA, WEDNESDAY, NOVEMBER 6, 2019

- 4:00 P.M.** **Bryce Baker, Dan Simons and Russ Platt**, Developers, Centennial Towers Mixed Use project, Revised Plan 10012 S. Centennial Parkway. Staff: Mike Wilcox
- 4:20 P.M.** **Andrew Bybee, Bruce Bingham**, Developers, Sandy Towers West, six story office building and parking structure project, 9985 S. State Street. Staff: Mike Wilcox and Doug Wheelwright
- 4:45 P.M.** **Jake Tate**, Anderson, Wahlin & Associates Engineers, representing BD Medical, Modified Site Plan for revised parking lots and new warehouse building, 9450 S. State Street. Staff: Doug Wheelwright

This meeting may take two hours to complete.

This meeting will be held at the Sandy City Hall, Room 220, Community Development Conference room, 2nd floor. If you have questions, Doug Wheelwright, Development Services Manager is the organizer of this meeting, 801-568-7255.

Architectural Review Committee Meeting
November 6, 2019

Members Present:

James Sorensen
Jared Gerber
Steve Burt
Lyle Beecher
Cheryl Bottorff
Scott Westra

Staff Present:

Mike Wilcox
Brian McCuiston
Doug Wheelwright
Jennifer Gillen

Those Absent:

Kris Nichol

4:00 p.m. Centennial Towers Mixed Use Project, Revised Plan (10012 S. Centennial Parkway)
Developers: Bryce Baker, Dan Simons, and Russ Platt

Bryce Baker is with DB Urban and has been part of this project for six weeks. This is a modified site plan. The condo tower that was approved for design is now going to be moved to the corner (originally it was midblock).

The office Tower will remain in the same location, and the project will now be introducing a mid-rise eight story product that is an L shape around the parking structure.

New access ramps into to the garage will come from 10080 South and Centennial Parkway. These ramps will provide access to levels 2 & 3 of the garage. Access to the first floor will be on Monroe Street

A new amenities building will front Monroe Street. This will be a four story structure, with a roof top pool deck (15,000 sq. feet, full amenities). There will also be midblock pedestrian access which will go around the perimeter of the top of deck and provide access to the amenities building from any of the buildings on campus. There will be two levels of parking behind this building. On the east façade will be ground floor retail (full 16 ft. in height) which allows them to screen the parking behind it, with wood frame construction above 8 floors total.

Residential Condo Building – was shifted to the north east corner. It has the same material as the last proposal, and is 12 stories in height. HVAC will be modified and relocated to either the roof or ground mounted.

Originally the ventilation was on the lower level (HVAC) but is has now been moved to the north.

Two Story Townhomes – introducing along the base of the parking garage on the south side, and retail on the base of the south east corner building. The height of top level will be increased at the corner to make it taller than the rest of the building. The occupy-able floor level will still be under 75 feet making it still under high rise code in the midrise building code. The PT deck will be a transfer slab (wood frame/concrete) that will give you access to the Amenity building.

Russ showed what materials would be used. The black brick will now replace the red brick. The alumaboard will give the feel of separate buildings on the same block instead of one building on a whole block. It has been important for them to show that the base design is different from the rest of the building. Having a granite base with a different texture and form from the rest of the building is what helps it stand out.

Lyle asked if they were meeting the stucco limitations. Because it looks quite heavy on a couple of elevations on the Residential Tower South Building.

Russ said that they are following all the requirements, with glass being the primary material. They are using the alumaboard wood, between the glass.

James indicated that each building EIFS face is limited to 20% EIFS.

Mike asked if they were proposing to do a brick element to Office Tower, and that on the internal side of it, it appears that it is all stucco.

Russ stated that it is going to have to meet 20% stucco on all sides.

Mike brought up the fact that if they wanted to change and go more than 20%, they could go to the Planning Commission with the ARC's recommendation, and get approval to make that change.

Mike was concerned about breaking up the plane of the building when there is a change in material.

Russ said that he could change that and have the building pop out.

Steve was concerned about the look and feel of the base level. This does not appear to be welcoming to the pedestrians.

Bryce explained that within the setbacks for the retail building will allow for outside dining. There is articulation to this building.

Mike explained that the landscape improvements are not reflected on the site plan or on the elevation drawings.

Russ stated that the landscaping will meet the Cairns requirements.

Steve asked if there was an HOA to go with the residential units.

Dan said that there would be an HOA.

It was the recommendation of the ARC Committee that they show the proposed landscaping on the plans before they present their project to the Planning Commission.

Motion to Vote:

Scott Westra made a motion to forward a positive recommendation to the Planning Commission with the applicant addressing the concerns of 1. Amount of stucco to be 20% in each face. 2. Adding articulation on the Office Tower when there is a material change for this project. Cheryl Bottorff seconded. All voted in favor of the motion.

4:20 p.m. Sandy Towers West, six story office building and parking structure project (9985 South State Street) Developers: Andrew Bybee, Bruce Bingham, and Anthony Lyman Architects: Jordan Swain, Prospect Manager with UTA, Property Owner

Lyle had to recuse himself from voting.

Andrew explained that this is a six-story office tower with a three story parking structure. They will be dedicating land to Sandy City to widen Sego Lily, and to also complete improvements that the city has

wanted. To the west of the building, will be a large plaza making it so the orientation to State Street is prominent, and fits into the Cairns design guidelines.

It will have terracing to create seating and gathering areas, and a lot of landscaping and trees. The goal for UTA and Sandy City is to activate Sego Lily. One option would be to have a service business (example a Dentist building), or have a food truck plaza. This would be a great amenity for office tenants, because the food could be brought to them, and it could be a great community benefit for the people who would live around that area. There will be two dedicated pavilions with tables and seating, and onsite bathrooms. The pavilion that would give shade, and there would be onsite power (no noisy generators).

Doug explained that they have been working with Andrew and Bryce for about 2 ½ years. A year ago, they came in and said they needed to enclose the canal. Between the building and the parking structure is the relocated Salt Lake and Jordan canal, which is a 10'x20' concrete box culvert. This fixes the site being divided, as well as fixes vertical grades. They did the bulk of the underground canal last winter, and are now completing the canal on the north side. The original master plan called for two buildings or an "L" shaped building on the corner. It has now been decided to go with one building, angled to the intersection corner.

James said the turning of the building a little bit, allowed them to do a nice plaza in the front, allowing it to be a beautiful show piece building on the corner.

Steve was concerned about how much glass was on the office building. He referenced the complaints of the Mountain America Building having too much glass. He was wondering what the ordinance was on that.

Doug stated that the original city architectural design standards only limit the stucco/EIFs material to a 20% limit. It is transparent glass and sprandral glass. There is also some masonry and aluminum siding with a wood look.

Bruce said that they are using a wood look siding with brick above the glass. It will tie into the look of the Sandy Towers East building.

Anthony explained that the west side of the building has two vertical notches for all six stories due to a 26' setback requirement on State Street and Sego Lily side. This satisfies the Cairns design standard. On the east side of the building on the sixth level, it brings in the mountain/urban design.

Doug wanted to have them talk more about the articulation over the entry door.

Anthony said that each façade has a stone vertical element that rises through most of the building. The base and all those elements are natural stone.

Jordan explained from a UTA perspective, they are happy that they were able to have a more enhanced entrance (from a TOD standpoint), allowing pedestrians to access the bus from Sego Lily, as well as State Street.

Andrew talked about lights being under the parapet cap of the building on the very top. All agreed that it will be a great feature on the building.

Cheryl said how she thought this project will be a great value to the city, and especially liked the pedestrian interface.

Motion to Vote:

Cheryl Bottorff made a motion to forward a positive recommendation for this project to the Planning Commission. Scott Westra seconded. All in favor of the motion.

4:45 p.m. BD Medical Modified Site Plan for revised parking lots and new warehouse building (9450 South State Street) Developers: Jake Tate, Anderson, Wahlin & Associates Engineers

Doug explained that they have been working on this project for two years. Initially this was a more extensive and comprehensive campus redevelopment. The warehouse building was originally going to be precast concrete. After BD received bids, it came back being way too expensive to do. Because of this, they came back with a number of changes to reduce the cost. The site redevelopment will be half of what it was going to be originally. Safety Lane will not go through their property. The warehouse building will be moved to the east so that it will not disturb the fire protection reservoir. The building plans came back as a pre-engineered metal building, which caused some real concern for the planning staff.

Jake said that there was a need for storage space, and this building would accommodate this. This project will also allow for future expansion. Going from a concrete building to insulated metal panels has helped with the cost of the project. This is truly a warehouse and no production will be done in it. He knows that there has been concern in the materials being used, however, he believes that the insulated metal panels are an approved material. The corners have been changed to extend outward using EIFS and a change in color. They added parapet to those corners, and tried to add some articulation across the front of the building so that it was not just a strait flat plane. They have added windows and awning coverings for them. They have tried to add some of the desired materials as it is stated in Sandy's codes. No RTU's or vents will be built on the roof.

Jake explained that the warehouse is set back and not very visible to State Street. The residential neighbors that are to the west 50' below them, and it should not hinder their views to the west.

Steve said that he thought it was a good use for an interior block.

Scott asked if the windows on the side of the building were required by the city.

Jake said no, that it was to allow more natural light into the building.

Doug stated that the city made a suggestion to add features to three of the four corners of the warehouse, and to paint some interrupting panels the same color as the corners.

Jake said that they were trying to avoid painting the panels because the paint will not last. He will see what factory paint colors will work, it might be two toned.

Doug explained that they were asked to show views of the building and landscaping from Town Ridge Parkway.

Jake said that they did a 3D rendering of the trees. Due to the ground mounted air handling units on the west side, they will increase the landscaping along the west side of the building.

Lyle was concerned with the EFIS corner panels. He asked Jake to take a look at using metal panels instead of EFIS panels. He said that from his experience, dark colored EFIS fades quickly.

Jake said they could look at a different color, and that the use of the EFIS really did help them get what the city wanted, but not add structural requirements to the building.

Lyle suggested to tone the EFIS color down half way.

Jake said that they would do that.

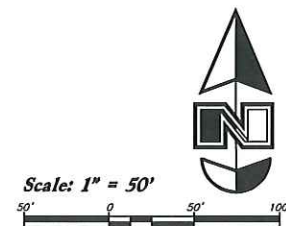
Scott asked if there was an architect helping with this project.

Jake said they were using an architect firm that is based out of North Carolina. However, BD Medical has been the ones to decide on the color on the metal panels. If the color scheme does not work for the committee, Jake said they could be changes.

The committee said that this would not be necessary.

Motion to Vote:

Scott Westra made a motion to forward a positive recommendation to the Planning Commission with the applicant addressing the concerns to lighten the EFIS on the corners of the building. Doug Wheelwright seconded. All in favor of the motion.



On-Site Quantities

Standard Paving = 97,590 s.f.
Concrete Paving = 21,490 s.f.
Curb and Gutter = 1,930 LF

Off-Site Quantities

Standard Paving = 1,053 s.f.
Sidewalk = 743 s.f.
Curb and Gutter = 125 LF
4' Wide Waterway = 85 LF

Parking Stall Counts

Existing Parking Provided = 710 Stalls
Existing Accessible Parking Provided = 17 Stalls
Stalls Lost w/Construction = 177 Stalls
Stalls Added w/Construction = 0 Stalls
Net Change in Overall Parking = -177 Stalls

Site Data

Overall Site Area = 1,493,504 s.f. (34.286 ac.)
Demolition Area = 194,932 s.f. (4.475 ac.)
New Landscape Area = 21,405 s.f.
New Impervious Area = 124,591 s.f.
Building Area = 48,936 s.f.
Parking Provided in Demolition Limits = 0 stalls
Semi-trailer Storage = 16 stalls

NOTES

| REV | DESCRIPTION | BY | DATE |
|-----|----------------------------|----|---------------|
| A | 30% Design Review | | 10 Dec. 2018 |
| B | Progress Set | | 11 Jan. 2019 |
| C | 60% Design Review | | 14 Jan. 2019 |
| D | 90% Design Review | | 11 Feb. 2019 |
| E | City Re-Submittal | | 29 Mar. 2019 |
| F | Issued for Bids - VE Scope | JT | 9 Aug. 2019 |
| | City Re-Submittal | | 23 Sept. 2019 |
| | City Re-Submittal | | 13 Nov. 2019 |



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http://www.snc-lavalin.com/enr

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Fax: 801-921-6561
https://www.ewahengineering.net

ARCHITECTS:
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USA
Telephone: (732) 257-5700
Fax: (732) 257-5701
https://www.farrellpartnership.com

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|--------------------------|-------------------------|
| Prepared by Designer | Verified by Checker |
| Drafted by AUT/DR | Approved by Approver |
| Date (M/D/Y) 08/08/19 | Page |

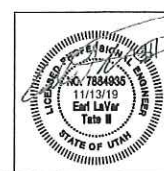
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Client
BECTION DICKINSON
WAREHOUSE EXPANSION PROJECT
9450 SOUTH STATE STREET
SANDY, UT 84070

Title
OVERALL SITE PLAN

| Project no. | Code | Drawing no. | Revision |
|-------------|------|-------------|----------|
| 18-166 | DD | C1.0 | |



- Hatch Legend**
- Clear-View Triangle
 - Concrete
 - Sandy City Asphalt Pavement
 - Existing Asphalt Pavement
- Line Legend**
- Overall Property Boundary
 - Easements
 - Sawcut
 - Lot Lines

Accessible Note:
Contractor must maintain a running slope on accessible routes no steeper than 5.0% (1:20). The cross slope for accessible routes must be no steeper than 2.0% (1:50). All accessible routes must have a minimum clear width of 36". If grades on plans do not meet this requirement notify Consultant immediately.
The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of accessible and usable buildings and facilities (ICC/ANSI A117.1-Latest Edition) and/or FHWA.

