



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Agenda

Planning Commission

Dave Bromley
Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Jamie Tsandes
Steven Wrigley
Craig Kitterman (Alternate)
Jennifer George (Alternate)

Thursday, May 2, 2024

7:00 PM

Council Chambers and Online

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

https://us02web.zoom.us/webinar/register/WN_3nfUmPR_Q3WssxyksyRxdg

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/87690948618>

Or join via phone by dialing:

US: +1 253 205 0468 or +1 253 215 8782 or +1 346 248 7799 or +1 669 444 9171 or +1 669 900 6833

(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/87690948618>

Webinar ID: 876 9094 8618

Passcode: 579652

4:00 PM FIELD TRIP

1. [24-163](#) Field Trip will depart from the west steps of City Hall.

Attachments: [Map](#)

4:45 PM EXECUTIVE SESSION

General Plan discussion held in the Community Development Conference Room.

7:00 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

Public Meeting Items

2. [CUP0401202](#) Bullett Accessory Structure (Conditional Use Permit)
[4-006740](#) 3014 E. Old Dimple Dell Farm Ln.
[Community #29, The Dell]

Attachments: [Staff Report](#)
3. [SPX0201202](#) Alta Canyon Two Subdivision (Special Exception Review)
[4-006707](#) 9855 S. 3100 E.
[Community #30, Granite]
4. [SUB0713202](#) Alta Canyon Two Subdivision (Preliminary Subdivision Review)
[3-006568](#) 9855 S. 3100 E.
[Community #30, Granite]

Attachments: [Staff Report](#)
[Exhibit A](#)
[Exhibit B](#)

Administrative Business

1. Minutes

[24-164](#) Minutes

Attachments: [04.18.2024 Minutes \(DRAFT\)](#)

2. Sandy City Development Report

[24-165](#) Development Report

Attachments: [05.01.2024 DEV REPORT](#)

3. Director's Report

Adjournment

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

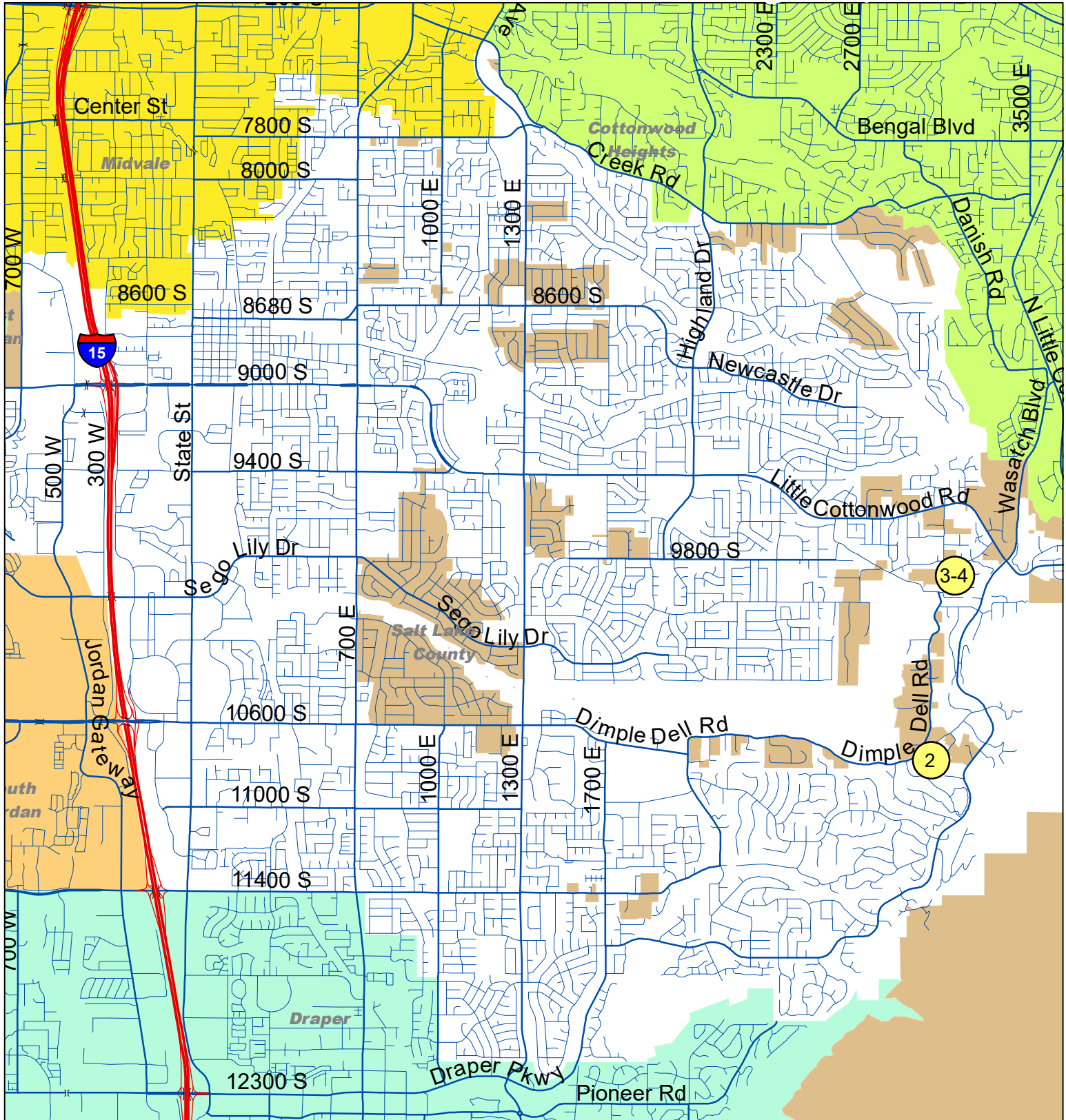
File #: 24-163, **Version:** 1

Date: 5/2/2024

Field Trip will depart from the west steps of City Hall.

Planning Commission Field Trip

May 2, 2024



Legend



Locations to visit individually,
with agenda item number



Locations to be visited on tour,
with agenda item number

**See Planning Commission agenda
packet for specific addresses and
details regarding the application.**



PRODUCED BY THE
COMMUNITY DEVELOPMENT DEPARTMENT



Staff Report

File #:
CUP04012024-006740,
Version: 1

Date: 5/2/2024

Agenda Item Title:

Bullett Accessory Structure (Conditional Use Permit)
3014 E. Old Dimple Dell Farm Ln.
[Community #29, The Dell]

Presenter:

Sarah Stringham

Description/Background:

The applicant, Dave Koncar on behalf of the owner, Mike Bullett, is requesting approval of a conditional use permit to allow for an accessory structure in the front yard area with additional size and height for a property located at 3014 E. Old Dimple Dell Farm Ln. The proposed structure is 1,993 square feet square feet and 20 feet 10.5 inches tall. The design of the exterior and roof is proposed to match the exterior of the main dwelling. See application materials for details in Exhibits A & B.

See full staff report for details.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission approve a Conditional Use Permit for an accessory structure with additional height, square footage, and reduced setbacks as described in the staff report for the property located at 3014 E. Old Dimple Dell Farm Ln. based on the following findings and subject to the following conditions:

Findings:

1. There is an existing 168 square foot accessory structure on the property that will remain.
2. The proposed structure would be consistent with Section 21-11-2(a)(1)(b) for properties within an "A" designated zone to allow an accessory structure in the front yard area.
3. Staff finds that the proposed structure meets the intent of Section 21-11-2 provided the applicant complies with the following conditions:

Conditions:

1. That the structure be located as per the enclosed site plan.
2. That the structure shall not be used as an accessory dwelling unit and record an affidavit on the property affirming the same.

File #:
CUP04012024-006740,
Version: 1

Date: 5/2/2024

3. The attached carport structure on the east side property be removed.
4. That the applicant complies with all Building & Safety, and Fire & Life Codes.
5. That the applicant be responsible for meeting all provisions of the Sandy City Development Code, and all conditions of approval imposed by the Planning Commission.
6. That this Conditional Use Permit be reviewed upon a legitimate complaint.



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE
OFFICER

Staff Report Memorandum May 2, 2024

To: Planning Commission
From: Community Development Department
Subject: Bullett Accessory Structure (Conditional Use Permit)
3014 E. Old Dimple Dell Farm Ln.
[Community #29, The Dell]

CUP04012024-006740
R-1-20A
.96 acres

Public Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, and at public locations.

Request

The applicant, Dave Koncar on behalf of the owner, Mike Bullett, is requesting approval of a conditional use permit to allow for an accessory structure in the front yard area with additional size, height, and reduced setbacks for a property located at 3014 E. Old Dimple Dell Farm Ln. The proposed structure is 1,993 square feet and 20 feet 10.5 inches tall. The design of the exterior and roof is proposed to match the exterior of the main dwelling. See application materials for details in Exhibits A & B.

Background

The subject property is approximately .96 acres (41,828 square feet) in the R-1-20A zone. The subject property is lot 5 of the Old Dimple Dell Farm subdivision. Properties to the north, south, and east are single family residential zoned R-1-20A. Property to the west are single family residential in unincorporated Salt Lake County.



CUP04012024-006740
Conditional Use
3014 E Old Dimple Dell Farm Ln
Sandy City, UT
Community Development Department

Public Notice and Outreach

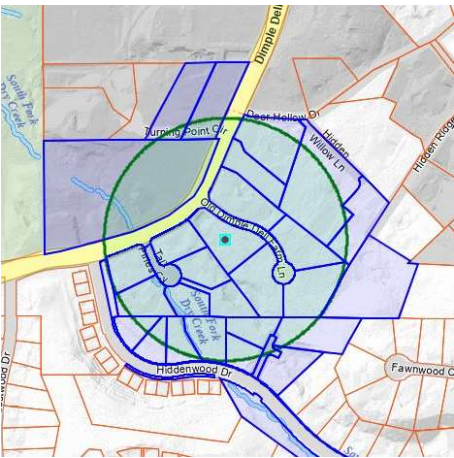
This item has been noticed to property owners within 500 feet of the subject area by mail. A neighborhood meeting was held on April 17th and two neighbors attended. The following comments were made:

1. Neighbor is supportive and thinks it looks like a great project
2. Question about the roof overhangs and if they were included in the setbacks

No phone calls or emails have been received.

Analysis

The property is a corner lot with 41,828 square feet. The applicant’s proposed project is to build an accessory structure that is 1,993 square feet and 20 feet 10.5 inches high. They are proposing to place the structure 10 feet from the rear property line.



The structure would be used as an office space, garage, and storage space. There is a room for an office and a half bath with a sink and toilet and a washer and dryer. The exterior building elevations show that the previous sliding barn doors have been removed and replaced with windows. The interior space will be altered to add more to the garage area for storage. The proposed accessory structure is planned to match the exterior and roof to that of the house. There is an existing accessory structure used as an equipment shed for the pool that is 168 square feet. This structure is being proposed to remain. The total size of both accessory structures is 2,161 square feet. The driveway is currently gravel and they are proposing to put in a concrete driveway as part of the proposed accessory structure project. The property is in the Sensitive Area Overlay zone. The City Engineer has reviewed the project, and a grading plan will not be required.

Building Size

The proposed structure is 1,993 square feet. The allowed size for lots of 40,000 square feet or larger is 2,000 square feet. Section 21-11-2(a)(2)(a)(2) of the Sandy City Development Code states that no single accessory building shall exceed 1,500 square feet, unless the planning Commission approves a larger size through the conditional use permit process. The property has one other accessory structure that is approximately 168 square feet. The total size of the two accessory structures is 2,161 square feet. The property is in the R-1-20A zone and just under one acre at 41,828 square feet. Section 21-11-2(a)(2)(d) of the Sandy City Development Code states that any properties over 40,000 square feet, or with an "A" designation, the total maximum square footage of all accessory buildings on the property may be increased up to 50 percent larger than the permitted size through a conditional use permit. The Planning Commission shall consider the scale of the buildings in relation to the immediate surroundings, the nature of the zone and land uses in the immediate vicinity, architectural design, landscaping, access, proposed use, impact upon adjacent properties, in addition to other criteria normally considered during the conditional use permit process. The two structures have 2,161 square feet and are approximately 8% larger than the allowed maximum of 2,000 square feet without a conditional use permit. A list of accessory structures and their size in the nearby vicinity is included.

Address	Accessory Structure (sq/ft)
3028 Old Dimple Dell Farm Ln.	1,350
3015 Old Dimple Dell Farm Ln.	2,800
3019 E. Hiddenwood Dr.	680
10786 S. Tall Pines Cv.	310
Project Address	Accessory Structure
3014 E. Old Dimple Dell Farm Ln	1,993

Building Height and Setbacks

The accessory structure is proposed to be 20 feet and 10.5 inches high to the peak of the roof. The additional height is in effort to match the roof pitch of the main dwelling. Section 21-11-2(a)(1)(b) of the Sandy City Development Code states

that properties within an “A” designated zone, with at least 40,000 square feet, shall be allowed to build an accessory structure, for animals or personal storage, within the front and/side yard areas, provided the structure is beyond the required setbacks for the main dwelling units. The accessory structures shall be limited to 20 feet in height, 2,000 square feet, and be at least 30 feet from neighboring dwelling units. The structure must be in scale and character with the main dwelling unit. Any exception for the height or setback requirements may be reviewed by the Planning Commission through the conditional use permit process. The lot is a corner lot and therefore both street frontages fall under the definition of a front yard. The proposed setbacks for the structure are approximately 90 feet from the front northwest setback, 55 feet from the front northeast setback, and 10 feet from the rear property line. The accessory structure is approximately 90 feet from the neighboring dwelling unit to the rear of the property. The applicant is requesting additional height for the structure and the rear setback. The rear setback should follow the setbacks for the main dwelling which is 30 feet. The applicant is requesting to reduce the rear setback to 10 feet.

Conditional Use Standards

The City may impose conditions on a conditional use based on certain standards of review found in section 21-33-04 of Sandy City Land Development Code. The following items from that list are applicable to this particular request and merit discussion or additional consideration by the Planning Commission (staff analysis is found below in *italics*):

Sec. 21-33-4. Conditions.

In order to achieve compliance with the standards set forth herein, the City may impose conditions that address:

- (1) Size, configuration and location of the site and the proposed site plan layout.

The proposed structure would be in the rear yard, 20 feet 10.5 inches tall to peak and would be 1,993 square feet. The structure would be sited 10 feet from the rear property line.

- (2) Proposed site ingress and egress to existing and proposed roads and streets.

The existing gravel driveway will have concrete poured to allow access to the proposed structure.

- (6) Mass, size, number, location, design, exterior features, materials, and colors of buildings, structures and other facilities.

The proposed accessory structure, roof materials, and building materials will be consistent with the existing home.

There is an 168 square foot equipment shed that will remain.

- (14) Measures to assure compliance with all conditions and requirements of approval, including, but not limited to, bonds, letters of credit, improvement agreements, agreements to conditions, road maintenance funds, and restrictive covenants.

To be reviewed upon legitimate complaint.

- (15) Such other conditions determined reasonable and necessary by the City to allow the operation of the proposed conditional use, at the proposed location in compliance with the requirements of this title.

That the applicant complies with all Building & Safety, and Fire & Life Codes.

That the applicant record an affidavit to affirm that this structure will not be used as an accessory apartment.

Staff Concerns

Staff is concerned about a carport that is attached to the main dwelling that does not appear to be within the required 10' setback, nor was a building permit found for this structure.

Recommendation

Staff recommends that the Planning Commission approve a Conditional Use Permit for an accessory structure with additional height, square footage, and reduced setbacks as described in the staff report for the property located at 3014 E. Old Dimple Dell Farm Ln. based on the following findings and subject to the following conditions:

Findings:

1. There is an existing 168 square foot accessory structure on the property that will remain.
2. The proposed structure would be consistent with Section 21-11-2(a)(1)(b) for properties within an “A” designated zone to allow an accessory structure in the front yard area.
3. Staff finds that the proposed structure meets the intent of Section 21-11-2 provided the applicant complies with the following conditions:

Conditions:

1. That the structure be located as per the enclosed site plan.
2. That the structure shall not be used as an accessory dwelling unit and record an affidavit on the property affirming the same.
3. That the carport structure attached to the main dwelling on the east side of the property be removed.
4. That the applicant complies with all Building & Safety, and Fire & Life Codes.
5. That the applicant be responsible for meeting all provisions of the Sandy City Development Code, and all conditions of approval imposed by the Planning Commission.
6. That this Conditional Use Permit be reviewed upon a legitimate complaint.

Planner:



Sarah Stringham
Planner

File Name: S:\USERS\PLN\STAFFRPT\2024\CUP04012024-006740 - BULLETT ACC STRUCTURE\STAFF REPORT BULLETT ACC STRUCTURE - CUP.DOCX

Exhibit "A"



Sandy City Planning Commission:

On behalf of Mike Bullett, property owner of 3014 E Old Dimple Dell Farm Lane in Sandy Utah, I would like to request approval of a conditional use permit for a proposed detached garage structure on said property. The building is of unique design and is 493 square feet over the required 1500 square foot limit and the overall height of the building is 10 ½ inches taller than the required 20 foot limit.