Construction Survey Note:
The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

- Construction Notes:**
- Follow all recommendations of the approved geotechnical report. Sandy City Standard Specifications and Details shall govern, however, unless geotechnical report recommendations are more stringent.
 - Provide a proctor test for roadbase material that is to be placed in the public right-of-way, to the Sandy City Public Works Inspector, when delivered or placed on site.
 - Builder/Owner shall obtain an excavation permit from Sandy City Public Works Department prior to doing any work in the Sandy City right-of-way. Traffic plan, bonding, and insurance will be required.
 - All public improvements, which are to be owned and maintained by Sandy City, shall be constructed according to the Sandy City Standard Specifications and Details for Municipal Construction (latest edition). The Specifications can be found in pdf format online at www.sandycity.gov click on "Departments", then "Public Works", then "Standard Specifications".
 - Notify Sandy City Public Works Inspection department, 801-568-2899, 48 hours prior to beginning construction of any roadways or public improvements, including sewer facilities. All inspections must be done prior to, or concurrent with, construction. Failure to make this notification may result in the uncovering and/or removal of all construction done without notification, at the discretion of the City Engineer.
 - The use of motor oils and other petroleum-based or toxic liquids, for dust suppression, is absolutely prohibited.
 - Dust, mud, and erosion shall be adequately controlled by whatever means necessary, and the roadway shall be kept free of mud and debris, at all times.
 - Any proposed changes to the approved design shall be reviewed and approved by the engineer or architect of record and the city engineer.
 - Prior to release of the guarantee for improvements, and according to the "City Engineer Requirements" letter for this project, the developer shall submit a scanned copy of the contractor's site (not building) construction drawing set to Sandy City Public Works Department. An as-built field survey is NOT required. The as-built drawing, as an electronic file, may be submitted by e-mail at dpoulsen@sandycity.gov, or on a USB flash drive, or the hard copy original set may be submitted to Sandy City (Dave Poulsen, 801-568-6058) where the set will be scanned and returned to the owner.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Survey Control Note:
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen & Associates ALTA Surveys or Anderson Wahlen & Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey measurements and for verifying any additional control points shown on an ALTA survey, improvement plan, or an electronic data provided by Anderson Wahlen & Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen & Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

Warehouse Expansion
48,971 Sq. Ft. (Footprint)
FF(Civil)=4,470.50
FF(Architectural)=70.50

Scale: 1" = 30'



Site Data
Overall Site Area = 1,493,504 s.f. (34.286 ac.)
Demolition Area = 194,932 s.f. (4.475 ac.)
New Landscape Area = 21,405 s.f.
New Impervious Area = 124,591 s.f.
Building Area = 48,936 s.f.
Parking Provided in Demolition Limits = 0 stalls
Semi-trailer Storage = 16 stalls

Site Construction Notes

- Const. 24" Curb & Gutter
- Const. Asphalt Paving
- Const. Conc. Sidewalk
- Vehicle Access Ramp
- Const. Pedestrian Access Ramp per Sandy City Std. Details SW-01 & SW-02
- Const. Curb Wall
- Const. Sidewalk per Sandy City Std. Detail CO-02
- Const. New Fire Hydrant
- Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 min. thickness
- Const. Conc. Paving
- Sawcut; Provide Smooth Clean Edge
- Const. 4" Waterway
- Const. Directional Arrows per MUTCD
- Const. 24" White Stop Bar
- Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition)
- Const. Stop Sign per MUTCD R1-1
- Conn. & Match Existing Improvements
- Transformer Location
- Const. 2" Concrete Tree Planter
- Light Pole (For Reference Only, See Elec. Plan)
- Const. Conc. Crosswalk
- Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition)
- Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition)
- Const. Raised 28"x18"x14" Thick Concrete Platform for External Air Handling Units.
- Const. Jersey Barrier

General Site Notes:

- Stalls designated as Accessible will require a painted Accessible symbol and sign. (See Details)
- Fire lane markings and signs to be installed as directed by the Fire Marshal.
- Stake markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- All dimensions are to back of curb unless otherwise noted.
- Const. curb transition at all points where curb abuts sidewalk, see detail.
- Contractor shall place asphalt paving in the direction of vehicle travel where possible.
- Polish existing utilities as needed.

NOTES

| REV | DESCRIPTION | BY | DATE |
|-----|----------------------------|----|---------------|
| | City Re-Submittal | | 13 Nov. 2019 |
| | City Re-Submittal | | 23 Sept. 2019 |
| F | Issued for Bids - VE Scope | JT | 9 Aug. 2019 |
| E | VE Scope Reduction | | 29 Apr. 2019 |
| | City Re-Submittal | | 29 Mar. 2019 |
| D | 90% Design Review | | 11 Feb. 2019 |
| C | City Submittal | | 30 Jan. 2019 |
| | 60% Design Review | | 14 Jan. 2019 |
| B | Progress Set | | 11 Jan. 2019 |
| A | 30% Design Review | | 10 Dec. 2018 |

KEYPLAN

ENGINEERS AND PROJECT MANAGERS

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Facsimile: (612) 524-3402
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2018 N. Redwood Rd.
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Fax: 801-521-5551
<http://www.andersonwahlen.com>

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365 South 18th Street
East Brunswick, NJ 08816
USA
Telephone: (732) 237-5700
Fax: (732) 237-5701
<http://www.farrellpartnership.com>

| Prepared by | Checked by |
|--------------|-------------|
| Designer | Checker |
| Drafted by | Approved by |
| Author | Approver |
| Date (M-D-Y) | Page |
| 08/08/19 | |

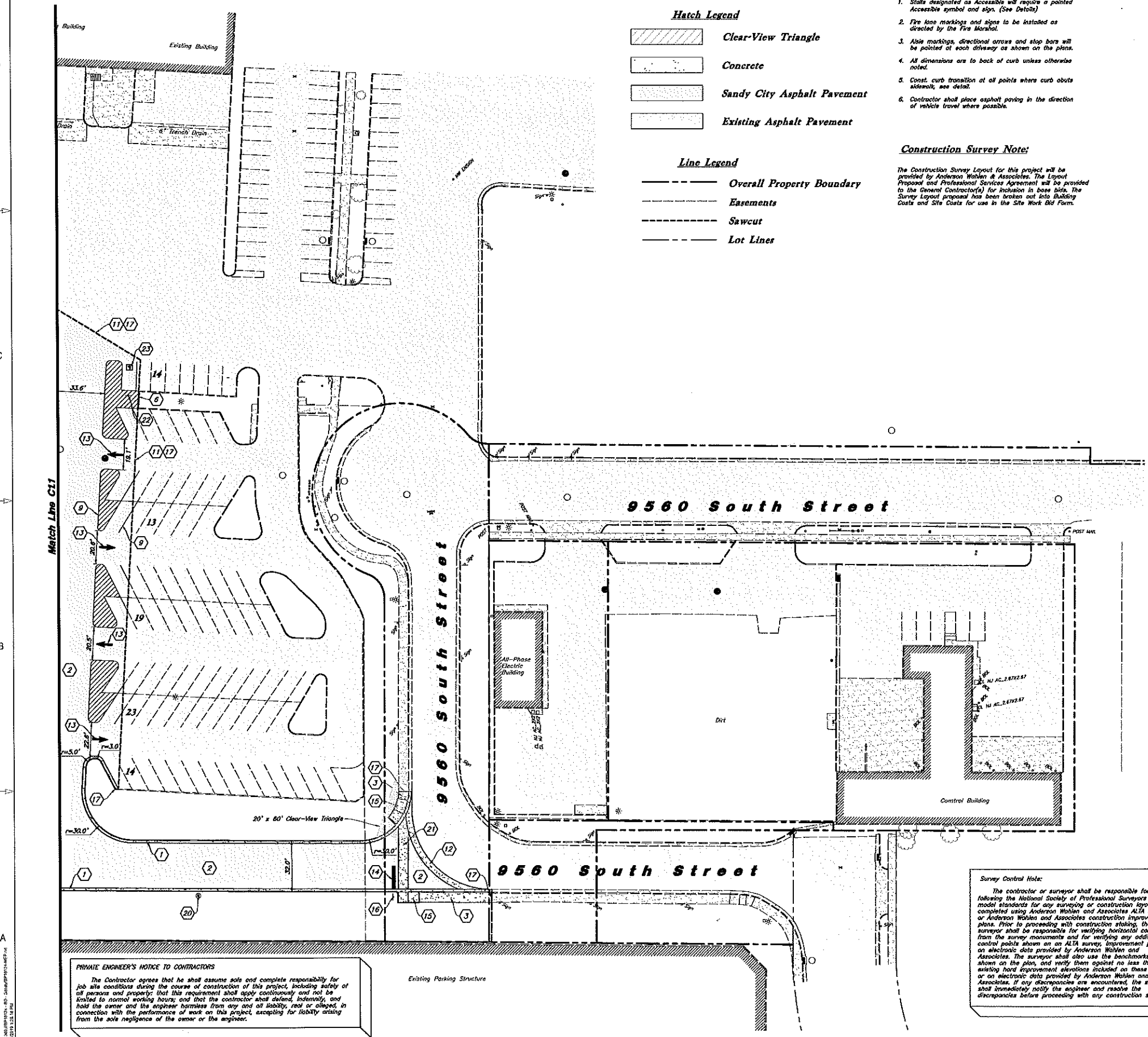
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Client: **BD**

Project: **BECTON DICKINSON WAREHOUSE EXPANSION PROJECT**
9450 SOUTH STATE STREET
SANDY, UT 84070

Title: **SITE PLAN**

| Project no. | Code | Drawing no. | Revision |
|-------------|------|-------------|----------|
| 18-166 | DD | C1.1 | |

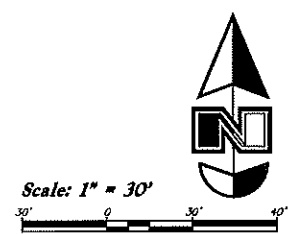


- Hatch Legend**
- Clear-View Triangle
 - Concrete
 - Sandy City Asphalt Pavement
 - Existing Asphalt Pavement

- Line Legend**
- Overall Property Boundary
 - Easements
 - Sawcut
 - Lot Lines

- General Site Notes:**
- Stalls designated as Accessible will require a painted Accessible symbol and sign. (See Details)
 - Fire hose markings and signs to be installed as directed by the Fire Marshal.
 - Alle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
 - All dimensions are to back of curb unless otherwise noted.
 - Const. curb transition at all points where curb abuts sidewalk, see detail.
 - Contractor shall place asphalt paving in the direction of vehicle travel where possible.

Construction Survey Note:
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Site Data
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Demolition Area = 194,932 s.f. (4.475 ac.)
New Landscape Area = 21,405 s.f.
New Impervious Area = 124,591 s.f.
Building Area = 48,936 s.f.
Parking Provided in Demolition Limits = 0 stalls
Semi-trailer Storage = 16 stalls

- Site Construction Notes**
- Const. 24" Curb & Gutter
 - Const. Asphalt Paving
 - Const. Conc. Sidewalk
 - Vehicle Access Ramp
 - Const. Pedestrian Access Ramp per Sandy City Std. Details SW-01 & SW-02
 - Const. Curb Wall
 - Const. Sidewalk per Sandy City Std. Detail CO-02
 - Const. New Fire Hydrant
 - Const. 4" White Paint Stripes (Typ.) Contractor shall provide 15 min. thickness
 - Const. Conc. Paving
 - Sawcut; Provide Smooth Clean Edge
 - Const. 4" Waterway
 - Const. Directional Arrows per MUTCD
 - Const. 24" White Stop Bar
 - Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition)
 - Const. Stop Sign per MUTCD R1-1
 - Conn. & Match Existing Improvements
 - Transformer Location
 - Const. 2" Concrete Thru Planter
 - Light Pole (For Reference Only. See Elec. Plan)
 - Const. Conc. Crossover
 - Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition)
 - Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition)
 - Const. Raised 28"x14" Thick Concrete Platform for External Air Handling Units.
 - Const. Jersey Barrier

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The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1-Latest Edition) and/or FWA.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
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NOTES

| REV | DESCRIPTION | BY | DATE |
|-----|----------------------------|----|---------------|
| | City Re-Submittal | | 13 Nov. 2019 |
| | City Re-Submittal | | 23 Sept. 2019 |
| F | Issued for Bids - VE Scope | JT | 9 Aug. 2019 |
| E | VE Scope Reduction | | 29 Apr. 2019 |
| | City Re-Submittal | | 29 Mar. 2019 |
| D | 90% Design Review | | 11 Feb. 2019 |
| | City Submittal | | 30 Jan. 2019 |
| C | 80% Design Review | | 14 Jan. 2019 |
| B | Progress Set | | 11 Jan. 2019 |
| A | 30% Design Review | | 10 Dec. 2018 |
| REV | DESCRIPTION | BY | DATE |



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2018 N. Redwood Rd.
Salt Lake City, UT 84119
USA
Telephone: 801-521-6020
Fax: 801-521-5561
https://www.andersonwahlen.com

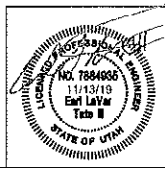
ARCHITECTS
FARRELL PARTNERSHIP, LLC.
365 South 16th Street
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http://www.farrellpartnership.com

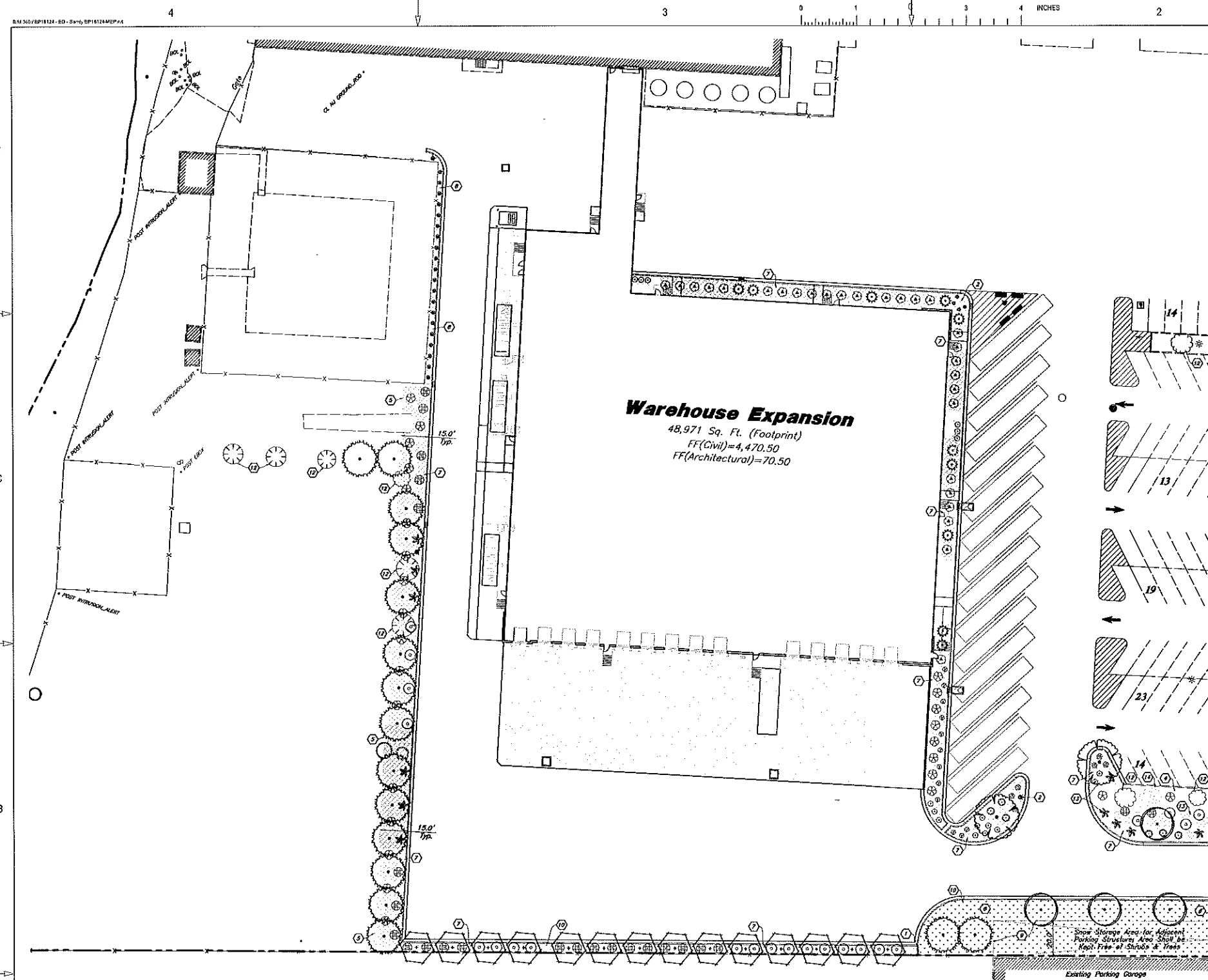
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| Prepared by Designer | Verified by Checker |
| Drawn by Author | Approved by Approver |
| Date (M-D-Y) 06/08/19 | Page |



Project
**BECTON DICKINSON
WAREHOUSE EXPANSION PROJECT
9450 SOUTH STATE STREET
SANDY, UT 84070**

| Project no. | Code | Drawing no. | Revision |
|-------------|------|-------------|----------|
| 18-166 | DD | C1.2 | |





See Sheet L3.1 for
Sandy City Notes

Scale: 1" = 30'

Landscape Data
Overall Site Area = 1,493,504 s.f. (34.286 ac.)
New Landscape Provided = 19,084 s.f.
1 Tree per 500 s.f. of Landscape = 38 Trees (38 Provided)
New Parking Lot Area Provided = 89,615 s.f.
New Parking Lot Landscape Required = 4,081 s.f. (5% of Parking Lot)
New Parking Lot Landscape Provided = 9,048 s.f. (10%)

General Landscape Notes:

1. See Sheet L1.1 for Landscape Notes. See Sheet L1.2 for Sandy City Notes, Material and Plant Schedule. See Sheet L3.1 for Landscape Details.
2. All Landscape Material shall be Fully Irrigated by an Automatic Irrigation System. See Sheet L2.1-L2.2 for Irrigation Layout & Sheet L3.1 for Details.
3. All New Landscaping Shall Provide 70% Coverage of Material.
4. Minimum Slope in Landscape Areas Shall be 2%.
5. No Trees Shall be Planted in Public Park Strips Less Than 4 Feet Wide. Canopies of Trees Shall be Planted a Minimum of 4 Feet Away From Back of Curb and Either Side of Sidewalk.
6. All Areas Disturbed by Construction Shall Receive Some Type of Landscape Treatment & Shall Not be Left Undone. Areas in Question, Please Contact the LA.