Mr Bullett has designed this structure to have minimal impact on his property as well as the neighboring properties. This lot borders Dimple Dell Road on its west property line, the proposed garage is approximately 90 feet away from the west property line and Dimple Dell Road and sits back 55 feet from the north property line along Old Dimple Dell Farm Lane. In addition, the lot has a gradual slope from east to west with the home sitting to the east side of the property. From the homes existing garage floor elevation to the proposed garage floor elevation is approximately 17 feet of drop in grade, this helps to tuck the 20 foot 10 ½ inch tall detached structure into the grade of the lot and keep it well below the roof lines of the home. The proposed structure will be of same high quality of exterior finishes as the current home and will complement this property as well as surrounding properties.

Thank you,

Dave Koncar

Exhibit "B"

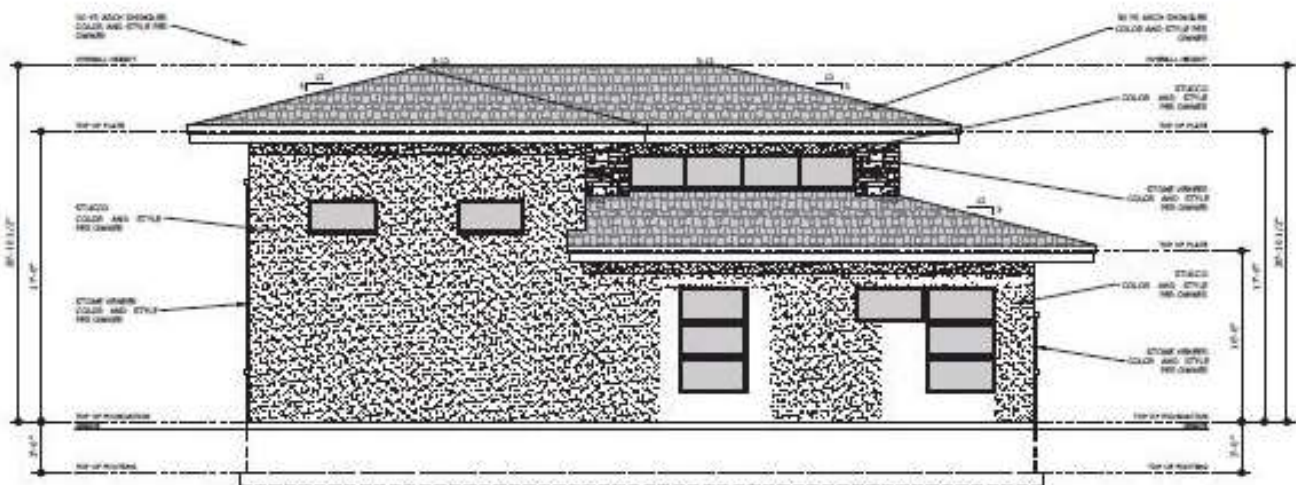


Exhibit "B" Continued



FRONT ELEVATION

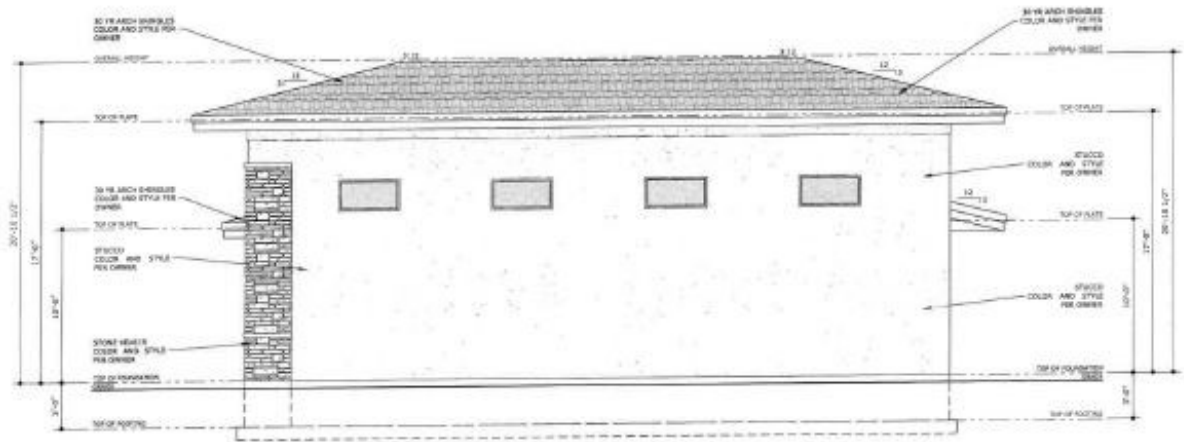
SCALE: 1/8" = 1'-0" (1:8 OR 1:16 PAPER) OR
1/4" = 1'-0" (2:4 OR 3:8 PAPER)



REAR ELEVATION

SCALE: 1/8" = 1'-0" (1:8 OR 1:16 PAPER) OR
1/4" = 1'-0" (2:4 OR 3:8 PAPER)

Exhibit "B" Continued



RIGHT ELEVATION

SCALE: 1/8" = 1'-0" (11 X 17 PAPER) OR
1/4" = 1'-0" (22 X 34 PAPER)



LEFT ELEVATION

SCALE: 1/8" = 1'-0" (11 X 17 PAPER) OR
1/4" = 1'-0" (22 X 34 PAPER)

Exhibit "B" Continued

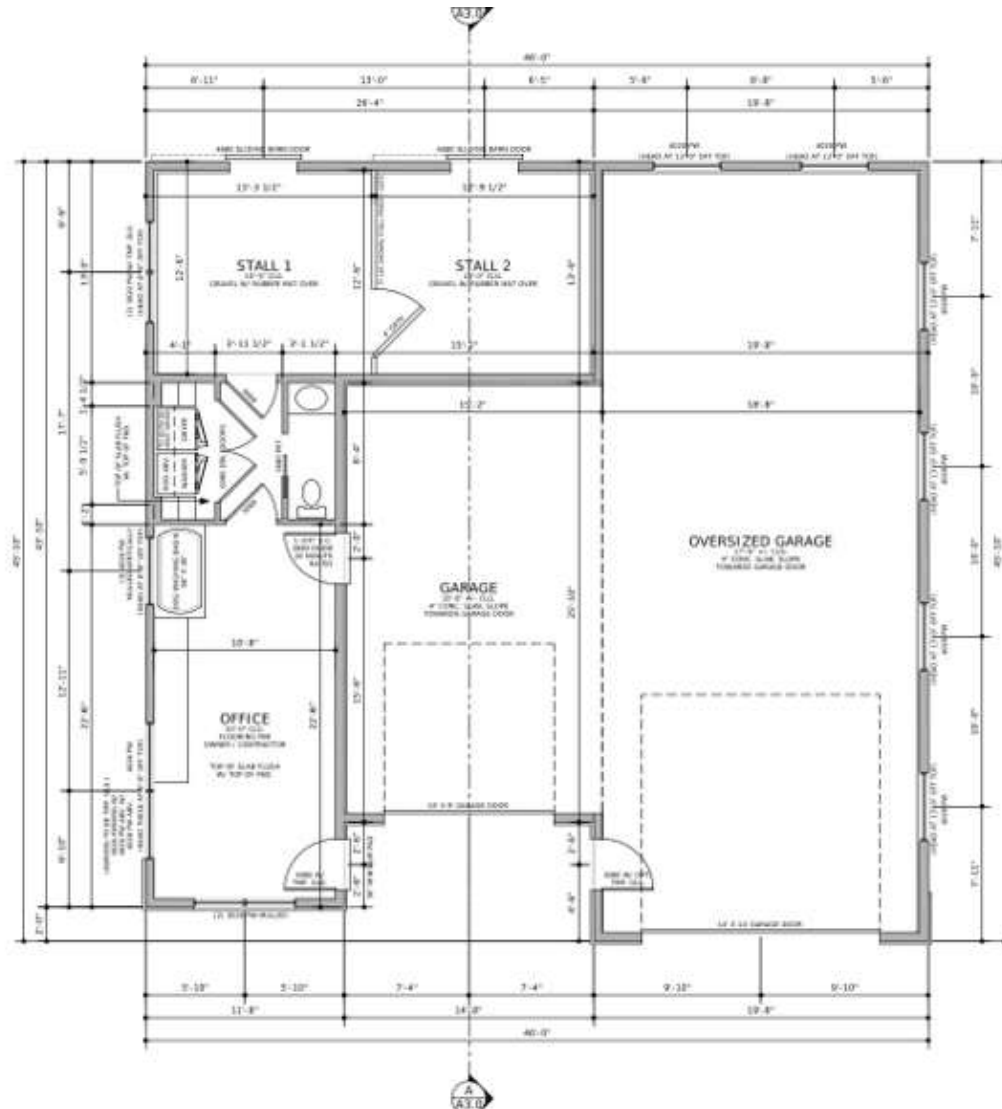
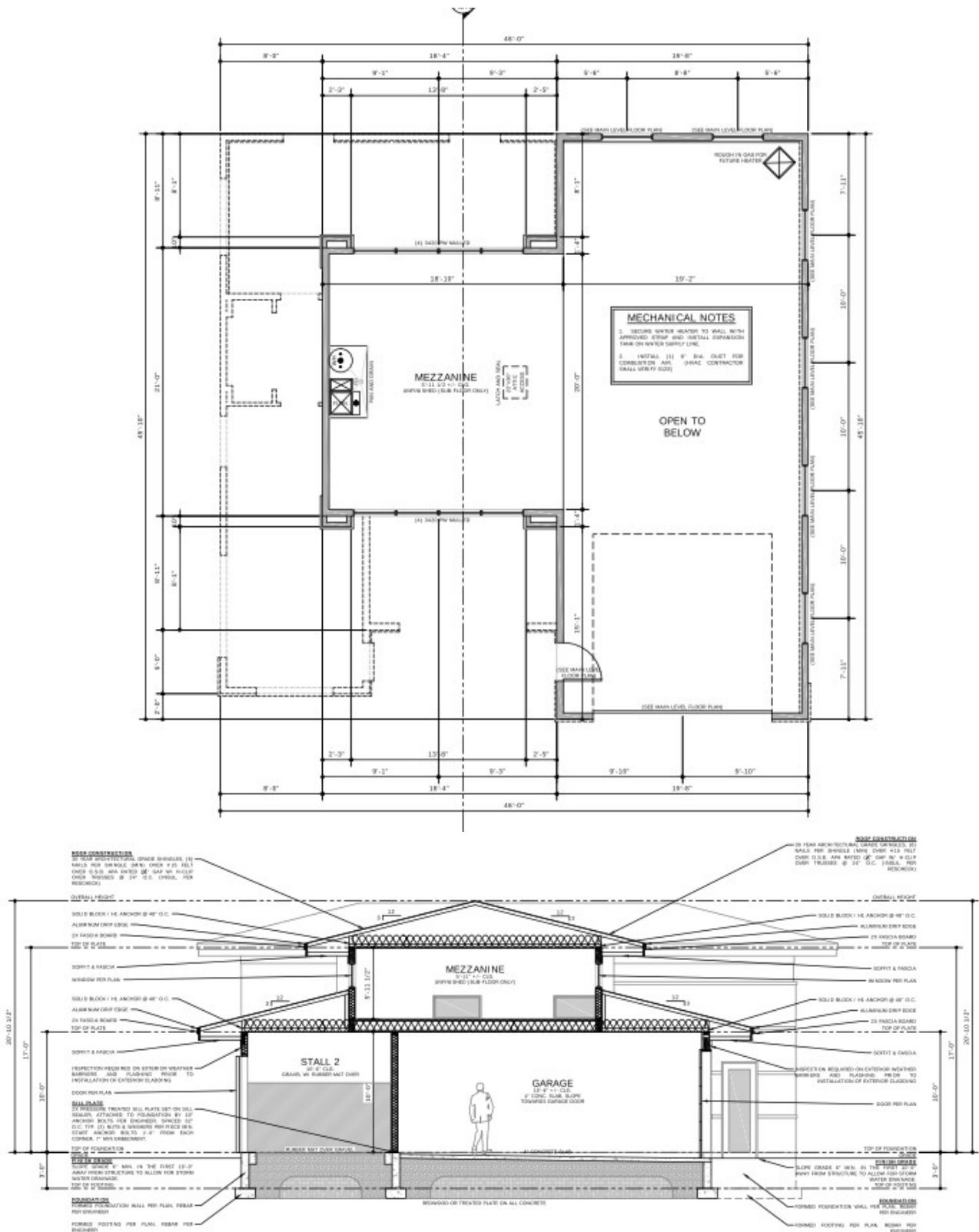


Exhibit "B" Continued





Staff Report

File #:

SPX02012024-006707,

Version: 1

Date: 5/2/2024

Agenda Item Title:

Alta Canyon Two Subdivision (Special Exception Review)
9855 S. 3100 E.
[Community #30, Granite]

Presenter:

Thomas Irvin, Senior Planner

Description/Background:

The applicant and property owner, Dana Conway, is requesting preliminary subdivision review for the property at 9855 S. 3100 E. The subdivision would divide the 1.79 acres subject property into four new single-family residential lots. Lots 2 and 3 of the proposed subdivision are configured as flag lots and will have access via a private road to 3100 E. (see Exhibit "A" to review application materials). The applicant is also requesting two special exceptions; 1) to develop the land using flag lots, 2) to create a private road over 150 feet in length.

The staff report and exhibits are attached in the associated subdivision file (SUB07132023-006568) for full details of this request.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission approve special exceptions to create two flag lots on the property served by a private street that is longer than 150 feet in length for the Alta Canyon 2 Subdivision based on the following findings:

Findings:

1. That the proposed subdivision is an infill development.
2. That the proposed configuration equitably balances the needs of the public and presents the most efficient use of the land with standard lot shapes.
3. That the City Engineer and Director have recommended approval.
4. That the proposed street width conforms with Fire Access Road requirements.
5. A full hammerhead turn-around and fire hydrant are shown at the end of this private lane and will be built with the other infrastructure improvements.

File #:
SPX02012024-006707,
Version: 1

Date: 5/2/2024



Staff Report

File #:

SUB07132023-006568,

Version: 1

Date: 5/2/2024

Agenda Item Title:

Alta Canyon Two Subdivision (Preliminary Subdivision Review)
9855 S. 3100 E.
[Community #30, Granite]

Presenter:

Thomas Irvin, Senior Planner

Description/Background:

The applicant and property owner, Dana Conway, is requesting preliminary subdivision review for the property at 9855 S. 3100 E. The subdivision would divide the 1.79 acres subject property into four new single-family residential lots. Lots 2 and 3 of the proposed subdivision are configured as flag lots and will have access via a private road to 3100 E. (see Exhibit "A" to review application materials). The applicant is also requesting two special exceptions; 1) to develop the land using flag lots, 2) to create a private road over 150 feet in length.

The staff report and exhibits are attached for full details of this request.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission determine that preliminary subdivision review for the Alta Canyon Two Subdivision located at 9855 S. 3100 E. is substantially complete based on the following findings and subject to the following conditions:

Findings:

1. That the proposed configuration is an efficient use of the land.
2. That the various City Departments and Divisions have preliminarily approved the proposed subdivision plat.

Conditions:

1. That public street improvements be carried out in accordance with plans and profiles stamped and approved by the Sandy City Public Works Department, and specifically:
 - a. That 3100 East be further dedicated to a 32-foot half-width public street right-of-way and improved in accordance with Sandy City's standard specifications. That a five-foot sidewalk and five-foot parkstrip be provided along the full street frontage.
 - b. That appropriate measures be taken by the developer/builder to insure minimal problems with mud tracking and blowing soil/sand during construction.

File #:
SUB07132023-006568,
Version: 1

Date: 5/2/2024

-
- c. That any relocation of utilities required by City Ordinance be the responsibility of the developer.
 2. That all city provisions, codes, and ordinances are adhered to during the review, construction, and operations process of this project.
 3. That the proposed lot sizes and frontages conform to the requirements of the R-1-15 Zone.
 4. That the applicant works with staff on a tree preservation plan to ensure that all healthy mature trees be preserved.



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

Staff Report Memorandum May 2, 2024

To: Planning Commission
From: Community Development Department
Subject: Alta Canyon Two Subdivision
9855 S. 3100 E.
[Community #30, Granite]

SUB01042023-006568
SPX002012024-006707
R-1-15
1.79 Acres

Public Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, and a sign posted on site.

Request

The applicant and property owner, Dana Conway, is requesting preliminary subdivision review for the property at 9855 S. 3100 E. The subdivision would divide the 1.79 acres subject property into four new single-family residential lots. Lots 2 and 3 of the proposed subdivision are configured as flag lots and will have access via a private road to 3100 E. (see Exhibit "A" to review application materials). The applicant is also requesting two special exceptions; 1) to develop the land using flag lots, 2) to create a private road over 150 feet in length.

Background

The subject property is approximately 1.79 acres in the R-1-15 zone. It does not reside in any overlay zones. The previous use was a single-family home which was recently demolished. The property is surrounded by single-family homes which are also in the R-1-15 zone. A church is located southwest of the property across 3100 East. The properties on the west side of 3100 East are within Salt Lake County's jurisdiction but are also zoned R-1-15.



SUB07132023-006568
Subdivision
9855 S 3100 E

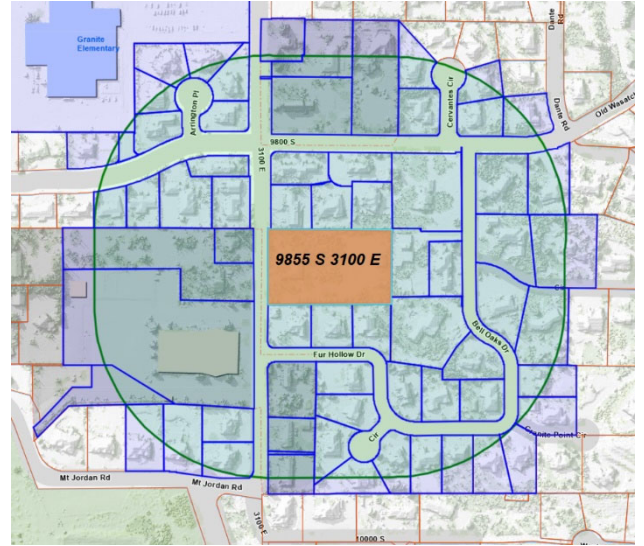
Sandy City, UT
Community Development Department

Property Case History	
Case Number	Case Summary
ANX-5-13-2908	Fur Hollow Annexation in 2013

Public Notice and Outreach

Notices were mailed to property owners within 500 feet of the subject property and affected entities. The notice was posted to the Utah Public Notice website and the city website. A physical copy of the notice was posted at City Hall and a public notice sign was placed on the subject property.

Staff held a virtual neighborhood meeting via Zoom on April 22, 2024. Residents were primarily concerned that the new homes would be compatible with existing homes in the neighborhood. (see minutes in exhibit “B”).

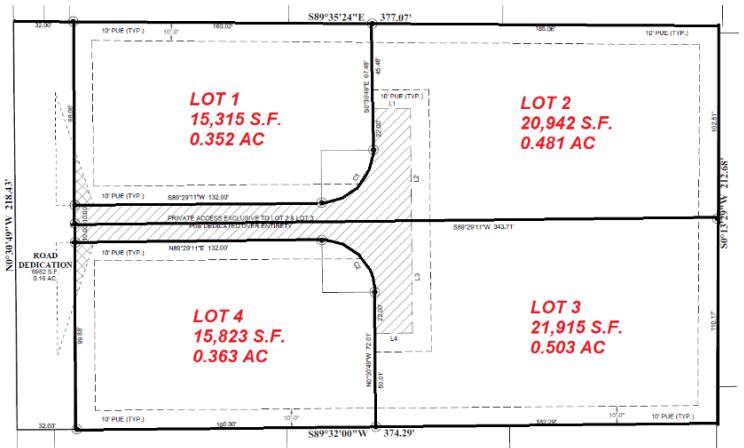


Analysis

The applicant is proposing the creation of a 4-lot single-family residential subdivision on approximately 1.8 acres. The property is 377 feet deep and does not have sufficient street frontage to create more than two legal lots. Therefore, the applicant is proposing the creation of two flag lots at the rear of the property served by a private street 160 feet in length. An emergency vehicle turnaround and fire hydrant are being proposed to serve the back properties.

Flag Lots

Section 21-21-22 of the Sandy City Development Code allows flag or L-shaped lots to be used if approved as a special exception by the Planning Commission. The purpose of a flag lot is to encourage the efficient use of land, particularly for infill developments. The code lists several criteria to be used by the Planning Commission when determining whether or not to approve the use of flag lots. The criteria that likely require the most consideration from the Planning Commission are as follows (see [section 21-21-22](#)):



- 1) A flag or L-shaped lot shall be comprised of a staff portion contiguous with the flag portion thereof.
- 2) The staff portion of said lot shall be regulated as a private lane and shall front on and be contiguous to a dedicated public street or private street.
- 3) No building or construction, except for driveways, shall be allowed on the staff portion of said lot, unless the minimum width thereof is the same or greater than the minimum width for a lot as allowed in the underlying zone (excluding entrance features and street lights).
- 4) The front side of the flag portion of said lots shall be deemed to be that side nearest to the dedicated public street or private street upon which the staff portion fronts, unless otherwise determined by staff on a case-by-case basis.
- 5) The staff portion of said lots shall be deemed to end, and the flag portion of said lots shall be deemed to commence at the extension of the front lot line.
- 6) The square footage located in the flag portion of said lot, which shall be exclusive of the square footage located

- in the staff portion of said lot, shall be the same or greater than the minimum square footage as required in the underlying zone.
- 7) The front, side and rear yard requirements of the flag portion of said lots shall be the same as is required in the underlying zone.
 - 8) No more than two flag lots can be served by the staff portion.
 - 9) The maximum number of flag lots in the subdivision shall be not more than 20 percent of the total number of lots within the subdivision, unless otherwise approved by the Planning Commission. The Planning Commission may allow more than 20 percent if the subdivision is an infill development and the lot configuration is the most efficient use of land.
 - 10) The approved building envelope shall be illustrated upon the final plat.

Response to 1-3: The staff portion of the flag lots is 20 feet wide and 160 feet long which meets this requirement. Because the staff is over 150 feet in length, an additional special exception has been submitted and emergency vehicle turn-around along with a fire hydrant have been provided.

Response to 4: The two flag lots as proposed have their frontage from 3100 East, which is located to the west of the lots and is a dedicated public street. The front sides of lots 2 and 3 will be the western property line.

Response to 7 and 10: Buildable areas will be shown on the plat and will reflect the requirements of the underlying zone.

Response to 8 and 9: The proposal is for the creation of two flag lots with a common staff portion. While the creation of two flag lots represents 50 percent of the subdivision, this is an infill development and staff believes that the lot configuration is the most efficient use of the land.

Private Street Length

The proposal calls for the creation of a private street that exceeds 150 feet. Section 21-21-11(e)5 of Sandy's development code allows the Planning Commission to grant a special exception to exceed this 150-foot limitation in length after a positive recommendation from the Director and City Engineer after considering several factors including vehicle turn-around space, slopes, the accessibility of a fire hydrant, and service and delivery requirements. The Director and City Engineer have recommended approval.

The applicant will be required to construct right-of-way improvements along 3100 E. to comply with Sandy City's street requirements. A 32-foot dedication will be provided which will include improvements consisting of a 2-1/2 (2.5') curb and gutter, a five-foot (5') parkstrip, and a five-foot (5') sidewalk.

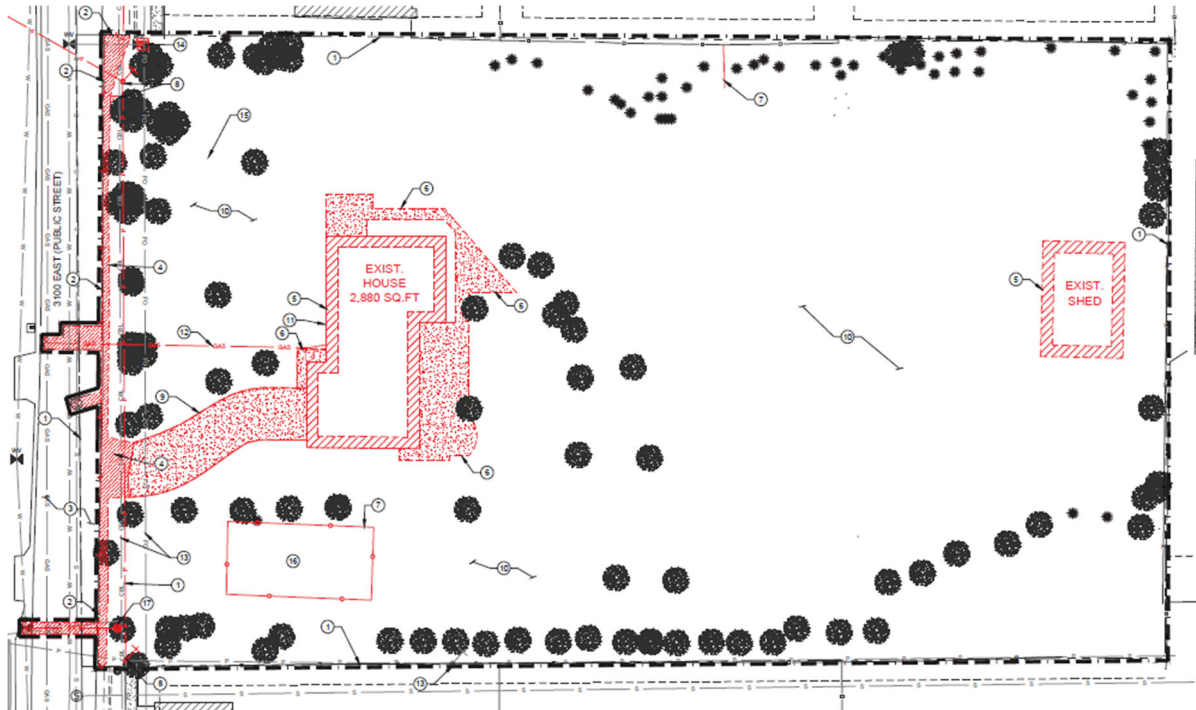
Zoning Review

All design elements, setbacks, and building height regulations will be enforced through the building permit process. All lots conform with the lot size and frontage requirements of the underlying zoning district after taking the flag lot configuration into account.

Staff Concerns

The private lane that will serve as access to lots 2 and 3 will be owned in part by the eventual owners of each lot. The developer will need to record a shared access and maintenance agreement between the owners of the two lots to ensure continued use of the lane by both parties. The private lane serves as an emergency response access and therefore needs to be kept clear at all times.

The Parks & Recreation Department is concerned about the disposition of many of the mature trees on the site. City code requires that a full tree survey be conducted and reviewed by the City's Urban Forester and Director. Site design may need to be modified to protect these trees and their root zones both during and after construction.



Staff Recommendations

Motion #1 Special Exceptions

Staff recommends that the Planning Commission approve special exceptions to create two flag lots on the property served by a private street that is longer than 150 feet in length for the Alta Canyon 2 Subdivision based on the following findings:

Findings:

1. That the proposed subdivision is an infill development.
2. That the proposed configuration equitably balances the needs of the public and presents the most efficient use of the land with standard lot shapes.
3. That the City Engineer and Director have recommended approval.
4. That the proposed street width conforms with Fire Access Road requirements.
5. A full hammerhead turn-around and fire hydrant are shown at the end of this private lane and will be built with the other infrastructure improvements.

Motion #2, Subdivision Review

Staff recommends that the Planning Commission determine that preliminary subdivision review for the Alta Canyon Two Subdivision located at 9855 S. 3100 E. is substantially complete based on the following findings and subject to the following conditions:

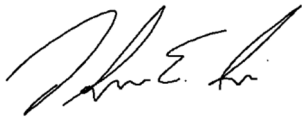
Findings:

1. That the proposed configuration is an efficient use of the land.
2. That the various City Departments and Divisions have preliminarily approved the proposed subdivision plat.

Conditions:

1. That public street improvements be carried out in accordance with plans and profiles stamped and approved by the Sandy City Public Works Department, and specifically:
 - a. That 3100 East be further dedicated to a 32-foot half-width public street right-of-way and improved in accordance with Sandy City's standard specifications. That a five-foot sidewalk and five-foot parkstrip be provided along the full street frontage.
 - b. That appropriate measures be taken by the developer/builder to insure minimal problems with mud tracking and blowing soil/sand during construction.
 - c. That any relocation of utilities required by City Ordinance be the responsibility of the developer.
2. That all city provisions, codes, and ordinances are adhered to during the review, construction, and operations process of this project.
3. That the proposed lot sizes and frontages conform to the requirements of the R-1-15 Zone.
4. That the applicant works with staff on a tree preservation plan to ensure that all healthy mature trees be preserved.

Planner:

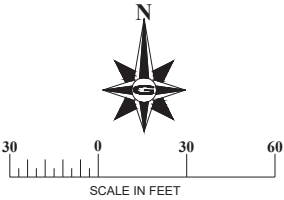


Thomas Irvin
Senior Planner

File Name: S:\USERS\PLN\STAFFRPT\2023\SUB07132023-006568 ALTA CANYON 2 SUBDIVISION\PLANNING COMMISSION\ALTA CANYON 2 STAFF REPORT SUB01042023-006568.DOCX

Exhibit "A" – *See the attached file for full information*

Exhibit "B" - *See the attached file for full information*



STREET MONUMENT
3100 EAST &
LITTLE COTTONWOOD ROAD
FOUND FLAT TOP BRASS 2"

BASIS OF BEARING
N 0°05'50"E 1707.89 (M) 1707.94" (R)

CENTER SECTION 11
T3S, R1E, SLB&M
FOUND ROUND TOP BRASS 2"
BENCHMARK= 5143.63'

PRELIMINARY & FINAL PLAT OF
ALTA CANYON TWO
LOCATED IN THE SOUTHEAST 1/4 OF SECTION 11, TOWNSHIP 3 SOUTH,
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
SANDY, UTAH

S 89°35'17"E 2663.34'

E 1/4 CORNER SECTION 11
T3S, R1E, SLB&M
FOUND LEAD PLUG WITH TACK

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	BEARING
C1	43.98	28.00	90°00'00"	28.00	39.60	S44°29'11"W
C2	43.98	28.00	90°00'00"	28.00	39.60	S45°30'49"E

Line Table		
LINE #	LENGTH	DIRECTION
L1	20.000	N89°29'11"E
L2	60.000	N0°30'49"W
L3	60.000	N0°30'49"W
L4	20.000	N89°29'11"E

LEGEND	
	SECTION CORNER (LOCATED)
	SECTION CORNER (NOT-LOCATED)
	STREET MONUMENT
	MONUMENT, AS NOTED
	UDOT OR BOR MONUMENT, AS NOTED
	PROPERTY CORNER (SET, AS NOTED)
	NAIL & WASHER "GILSON ENG"
	LEAD PLUG
	PROPERTY CORNER (FOUND, AS NOTED)
	MONUMENT LINE
	TIE LINE
	ROW LINE
	BOUNDARY LINE
	LOT LINE
	EASEMENT/P.U.E.
	CHAIN LINK FENCE
	VINYL/WOOD FENCE
	WIRE FENCE
	BLOCK FENCE
	CONCRETE
	GRAVEL ROAD
	ACCESS AND PUE
	SIGHT TRIANGLE

PLAT NOTES:

- THE PURPOSE OF THIS SUBDIVISION PLAT IS TO:
CREATE 4 LOTS
DEDICATE ROAD IN 3100 EAST
DEDICATE PUBLIC UTILITY EASEMENTS
CREATE ACCESS EASEMENTS
CREATE PRIVATE UTILITY EASEMENTS
- LOT 2 & LOT 3 ARE TO SHARE AN EXCLUSIVE ACCESS EASEMENT ACROSS THE STAFF PORTION OF THE FLAG LOTS AND EXTENDING INTO LOT 2 & LOT 3
- THE ENTIRETY OF THE ACCESS EASEMENT PORTIONS OF LOT 2 & LOT 3 ARE DEDICATED AS PUBLIC UTILITY EASEMENT
- LOT 1 & LOT 2 ARE TO HAVE INDIVIDUAL ACCESS POINTS OFF OF 3100 EAST
- THE HEIGHT OF PLANTINGS AND IMPROVEMENTS IS RESTRICTED IN THE SIGHT TRIANGLE AREAS- REFER TO THE CONDITIONS OF APPROVAL.
- REFER TO ALTA/NSPS PREPARED FOR CONWAY ET AL FILED WITH THE SALT LAKE COUNTY SURVEYOR'S OFFICE
- PROPERTY CORNERS TO BE SET WITH REBAR AND CAP OR NAIL AND WASHER AT THE TIME OF CONSTRUCTION

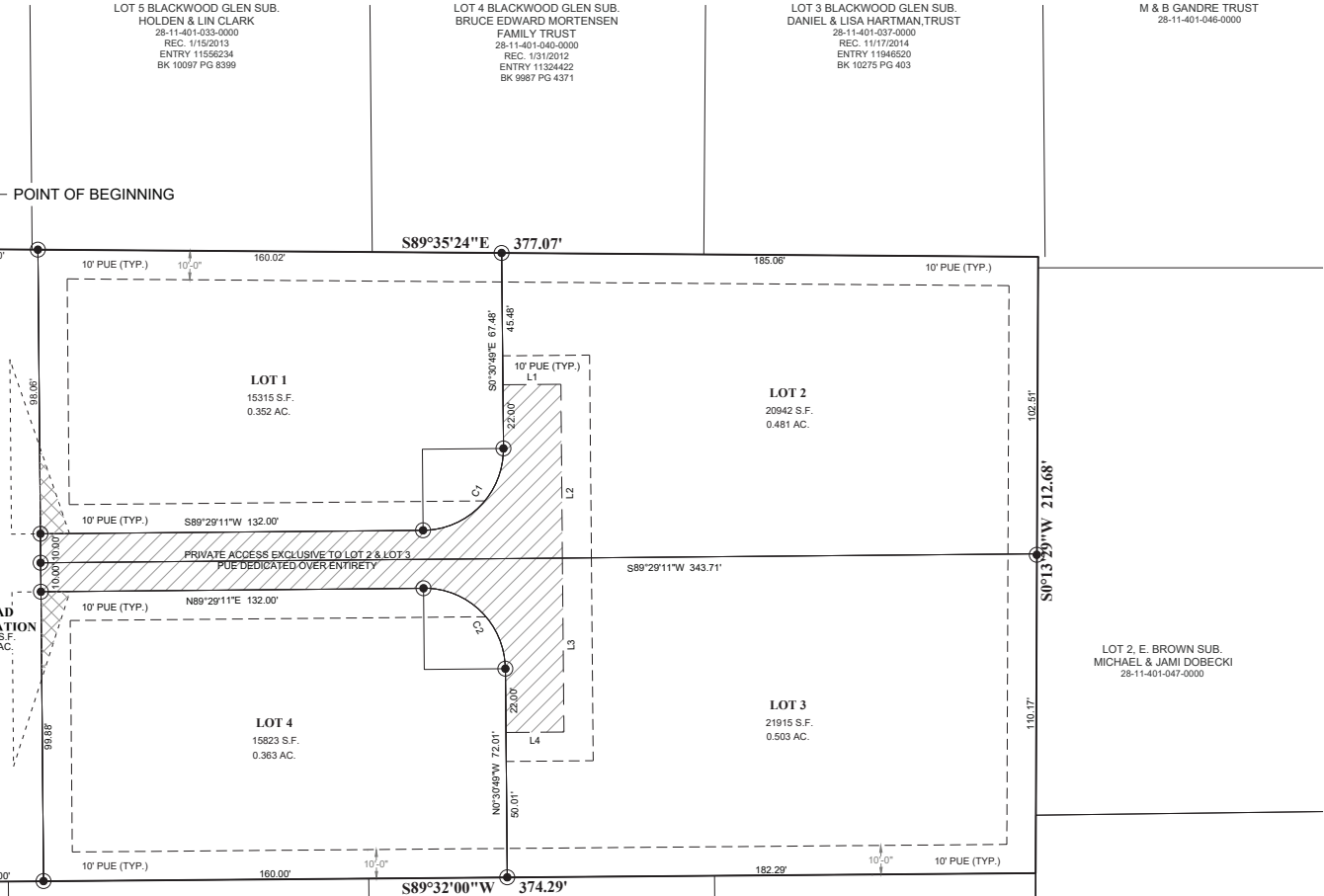
3100 EAST STREET
(PUBLIC STREET)