Landscape Keynotes

1. Landscape Concrete Curbing - See Material Schedule
2. New Fire Hydrant
3. Existing Tree to Remain w/ Understory Low; Patch up Lawn as Needed for New Site Improvements; Blend New into Existing
4. Existing Shrub Planter to Remain
5. Provide Nice Clean Edge Between New & Undeveloped Area; Remove All Construction Debris
6. Install New Lawn
7. Install Shrub Planter w/ Decorative Stone & Weed Barrier
8. Install Decorative Stone & Weed Barrier
9. Snow Storage Area for Parking Structures; Storage Area Shall Consist of Weed Barrier & Decorative Stone; Area Shall Not be Planted
10. New Light Pole
11. Patch in Lawn Against New Sidewalk; Blend New into Existing
12. Existing Tree to Remain
13. Blend New Landscape into Existing
14. Existing Shrub to Remain

Landscape Notes:

1. Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
2. Contractor shall call Blue Stakes before excavation for plant material.
3. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
4. The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
5. The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
6. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
7. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personal injury and property damage insurance. Clean-up must be performed daily, and all landscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
8. All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
9. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
10. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
11. It is the contractor's responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
12. The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
13. The contractor shall install all landscape material per plan, notes and details.
14. All existing and relocated trees shall be properly protected. Trees damaged during construction shall be replaced at no cost to the owner.
15. Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
16. No grading or soil placement shall be undertaken when soils are wet or frozen.
17. Existing topsoil shall be stripped and stockpiled for landscape use. Contractor shall verify existing topsoil amounts and quality with the general contractor. The landscape contractor shall perform a soil test on existing & imported topsoil and amend per soil test recommendations. Soil test shall be done by certified soil testing agency. Provide new imported topsoil as needed from a local source. Imported topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. Topsoil shall be installed in all landscaping areas.
18. Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
19. Provide an 8-inch depth of stockpiled or imported topsoil in all shrub areas and 12-inch depth in all parking islands. Remove all construction debris from parking islands.
20. All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.

21. Plant backfill mix shall be composed of 3 parts topsoil to 1 part Soil Reg. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
22. All new plants shall be balled and burlapped or container grown, unless otherwise noted on plant schedule.
23. Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive a specified stone over Densite Pro's weed barrier or approved equal. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas. All stone shall be washed after installation.
24. All deciduous trees shall be double staked per tree staking details. It is the contractor's responsibility to remove tree staking in a timely manner once staked trees have taken root. Tree ties shall be V.I.T. Cinche Ties #1012.
25. Install landscape concrete curbing between lawn and planting areas. Curbing shall be installed level and uniform and shall match top finish grades of concrete walks and curbs. See landscape concrete curbing detail.
26. Provide a 4-inch depth of stockpiled or imported topsoil in all lawn areas.
27. Sod must be premium quality, evenly cut, established, healthy, weed and disease free, and from an approved source.

28. All lawn areas to have uniform grades by final raking. Prior to laying sod, apply a starter fertilizer at a rate recommended by the manufacturer. Sod must be laid with no gaps between pieces on a carefully prepared grade free of weeds. Sod to be slightly below finish grade and concrete walks and curbs. The sod must be immediately watered after installation. Any burned areas will require replacement. Adjust sprinkler systems to assure healthy green survival of the sod without water waste.
29. All trees located in lawn areas shall have a 24 inch diameter tree ring w/ wood mulch.
30. The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.



NOTES

| REV | DESCRIPTION | BY | DATE |
|-----|----------------------------|----|---------------|
| | City Re-Submittal | | 23 Sept. 2019 |
| F | Issued for Bids - VE Scope | JT | 9 Aug. 2019 |
| E | VE Scope Reduction | | 29 Apr. 2019 |
| E | City Re-Submittal | | 29 Mar. 2019 |
| D | 90% Design Review | | 11 Feb. 2019 |
| | City Submittal | | 30 Jan. 2019 |
| C | 60% Design Review | | 14 Jan. 2019 |
| B | Progress Set | | 11 Jan. 2019 |
| A | 30% Design Review | | 10 Dec. 2018 |

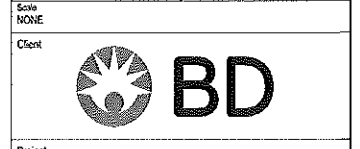
| KEYPLAN | |
|---------|--|
| | |

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http://www.farrellpartnership.com

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| Prepared by Designer | Checked by |
| Drafted by | Approved by |
| Author | Page |
| Date (4/2/19) | |
| Scale | |
| NONE | |



Project
BECTON DICKINSON
WAREHOUSE EXPANSION PROJECT
9450 SOUTH STATE STREET
SANDY, UT 84070

| Project no. | Code | Drawing no. | Revision |
|-------------|------|-------------|----------|
| 18-166 | DD | L1.1 | |

LANDSCAPE PLAN

See Sheet L3.1 for
Sandy City Notes

Scale: 1" = 30'



PLANT SCHEDULE

| TREES | QTY | BOTANICAL / COMMON NAME | SIZE | REMARKS |
|--------------------|----------|--|---------------------|----------------|
| | 14 | Acer x freemanii 'Armstrong' / Armstrong Freeman Maple | 2" Cal. / 8-8' Ht. | Detail: 2/L3.1 |
| | 2 | Gleditsia triacanthos 'Imperial' / Imperial Honeylocust | 2" Cal. / 8-10' Ht. | Detail: 2/L3.1 |
| | 10 | Picea pungens glauca 'Blue Totem' / Blue Totem Spruce | 8-10' Min. Ht. | Detail: 3/L3.1 |
| | 18 | Pinus nigra / Austrian Black Pine | 8-10' Min. Ht. | Detail: 3/L3.1 |
| | 10 | Pyrus calleryana 'Chanticleer' / Chanticleer Pear | 2" Cal. / 8-8' Ht. | Detail: 2/L3.1 |
| SHRUBS | QTY | BOTANICAL / COMMON NAME | SIZE | REMARKS |
| | 28 | Cornus alba 'Balthazar' TM / Ivory Halo Dogwood | 5 gal | Detail: 1/L3.1 |
| | 18 | Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper | 5 gal | Detail: 1/L3.1 |
| | 4 | Mahonia aquifolium 'Compacta' / Compact Oregon Grape | 5 gal | Detail: 1/L3.1 |
| | 28 | Perovskia atriplicifolia 'Little Spire' TM / Little Spire Russian Sage | 5 gal | Detail: 1/L3.1 |
| | 27 | Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark | 5 gal | Detail: 1/L3.1 |
| | 6 | Potentilla fruticosa 'Gold Drop' / Gold Drop Potentilla | 5 gal | Detail: 1/L3.1 |
| | 29 | Prunus x cistena / Purple Leaf Sand Cherry | 5 gal | Detail: 1/L3.1 |
| | 11 | Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac | 5 gal | Detail: 1/L3.1 |
| | 17 | Ribes alpinum 'Green Mound' / Green Mound Alpine Currant | 5 gal | Detail: 1/L3.1 |
| | 12 | Rosa Meland series 'Red' / Red Meland Rose | 5 gal | Detail: 1/L3.1 |
| ORNAMENTAL GRASSES | QTY | BOTANICAL / COMMON NAME | SIZE | REMARKS |
| | 20 | Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass | 1 gal | Detail: 1/L3.1 |
| LAWN | QTY | BOTANICAL / COMMON NAME | TYPE | REMARKS |
| | 8,812 sf | Water Conserving Lawn Blend / Sod | sod | Detail: 4/L3.1 |

MATERIAL SCHEDULE

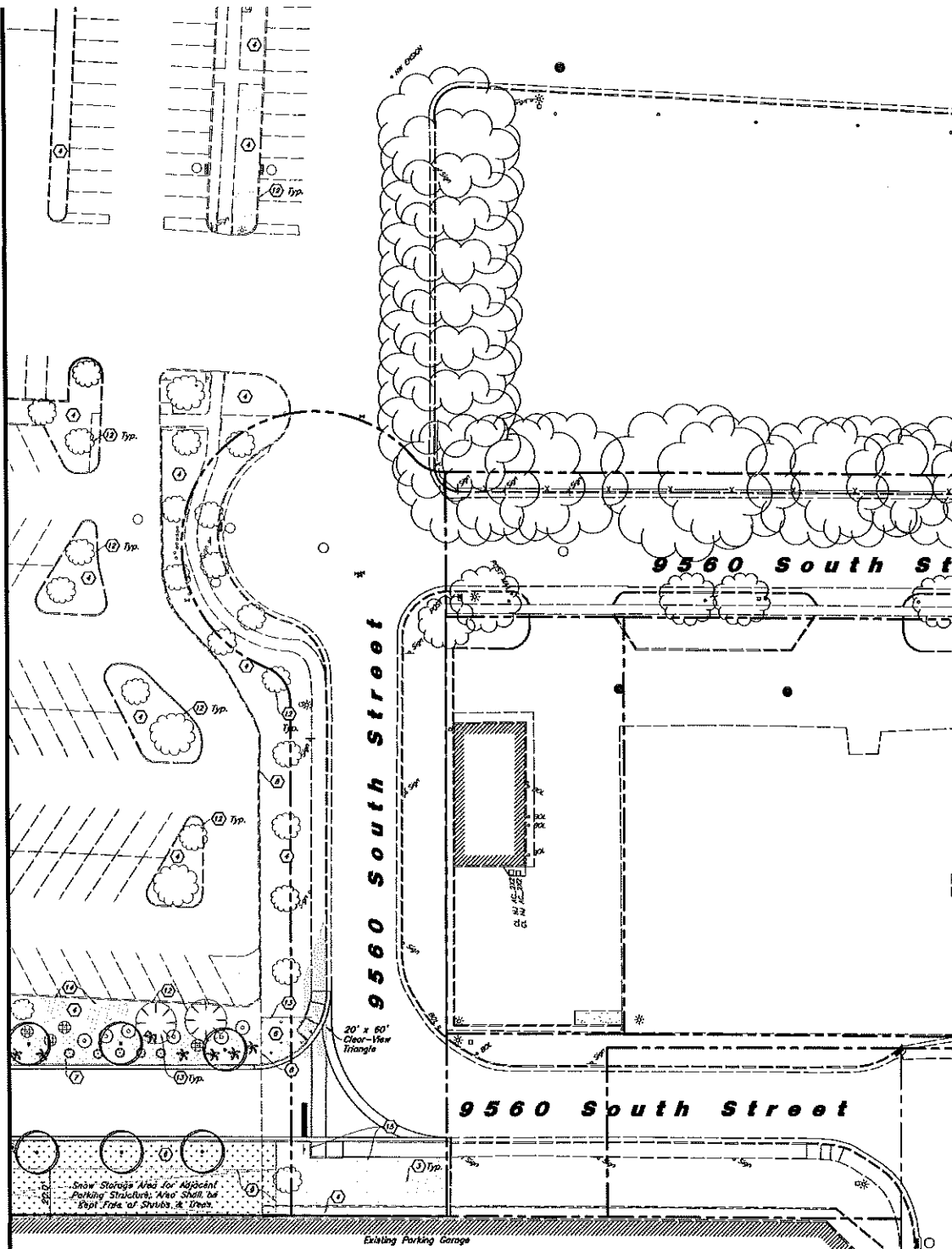
| | | |
|--|--|----------------|
| | Decorative Stone - install a Four (4) inch Depth Over Dwell Pro's Weed Barrier or Approved Equal Stone. Stone shall be Used in all Specified Shrub Planters. Stone Shall be Washed After Installation. Field Verify Existing Stone Type & Color. Match Existing. | Detail: 4/L3.1 |
| | 4" x 6" Landscape Concrete Curbing - install flush to all Concrete Edges Between Lawn and Planting Areas. | Detail: 4/L3.1 |

General Landscape Notes:

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2. All Landscape Material shall be Fully Irrigated by an Automatic Irrigation System. See Sheet L2.1-L2.2 for Irrigation Layout & Sheet L3.1 for Details.
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4. Maximum Slope in Landscape Areas Shall be 2:1:1.
5. No Trees Shall be Planted in Public Park Strip Less Than 8 Feet Wide. Existing Trees Shall be Planted a Minimum of 4 Feet Away From Back of Curb and Either Side of Sidewalk.
6. All Areas Disturbed by Construction Shall Receive Same Type of Landscape Treatment & Shall Not be Left Undone. Areas in Question, Please Contact the LA.

Landscape Keynotes

1. Landscape Concrete Curbing - See Material Schedule
2. New Fire Hydrant
3. Existing Tree to Remain w/ Understory Lawn; Patch up Lawn as Needed for New Site Improvements; Blend New into Existing
4. Existing Shrub Planter to Remain
5. Provide Nice Clean Edge Between New & Undeveloped Area; Remove All Construction Debris
6. Install New Lawn
7. Install Shrub Planter w/ Decorative Stone & Weed Barrier
8. Install Decorative Stone & Weed Barrier
9. Snow Storage Area for Parking Structure; Storage Area Shall Consist of Weed Barrier & Decorative Stone Area Shall Not be Planted
10. New Light Pole
11. Patch in Lawn Against New Sidewalk; Blend New into Existing
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Sandy City Landscape / Irrigation Notes:

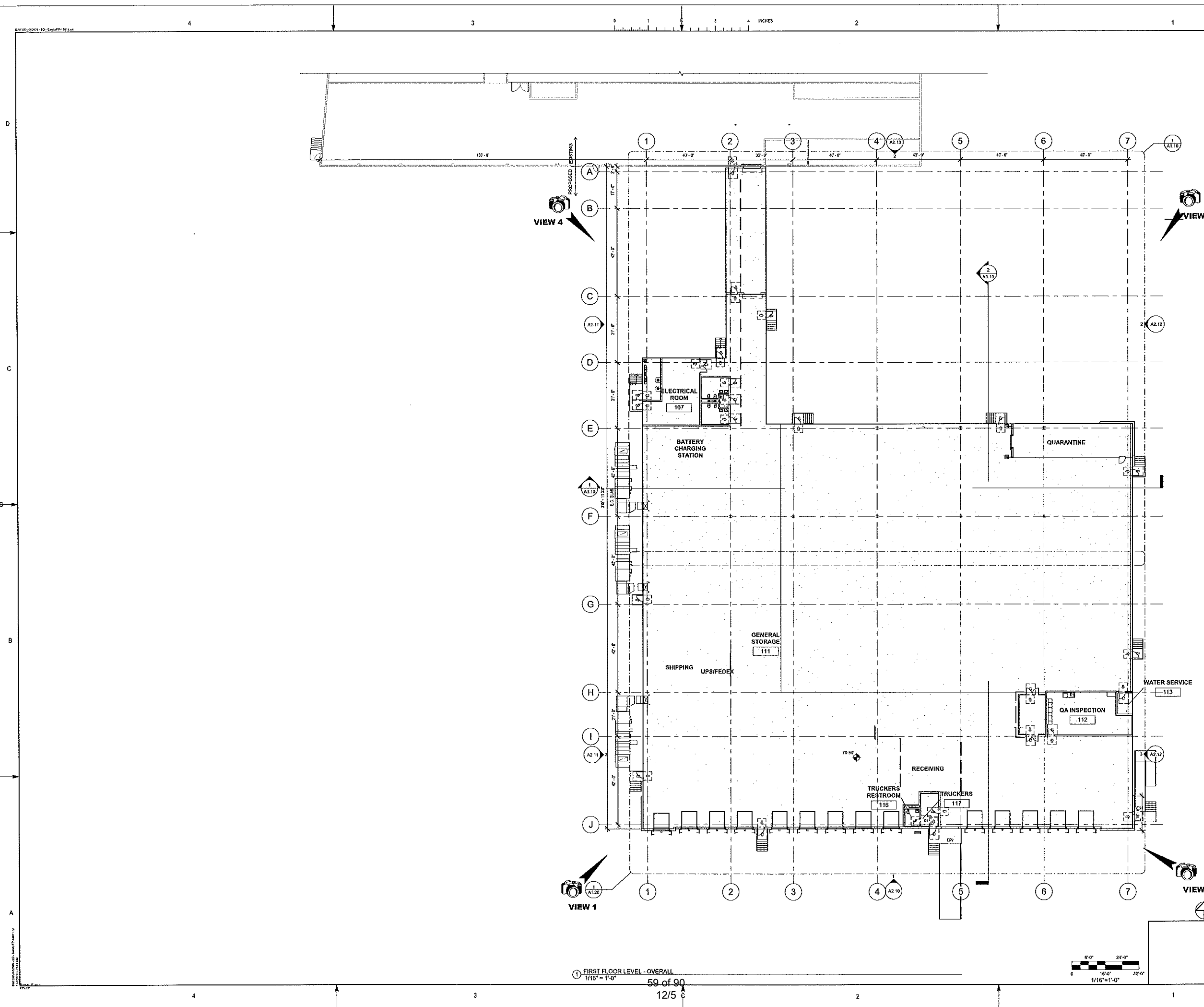
1. Mutch: After completion of all planting, all irrigated non-turf areas shall be covered with a minimum layer of four (4) inches of mulch to retain water, inhibit weed growth and moderate soil temperature. Non-porous material shall not be placed under the mulch. 4" mulch in all irrigated non-turf areas. If rock mulch, minimum is 3".
2. Landscape Water Meter: A water meter and backflow prevention assembly shall be installed for landscape irrigation systems, and the landscape water meter and backflow prevention assembly shall be separate from the water meter and backflow prevention assembly installed for indoor use. The size of the meter shall be determined based on irrigation demand.
3. Pressure Regulation: A pressure regulating valve shall be installed and maintained by the consumer if the static service pressure exceeds 80 pounds per square inch (psi). The pressure-regulating valve shall be located between the landscape water meter and the first point of water use, or first point of division in the pipe, and shall be set at the manufacturer's recommended pressure for sprinklers.
4. Automatic controller: All irrigation systems shall include an electric automatic controller with multiple program and multiple repeat cycle capabilities and a flexible calendar program. All controllers shall be equipped with an automatic Rain Shut-off Device.
5. On slopes exceeding 30%, the irrigation system shall consist of Drip Emitters, Bubblers, or sprinklers with a maximum Precipitation Rate of 0.65 inches per hour and adjusted sprinkler cycle to eliminate runoff.
6. Each valve shall irrigate a landscape with similar site, slope and soil conditions and plant materials with similar watering needs. Turf and non-turf areas shall be irrigated on separate valves.
7. Drip Emitters or a Bubbler shall be provided for each tree where practicable. Bubblers shall not exceed 1.5 gallons per minute per device. Bubblers for trees shall be on separate valve unless specifically exempted by the Sandy City Public Utilities Department due to the limited number of trees on the project site.
8. Sprinklers shall have matched Precipitation Rate with each control valve circuit.
9. Check valves shall be required where elevation differences will cause low-head drainage. Pressure compensating valves and sprinklers shall be required where a significant variation in water pressure will occur within the irrigation system due to elevation differences.
10. Drip irrigation lines shall be placed underground or otherwise permanently covered, except for Drip emitters and where approved as a temporary installation. Filters and end flush valves shall be provided as necessary.
11. Irrigation zones with overhead spray or stream sprinklers shall be designed to operate between 6:00 a.m. and 10:00 a.m. to reduce water loss from wind and evaporation. This would exclude drip or bubbler zones.
12. Program valves for multiple repeat cycles where necessary to reduce runoff, particularly slopes and soils with slow infiltration rates.
13. Following construction and prior to release of the secondary bond guarantee posted for the project, a Water Use Efficiency Review will be conducted by a Landscape Irrigation Auditor. The auditor shall be independent of the contractor, design firm, and owner/developer of the project. The water performance audit will verify that the irrigation system complies with the minimum standards required by Sandy City ordinance. The minimum efficiency required for the irrigation system is 50% for distribution efficiency for all fixed spray systems and 70% for distribution efficiency for all rotor systems. The auditor shall furnish a certificate to the City, designer, installer and owner/developer certifying compliance with the minimum distribution requirements. Compliance with this provision is required before the City will release the bond for this project.
14. Plants which require different amounts of water shall be

15. A separate backflow prevention device shall be installed for the irrigation system.
16. A rain sensing overriding device shall be utilized so that the irrigation system will automatically turn off in the event of rain.
17. The irrigation system shall be designed to prevent overspray and water run-off onto adjacent property, non-irrigated areas, walks, roadways or structures.
18. An automatic irrigation system using pop-up sprinkler heads shall be required for all new landscapes. Low flow sprinkler heads shall be used wherever possible.
19. No irrigation of walkways or drives.
20. Water audit is required prior to bond being released. Suggest the audit be done within 90 days of installing irrigation and landscape.

If you have any questions with these requirements, please contact Choleum 'Lenny' Chanthaphuang, P.E. at 801-568-7293.



| NOTES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|---|-------------|----------|------------------------------------|---|------------------------------|-------------|----------------------|--|---------------------|--------------|---------------------|--|------------------|--------------|---------------------|--------------|------------------|--------------|-----------------------|--------------|-------------|-------------|--------------|----------|------|--|-------|------|--|--|--|--|--|--|---|--|--|--|---|--|--|--|----------------|--|--|--|-------------|------|----------|----------|--------|----|------|--|
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| <table border="1"> <tr> <th colspan="2">KEYPLAN</th> </tr> <tr> <td colspan="2"> </td> </tr> </table> | | | | KEYPLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| <table border="1"> <tr> <td>VEP ENGINEERS AND PROJECT MANAGERS</td> <td colspan="3"> SNC-LAVALIN PROJECT SERVICES, INC. 434 Courtenay Way, Suite 100 Exton, PA 19341 USA Telephone: (610) 524-5520 Facsimile: (610) 524-1443 http://www.snc-lavalin.com </td> </tr> <tr> <td>CHALLENGERS</td> <td colspan="3"> ANDERSON WAHLEN & ASSOCIATES 2010 N. Redwood Rd. Salt Lake City, UT 84116 USA Telephone: 801-521-8828 Fax: 801-521-9551 http://www.andersonwahlen.com </td> </tr> <tr> <td>ARCHITECTS</td> <td colspan="3"> FARRELL PARTNERSHIP, LLC. 305 Plaza 11 - Suite 1 Salt Lake City, UT 84116 USA Telephone: (201) 521-5752 Fax: (201) 521-5702 http://www.farrellpartnership.com </td> </tr> <tr> <td>Prepared by</td> <td>Designer</td> <td>Verified by</td> <td>Checker</td> </tr> <tr> <td>Reviewed by</td> <td>Author</td> <td>Approved by</td> <td>Approver</td> </tr> <tr> <td>Date (M/D/Y)</td> <td>08/08/19</td> <td>Page</td> <td></td> </tr> <tr> <td>Scale</td> <td>NONE</td> <td></td> <td></td> </tr> <tr> <td colspan="4"> </td> </tr> <tr> <td colspan="4"> Project: BECTION DICKINSON WAREHOUSE EXPANSION PROJECT 9450 SOUTH STATE STREET SANDY, UT 84070 </td> </tr> <tr> <td colspan="4"> <table border="1"> <tr> <th colspan="4">LANDSCAPE PLAN</th> </tr> <tr> <td>Project no.</td> <td>Code</td> <td>Drawings</td> <td>Revision</td> </tr> <tr> <td>18-166</td> <td>DD</td> <td>L1.2</td> <td></td> </tr> </table> </td> </tr> </table> | | | | VEP ENGINEERS AND PROJECT MANAGERS | SNC-LAVALIN PROJECT SERVICES, INC. 434 Courtenay Way, Suite 100 Exton, PA 19341 USA Telephone: (610) 524-5520 Facsimile: (610) 524-1443 http://www.snc-lavalin.com | | | CHALLENGERS | ANDERSON WAHLEN & ASSOCIATES 2010 N. Redwood Rd. Salt Lake City, UT 84116 USA Telephone: 801-521-8828 Fax: 801-521-9551 http://www.andersonwahlen.com | | | ARCHITECTS | FARRELL PARTNERSHIP, LLC. 305 Plaza 11 - Suite 1 Salt Lake City, UT 84116 USA Telephone: (201) 521-5752 Fax: (201) 521-5702 http://www.farrellpartnership.com | | | Prepared by | Designer | Verified by | Checker | Reviewed by | Author | Approved by | Approver | Date (M/D/Y) | 08/08/19 | Page | | Scale | NONE | | | | | | | Project: BECTION DICKINSON WAREHOUSE EXPANSION PROJECT 9450 SOUTH STATE STREET SANDY, UT 84070 | | | | <table border="1"> <tr> <th colspan="4">LANDSCAPE PLAN</th> </tr> <tr> <td>Project no.</td> <td>Code</td> <td>Drawings</td> <td>Revision</td> </tr> <tr> <td>18-166</td> <td>DD</td> <td>L1.2</td> <td></td> </tr> </table> | | | | LANDSCAPE PLAN | | | | Project no. | Code | Drawings | Revision | 18-166 | DD | L1.2 | |
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| ARCHITECTS | FARRELL PARTNERSHIP, LLC. 305 Plaza 11 - Suite 1 Salt Lake City, UT 84116 USA Telephone: (201) 521-5752 Fax: (201) 521-5702 http://www.farrellpartnership.com | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Prepared by | Designer | Verified by | Checker | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Reviewed by | Author | Approved by | Approver | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Date (M/D/Y) | 08/08/19 | Page | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Scale | NONE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| Project: BECTION DICKINSON WAREHOUSE EXPANSION PROJECT 9450 SOUTH STATE STREET SANDY, UT 84070 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <table border="1"> <tr> <th colspan="4">LANDSCAPE PLAN</th> </tr> <tr> <td>Project no.</td> <td>Code</td> <td>Drawings</td> <td>Revision</td> </tr> <tr> <td>18-166</td> <td>DD</td> <td>L1.2</td> <td></td> </tr> </table> | | | | LANDSCAPE PLAN | | | | Project no. | Code | Drawings | Revision | 18-166 | DD | L1.2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LANDSCAPE PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Project no. | Code | Drawings | Revision | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 18-166 | DD | L1.2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



NOTES

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|-----|----------------------------|----|----------|
| M | PLANNING BOARD APPROVAL | AT | 19-11-01 |
| L | ISSUED FOR CONSTRUCTION | AT | 19-10-21 |
| K | ISSUED FOR BIDS - VE SCOPE | AT | 19-08-09 |
| J | ISSUED FOR PEMB BIDDING | AT | 19-07-26 |
| I | ISSUED FOR PERMIT | AV | 19-04-05 |
| F | ISSUED FOR BID | AT | 19-02-22 |
| E | 90% DESIGN REVIEW | AT | 19-02-11 |
| D | 60% DESIGN REVIEW | AV | 19-01-14 |
| C | PROGRESS SET | AV | 19-01-11 |
| B | PLANNING BOARD APPROVAL | AT | 19-01-07 |
| A | ISSUED FOR 30% REVIEW | AT | 18-12-10 |
| REV | DESCRIPTION | BY | DATE |

KEY PLAN

NEP ENGINEERS AND PROJECT MANAGERS

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FARRELL PARTNERSHIP, LLC.
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USA

Project by

AT

Drawn by

AT

Date (MD-Y)

12/04/18

Scale

1/16" = 1'-0"

Client

BD

Project

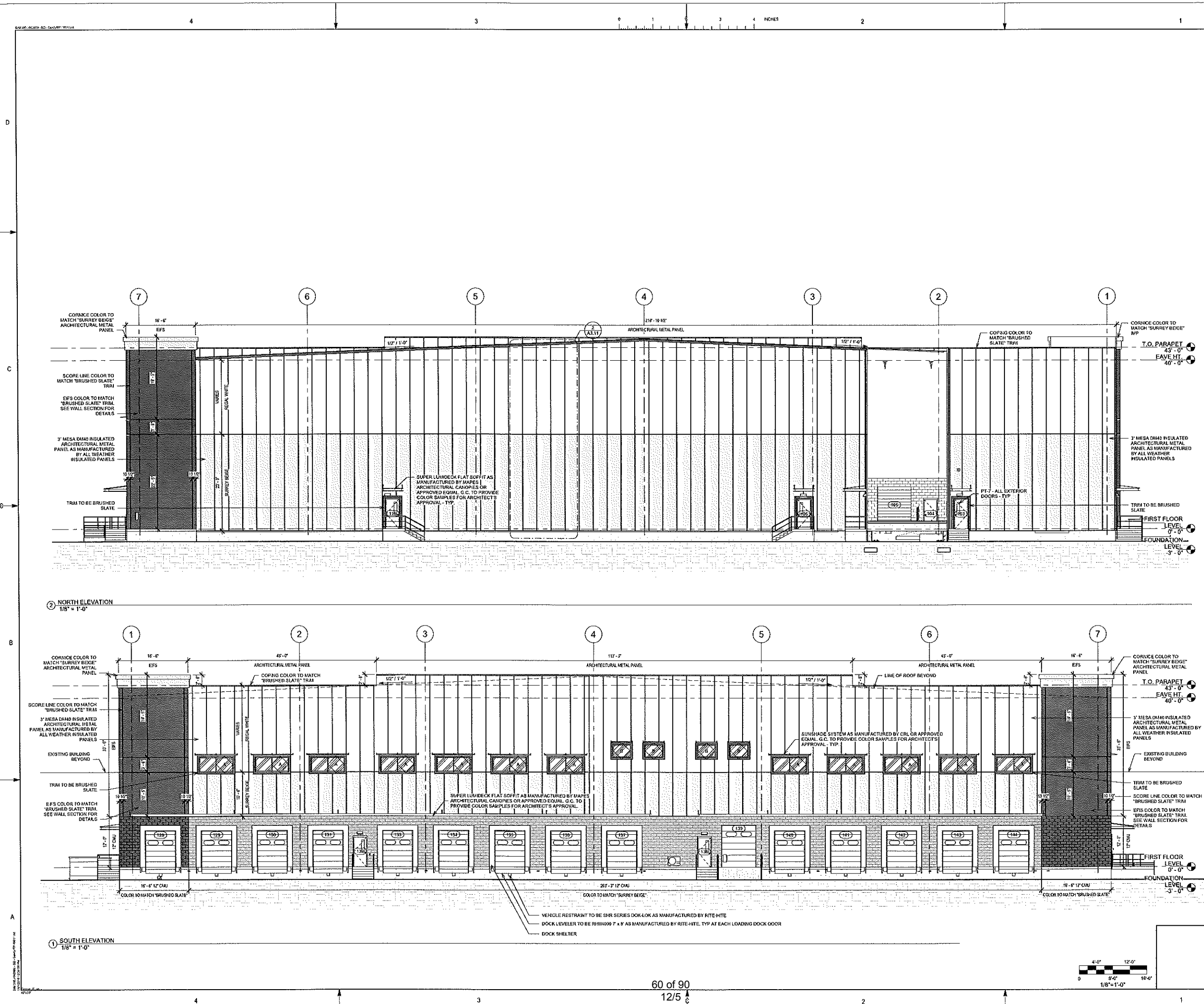
BECKTON DICKINSON
WAREHOUSE EXPANSION PROJECT
9450 SOUTH STATE STREET
SANDY, UT 84070