S 0°30'49" E 273.55' (TIE)

N0°30'49"W 218.43'

S 0°26'59"E 2637.60' (M)

S 0°30'49" E 2635.48' (R)



LOT 1 FUR HOLLOW SUB.
KIMBERY DENADEL
28-11-401-015-0000
REC. 6/24/2016
ENTRY 12507230
BK 10445 PG 4526

LOT 2 FUR HOLLOW SUB.
KYLE & REBEKAH JONES
28-11-401-016-0000
REC. 6/04/2004
ENTRY 6081555
BK 8997 PG 6883

LOT 3 FUR HOLLOW SUB.
JAMES & LUCINDA
PASCHAL 28-11-401-017-0000
REC. 5/03/1991
ENTRY 5061594
BK 6313 PG 146

SAMUAL ADAMS,
& MARA FEATHERSTONE
28-11-401-021-0000
REC. 10/09/1998
ENTRY 7115554
BK 8121 PG 2205

OWNER'S ACKNOWLEDGEMENT

STATE OF _____
COUNTY OF _____

ON THIS _____ DAY OF _____, A.D., 2023, BEFORE ME _____ A NOTARY PUBLIC, PERSONALLY APPEARED _____

PRINT NAME: _____

PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO IN THE FOREGOING OWNER'S DEDICATION AND CONSENT REGARDING ALTA CANYON TWO AND WAS SIGNED BY HIM/HER/THEY AND ACKNOWLEDGE THAT HE/SHE/THEY EXECUTED THE SAME FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

COMMISSION #: _____
MY COMMISSION EXPIRES _____
SIGNATURE _____
NAME _____

A NOTARY PUBLIC IN UTAH

SURVEYOR'S CERTIFICATE

I, JOSH F. MADSEN DO HEREBY CERTIFY THAT I AM A LICENSED LAND SURVEYOR AND THAT I HOLD LICENSE NO. 5152657, IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT; I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNER'S OR OWNER'S AGENT, I HAVE COMPLETED A SURVEY OF THE REAL PROPERTY DESCRIBED ON THIS PLAT AND SHOWN HEREON IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17. HAVE VERIFIED ALL MEASUREMENTS, AND HAVE SUBDIVIDED SAID REAL PROPERTY INTO LOTS, COMMON AREAS, PRIVATE STREETS AND PUBLIC ROADS TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS ALTA CANYON TWO, HAVE OR WILL PLACE MONUMENTS AND/OR PROPERTY CORNERS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.



JOSH F. MADSEN
LICENSE NO. 5152657

LEGAL DESCRIPTION

BEGINNING AT A POINT ON THE SECTION LINE SAID POINT BEING S 0°30'49" E 273.55 FEET ALONG SAID SECTION LINE FROM THE CENTER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE S 89°35'24" E 377.08 FEET TO AND ALONG THE SOUTH LINE OF BLACKWOOD GLEN SUBDIVISION; THENCE S 0°13'29" W 212.68 FEET TO AND ALONG AND BEYOND THE WEST LINE OF E. BROWN SUBDIVISION TO THE NORTHEAST CORNER OF FUR HOLLOW SUBDIVISION; THENCE S 89°32'00" W 374.29 FEET ALONG AND BEYOND THE NORTH LINE OF SAID FUR HOLLOW SUBDIVISION TO A POINT ON SAID SECTION LINE; THENCE N 0°30'49" W 216.43 FEET ALONG SAID SECTION LINE TO THE POINT OF BEGINNING.

WITH AN AREA OF 1.859 ACRES OR 80,976.4 SQUARE FEET MORE OR LESS
CONTAINING FOUR LOTS, PUBLIC UTILITY EASEMENTS, PRIVATE EASEMENTS AND ROAD DEDICATION

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, AND A ROAD DEDICATION PARCEL TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOW AS:

ALTA CANYON TWO

THE UNDERSIGNED OWNER HEREBY CONVEYS TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY ANY OTHER EASEMENTS AS SHOWN AND/OR NOTED ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN AND/OR NOTED HEREON

THIS _____ DAY OF _____, A.D., 2023.

BY: _____ BY: _____
PRINT NAME _____ DANA CONWAY _____ MICHAEL CONWAY _____
BY: _____ BY: _____
PRINT NAME _____ RYAN MCNEAIL _____ JENNIFER PARY _____
BY: _____ BY: _____
PRINT NAME _____ EMILY TAYLOR _____ JOSEPH TAYLOR _____

OWNER'S ACKNOWLEDGEMENT

STATE OF _____
COUNTY OF _____

ON THIS _____ DAY OF _____, A.D., 2023, BEFORE ME _____ A NOTARY PUBLIC, PERSONALLY APPEARED _____

PRINT NAME: _____

PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO IN THE FOREGOING OWNER'S DEDICATION AND CONSENT REGARDING ALTA CANYON TWO AND WAS SIGNED BY HIM/HER/THEY AND ACKNOWLEDGE THAT HE/SHE/THEY EXECUTED THE SAME FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

COMMISSION #: _____
MY COMMISSION EXPIRES _____
SIGNATURE _____
NAME _____

A NOTARY PUBLIC IN UTAH

OWNER'S ACKNOWLEDGEMENT

STATE OF _____
COUNTY OF _____

ON THIS _____ DAY OF _____, A.D., 2023, BEFORE ME _____ A NOTARY PUBLIC, PERSONALLY APPEARED _____

PRINT NAME: _____

PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO IN THE FOREGOING OWNER'S DEDICATION AND CONSENT REGARDING ALTA CANYON TWO AND WAS SIGNED BY HIM/HER/THEY AND ACKNOWLEDGE THAT HE/SHE/THEY EXECUTED THE SAME FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

COMMISSION #: _____
MY COMMISSION EXPIRES _____
SIGNATURE _____
NAME _____

A NOTARY PUBLIC IN UTAH

OWNER'S ACKNOWLEDGEMENT

STATE OF _____
COUNTY OF _____

ON THIS _____ DAY OF _____, A.D., 2023, BEFORE ME _____ A NOTARY PUBLIC, PERSONALLY APPEARED _____

PRINT NAME: _____

PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO IN THE FOREGOING OWNER'S DEDICATION AND CONSENT REGARDING ALTA CANYON TWO AND WAS SIGNED BY HIM/HER/THEY AND ACKNOWLEDGE THAT HE/SHE/THEY EXECUTED THE SAME FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

COMMISSION #: _____
MY COMMISSION EXPIRES _____
SIGNATURE _____
NAME _____

A NOTARY PUBLIC IN UTAH

1/1

APPROVAL AS TO FORM	DOMINION ENERGY	SANDY CITY ENGINEER	SANDY CITY PUBLIC UTILITIES	ROCKY MOUNTAIN POWER	CENTURY LINK	COMCAST CABLE SERVICES
APPROVED THIS _____ DAY OF _____, 2022.	APPROVED THIS _____ DAY OF _____, 2022.	APPROVED THIS _____ DAY OF _____, 2022.	APPROVED THIS _____ DAY OF _____, 2022.	APPROVED THIS _____ DAY OF _____, 2022.	APPROVED THIS _____ DAY OF _____, 2022.	APPROVED THIS _____ DAY OF _____, 2022.
_____ SANDY CITY ATTORNEY	_____ DOMINION ENERGY	_____ SANDY CITY ENGINEER	_____ DATE _____ SIGNED _____	_____ ROCKY MOUNTAIN POWER	_____ CENTURY LINK	_____ COMCAST CABLE SERVICE
 GILSON ENGINEERING Consulting Engineers & Surveyors 12401 SOUTH 450 EAST BUILDING C, UNIT 2, DRAPER, UT 84020 PHONE: (801) 571-9414 FAX: (801) 571-9449	CHECKED FOR ZONING COMPLIANCE	PLANNING COMMISSION	SALT LAKE COUNTY HEALTH DEPARTMENT	SANDY CITY APPROVAL	SANDY SUBURBAN IMPROVEMENT DISTRICT	SALT LAKE COUNTY RECORDER
	ZONE: _____ LOT AREA: _____ LOT WIDTH: _____ FRONT YARD: _____ SIDE YARD: _____ REAR YARD: _____ DATE _____ SIGNATURE _____	APPROVED THIS _____ DAY OF _____, 2022. A.D. BY THE SANDY PLANNING COMMISSION. _____ CHAIRMAN, SANDY PLANNING COMMISSION	APPROVED THIS _____ DAY OF _____, 2022. _____ SALT LAKE COUNTY HEALTH DEPARTMENT	PRESENTED TO SANDY CITY THIS DAY OF _____, A.D. 20____, AND IS HEREBY APPROVED. MAYOR _____ ATTEST: SANDY CITY CLERK _____	APPROVED THIS _____ DAY OF A.D. 20____, BY IMPROVEMENT DISTRICT. _____ SANDY SUBURBAN DISTRICT MANAGER	RECORDED NO. _____ STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____ DATE _____ TIME _____ BOOK _____ PAGE _____ FEES _____ DEPUTY SALT LAKE COUNTY RECORDER _____

1. MONUMENTS PLACED (OR A REFERENCE MONUMENT OR WITNESS TO THE CORNER) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE SURVEYED PROPERTY, UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR WITNESSES IN CLOSE PROXIMITY TO THE CORNER

RECOVERED AS NOTED, NO NEW CORNERS SET

2. THE SURVEYED PROPERTY ADDRESS IS:

PARCEL 28-11-401-045 9855 SOUTH 3100 EAST, SANDY UTAH

3. FLOOD ZONE CLASSIFICATION: AS SCALED FROM FIRM PANEL 49035C0458G, EFFECTIVE DATE SEPTEMBER 25, 2009 THE PROPERTY IS NOT LOCATED WITHIN A FLOOD ZONE

4. GROSS LAND AREA:

PER TITLE COMMITMENT: 62,731.0 S.F. OR 1.899 ACRES +/-
AS SURVEYED: 60,976.4 S.F. OR 1.859 ACRES +/-

5. VERTICAL RELIEF SHOWN ON THIS SURVEY HAS BEEN COMPILED FROM GROUND, SATELLITE, AND AERIAL SOURCES. THE PROJECT BENCHMARK IS AS SHOWN ON THIS SURVEY.

6. THE SUBJECT PROPERTY IS ZONED:

AS SCALED FROM THE SANDY CITY INTERACTIVE ZONING MAP ON MAY 10, 2022 THE SUBJECT PROPERTY IS SHOWN AS: R-1-15

7. BUILDINGS

a. EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL -NOT SHOWN PER CLIENT INSTRUCTIONS

b. SQUARE FOOTAGE OF BUILDINGS -NOT SHOWN PER CLIENT INSTRUCTIONS

1) EXTERIOR FOOTPRINT OF ALL BUILDINGS AT GROUND LEVEL -AS SHOWN HEREON

2) OTHER AREAS AS SPECIFIED BY THE CLIENT -NONE SPECIFIED

3) MEASURED HEIGHT OF ALL BUILDINGS ABOVE GRADE -NOT SHOWN PER CLIENT INSTRUCTIONS

8. SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK -AS DEPICTED

9. NUMBER AND TYPE (E.G., DISABLED, MOTORCYCLE, REGULAR, AND OTHER MARKED SPECIALIZED TYPES) OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS, LOTS, AND IN PARKING STRUCTURES

STRIPING OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS AND LOTS

NOTHING TO SHOW HEREON- NO DESIGNATED PARKING

10. AS DESIGNATED BY THE CLIENT, A DETERMINATION OF THE RELATIONSHIP AND LOCATION OF CERTAIN DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES- *NOTHING TO SHOW HEREON*
11. EVIDENCE OF UNDERGROUND UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY (IN ADDITION TO THE OBSERVED EVIDENCE OF UTILITIES REQUIRED PURSUANT TO SECTION 5.E.I.) AS DETERMINED BY:
- i. PLANS AND/OR REPORTS PROVIDED BY CLIENT
- ii. MARKINGS COORDINATED BY THE SURVEYOR PURSUANT TO A PRIVATE UTILITY LOCATION REQUEST
- NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, INFORMATION FROM THE SOURCES CHECKED ABOVE WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.I. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL, OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- SURVEYOR'S NOTE: NO UTILITY "BLUE STAKES" MARKINGS WERE REQUESTED AT THE TIME OF FIELD SURVEY. UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION, INCLUDING THE BASIC EVIDENCE WITH AGENCY SUPPLIES MAPS AND RECOVERED BLUE STAKES MARKINGS OF UNKNOWN ORIGIN
12. AS SPECIFIED BY THE CLIENT, GOVERNMENTAL AGENCY SURVEY-RELATED REQUIREMENTS (E.G., HUD SURVEYS, SURVEYS FOR LEASES ON BUREAU OF LAND MANAGEMENT MANAGED LANDS). THE RELEVANT SURVEY REQUIREMENTS ARE TO BE PROVIDED BY THE CLIENT OR CLIENT'S DESIGNATED REPRESENTATIVE.
- NOT APPLICABLE. NOTHING TO SHOW HEREON*
13. NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS, IF MORE THAN ONE OWNER. IDENTIFY THE FIRST OWNER'S NAME LISTED IN THE TAX RECORDS FOLLOWED BY "ET AL."
- AS DEPICTED HEREON*
14. AS SPECIFIED BY THE CLIENT, DISTANCE TO THE NEAREST INTERSECTING STREET- *AS DEPICTED HEREON*
15. RECTIFIED CORTHOGRAPHY, PHOTOGRAMMETRIC MAPPING, REMOTE SENSING, AIRBORNE/NEARBORE

16. EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

NONE NOTED AT THE TIME OF FIELD WORK

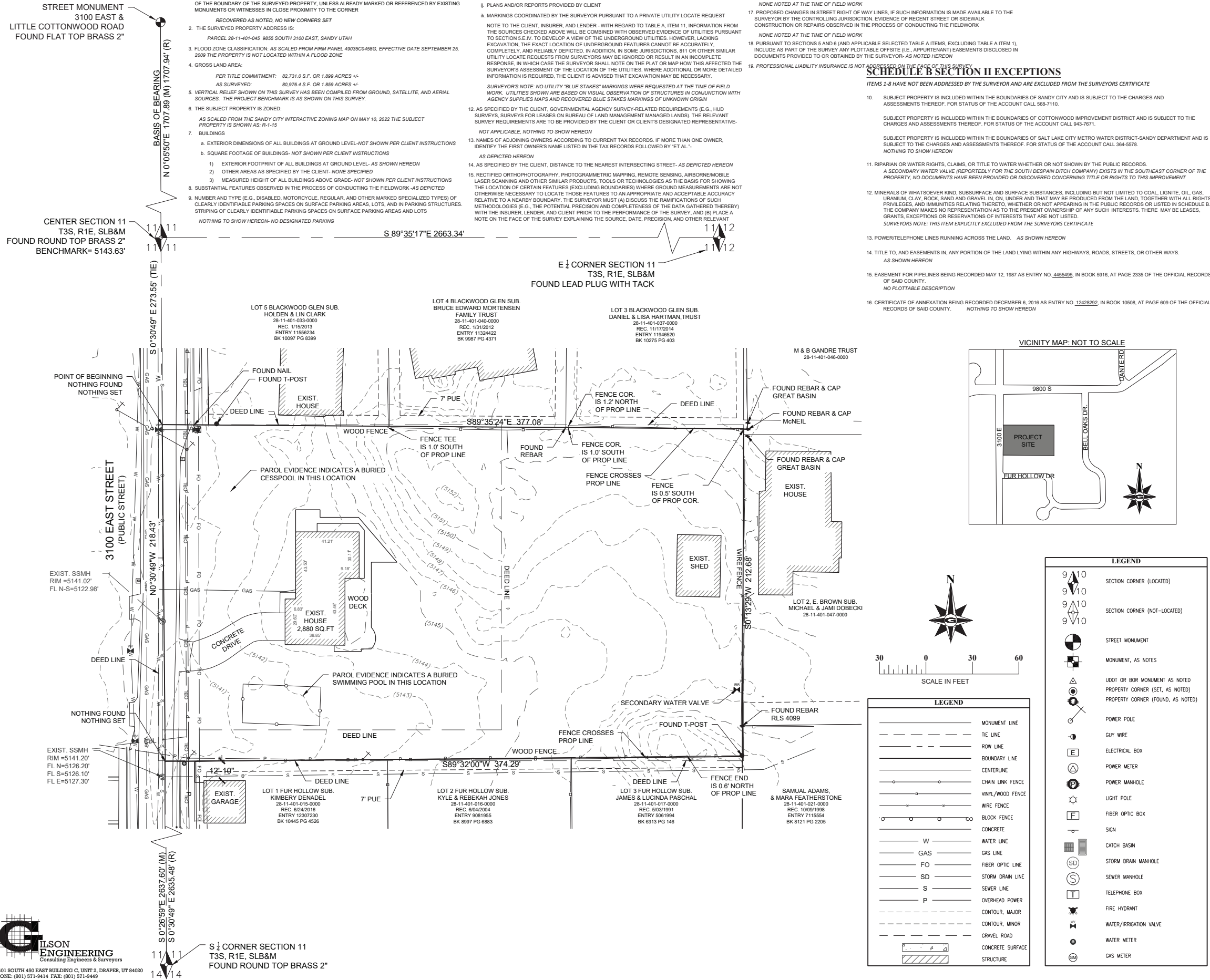
17. PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES, IF SUCH INFORMATION IS MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION, EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK

NONE NOTED AT THE TIME OF FIELD WORK

18. PURSUANT TO SECTIONS 5 AND 6 AND (APPLICABLE SELECTED-TABLE A ITEM), EXCLUDING TABLE A ITEM (1), HAS ANY OF THE SURVEYOR'S ANY PLEASIBLE OFFENSE (I.E. APPURTENANT) EASEMENTS DISCLOSED DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR-AS NOTED HEREIN

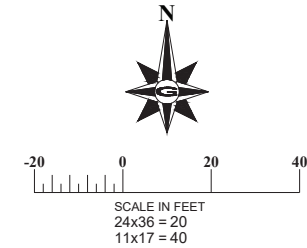
ITEMS 1-8 HAVE NOT BEEN ADDRESSED BY THE SURVEYOR AND ARE EXCLUDED FROM THE SURVEYORS CERTIFICATE

10. SUBJECT PROPERTY IS INCLUDED WITHIN THE BOUNDARIES OF SANDY CITY AND IS SUBJECT TO THE CHARGES AND ASSESSMENTS THEREOF. FOR STATUS OF THE ACCOUNT CALL 568-7110.
- SUBJECT PROPERTY IS INCLUDED WITHIN THE BOUNDARIES OF COTTONWOOD IMPROVEMENT DISTRICT AND IS SUBJECT TO THE CHARGES AND ASSESSMENTS THEREOF. FOR STATUS OF THE ACCOUNT CALL 943-7671.
- SUBJECT PROPERTY IS INCLUDED WITHIN THE BOUNDARIES OF SALT LAKE CITY METRO WATER DISTRICT-SANDY DEPARTMENT AND IS SUBJECT TO THE CHARGES AND ASSESSMENTS THEREOF. FOR STATUS OF THE ACCOUNT CALL 364-5578.
- NOTHING TO SHOW HEREON*
11. RIPARIAN OR WATER RIGHTS, CLAIMS, OR TITLE TO WATER WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
A SECONDARY WATER VALE (REPERTORY FOR THE SOUTH DESPAIN DITCH COMPANY) EXISTS IN THE SOUTHEAST CORNER OF THE PROPERTY, NO DOCUMENTS HAVE BEEN PROVIDED OR DISCOVERED CONCERNING TITLE OR RIGHTS TO THIS IMPROVEMENT
12. MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, UREAN, CLAY, GRAM, ROCK, SAND AND GRAVEL IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B OF THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED.
- SURVEYORS NOTE: THIS ITEM EXPLICITLY EXCLUDED FROM THE SURVEYORS CERTIFICATE*
13. POWER/TELEPHONE LINES RUNNING ACROSS THE LAND. AS SHOWN HEREON
14. TITLE TO, AND EASEMENTS IN, ANY PORTION OF THE LAND LYING WITHIN ANY HIGHWAYS, ROADS, STREETS, OR OTHER WAYS.
AS SHOWN HEREON
15. EASEMENT FOR PIPELINES BEING RECORDED MAY 12, 1987 AS ENTRY NO. 4455496, IN BOOK 5916, AT PAGE 2335 OF THE OFFICIAL RECORDS OF SAID COUNTY.
NO PLOTTABLE DESCRIPTION
16. CERTIFICATE OF ANNEXATION BEING RECORDED DECEMBER 6, 2016 AS ENTRY NO. 12428092, IN BOOK 10508, AT PAGE 609 OF THE OFFICIAL RECORDS OF SAID COUNTY.
NOTHING TO SHOW HEREON



A circular professional seal for a land surveyor. The outer ring contains the text "PROFESSIONAL LAND SURVEYOR" at the top and "STATE OF UTAH" at the bottom, separated by two stars. The center of the seal contains the name "JOSH F. MADSEN", the license number "No. 5152657", and a handwritten signature. A date stamp "6-28-2022" is written over the top portion of the seal.

DATE: MAY 27, 2022	
PROJECT FILE: CWY.011.22	
FIELD: JB/JFM/BC	DRAFTED: BG
CHECKED: JFM	APPROVED: JFM



CONSTRUCTION KEYNOTES

- 1 LIMITS OF DISTURBANCE
- 2 SAWCUT AND PROVIDE SMOOTH CLEAN EDGE PROTECT IN PLACE EXISTING FOG LINE
- 3 PROTECT IN PLACE EXISTING ASPHALT
- 4 REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT
- 5 REMOVE AND PROPERLY DISPOSE OF EXISTING STRUCTURE
- 6 REMOVE AND PROPERLY DISPOSE EXISTING SIDEWALK
- 7 REMOVE EXISTING FENCING
- 8 RELOCATE EXISTING UTILITY
- 9 REMOVE & PROPERLY DISPOSE EXISTING CONCRETE DRIVE
- 10 CLEAR AND GRUB LANDSCAPING REMOVE EXISTING TREES AS NEEDED
- 11 DISCONNECT EXISTING WATERLINE APPROX LOCATION. (MAINTAIN SERVICE UNTIL RECONNECTION)
- 12 DISCONNECT EXISTING GAS LINE AT MAIN (MAINTAIN SERVICE UNTIL RECONNECTION)
- 13 PROTECT IN PLACE EXISTING UTILITIES
- 14 RELOCATE EXISTING FIRE HYDRANT
- 15 REMOVE AND PROPERLY DISPOSE OF EXISTING CESSPOOL-APPROX. LOCATION
- 16 REMOVE AND PROPERLY DISPOSE OF EXISTING BURIED POOL
- 17 ABANDON 3/4" WATER METER AT MAINLINE

LEGEND

- EXISTING BUILDING TO BE REMOVED
- EXISTING ASPHALT TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- LIMITS OF DISTURBANCE

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.



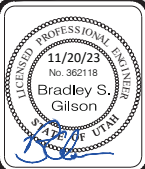
EXISTING SITE & DEMOLITION PLAN

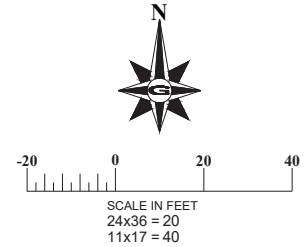
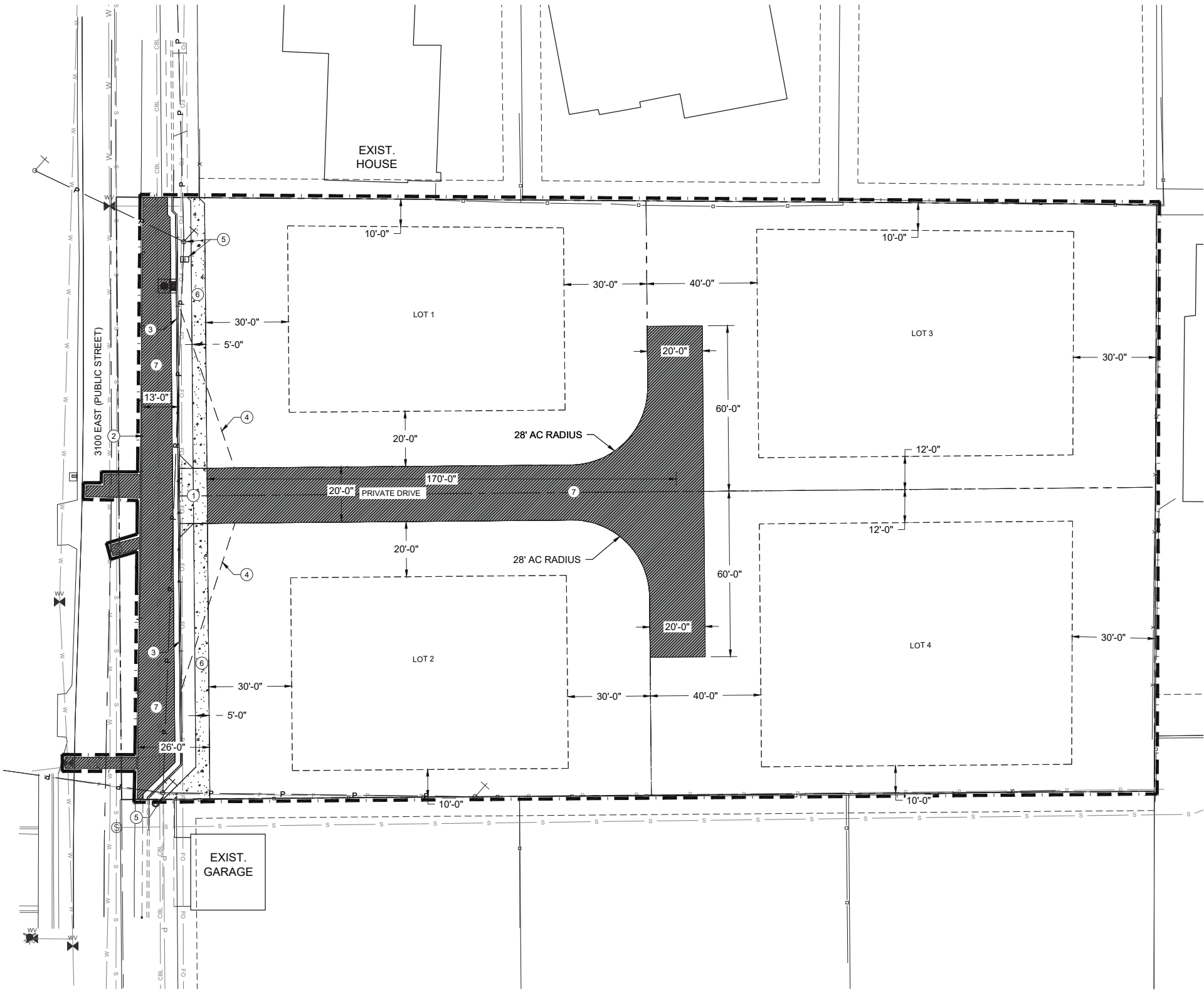
CONWAY - SANDY 4 LOT SUBDIVISION
9855 SOUTH 3100 EAST
SANDY, UTAH, 84092

REVISION: -
PROJ. # CWY.011.22
C.101

DATE: NOVEMBER 2023
DRAWING NAME: EXISTING SITE
DESIGNED/DRAWN BY: BPTS
CHECKED: APPROVED: BG BG

REV	DATE	BY	COMMENTS





CONSTRUCTION KEY NOTES

1. INSTALL FLARED DRIVE APPROACH PER SANDY CITY DETAIL DA.01 ON SHEET C.502
2. SAWCUT AND PROVIDE A SMOOTH CLEAN EDGE
3. INSTALL CURB AND GUTTER CONCRETE STANDARD PER SANDY STD. DETAIL CG-0. (SHEET C.502)
4. CLEAR-VIEW TRIANGLE (20'x60') PER SANDY CITY STANDARD, NO OBSTACLES INCLUDING VEGETATION OVER 3' HIGH
5. RELOCATE EXISTING UTILITY IN PARK STRIP
6. INSTALL CONCRETE SIDEWALK AND PARKSTRIP PER SANDY STD. DETAIL SW-03 AND SW-06. (SHEET C.503)
7. INSTALL 4" AC PAVEMENT. SEE DETAIL 3 SHEET C.503

GENERAL NOTES

1. LOT 1 AND LOT 2 MUST FRONT ONTO 3100 E. LOT 1 AND LOT 2 WILL NOT HAVE ACCESS RIGHTS TO STAFF PORTIONS OF FLAG LOTS

SITE INFORMATION

LOT 1: 15,314.87 SF
LOT 2: 15,823.34 SF
LOT 3: 17,974.48 SF
LOT 4: 18,946.34 SF
PRIVATE DRIVE: 5,936.52 SF

LEGEND

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- LIMITS OF DISTURBANCE

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

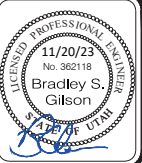


PROPOSED SITE PLAN

CONWAY - SANDY 4 LOT SUBDIVISION
9855 SOUTH 3100 EAST
SANDY, UTAH, 84092

REVISION: -
PROJ. # CWY.011.22
C.102

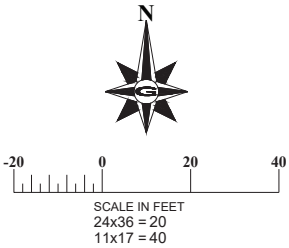
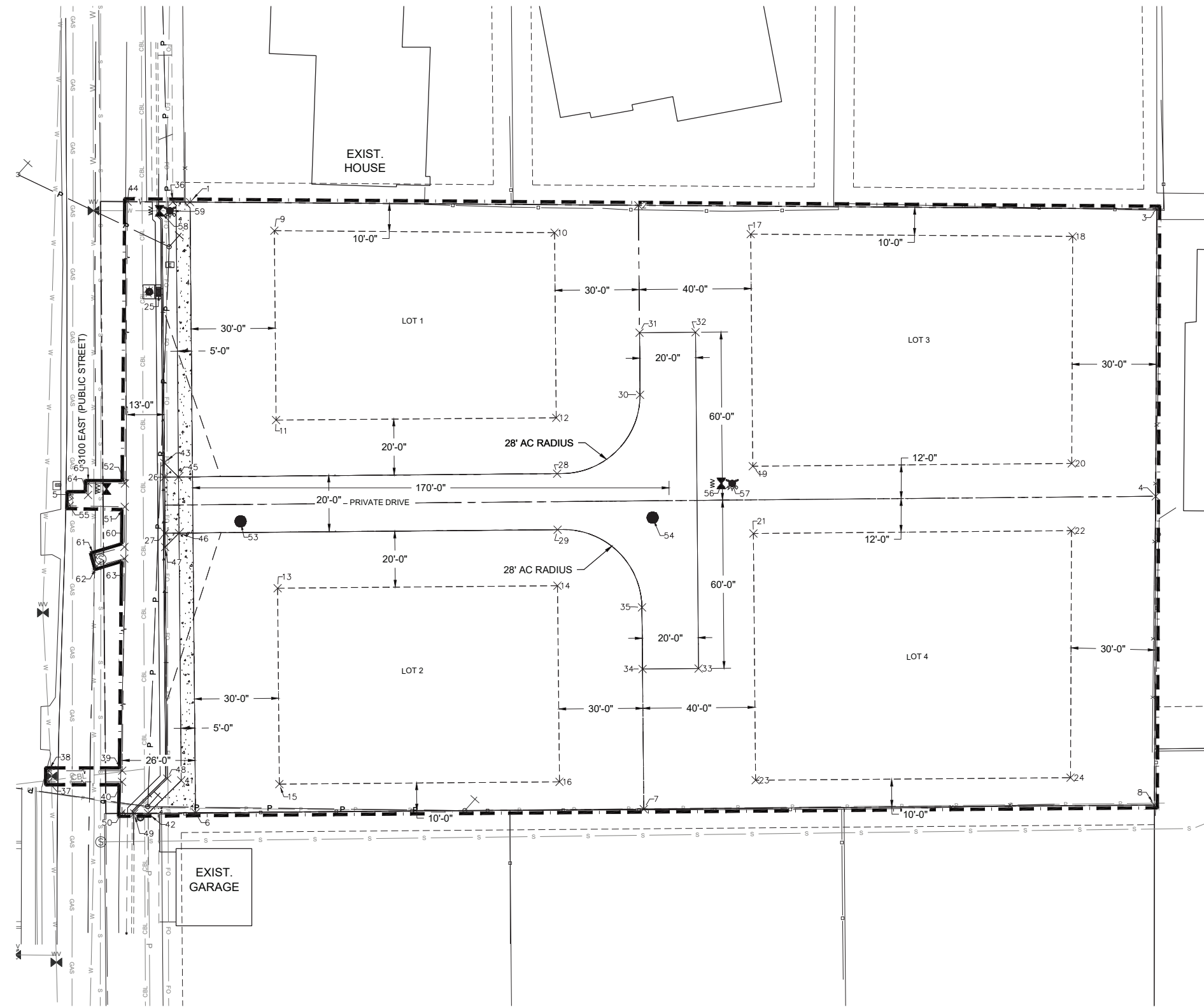
GILSON ENGINEERING
Consulting Engineers & Surveyors
12401 SOUTH 465 EAST BUILDING C, UNIT 2, DRAPER, UT 84020
PHONE: (801) 971-4414 FAX: (801) 971-9449