Title

OVERALL KEY PLAN

| | | | |
|-------------|------|-------------|----------|
| Project no. | Code | Drawing no. | Revision |
| FP-18011 | DD | A1.00 | M |

1 FIRST FLOOR LEVEL - OVERALL
1/16" = 1'-0"
59 of 90
12/5



NOTES

| | | | |
|-----|----------------------------|----|----------|
| M | PLANNING BOARD APPROVAL | AT | 19-11-01 |
| L | ISSUED FOR CONSTRUCTION | AT | 19-10-21 |
| K | ISSUED FOR BIDS - VE SCOPE | AT | 19-08-09 |
| J | ISSUED FOR PERM BIDDING | AV | 19-07-25 |
| I | ISSUED FOR PERMIT | AV | 19-04-05 |
| H | ISSUED FOR CLARIFICATION | AV | 19-04-03 |
| G | ISSUED FOR BID | AT | 19-03-18 |
| F | ISSUED FOR BID | AT | 19-02-22 |
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| C | PROGRESS SET | AV | 19-01-11 |
| B | PLANNING BOARD APPROVAL | AT | 19-01-07 |
| REV | DESCRIPTION | BY | DATE |

KEYPLAN

44P DRAWINGS AND PROJECT MANAGERS

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44P PROPERTY

Property
AT
Drawn by
AT
Date
12/04/19

Verdict
AT
Approved by
AT
Page

44P SCALE

Scale
1/8" = 1'-0"

44P CLOS

BD

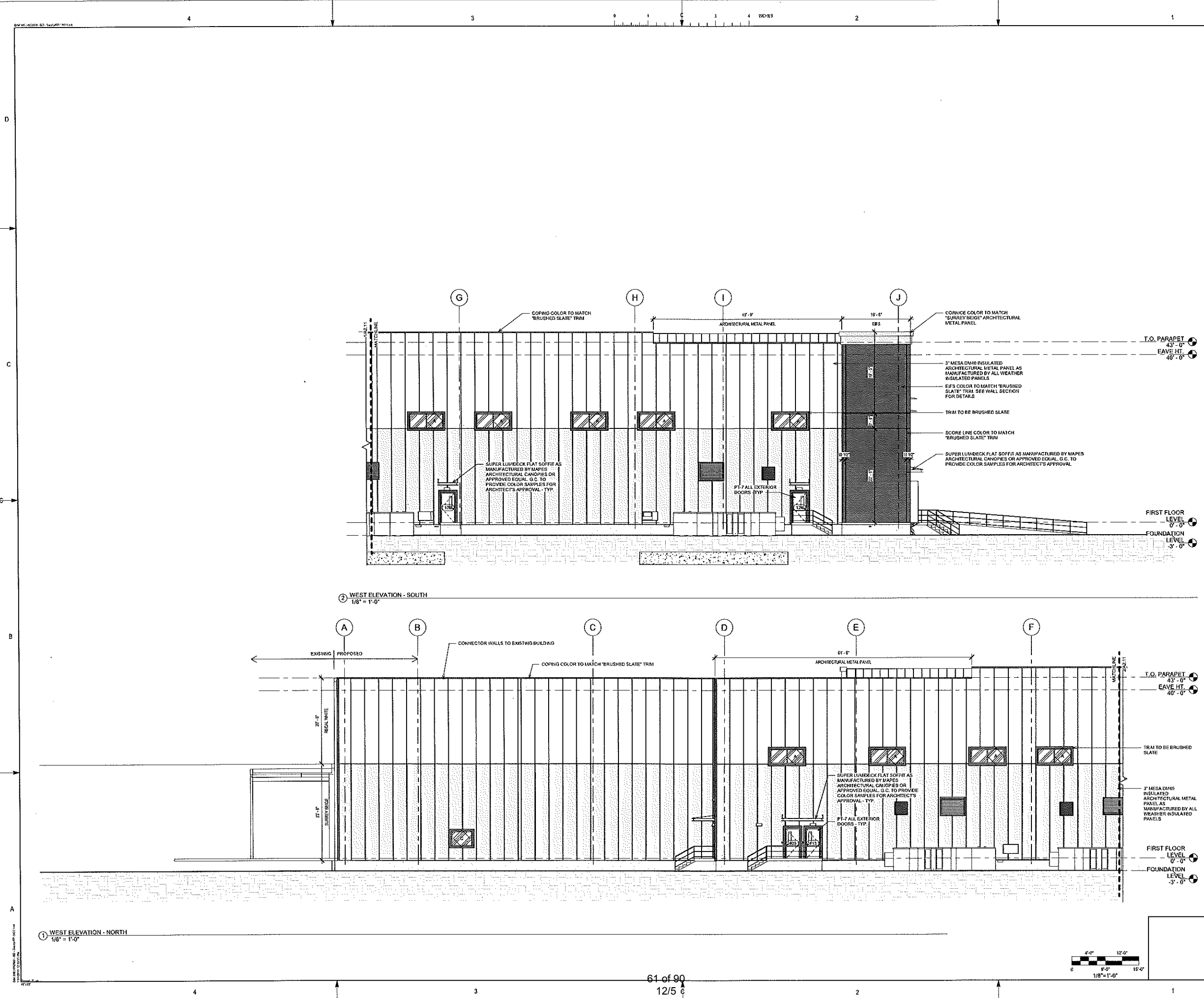
44P PROJECT

Project
**SECTION DICKINSON
WAREHOUSE EXPANSION PROJECT
9450 SOUTH STATE STREET
SANDY, UT 84070**

Title
BUILDING ELEVATIONS

| | | | |
|-------------|------|-------------|----------|
| Project No. | Code | Drawing No. | Revision |
| FP-18011 | DD | A2.10 | M |

60 of 90
12/5



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| B | PLANNING BOARD APPROVAL | AT | 19-01-07 |
| REV | DESCRIPTION | BY | DATE |

KEY PLAN

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| | | | | | | | | | |
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| Prepared by | AT | Checked by | AT | Drawn by | AT | Date | 12/04/19 | Scale | 1/8" = 1'-0" |
| Project | AT | Verify | AT | Approval | AT | Page | | | |

Client

BD

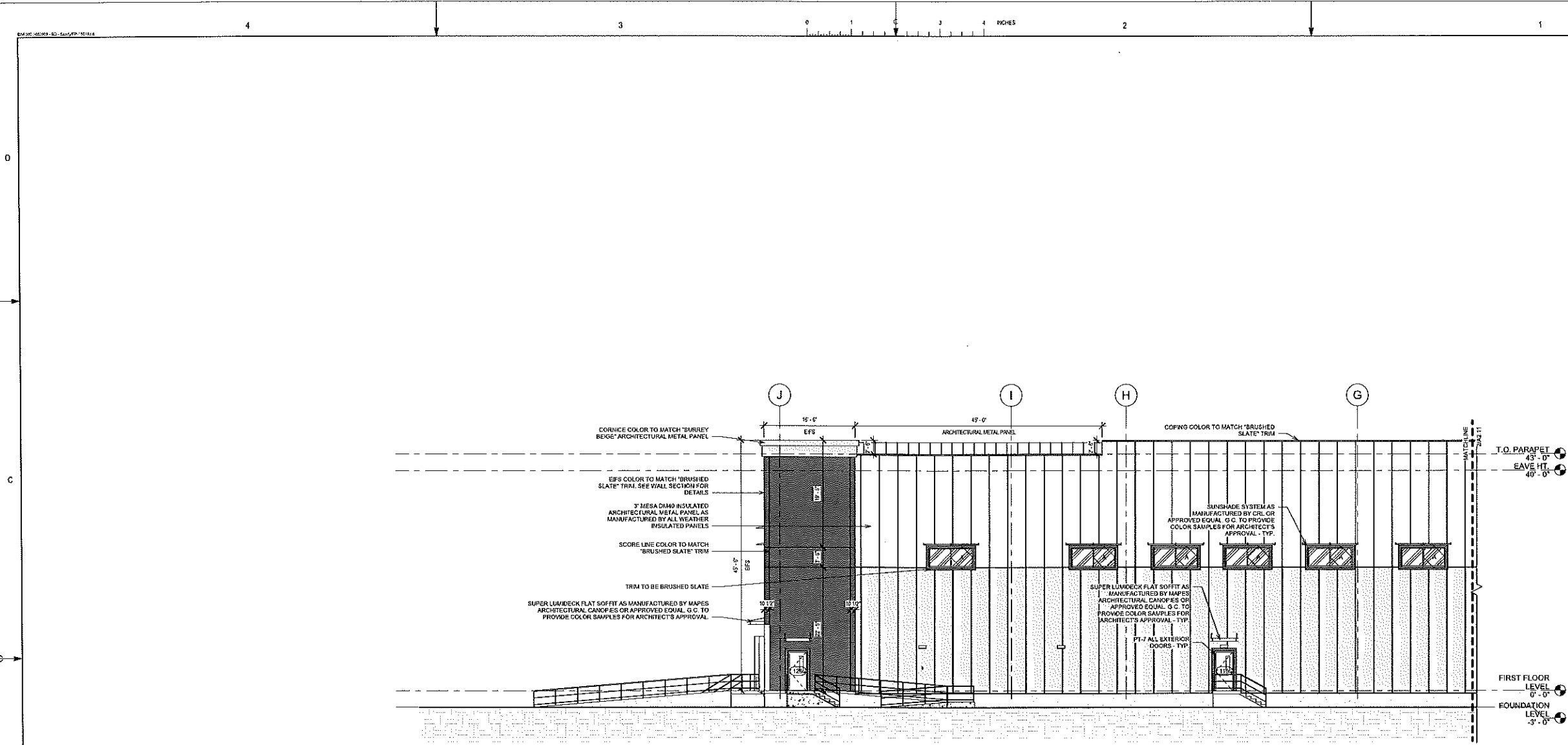
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**BECKTON DICKINSON
WAREHOUSE EXPANSION PROJECT
9450 SOUTH STATE STREET
SANDY, UT 84070**

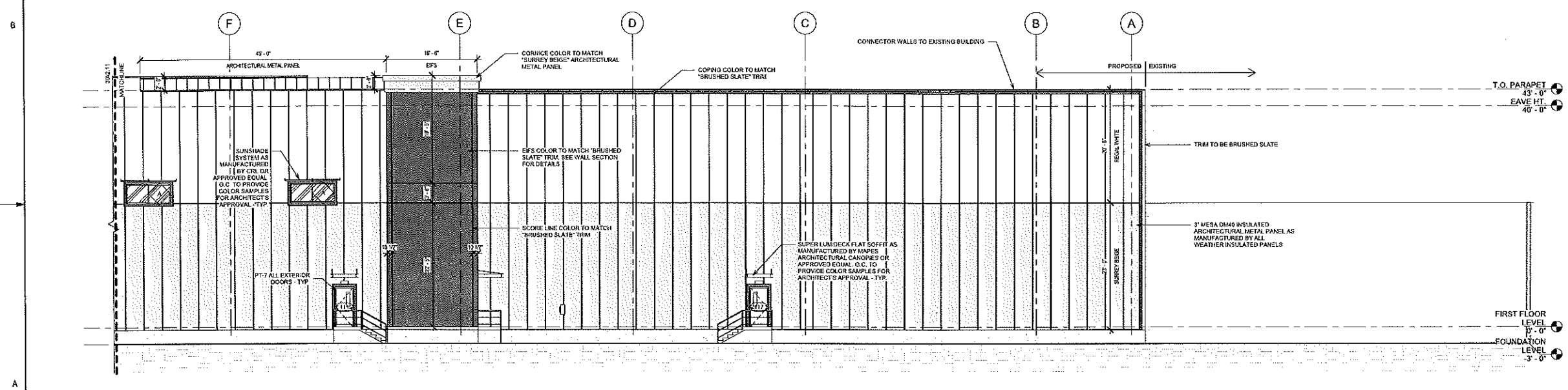
Type

BUILDING ELEVATIONS

| | | | |
|-------------|------|-------------|----------|
| Project No. | Code | Drawing No. | Revision |
| FP-18011 | DD | A2.11 | M |



① EAST ELEVATION - SOUTH
1/8" = 1'-0"



② EAST ELEVATION - NORTH
1/8" = 1'-0"

NOTES

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|-----|----------------------------|----|----------|
| M | PLANNING BOARD APPROVAL | AT | 19-11-01 |
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| B | PLANNING BOARD APPROVAL | AT | 19-01-07 |
| A | ISSUED FOR 30% REVIEW | AT | 18-12-10 |
| REV | DESCRIPTION | BY | DATE |

KEY PLAN

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ARCHITECT

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ARCHITECT

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Tel: 801.466.1000

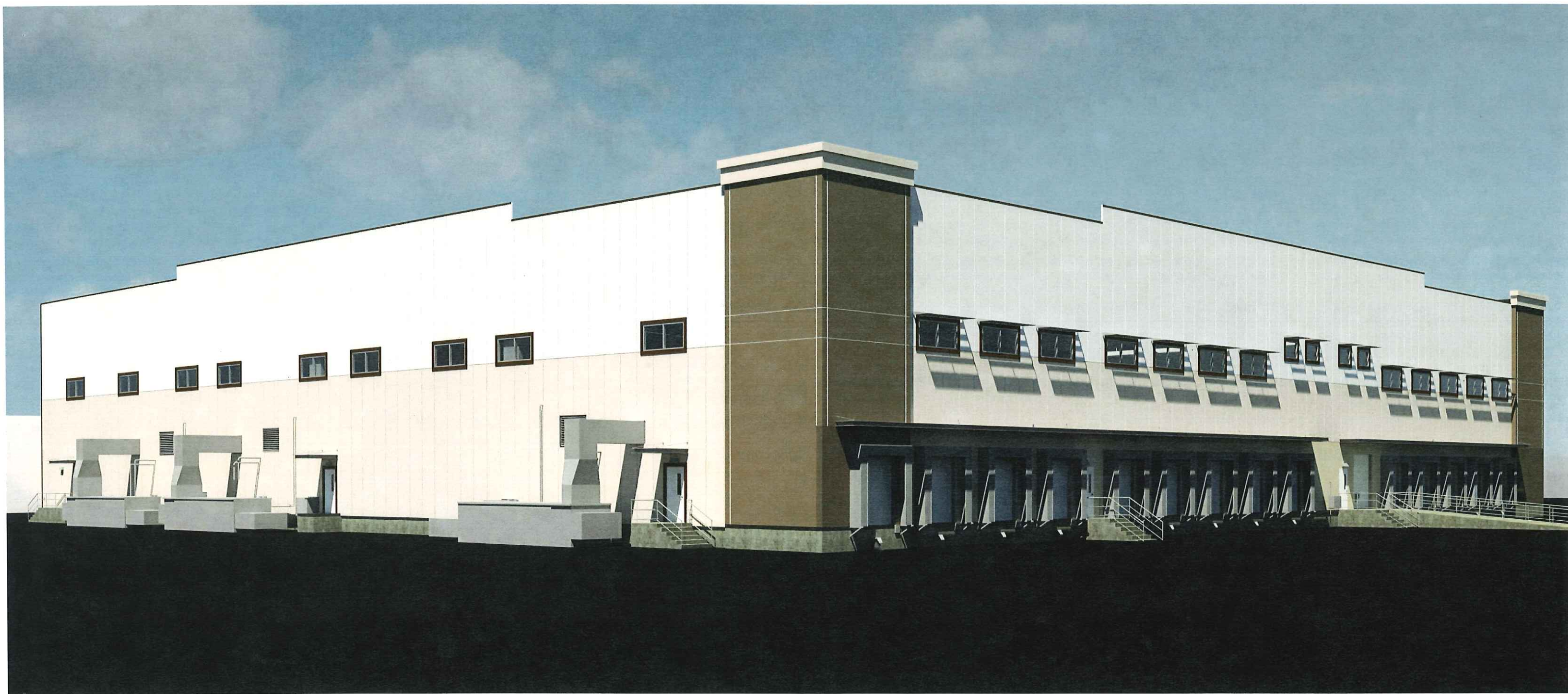
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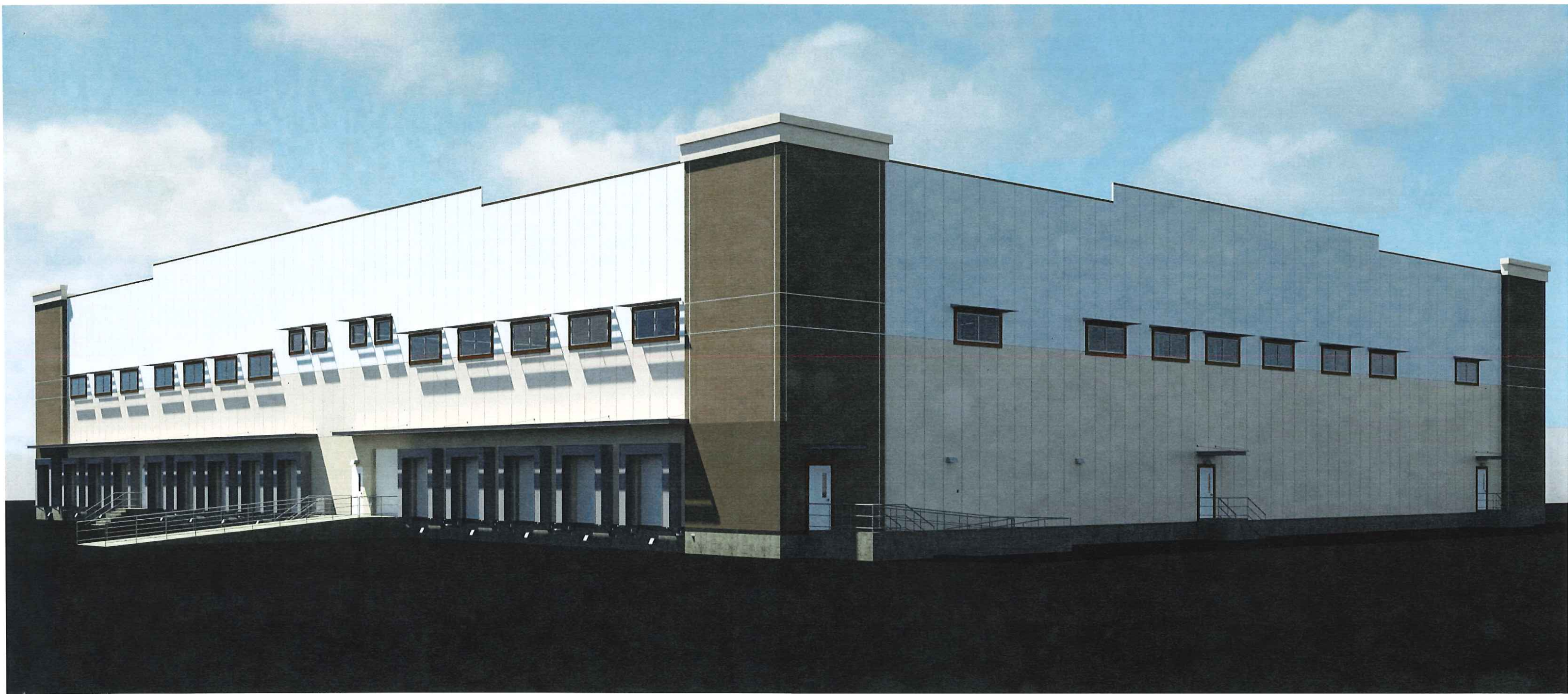
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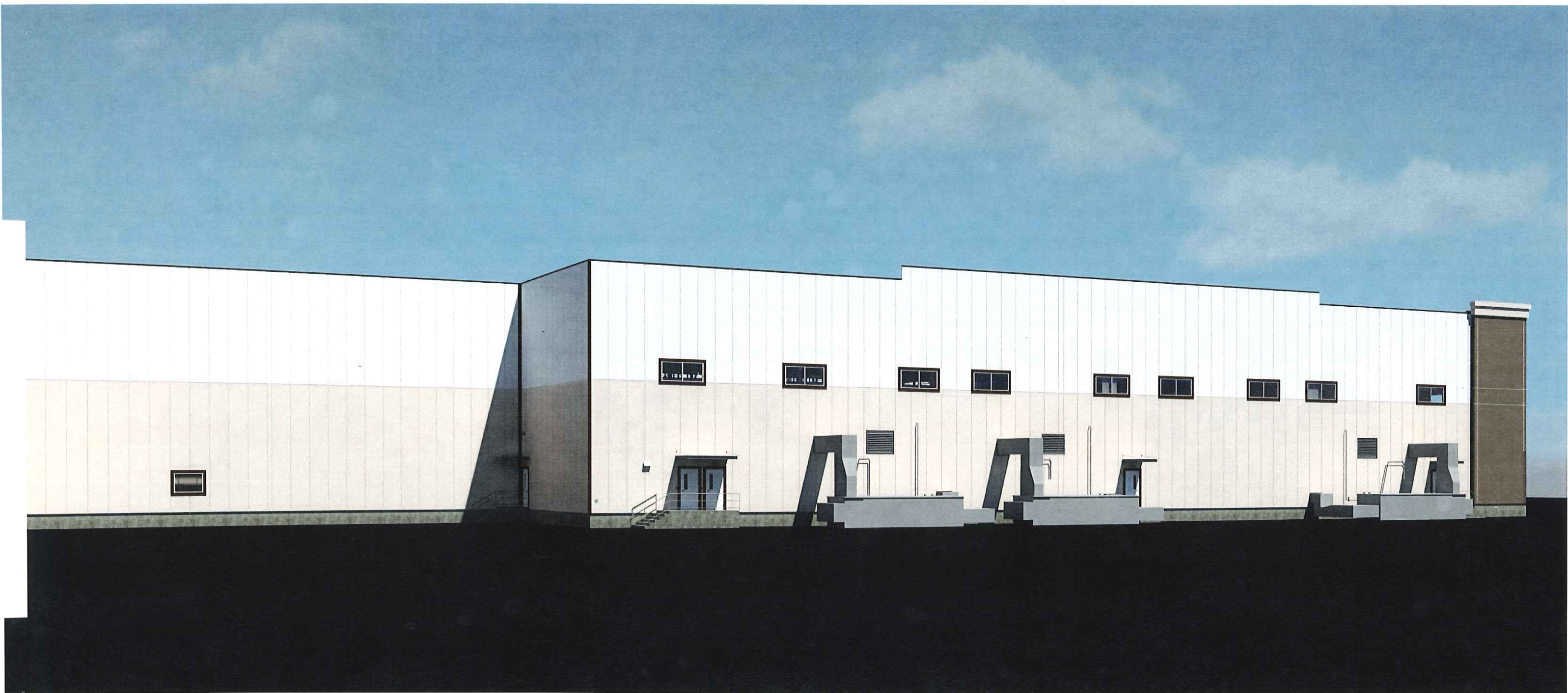
Project: **BECTION DICKINSON WAREHOUSE EXPANSION PROJECT**
9450 SOUTH STATE STREET
SANDY, UT 84070

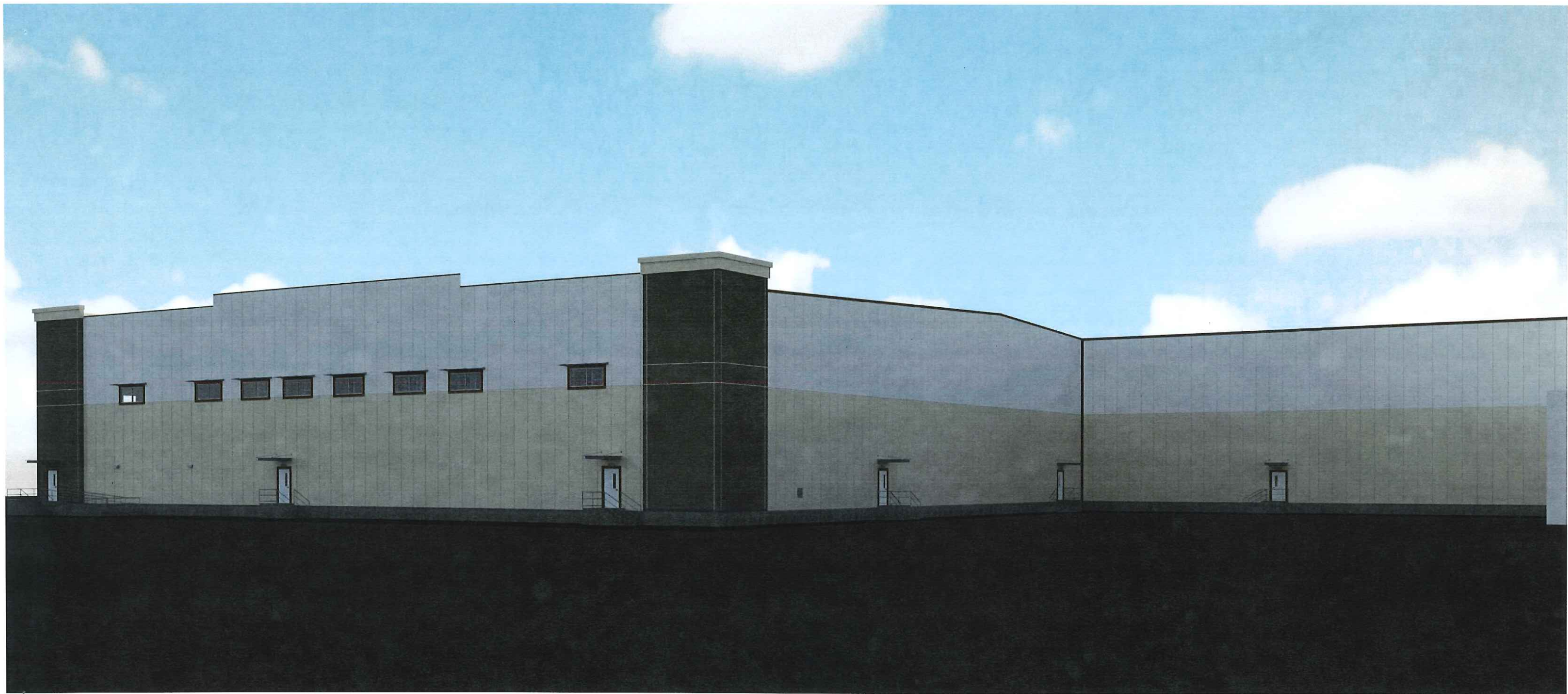
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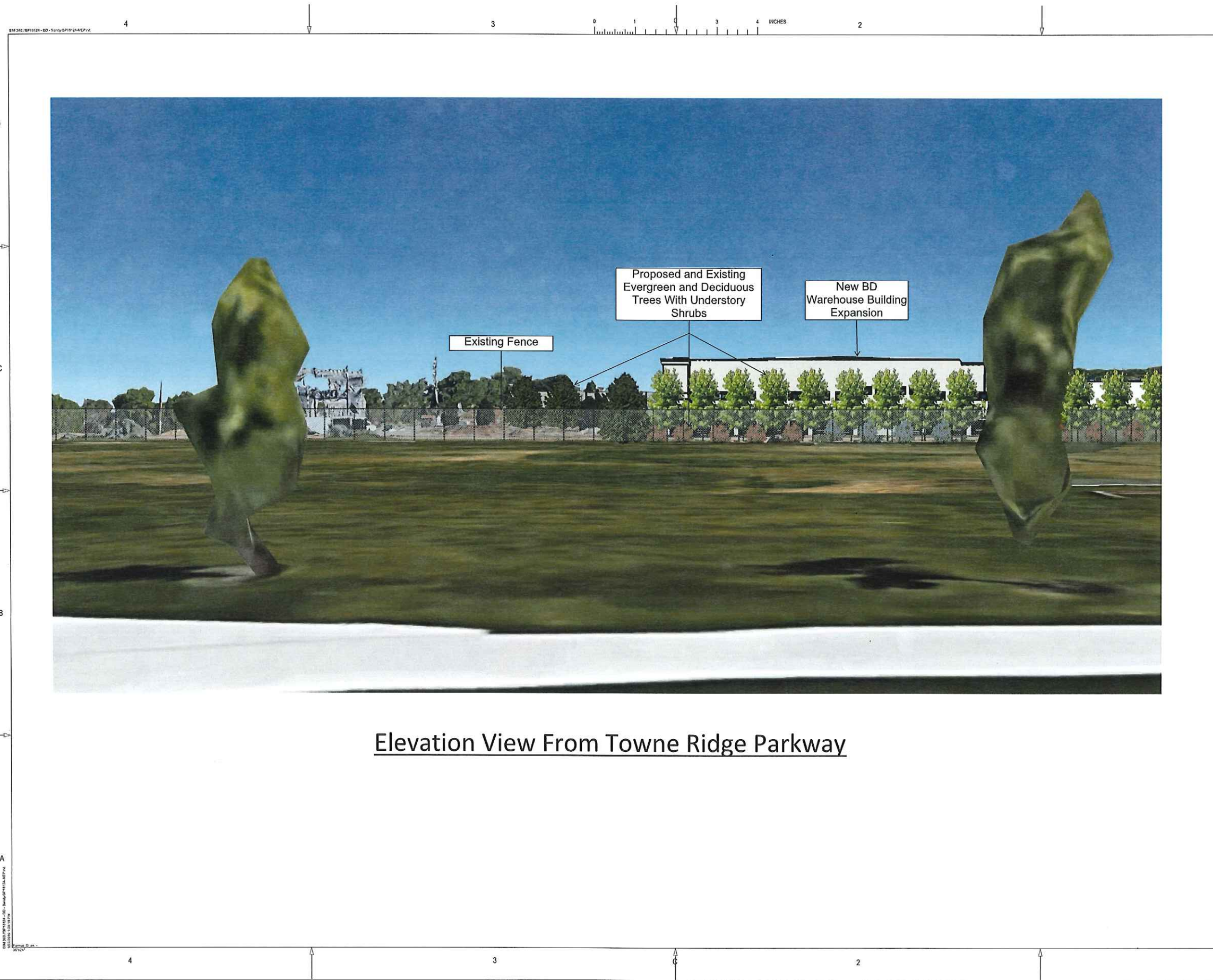
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| Project No. | Code | Drawing No. | Revision |
| FP-18011 | DD | A2.12 | M |











NOTES

KEYPLAN

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| Prepared by Designer | Verified by Checker |
| Drafted by Author | Approved by Approver |
| Date: 04/19/2019 | Page |