REV.	DATE	BY	COMMENTS

DATE: NOVEMBER 2023	DRAWING NAME: PROPOSED SITE PLAN	DESIGNED/DRAWN BY: BPTS	CHECKED: APPROVED

1" SCALE MEASURES FOR FULL SIZE SHEET
ADJUST FOR HALF SIZE SHEET



BENCHMARK

CENTER SECTION 11, T3S, R1E, SLB&M. (ROUND TOP BRASS 2")
BENCHMARK ELEVATION = 5143.63 FEET NAVD 1988

LEGEND

- PROPOSED CONCRETE
- LIMITS OF DISTURBANCE

Point Table		
Point #	Northing	Easting
1	19726.23	10034.46
2	19725.09	10194.47
3	19723.76	10379.52
4	19621.26	10379.12
5	19621.83	9991.55
6	19508.30	10036.41
7	19509.60	10196.40
8	19511.08	10378.69
9	19716.02	10064.55
10	19715.30	10164.56
11	19648.45	10065.15
12	19649.26	10165.15
13	19588.45	10065.69
14	19589.34	10165.60
15	19518.54	10066.32
16	19519.36	10166.32
17	19714.80	10234.57
18	19713.98	10349.49
19	19631.97	10235.31
20	19632.99	10349.17
21	19607.97	10235.53
22	19608.99	10349.06
23	19519.93	10236.31
24	19520.84	10348.73
25	19694.24	10023.38
26	19628.09	10025.33
27	19608.09	10025.52
28	19629.32	10165.64
29	19609.32	10165.64
30	19657.45	10195.08

Point Table		
Point #	Northing	Easting
31	19679.61	10194.88
32	19679.79	10214.88
33	19559.79	10215.95
34	19559.61	10195.96
35	19581.61	10195.76
36	19726.30	10028.30
37	19519.33	9983.94
38	19523.33	9983.94
39	19523.33	10010.24
40	19519.33	10010.18
41	19519.84	10031.31
42	19508.17	10019.48
43	19633.14	10025.29
44	19726.39	10012.13
45	19628.13	10030.33
46	19608.13	10030.51
47	19603.13	10025.56
48	19520.52	10026.30
49	19508.12	10014.51
50	19508.08	10009.96
51	19617.49	10011.14
52	19625.83	10011.22
53	19612.31	10052.48
54	19613.65	10199.55
55	19617.83	9991.48
56	19625.85	10224.05
57	19625.81	10227.96
58	19723.11	10023.56
59	19723.11	10027.25
60	19603.18	10011.01

Point Table		
Point #	Northing	Easting
61	19600.25	10000.18
62	19596.39	10001.22
63	19599.02	10010.98
64	19621.72	9998.03
65	19625.86	9998.10

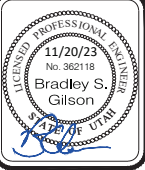
DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.



HORIZONTAL CONTROL
CONWAY - SANDY 4 LOT SUBDIVISION
9855 SOUTH 3100 EAST
SANDY, UTAH, 84092

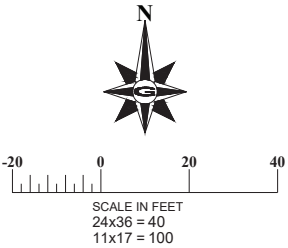
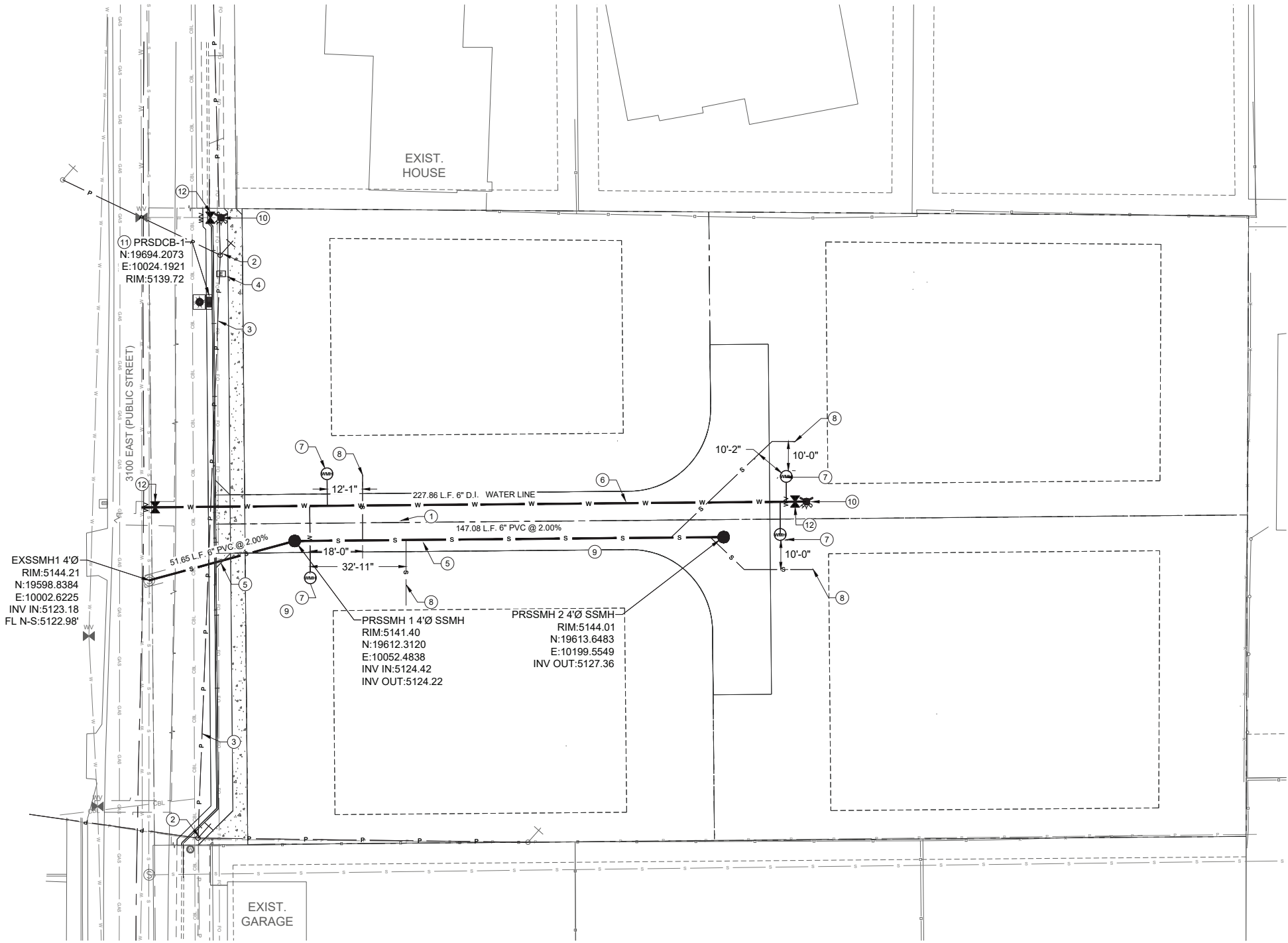
REVISION: -
PROJ. # CWY.011.22
C.103



REVISIONS	
REV.	DATE BY COMMENTS

DATE: NOVEMBER 2023	DRAWING NAME: HORIZONTAL CONTROL	DESIGNED/DRAWN BY: BPTS	CHECKED: APPROVED: BG
---------------------	----------------------------------	-------------------------	-----------------------

1" SCALE MEASURES FOR FULL SIZE SHEET
ADJUST FOR HALF SIZE SHEET



CONSTRUCTION KEY NOTES

1. RELOCATE EXISTING UNDERGROUND GAS LATERAL
2. RELOCATE POWER POLE
3. RELOCATE OVERHEAD POWER LINE
4. RELOCATE CABLE CABINET
5. INSTALL 6"Ø PVC SANITARY SEWER PIPE
6. INSTALL 6" DUCTILE IRON WATER LINE
7. INSTALL 1" WATER LATERAL & METER PER SANDY CITY STD. DETAIL WTR-09 (SHEET C.501)
8. INSTALL 4" SEWER LATERAL PER CID STD DETAIL (SHEET C.504)
9. INSTALL SANITARY SEWER MANHOLE PER CID STD DETAIL (SHEET C.504)
10. INSTALL NEW FIRE HYDRANT PER SANDY CITY STD DETAIL WTR-01 (SHEET C.501)
11. INSTALL MODIFIED SINGLE HOODED CURB INLET COMBO BOX W/ BAFFLE WALL PER SANDY CITY STD DETAIL SD-04 ON SHEET C.505
12. INSTALL 6" GATE VALVE

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH COTTONWOOD IMPROVEMENT DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS
2. MAINTAIN 10 LF HORIZONTAL CLEARANCE BETWEEN SEWER AND WATER

SANDY CITY STREELIGHT NOTES

1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
2. THE DEVELOPER IS REQUIRED TO GRANT TO THE CITY A MINIMUM OF 15-FOOT WIDE STREETLIGHT EASEMENT (7.5-FOET EACH SIDE OF PIPE) FOR CONDUIT AND WIRES TO THE POWER SOURCE ON PRIVATE PROPERTY.
3. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
5. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR STREETLIGHTS, JUNCTION BOXES, AND ELECTRICAL WIRING. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
6. INSTALLATIONS SHALL BE LOCATED AS INDICATED ON THE APPROVED PLANS FOR THE PROJECT. FIELD MODIFICATIONS MUST BE APPROVED BY THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
7. STREET LIGHT POLES SHALL BE INSTALLED IN A MANNER THAT WILL NOT HINDER THE OPERATION OF FIRE HYDRANTS, UNDERGROUND WATER SYSTEM ISOLATION VALVES, AND OTHER UTILITIES.
8. INSTALLATIONS WITHIN CLOSE PROXIMITY TO TREES SHALL BE AVOIDED UNLESS APPROVED BY SANDY CITY PUBLIC UTILITIES INSPECTOR.
9. OVERHEAD POWER LINES FOR STREETLIGHTS ARE NOT ALLOWED

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.



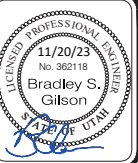
SANDY CITY WATER NOTES

1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
4. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, METERS, BOXES, VAULTS, VALVES, FIRE HYDRANTS, BLOWOFFS, VAULTS, ETC. RELATING TO THE WATER SYSTEM. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
5. CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
6. WATER LINES SHALL BE INSTALLED 4- FEET OFF LIP OF GUTTER ON THE NORTH AND/OR EAST SIDE OF ROADWAY. WATER LINES SHALL NOT BE INSTALLED WITHIN OR THROUGH PARKING STALLS OR UNDER CONCRETE PAVEMENT, UNLESS WATER LINE IS TO BE MAINTAINED BY PRIVATE PROPERTY OWNER.
7. A MINIMUM OF 48-INCHES AND A MAXIMUM 60-INCHES OF COVER FROM THE TOP OF THE PIPE TO THE FINISH GRADE IS REQUIRED.
8. FOR CONSTRUCTION EAST OF THE UTAH TRANSIT AUTHORITY'S TRAX LINE, USE DUCTILE IRON PIPE, USE THICKNESS CLASS 52 OR BETTER.
9. FOR CONSTRUCTION WEST OF UTAH TRANSIT AUTHORITY'S TRAX LINE, USE POLYVINYL CHLORIDE (PVC) PIPE, USE CLASS DR-14 OR BETTER. 10 GAUGE WIRE SHALL BE PLACED ON TOP OF THE PIPE (PER SANDY CITY SPECIFICATIONS) FOR FUTURE RELOCATION. NO DEFLECTION IN PIPE JOINTS WILL BE ALLOWED ON PVC PIPES.
10. ALL MECHANICAL JOINTS MUST BE RESTRAINED USING MEGA LUGS FOR DIP AND ROMAC GRIP RINGS FOR PVC OR APPROVED EQUAL. MEGA LUGS SHALL NOT BE ALLOWED ON PVC PIPE.
11. USE 6-INCH COMPRESSION TYPE HYDRANT BY MUELLER CENTURION OR CLOW MEDALLION. EXISTING HYDRANTS REQUIRED FOR FIRE PROTECTION THAT DO NOT MEET CURRENT STANDARDS SHALL BE UPGRADED TO MEET CURRENT SANDY CITY STANDARDS AND SPECIFICATIONS.
12. WHEN THE DISTANCE FROM THE WATER MAIN TO THE FIRE HYDRANT IS GREATER THAN 6- FEET, AN ADDITIONAL AUXILIARY VALVE SHALL BE FLANGED TO THE FIRE HYDRANT.
13. ALL DEAD ENDS SHALL BE PLUGGED WITH A 2-INCH WASHOUT OR END WITH A FIRE HYDRANT.
14. ALL DUCTILE IRON WATER LINES, FITTINGS, AND VALVES SHALL BE POLY-BAGGED IN ACCORDANCE WITH SANDY CITY STANDARDS AND SPECIFICATIONS.
15. ALL WATER LINES SHALL BE BEDDED WITH SAND (6-INCHES MINIMUM BELOW AND 12-INCHES MINIMUM ON EACH SIDE AND ON TOP OF THE PIPE).

UTILITY SITE PLAN
CONWAY - SANDY 4 LOT SUBDIVISION
9855 SOUTH 3100 EAST
SANDY, UTAH, 84092

REVISION: -
PROJ. # CWY.011.22

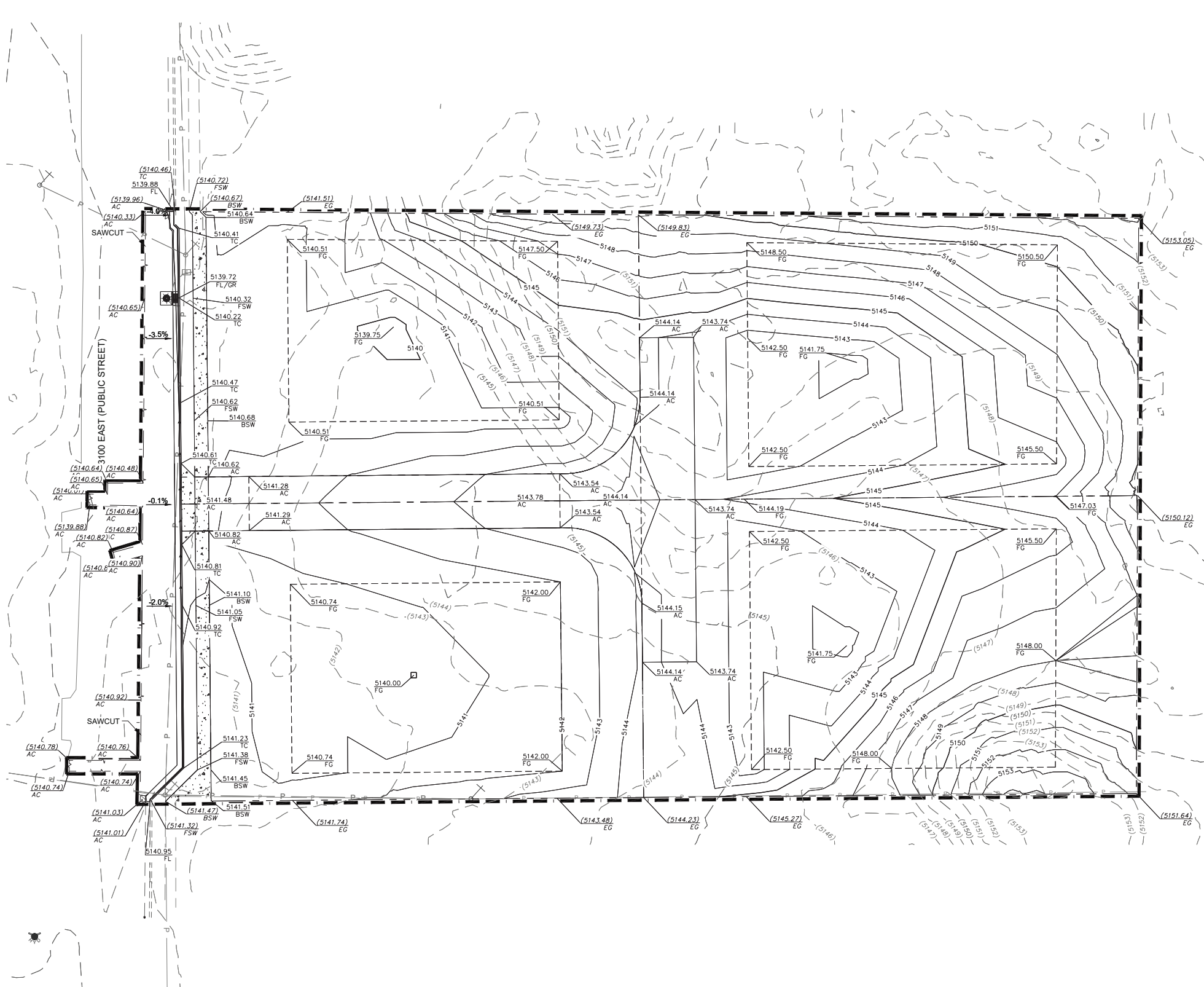
C.201



REVISIONS		
REV	DATE	BY COMMENTS

DATE: NOVEMBER 2023	DRAWING NAME: UTILITY SITE	DESIGNED/DRAWN BY: BPTS	CHECKED: APPROVED: BG
---------------------	----------------------------	-------------------------	-----------------------

1" SCALE MEASURES 1" ON FULL SIZE SHEET
ADJUST FOR HALF SIZE SHEET



GRADING GENERAL NOTES

SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING, OR UNSUITABLE MATERIAL AND REPLACING THEM WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 95% MINIMUM OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT COMPACTION REPORT AS PREPARED BY A QUALIFIED REGISTERED GEOTECHNICAL ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREA WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS.