Scale
NONE

Client
BD

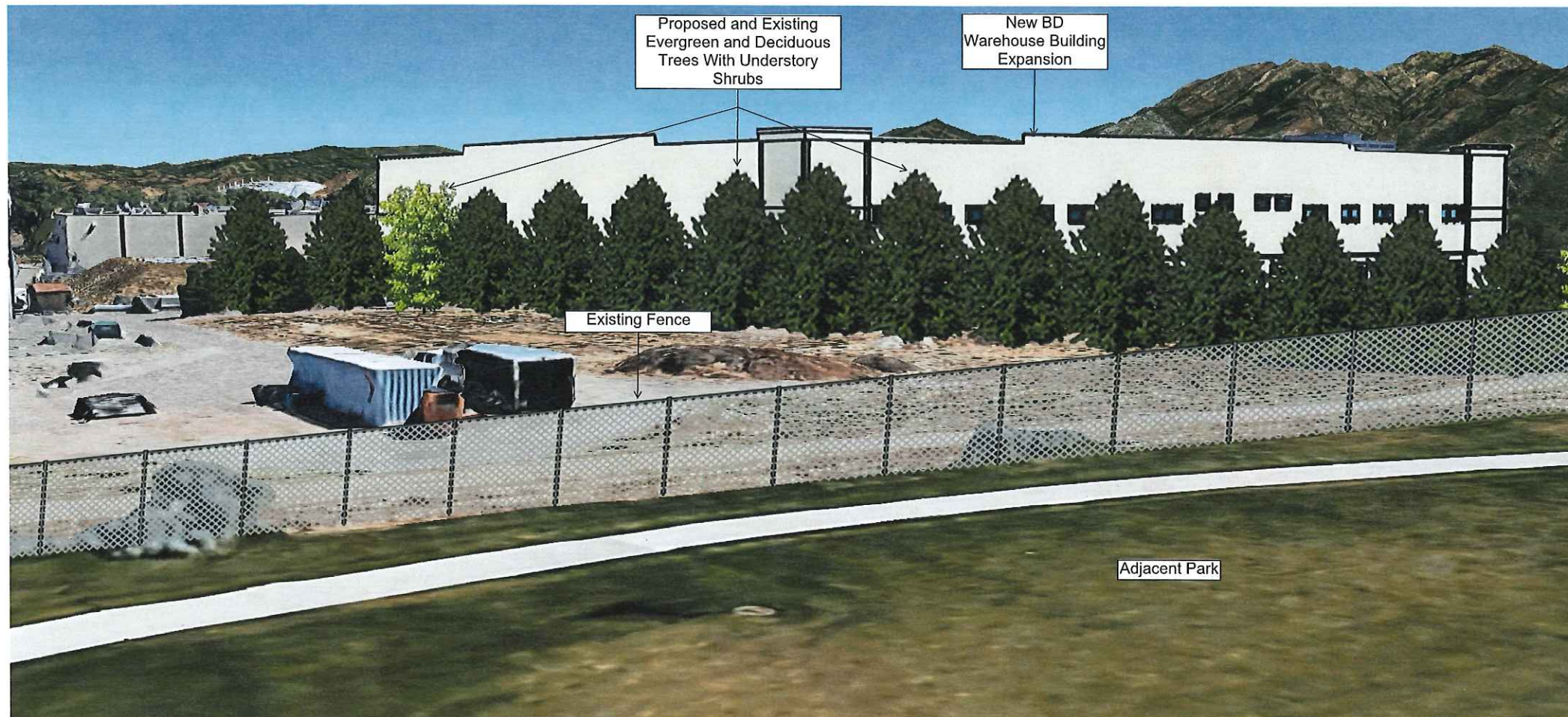
Project
**BECTON DICKINSON
 WAREHOUSE EXPANSION PROJECT**
 9450 SOUTH STATE STREET
 SANDY, UT 84070

Title
Elevation View 1

| Project No. | Code | Drawing No. | Revision |
|-------------|------|-------------|----------|
| 18-166 | DD | | |

BM 300 (SP18124) - BD - Sandy (SP18124) MEP PM

D
C
B
A



Elevation View From the Northwest Corner of Adjacent Park

BM 300 (SP18124) - BD - Sandy (SP18124) MEP PM

4

3

2

1

NOTES

KEYPLAN



MEP ENGINEERS AND PROJECT MANAGERS



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Prepared by
Designer
Author
Date: 08/01/19

Verified by
Checker
Approved by
Approver
Page

Scale
NONE

Orient



**BECTON DICKINSON
WAREHOUSE EXPANSION PROJECT**
9450 SOUTH STATE STREET
SANDY, UT 84070

Title

Elevation View 2

| Project no. | Code | Drawing no. | Revision |
|-------------|------|-------------|----------|
| 18-166 | DD | | |



Staff Report

File #: MISC-11-19-5766,
Version: 1

Date: 12/5/2019

Agenda Item Title:

Development Code Interpretation

Presenter:

Brian McCuiston

Description/Background:

Mr. Jeff Nilsen is requesting that the Planning Commission review the official interpretation by the Community Development Director regarding lattice work that has been erected along a property line. This is related to property located at 9663 S. 2980 E.

BACKGROUND

In June 2019, the applicant was given a notice of correction for the lattice work that was erected within inches from his east property line. After meeting with the property owners on several occasions, staff was asked to give an official interpretation of whether the lattice work would be identified as a stand-alone arbor, fence or structure.

On November 7, 2019 the Community Development Director interpreted the lattice work to be either a fence or an accessory structure, depending upon the location. The justification for this interpretation is included in the attached letter.

The applicant is claiming that he built the lattice work as a stand-alone arbor under provisions of the Development Code Section related to accessory structures (21-11-2(a)(4)(h)).

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission review the attached information and decide whether the interpretation from the Community Development Director is correct.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

KURT BRADBURN
MAYOR

MATTHEW HUISH
CHIEF ADMINISTRATIVE OFFICER

MEMORANDUM

December 5, 2019

To: Planning Commission
From: Community Development Department
Subject: Development Code Interpretation

MISC-11-19-5766

NOTICE: *This item has been noticed to property owners within 500 feet of the subject area.*

REQUEST

Mr. Jeff Nilsen is requesting that the Planning Commission review the official interpretation by the Community Development Director regarding lattice work that has been erected along a property line. This is related to property located at 9663 S. 2980 E.

BACKGROUND

In June 2019, the applicant was given a notice of correction for the lattice work that was erected within inches from his east property line. After meeting with the property owners on several occasions, staff was asked to give an official interpretation of whether the lattice work would be identified as a stand-alone arbor, fence or structure.

On November 7, 2019 the Community Development Director interpreted the lattice work to be either a fence or an accessory structure, depending upon the location. The justification for this interpretation is included in the attached letter.

The applicant is claiming that he built the lattice work as a stand-alone arbor under provisions of the Development Code Section related to accessory structures (21-11-2(a)(4)(h)).

Other Structures. These provisions do not apply to children's play equipment, flagpoles, light poles, stand-alone arbors, or other similar structures.

ANALYSIS

Section 21-1-6 of the Sandy Municipal Code states:

Interpretation and application of the provisions and requirements contained herein are declared to be the minimum requirements for the purposes set forth, unless otherwise specifically stated. If in the course of administration hereof, a question arises as to the meaning of any phrase, section, or chapter, or zone district, the interpretation thereof shall be given by the Community Development Director (hereinafter referred to as the "Director") and shall be construed to be the official interpretation thereof. In the event that there is need of further interpretation by any person, firm or corporation, or official of Sandy City, they shall submit the question to the Planning Commission, which, unless otherwise provided, is authorized to interpret the title and such interpretation shall be final.

STAFF RECOMMENDATION

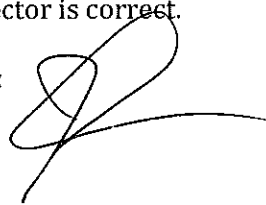
Staff recommends that the Planning Commission review the attached information and decide whether the interpretation from the Community Development Director is correct.

Planner:



Brian McCuiston
Planning Director

Reviewed by:



File Name: S:\USERS\PLN\STAFFRPT\2019\MISC-11-19-5766 Development Code Interpretation.DOCX



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

KURT BRADBURN
MAYOR

MATTHEW HUISH
CHIEF ADMINISTRATIVE OFFICER

November 7, 2019

Jeffrey Nilson
9663 S. 2980 E.
Sandy, UT 84092

Dear Mr. Nilson,

As you have requested, this letter is the interpretation from the Community Development Director regarding the lattice work that has been erected along a certain section of your eastern property line. This decision is based upon the following findings:

1. On or about June 18, 2019 the Community Development Department was made aware of some lattice work that was erected along a portion of your eastern property line. This lattice work stands approximately 13-feet above grade, approximately 20-feet wide with a sidewall of approximately two (2) feet. This has been erected within inches of your eastern property line.
2. The primary purpose of this lattice work is to provide privacy between you and the new home that was built to the east of your home.
3. During a visit with representatives from the Community Development Department, you informed them that you thought you were allowed to build this because of a particular section of the Sandy City Land Development Code (Code). Accessory Structures, states that the provisions (for accessory structures) do not apply to children's play equipment, flagpoles, light poles, stand-alone arbors, or other similar structures. (Section 21-11-2(a)(4)(h))
4. The Code does not define an arbor, or stand-alone arbor. The Merriam Webster online dictionary defines an arbor and stand-alone as:
Arbor - shelter of vines or branches of latticework covered with climbing shrubs or vines.
Stand-alone - able to operate without control from another system.
5. The Code does define a fence (Section 21-37-07) as follows:
Fence means any tangible barrier, an obstruction of any material, a line of obstacles, lattice work, screen, wall, hedge, or continuous growth of shrubs or trees with the purpose of, or having the effect of, preventing passage or view across a fence line.
6. The Code does define a structure (Section 21-37-20) as follows:
Structure means anything constructed or erected, the use of which requires location on the ground or attachment to something having location on the ground. A building is included in this definition. Any structure two feet or above in grade shall meet all underlying zoning requirements.

In my experience, a stand-alone arbor is typically used as a gateway into a garden or backyard and is not connected to the primary dwelling. Based upon the findings outlined in this letter, I do not consider the lattice work erected along a portion of your eastern property line as a stand-alone arbor.

The lattice work where it is currently located, meets the definition of fence quoted above. Therefore, it must meet the requirements of a fence, including the maximum height limitation of six (6) feet, which will require the lattice work to be shortened. Under limited circumstances I may approve a fence up to a maximum height of eight (8) feet.

If the lattice work is moved away from the east property line at least two (2) feet, then it will be considered a structure and must meet the requirements of an accessory structure. In addition, as per Section 21-11-02(a)(1)(a) Setbacks and Location Restrictions:

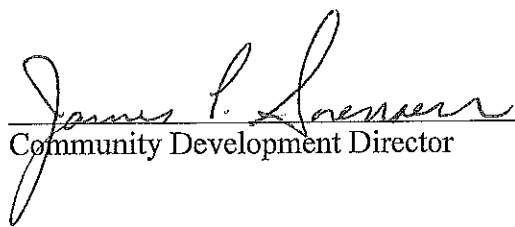
Accessory buildings located three feet or less from the property line shall have concrete, asphalt, or other approved surface between the property line and accessory building.

Also, a structure in this particular zone (R-1-10) may be allowed to a maximum height of 15' from the peak to the ground. (Section 21-11-02(a)(3)(a))

The Community Development Director is the one responsible for the interpretation and application of the provisions and requirements contained within the Code. In the event that there is a need of further interpretation, the Planning Commission is authorized to interpret the Code and that decision will be final. (Section 21-1-6) Should you decide to go to the Planning Commission, you would be required to file an application (General Development Application) and pay a fee of \$80 for an appeal fee.

The Planning Commission decision may be appealed within ten calendar days of their decision as outlined in the Code. (Section 21-35-1) A complete application and payment of applicable fees (\$400) for an alleged error must be filed in writing with the Community Development Department, which writing may be delivered to Mike Wilcox, Zoning Administrator, who can be contacted by email at mwilcox@sandy.utah.gov or by phone at 801-568-7261.

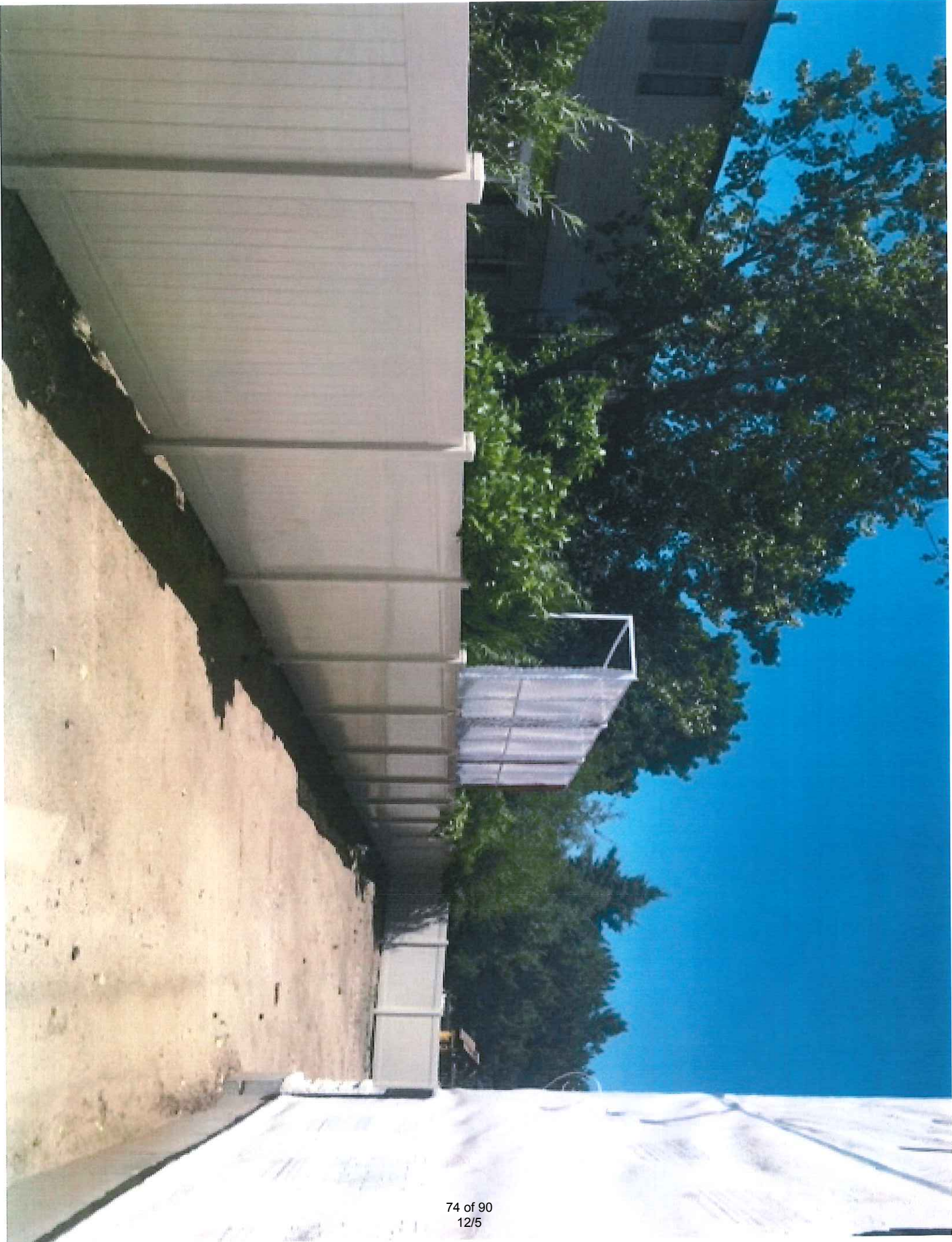
Sincerely,



Community Development Director

11-7-19

Date







11-15-2019

Sandy City Community Development – Planning Commission

RE: Appeal of Determination that Other Structure in our garden is not an Arbor.

Summary of Related Events:

We have constructed an Arbor in our backyard garden. It is constructed in 3 sections that are 8 x 12 feet fashioned as a combination Arbor/Trellis with lattice which currently has a series of 3 vines growing, one in each section.

I designed and built this stand-alone structure so that it would adhere to the Sandy City Development Code stated in Chapter 15A-11, 15A-11-02, A. Residential Standard, #4 Other Requirements h. Other Structures. This code specifically states that all provisions specified in section A.1, A.2 and A.3 do not apply to Children's play equipment, flag poles, light poles, **stand-alone Arbors** or other similar structures. I have 1200 pounds of concrete in the ground anchoring 4 4x6 pressure-treated posts. The lattice attached for the vines weights very little. We experienced winds this September over 90 MPH and it did not budge.

On or about Jul 10, 2019, when responding to a complaint from the owner of a house under construction behind our house, a Sandy City building inspector evaluated the structure and then subsequently served code violation to me. He had issues with the height and with the proximity to the fence that separated my property from my neighbor. He said that it was a fence and that it violated Sandy City Development Code.

When I explained to him that it was an Arbor and complied with the conditions specified in the Sandy City Development Code 15A-11-02, A. Residential Standard, #4 Other Requirements h. Other Structures.

I showed him a copy of the code and he just reiterated that it was a fence, handed me a citation and said that I had to contact Sandy City with 2 weeks.

We contacted the Development Director, James Sorensen and scheduled a review with 2 of his employees, Brian and Scott Marsell. They both came by our residence the following week to discuss the situation. We had a 45 minute conversation and showed them pictures of Arbors that I had downloaded from the Lowes web site and at the end of that conversation, they both agreed that the structure **was** an Arbor, and suggested that they would relay their findings to James Sorensen.

The following week James Sorenson called my wife and suggested that it was not an Arbor (he had never seen it) and that we would have to comply with the Development Code to structures pertaining to setback, size and height. He did offer that if we lowered it to 8 feet, that he would consider it an exception. My wife then requested an appointment with James to discuss this matter further.

I prepared a document which provided the definition of Arbor from multiple sources on the internet which all briefly defined an Arbor as follows:

A shelter or lattice structure in a garden with vines or branches

I prepared a document providing pictures of dozens of Arbor/Trellis structures as an example of our structure.

I also provided the exact Development Code mentioned above including the paragraph **h – Other Structures**.

My wife met with James Sorenson and Scott Marsell for the scheduled appointment. They reviewed the documents and James asked Scott if the structure was an Arbor and he replied – yes – it was an Arbor. James responded to my wife that

"it looks like you have found a loophole". He suggested that Brian was on vacation and that when he returned they would discuss and would be back in contact.

Brian subsequently contacted my wife and he told her that they were concerned that it might be dangerous due to the 12 feet height and that they were back to "it was a fence", but if we lowered it to 8 feet it would be ok. My wife asked what recourse we had and he said we could appeal the determination that James Sorensen had made. After a discussion with me, we requested a formal written determination from the director so we could appeal.

We received the letter dated November 7, 2019 on November 13th and it was signed by James Sorensen. This document states that James Sorensen has determined, based upon his personal interpretation of how he does not perceive our garden structure as an Arbor, that it is a fence, not an Arbor. The letter also states that if we do not agree with his interpretation, we may appeal to the Planning Commission within 10 days.

A few days after we received the letter, my wife scheduled another meeting for Nov 15, 2019 at 9am with James which also included Brian and Scott. She brought many documents once again supporting the case that the structure was an Arbor. They reviewed them and James said that it was not. She confronted Brian and Scott and asked them if they still agreed that it was an Arbor and they looked directly at James and would not answer.

James suggested once again that we could lower the structure to 8 feet, add another structure 2 feet away from the property boundary for compliance and add lattice starting at 8 feet which could go as high as 15 feet – per the code.

My wife was concerned about Sandy City putting a lien on our property, which Scott had explained during an earlier meeting would mean that we could not refinance or sell our home until the structure was removed or brought into compliance.

James then suggested as an alternative that we could just take it down, refinance our home and then put it back up afterwards and then just deal with the lien that would be placed on our property after we were cited again. He also asked that she not repeat this to anyone suggesting he would deny it.

I would like to appeal this decision by James Sorensen at the earliest convenience of the Planning Commission. I certainly hope that this is an objective process and the review will be based upon the Development Code and the facts presented.

Regards,

Jeff and Janice Nilsen
9663 S. 2980 E.
Sandy, UT 84092



MISC 11-19-5766
Nilsen Interpretation
9663 S. 2980 E.



PRODUCED BY CLAIRE HAGUE
THE COMMUNITY DEVELOPMENT DEPARTMENT



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #: 19-443, **Version:** 1

Date: 12/5/2019

Planning Commission meeting minutes for 11.07.2019



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Minutes

Planning Commission

Dave Bromley
Michael Christopherson
Monica Collard
Ron Mortimer
Cyndi Sharkey
Jamie Tsandes
Cameron Duncan (Alternate)
Jeff Lovell

Thursday, November 7, 2019

6:15 PM

Council Chambers

Meeting procedures are found at the end of this agenda.

Voting Roll Call

Present 7 - Commissioner Dave Bromley
Commissioner Monica Collard
Commissioner Jamie Tsandes
Commissioner Michael Christopherson
Commissioner Jeff Lovell
Commissioner Ron Mortimer
Commissioner Cameron Duncan
Absent 1 - Commissioner Cyndi Sharkey

4:00 PM FIELD TRIP

1. [19-405](#) Field trip map for November 7, 2019

Attachments: [11-7-19](#)

6:15 PM REGULAR SESSION

Roll Call

Welcome

Pledge of Allegiance

Introductions

Consent Agenda Items

Michael Christopherson explained how the consent agenda will proceed.
Michael Christopherson opened consent items to public comment.
Steven Pelch wanted to voice his support for the Leach Accessory conditional use.
Michael Christopherson closed consent items to public comment.

A motion was made by Monica Collard, seconded by Dave Bromley that the Planning Commission approve the three consent calendar items.

Yes: 7 - Dave Bromley
Monica Collard
Jamie Tsandes
Michael Christopherson
Jeff Lovell
Ron Mortimer
Cameron Duncan

Absent: 1 - Cyndi Sharkey

2. [CUP-10-19-5](#) Pilates for Everyone
[742](#) 8789 S. Highland Dr.
Community #18 - Willow Creek

Attachments: [Staff Report, materials and map.pdf](#)

A motion was made by Monica Collard, seconded by Dave Bromley that the Planning Commission approve the three consent calendar items.

Yes: 7 - Dave Bromley
Monica Collard
Jamie Tsandes
Michael Christopherson
Jeff Lovell
Ron Mortimer
Cameron Duncan

Absent: 1 - Cyndi Sharkey

3. [CUP-09-19-5](#) Leach Accessory Apartment
[729](#) 8933 S. 500 E.
Community #4 - Historic Sandy

Attachments: [Staff Report, materials and map.pdf](#)

A motion was made by Monica Collard, seconded by Dave Bromley that the Planning Commission approve the three consent calendar items.

Yes: 7 - Dave Bromley
Monica Collard
Jamie Tsandes
Michael Christopherson
Jeff Lovell
Ron Mortimer
Cameron Duncan

Absent: 1 - Cyndi Sharkey

4. [CUP-10-19-5](#) Shine Collision Towing LLC
[738](#) 9472 S. 560 W.
Community #2 - Civic Center

Attachments: [Staff Report, materials and map.pdf](#)

A motion was made by Monica Collard, seconded by Dave Bromley that the Planning Commission approve the three consent calendar items.

Yes: 7 - Dave Bromley
Monica Collard
Jamie Tsandes
Michael Christopherson
Jeff Lovell
Ron Mortimer
Cameron Duncan

Absent: 1 - Cyndi Sharkey

Public Meeting Items

5. [CUP-09-19-0](#) Reilly Accessory Structure
[05725](#) 1956 E. Brandon Park Pl.
Community #26

Attachments: [Staff Report, materials and map.pdf](#)

Claire Hague introduced this item to the Planning Commission.

Applicant expressed he had nothing additional to add.

Michael Christopherson opened this item to public comment.

Michael Christopherson closed this item to public comment.

A motion was made by Monica Collard, seconded by Jeff Lovell that the Planning Commission grant a conditional use permit for the additional height and size of the accessory structure for the property located at 1956 East Brandon Park Place based on the one finding and five conditions outlined in the staff report.

Yes: 7 - Dave Bromley
Monica Collard
Jamie Tsandes
Michael Christopherson
Jeff Lovell
Ron Mortimer
Cameron Duncan

Absent: 1 - Cyndi Sharkey

6. [SUB-04-19-5](#) Alta View Commercial Plat - Preliminary Review
[646](#) 10291 South 1300 East
Community #17 - Willow Canyon

Attachments: [Staff Report.pdf](#)
[plat-6983a.pdf](#)

Mike Wilcox introduced item to the Planning Commission.

Joshua Binkley the applicant further explained item to Planning Commission and the concern they have about their lease with Smiths and reciprocal access with the property to the east.

Mike Wilcox explained options with the reciprocal access in the future.

Monica Collard asked why this adjustment would affect the lease with Smiths.

Josh Binkley explained that in the lease it states that changes to property would make them delinquent with their lease.

Cameron Duncan asked if they plan on making any additional changes to the site.

Josh Binkley explained that they have no plans to do any development or make any changes to the site.

Mike Wilcox further clarified conditions of the item.

Michael Christopherson opened this item to public comment.

Steve Van Marren would like clarification where the lot boundaries will be.

Mike Wilcox explained the lot boundaries for the site.

Michael Christopherson closed this item to public comment.

A motion was made by Jamie Tsandes, seconded by Dave Bromley that the Planning Commission determine that the preliminary review is complete for the Alta View Commercial Plat located at approximately 10291 South 1300 East subject to the following five conditions and omitting condition number six.

Yes: 7 - Dave Bromley
Monica Collard
Jamie Tsandes
Michael Christopherson
Jeff Lovell
Ron Mortimer
Cameron Duncan

Absent: 1 - Cyndi Sharkey

7. [SPEX-10-19-5744](#) Zundel Grading Plan - Cuts and Fills over 10 Feet & Alteration of 30% Slope
10471 South Wasatch Blvd
[Community #29 - The Dell]

Attachments: [Staff Report.pdf](#)
[Applicant Letter and Plans](#)
[Arch Plans.pdf](#)
[Geotechnical Study - Lot 27 Seven Springs.pdf](#)

Mike Wilcox introduced item to the Planning Commission.

Bryce Zundel, the applicant further explained the item.

Cameron Duncan asked how the applicant is proposing the 17-foot cut wall on the edge of the road and the material that would be used.

Mike Wilcox went over a couple concerns outlined in the staff report.

Michael Christopherson opened this item to public comment.

Jim Martin a neighbor of the property is concerned about the walls because they look more like loose rocks instead of actual walls. He is also concerned about the time to build and how it affects the flow of traffic.

Marc Marrocco would like to see the project moved 25ft south to lessen the cuts just like he did with his neighboring property.

Cameron Duncan asked what the numbers of cuts and fills for his property were.

Marc Marrocco said he couldn't remember the exact numbers.

Mark Miller, a General Contractor who worked on the Marrocco property and now the proposed Zundel property, explained the problems that come with pulling the home forward and further down south.

Michael Christopherson closed this item to public comment.

Cameron Duncan expressed that he thinks the plan comes off as a little misleading on the set back of walls and heights as well as how the wall would be designed.

Michael Christopherson read the conditions from the Board of Adjustment meeting minutes for the design of the retaining walls.

Ryan Kump, City Engineer, explained/clarified the give and take of building on a difficult lot like this one and how rotating the home and other changes helps lower the cuts. Ryan also explained that he will make sure that everything will be engineered correctly.

Monica suggested they give their opinions to Ryan Kump, so he understands what they are looking for.

Cameron Duncan expressed that he is okay with deeper driveway and stepped walls for

the north.

Jeff Lovell would like to see retaining wall design closer to Marrocco's walls to better blend in.

Monica Collard thinks they could minimize flat space as they are building on a steep slope property.

Jamie Tsandes wants to make sure there is minimal disturbance to the vegetation in the front and would like them to come back with a final plan.

Dave Bromley closing in the rockwall's on to the home as the Marrocco's have done and leaving some of open back yard would be appropriate to enveloping the home into the hillside.

Ron Mortimer had no additional comments to add to what has already been said.

A motion was made by Cameron Duncan, seconded by Ron Mortimer that the Planning Commission grant a special exception to allow cuts over 10-feet and alterations of a thirty percent slope at 10471 south Wasatch Blvd. Lot 27 of the seven springs subdivision based on the following findings and conditions, with a sixth condition to work with the city staff to minimize the amount of retaining walls on the north side yard of the property and minimize the retaining wall extending pass the 110-foot setback.

Yes: 7 - Dave Bromley
Monica Collard
Jamie Tsandes
Michael Christopherson
Jeff Lovell
Ron Mortimer
Cameron Duncan

Absent: 1 - Cyndi Sharkey

Public Hearing Items

8. [ZONE-10-19-5730\(PC\)](#) Spectrum Rezone
9107 S. Monroe Street, 9295 S. 255 W.
[Community #2 - Civic Center]

Attachments: [Staff Report](#)

Jake Warner presented this item to Planning Commission.

Ted Smith, representing applicant, further explained item.

Michael Christopherson opened this item to public comment.

Michael Christopherson closed this item to public comment.

A motion was made by Dave Bromley, seconded by Jeff Lovell that the Planning Commission recommend that the City Council approve the change from the R-140A zone and PUD-8 zone to the RC Zone

Yes: 6 - Dave Bromley
Monica Collard
Jamie Tsandes
Michael Christopherson
Jeff Lovell
Ron Mortimer

Excused: 1 - Cameron Duncan

Absent: 1 - Cyndi Sharkey

9. [GPA-10-19-5](#) Housing Updates - General Plan Amendment
[748\(PC\)](#)

Attachments: [Staff Report](#)
[Housing Element-amended draft](#)

Jake Warner presented item to the Planning Commission.

Michael Christopherson opened this item to public comment.

Andrew Davies expressed that he would like to see more city involvement.

Michael Christopherson closed this item to public comment.

A motion was made by Dave Bromley, seconded by Monica Collard that the Planning Commission recommend that the City Council approve the revised housing element of the Sandy City General Plan.

Yes: 6 - Dave Bromley
Monica Collard
Jamie Tsandes
Michael Christopherson
Jeff Lovell
Ron Mortimer

Excused: 1 - Cameron Duncan

Absent: 1 - Cyndi Sharkey

Administrative Business

1. [19-396](#) Adoption of Planning Commission By-Laws

Attachments: [PC By-Laws 2019 \(Draft Revisions 11.1.19\)](#)

A motion was made by Michael Christopherson, seconded by Monica Collard that the Planning Commission adopt the Planning Commission Bylaws as revised subject to some additional modification of the language in Article 15 to state the expectations of Commissioners conduct as affirmative expectations instead of consequences for failure

Yes: 6 - Dave Bromley
Monica Collard
Jamie Tsandes
Michael Christopherson
Jeff Lovell
Ron Mortimer

Excused: 1 - Cameron Duncan

Absent: 1 - Cyndi Sharkey

2. [19-400](#) PC Meeting Minutes for September 17, 2019

Attachments: [10.17.19 PC Meeting Minutes](#)

A motion was made by Dave Bromley, seconded by Monica Collard to approve the Meeting Minutes for 10.17.2019

Yes: 6 - Dave Bromley
Monica Collard
Jamie Tsandes
Michael Christopherson
Jeff Lovell
Ron Mortimer

Excused: 1 - Cameron Duncan

Absent: 1 - Cyndi Sharkey

3. Sandy City Development Report

4. Director's Report

Adjournment

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256