CONTRACTOR TO BECOME FAMILIAR WITH SOIL CONDITIONS

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL AND DUST SUPPRESSION FROM CONSTRUCTION OF THIS PROJECT.

ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES, DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.

ALL CURB IS ASSUMED TO BE CATCH CURB UNLESS SPECIFIED.

LEGEND AND ABBREVIATIONS

TC = TOP OF CURB	X.XX%	DIRECTION OF FLOW & SLOPE
AC = ASPHALT AND CONCRETE	(XX.XX)	EXISTING GRADE
BSW = BACK OF SIDEWALK	AC	PROPOSED GRADE
FF = FINISH FLOOR	XX.XX	EXISTING CONTOUR
FL = FLOW LINE	XXXX	RIGHT-OF-WAY/PROPERTY LINE
FS = FINISH SURFACE		CENTERLINE
GB = GRADE BREAK		
EG = EXISTING GRADE		
LP = LOW POINT		
GR = STORM INLET GRATE		
BS = BOTTOM OF STAIRS		
TS = TOP OF STAIRS		
MATCH = MATCH EXISTING		
FG = FINISH GRADE		

DRAINAGE STATISTICS:

RETENTION REQUIREMENTS
NEW DEVELOPMENTS ARE REQUIRED TO RETAIN THE 10-YR 24-HR STORM EVENT PER SANDY CITY STORM WATER MANAGEMENT PLAN.THEREFOR, EACH LOT WILL, AT A MINIMUM, BE REQUIRED TO RETAIN THE VOLUMES LISTED BELOW ON SITE. THESE WERE DETERMINED ASSUMING THAT EACH LOT WILL BE 30% IMPERVIOUS FOLLOWING DEVELOPMENT. THE SANDY CITY DESIGN STORM USED WAS 1.77".

LOT 1 - 830 CF
LOT 2 - 857 CF
LOT 3 - 1033 CF
LOT 4 - 1083 CF

LEGEND

- PROPOSED CONCRETE
- LIMITS OF DISTURBANCE

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.



GRADING DRAINAGE PLAN
CONWAY - SANDY 4 LOT SUBDIVISION
9855 SOUTH 3100 EAST
SANDY, UTAH, 84092

REVISION: -
PROJ. # CWY.011.22
C.301

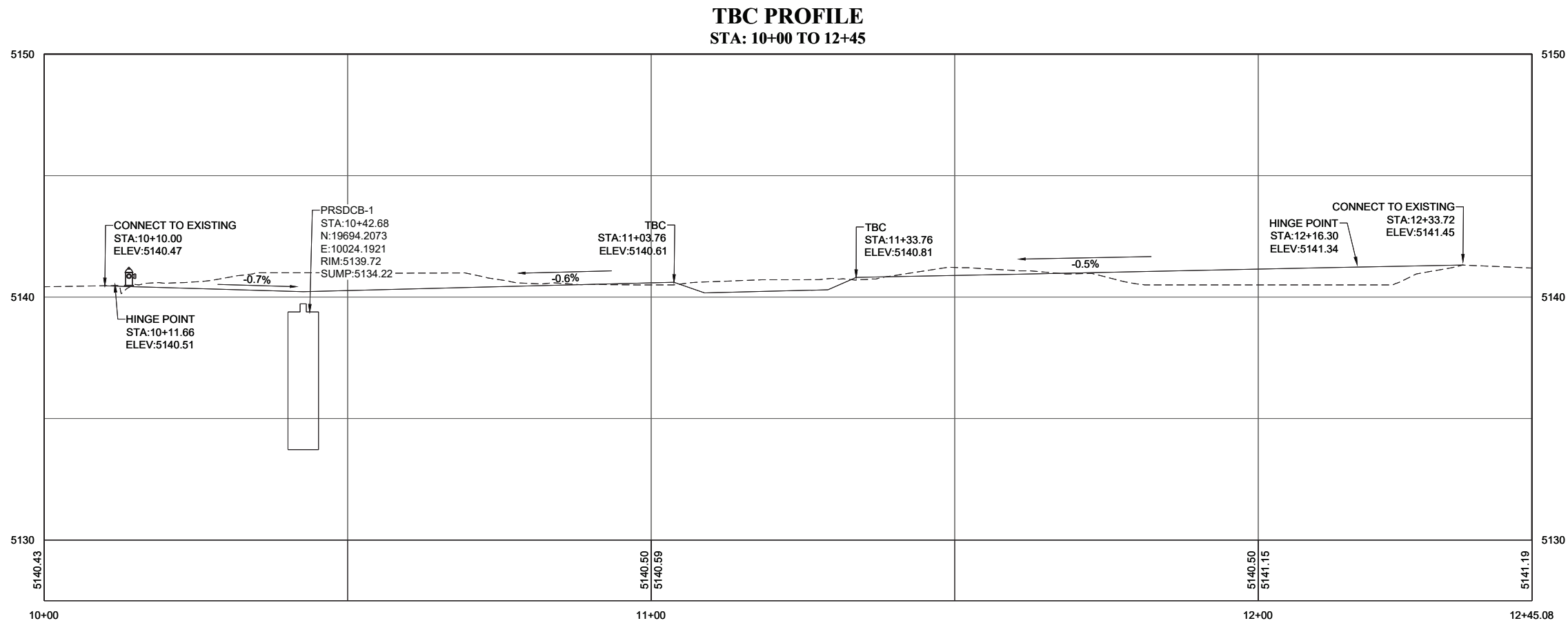
GILSON ENGINEERING
Consulting Engineers & Surveyors
12401 SOUTH 465 EAST BUILDING C, UNIT 2, DRAPER, UT 84020
PHONE: (801) 971-4414 FAX: (801) 971-9449

11/20/23
No. 362118
Bradley S. Gilson
Professional Engineer
State of Utah

REVISIONS
REV. DATE BY COMMENTS

DATE: NOVEMBER 2023
DRAWING NAME: GRADING PLAN
DESIGNED/DRAWN BY: BPTS
CHECKED: APPROVED: BG

1" SCALE MEASURED FOR FULL SIZE SHEET
ADJUST FOR HALF SIZE SHEET



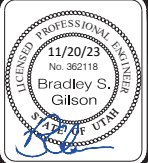
SCALE IN FEET
 $24 \times 36 = 20$
 $11 \times 17 = 40$

EXIST
GARAGE



**ILSON
ENGINEERING**
Consulting Engineers & Surveyors

12401 SOUTH 450 EAST BUILDING C, UNIT 2, DRAPER, UT 84020
PHONE: (801) 571-9414 FAX: (801) 571-9449



REVISIONS					
REV	DATE	BY	COMMENTS		

0 1" SCALE MEASURES 1" ON FULL SIZE SHEET
ADJUST FOR HALF SIZE SHEET

0 1" SCALE MEASURES 1" ON FULL SIZE SHEET
ADJUST FOR HALF SIZE SHEET

DATE:	NOVEMBER 20 23
DRAWING NAME:	C-401 PLAN & PROFILE
DESIGNED/DRAWN BY:	BP/TS
CHECKED:	APPROVED:
BG	BG

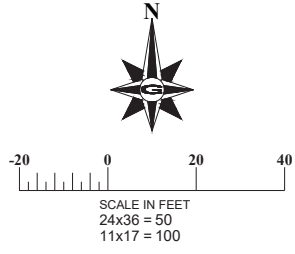
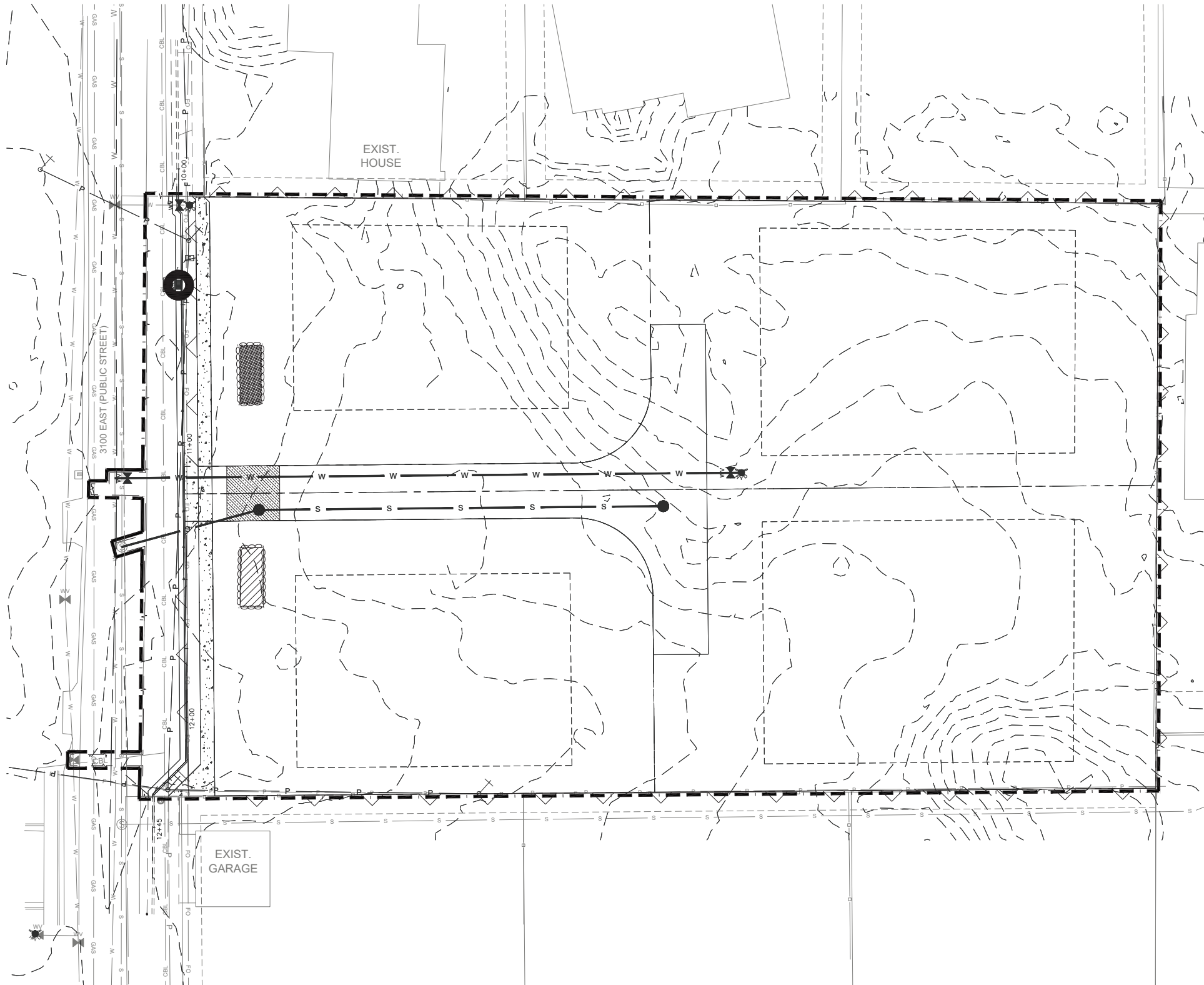
PLAN & PROFILE

CONWAY - SANDY 4 LOT SUBDIVISION
9855 SOUTH 3100 EAST
SANDY, UTAH, 84092

REVISION: -

PROJ. # **CWY.011.22**

C.401



- EROSION CONTROL NOTES**
1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL FACILITIES SHOWN ON THE PLAN.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAINAGE AND EROSION CONTROL FACILITIES AS REQUIRED. STREETS SHALL BE KEPT CLEAN OF DEBRIS FROM TRAFFIC FROM THE SITE.
 3. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY, AND REMOVED WHEN THE SITE IS PAVED.
 4. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.
 5. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER MANAGEMENT PLAN AND THE STATE OF UTAH DISCHARGE PERMIT SYSTEM. GENERAL PERMIT FOR "STORM DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY" AND BECOME FAMILIAR WITH THEIR CONTENT.
 6. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.
 7. FUGITIVE DUST AREAS SHALL BE CONTROLLED BY SPRAYING WATER ON THE DRY AREAS OF THE SITE. CONTRACTOR WILL SUPPLY THE CITY WITH A DUST CONTROL PLAN AT THE TIME OF THE PRE-CONSTRUCTION MEETING.
 8. NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
 9. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES OR OTHER UNFORESEEN CONDITIONS DURING DEVELOPMENT OF THE PROJECT.
 11. ALL INLETS WILL HAVE TEMPORARY INLET CONTROL.
 12. TEMPORARY SANITATION FACILITIES REQUIRED.

LEGEND

- BMP SILT FENCE/STRAW BALE BARRIER
- BMP INSPECTION AND MAINTENANCE, BMP STABILIZED CONSTRUCTION ENTRANCE AND WASH AREA
- TOPSOIL STOCKPILE AREA (OR AS DIRECTED BY OWNER) BMP EARTH BERM BARRIER
- BMP MATERIALS STORAGE, BMP VEHICLE AND EQUIPMENT FUELING, BMP CONCRETE WASTE MANAGEMENT, BMP PORTABLE TOILETS, BMP EARTH BERM BARRIER
- BMP INLET PROTECTION

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

1-800-662-4111
208-2100
DAILY LAND MEASUREMENTS
800 WEST 700 SOUTH, SUITE 100
SALT LAKE CITY, UTAH 84119

GILSON ENGINEERING
Consulting Engineers & Surveyors
12401 SOUTH 465 EAST BUILDING C, UNIT 2, DRAPER, UT 84020
PHONE: (801) 971-4414 FAX: (801) 971-9449

11/20/23
No. 362118
Bradley S. Gilson
EXPIRES 11/20/23

REV.	DATE	BY	COMMENTS

DATE: NOVEMBER 2023	DRAWING NAME: EROSION CONTROL	DESIGNED/DRAWN BY: BPTS	CHECKED: BG	APPROVED: BG
---------------------	-------------------------------	-------------------------	-------------	--------------

EROSION CONTROL PLAN

CONWAY - SANDY 4 LOT SUBDIVISION
9855 SOUTH 3100 EAST
SANDY, UTAH, 84092

REVISION: -

PROJ. # CWY.011.22

ER.101

Neighborhood Meeting Summary

Meeting Date: April 22, 2024
Neighborhood: Granite #30
Project: Alta Canyon 2 Subdivision
Applicant: Dana Conway

Project Summary

The proposal is a Preliminary Subdivision Review application for a 4-lot residential subdivision along with Special Exception review for the creation of a private street over 150-feet in length.

The property is zoned R-1-15 and is surrounded by single family homes on all sides. There is also a church to the southwest across 3100 E. Properties on the west side of 3100 E are within Salt Lake County's jurisdiction.

Meeting Minutes

The neighborhood meeting was conducted online, via Zoom, with approximately 12 participants.

Kim Denadel began the comment period by asking how the proposed homes would be oriented and where would their driveways be located. She also mentioned that her father-in-law built the home that was recently demolished on the property. She is concerned that the homes are compatible with other homes within the Granite neighborhood.

Dana Conway, the applicant, and property owner, responded to Kim's concerns. She stated that she is also a long-time Granite resident and shares the belief that new development should be compatible with the surrounding neighborhood. She explained that the 4 homes that would be constructed are all family members, and that this is not a developer planned project that would be open for sale to the public. All of her family members who will eventually have homes here share in valuing the Granite neighborhood character.

Emily Tayler then spoke about her concern that Granite is getting overbuilt. She wanted to know if an HOA would be established to create guidelines on the home details and limitations.

Dana Conway responded by stating that no HOA would be proposed, but that all family members want to construct 60's style homes that blend into the neighborhood well.

Emily Tayler then asked if curb, gutter, parkstrips, and sidewalks would be required across 3100 E. She felt that doing so would take-away from the rural feel of the neighborhood.

Several neighbors quickly responded to Emily's concern stating that street improvements were desired and would help ensure safe pedestrian access along 3100 E.

Several residents wanted to know the setbacks of the district and what the height limitations would be.

Thomas Irvin, with Sandy City Planning, responded with the zoning requirements and explained that the proposed lots would be subjected to the same requirements as all adjoining properties which are also zoned R-1-15.



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #: 24-164, **Version:** 1

Date: 5/2/2024

Minutes



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Minutes

Planning Commission

Dave Bromley
Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Jamie Tsandes
Steven Wrigley
Craig Kitterman (Alternate)
Jennifer George (Alternate)

Thursday, April 18, 2024

6:15 PM

Council Chambers and Online

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

https://us02web.zoom.us/webinar/register/WN_W4zVNh3BSjuQRHiwuuCDaQ

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/89153255803>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866
(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/ksavS05rU>

Webinar ID: 867 9628 4756

Passcode: 291785

4:00 PM FIELD TRIP

1. [24-154](#) Field Trip Map

Attachments: [Map](#)

5:15 PM EXECUTIVE SESSION

General Plan Discussion

6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

- Present** 7 - Commissioner Dave Bromley
Commissioner Cameron Duncan
Commissioner Ron Mortimer
Commissioner Daniel Schoenfeld
Commissioner Steven Wrigley
Commissioner Craig Kitterman
Commissioner Jennifer George
- Absent** 2 - Commissioner David Hart
Commissioner Jamie Tsandes

Public Meeting Items

2. [CUP0313202](#) Gardner Accessory Structure (Conditional Use Permit)
[4-006730](#) 8536 S. Stargazer Cir.
[Community #18, Willow Creek]

Attachments: [Staff Report](#)

Sarah Stringham introduced this item to the Planning Commission.

Anson Li, 1266 E Pondoray Circle, Salt Lake City, spoke about the shed and that it does have an attic and are requesting additional height. He also said the shed will be 10' from any of the other neighbors perimeter and 14' from the city perimeter.

Daniel Schoenfeld asked Anson Li if he's read the staff report and understands it.

Anson Li said yes.

Sarah Stringham said she spoke to a neighbor who has no objections to this project.

Daniel Schoenfeld opened this item for public comment.

Daniel Schoenfeld closed this item to public comment.

A motion was made by Cameron Duncan, seconded by Dave Bromley that the Planning Commission approve a Conditional Use Permit for an accessory structure with additional height as described in the staff report for the property located at 8536 S Stargazer Circle based on the three findings and subject to the five conditions detailed in the staff report.

Yes: 7 - Dave Bromley
Cameron Duncan
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
Craig Kitterman
Jennifer George

Absent: 2 - David Hart
Jamie Tsandes

3. [SPX0405202](#) Meek Street Improvements (Special Exception Request)
[4-006743](#) 3761 E Little Cottonwood Lane
[Community #30, Granite]

A motion was made by Cameron Duncan, seconded by Steven Wrigley, that the Planning Commission approve a special exception to waive additional street improvements on Little Cottonwood Lane, and reduce the half width dedication of 3775 East by four and a half feet (4.5') (which includes a parkstrip waiver) for the Meek Subdivision based on the five findings detailed in the staff report

Yes: 7 - Dave Bromley
Cameron Duncan
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
Craig Kitterman
Jennifer George

Absent: 2 - David Hart
Jamie Tsandes

4. [SUB0228202](#) Meek Subdivision (Preliminary Subdivision Review)
[4-006722](#) 3761 E Little Cottonwood Lane
[Community #30, Granite]

Attachments: [Staff Report](#)
[Exhibit A](#)

Thomas Irvin introduced this item to the Planning Commission.

Robert Meek, 3761 E Little Cottonwood Lane, asked the Planning Commission if he is expected to remove the curb and gutter or just add to the existing sidewalk.

Thomas Irvin replied that he would have to add to the sidewalk to increase the width to six feet.

Robert Meek asked if he also needs to replace the sidewalk on his driveway.

Ryan Kump, Sandy City Engineer, replied that the request on the prelim site plan from Public Works was for a full six foot adjacent sidewalk to be built along the east frontage. That did include taking it out at the driveway and rebuilding it with a new drive approach. He would also need to install an ADA accessible ramp that meets current city standards. Ryan said that the City is not requiring the applicant to remove the curb and gutter and it could remain.

Robert Meek said he doesn't understand why he needs to remove or replace the sidewalk.

Thomas Irvin spoke about the special exception and the only item in question with the applicant is the sidewalk. It should be replaced as it is in bad shape, not graded correctly, and should match the width of the sidewalk on the north of the property.

Daniel Schoenfeld opened this item for public comment.

Daniel Schoenfeld closed this item to public comment.

Steven Wrigley said he understands the new developer brought the six foot sidewalk to the development.

Thomas Irvin said yes.

Steve Wrigley said the city's intent is to finish the six foot sidewalk to the end of the block.

Thomas Irvin said yes.

Steven Wrigley said rather than just adding an additional two feet of concrete the applicant would need to remove it.

Thomas Irvin explained the reasons why the sidewalk needs to be replaced, which included, the condition of the concrete, meeting the city standards for drainage and ADA access.

Cameron Duncan said this is an opportunity to bring this development into city code.

A motion was made by Cameron Duncan, seconded by Dave Bromley, that the Planning Commission determine that preliminary subdivision review for the Meek Subdivision located at 3761 E Little Cottonwood Lane is substantially complete based on the two findings and subject to the three conditions detailed in the staff report.

Yes: 7 - Dave Bromley
Cameron Duncan
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
Craig Kitterman
Jennifer George

Absent: 2 - David Hart
Jamie Tsandes

5. [SUB0627202](#) Stadium Block Fire Station Subdivision (Preliminary Subdivision Review)
[3-006554](#) 9295 S. Monroe St.
[Community #2, Civic Center]

Attachments: [Staff Report.pdf](#)
[Exhibit A - Application Materials](#)

Thomas Irvin introduced this item to the Planning Commission.

Ryan Kump, Sandy City Engineer, said the staff report says there's six parcels but thinks there's only four and when they're done there will be more.

Daniel Schoenfeld opened this item for public comment.

Craig Harrison, owns the property south of Lot 3, and asked what the lot below 3 will be and what his access will be.

Ralph Riedel, owns the property to north of lot 1 & 2, and asked what will happen with lot 2.

Daniel Schoenfeld closed this item to public comment.

Ryan Kump said the current map being shown in the PowerPoint is inaccurate but the plat attached to the staff report is an accurate representation of lots 4 & 5. Ryan spoke about public right of way for future road and said that, lots 3 & 4 will be owned by the city, lot 5 will be controlled by Terry Thatcher, lot 1 will be the fire station and lot 2 is under development consideration.

A motion was made by Dave Bromley, seconded by Craig Kitterman, that the Planning Commission determine that preliminary subdivision review is complete for the Stadium Block Fire Station Subdivision located at 9295 S Monroe St based on the two findings and subject to the six conditions detailed in the staff report.

Yes: 7 - Dave Bromley
Cameron Duncan
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
Craig Kitterman
Jennifer George

Absent: 2 - David Hart
Jamie Tsandes

DRAFT

6. [SPR0213202](#) Sandy Fire Station #31 (Cairns Site Plan Preliminary Review)
[4-006711 2nd](#) 9295 S. Monroe St.
[d](#) [Community #2, Civic Center]

Attachments: [Staff Report.pdf](#)
[Exhibit A - Application Materials](#)
[Exhibit B - ARC Minutes](#)
[Exhibit C - Cairns Standards](#)

Mike Wilcox introduced this item to the Planning Commission.

Heber Slabbert of AJC Architect, spoke about the parking lot, the driveway, a public plaza, the sidewalk, the two gate entrances, the landscaping and grading plans and the fire station building.

Steven Wrigley asked about security in this area.

Herbert Slabbert replied there are gates and will have security cameras on the property.

Steven Wrigley asked about sleeping quarters for the fire fighters.

Herbert Slabbert replied there will be individual rooms for showering and sleeping to provide better sleeping conditions and more privacy.

Steven Wrigley asked about the dining area.

Herbert Slabbert replied that the day room is open with large doors and the dining table is adjacent to an outdoor courtyard. He also spoke about how each level in the building will function and look like.

Fire Chief Ryan McConaghie is excited about the project and that the ground breaking will be next week.

Steven Wrigley asked if there will be fencing.

Herbert Slabbert said he's working with the property owner on fencing.

Daniel Schoenfeld opened this item for public comment.

Steve Van Maren, 11039 S Lexington Circle, said the sign should also be on the north not just the west.

Daniel Schoenfeld closed this item to public comment.

Ron Mortimer said that he wanted to ensure that as the Planning Commission approves and moves forward with this project that staff is confident that it complies with the Cairns Design Standards so there aren't any issues in the future with other projects.

Mike Wilcox replied that staff has not treated the fire department any different from other applicants. He said that a lot of enhancements have been made to balance out this project from the exceptions that are sought from the Cairns Design Standards.

James Sorensen said they've been trying to get a fire station into the Cairns District for a long time and the applicant has done a great job.

Daniel Schoenfeld said the applicant has done well with the feedback they received from the Architectural Review Committee.

A motion was made by Steven Wrigley, seconded by Jennifer George, that the Planning Commission determine preliminary site plan review is complete for the Sandy Fire Station #31 located at approximately 9295 S Monroe Street based on the three findings and subject to the eleven conditions detailed in the staff report.

Yes: 7 - Dave Bromley
Cameron Duncan
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
Craig Kitterman
Jennifer George

Absent: 2 - David Hart
Jamie Tsandes

Administrative Business

1. Minutes

An all in favor motion was made by Dave Bromley to approve the meeting minutes from 04.04.2024.

[24-155](#)

Minutes from April 4, 2024

Attachments: [04.04.2024 Minutes \(DRAFT\)](#)

2. Director's Report

Adjournment

An all in favor motion was made to adjourn.

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #: 24-165, **Version:** 1

Date: 5/2/2024

Development Report

Case Name	Address	Case Number	Applicant	Applicant Contact	Assigned To	Status
Under Review						
Stage Office Storage Building	8238 700 E, 84070	SPR09212022-006407	Ross Drummond	8015737620	dwheelwright	Open
Classic Fun Center	9151 S 255 W, 84070	SPR09072023-006606	David Henderson	8016084007	dwheelwright	Open
EOS Fitness Sandy	10291 S 1300 E	SPR02162024-006713	Art Babcock	6615295766	dwheelwright	Open
Garden of Resurrection Larkin Sunset Gardens	1950 E 10600 S, 84092	SPR04172024-006752	Rob Larkin	8015414184	dwheelwright	Open
Sandy Shulsen Mixed Use	10115 MONROE ST, 84070	SPR02082023-006482	Howard Cooke		mwilcox	Pending
Hansen Dental Office	9872 S 700 E	SPR08162023-006587	Pete Meuzelaar	8019361343	dwheelwright	Pending
Bicentennial Park Locascapes Conversion	552 E 8680 S	SPR01242024-006702	Ben Rodes		sstringham	Pending
Storm Mountain Park Locascapes Conversion	11426 S 1000 E	SPR01242024-006703	Ben Rodes		sstringham	Pending
Sandy City Fire Station #31	9295 S MONROE ST	SPR02132024-006711	Trevon Beutler		mwilcox	Pending
Thackeray Towns Site Plan	10760 S 700 E	SPR06242021-006083	John Sawyer		tirvin	Under Review
Parkland Industrial Building/Greenlaw Partners	565 W PARKLAND DR	SPR11292021-006217	Niko Hardman	8017133000	dwheelwright	Under Review
Centennial Village	235 W SEGO LILY DR	SPR12282021-006237	Dan Simons		mwilcox	Under Review
WM Fuel #5235 Sandy, UT	9081 S QUARRY BEND DR	SPR03112022-006282	Ryan Alvarez	7147866322	dwheelwright	Under Review
RT & CL Investment Properties	9580 S 500 W	SPR07282022-006370	Chris Liddell	8018705841	dwheelwright	Under Review
WHW Engineering New Office Building	733 W 9000 S	SPR10172022-006421	Win Packer	8014664021	dwheelwright	Under Review
Cedarwood at Sandy - Expansion	575 E 11000 S	SPR11172022-006447	Ryan Griffiths	8014389500	tirvin	Under Review

Case Name	Address	Case Number	Applicant	Applicant Contact	Assigned To	Status
Trans-Jordan Waste Facility	8815 S 700 W	SPR11232022-006449	Trans-Jordan Cities	8015698994	dwheelwright	Under Review
Parkland Waterline Loop to 700 W	565 W PARKLAND DR	SPR11292022-006450	Niko Hardman	8017133000	dwheelwright	Under Review
Red Sky Apartments	10145 S CENTENNIAL	SPR12062022-006452	Corey Solum	8012690055	mwilcox	Under Review
Band Fire Warehouse	9618 S 500 W	SPR01272023-006477	Jesse Reynolds	8019159245	dwheelwright	Under Review
Bicentennial Park Improvements	530 E 8680 S	SPR07272023-006575	Jeremy Garcia	8015682913	sstringham	Under Review
Preliminary Review						
Kuwahara Wholesale	8575 STATE ST, 84070	SPR10162023-006639	Alex Kuwahara	8016916592	tirvin	Preliminary Review
The Orchards at Dimple Dell	10216 S DIMPLE DELL RD	SPR03262024-006738	Brett Lovell	8017064693	tirvin	Preliminary Review
Latin Grill	1289 E 8600 S	SPR04182024-006756	Robert Dance	8015806023	dwheelwright	Preliminary Review
Final Review						
Woodhaven Estates	7613 S 300 E	SPR01102023-006464	Brandon Fry	8017181331	tirvin	Final Review
Resubmit						
Creek Rd Office Condos - 5th AMD	7410 CREEK RD 301 84093	SPR07072021-006096	Marcus Green	801-643-3870	tirvin	Resubmit
Summit Two at the Cairns	10250 S CENTENNIAL	SPR08032021-006124	Anthony Lyman	8014389500	dwheelwright	Resubmit
OneTen Apartments	109 W 11000 S	SPR10242022-006427	Corey Solum	8012690055	mwilcox	Resubmit
Tagg N Go Express Car Wash	7750 S 700 E	SPR06282023-006556	Thomas Hunt	8016644724	dwheelwright	Resubmit
Office Building at 11000 South	65 E 11000 S	SPR09202023-006624	Alta Construction	3852326938	dwheelwright	Resubmit
MACU Event Cenenter/ SLCO	9575 S STATE ST	SPR01292024-006706	Jordan Gray	3582145760	dwheelwright	Resubmit

Case Name	Address	Case Number	Applicant	Applicant Contact	Assigned To	Status
On Hold						
Smith's Altaview Fuel Center	10315 S 1300 E	SPR07202021-006107	Anderson Wahlen & Associates	801-410-8526	dwheelwright	On Hold
Sandy Park Center retail pad	9835 S MONROE ST	SPR04152022-006306	LeeAnn Miller	8014857770	dwheelwright	On Hold
Dimple Dell Park - Lone Peak Trailhead	10042 S 700 E	SPR05132022-006322	Dan Sonntag	3854681819	tirvin	On Hold
Master Muffler	9235 S 700 E	SPR06292022-006355	Brandy Donecker	2103716751	dwheelwright	On Hold
Harmons Landscape Improvements	7755 S 700 E	SPR07262022-006365	Frank Lunquist	8019698261	dwheelwright	On Hold
Under Construction						
SLCo Household Hazardous Waste Facility	8775 S 700 W	SPR06042021-006065	Jordan Gray	3854680354	dwheelwright	Under Construction
The Ridges at Dimple Dell	1405 E 10600 S	SPR08032021-006125	Brad Reynolds Construction	8012812200	mwilcox	Under Construction
Main Street Park	70 E 8760 S	SPR12032021-006220	DAN MEDINA	801-568-2911	mwilcox	Under Construction
Cyprus Credit Union	8955 S 700 E	SPR01032022-006241	Cyprus Credit Union	801-260-7600	dwheelwright	Under Construction
Betos Mexican Restaurant	255 W 9000 S	SPR01042022-006242	Brennan Alldredge	8016878966	dwheelwright	Under Construction
Waterford School Science Center	1480 E 9400 S	SPR01112022-006245	Greg Miles	8015721780	dwheelwright	Under Construction
Sandy Urban Fishery Wetlands	850 W SHIELDS LN	SPR01182022-006255	DAN MEDINA	801-568-2911	dwheelwright	Under Construction
St. Anna Greek Orthodox Church	9201 S 1300 E	SPR01262022-006258	James Derby	8016801385	dwheelwright	Under Construction
Summit Two - Phase 1	10250 MONROE ST, 84070	SPR03292022-006291	Raddon Summit Hotel, LLC (Ron Raddon/Lesa Beiden)	8015761553	dwheelwright	Under Construction
Dimple Dell Park - 300 East Trailhead	321 E 10195 S	SPR05132022-006318	Dan Sonntag	3854681819	tirvin	Under Construction
Dimple Dell Park - Badger Cove Trailhead	1651 E BADGER CV	SPR05132022-006320	Dan Sonntag	3854681819	tirvin	Under Construction

Case Name	Address	Case Number	Applicant	Applicant Contact	Assigned To	Status
Dimple Dell Park - Wrangler Trailhead	10305 S 1300 E	SPR05132022-006324	Dan Sonntag	3854681819	tirvin	Under Construction
East Sandy State Liquor and Wine Store	1880 E 9400 S	SPR05242022-006333	DABC	8019776800	dwheelwright	Under Construction
TrenzOil	9750 S 700 E	SPR05272022-006335	Jonathan Flores	2082444032	dwheelwright	Under Construction
AFCU Sandy Landscape Remodel	2104 E 9400 S	SPR07262022-006364	Brad Illingsworth	8009993961	dwheelwright	Under Construction
Zions Bank Sandy/Southtowne	125 W 10600 S	SPR07272022-006367	Angelica Fierro	8015219111	dwheelwright	Under Construction
Standard Plumbing	9150 S 300 W	SPR08012022-006374	Chad Spencer	8014505113	dwheelwright	Under Construction
Dimple Dell Commercial	1373 E 10600 S	SPR08012022-006375	Josh Gera	8012550529	dwheelwright	Under Construction
Veterinary Emergency Group (VEG)	11084 S STATE ST	SPR08262022-006388	Tahesha Silva	689.229.2479	dwheelwright	Under Construction
The Rio at 94th	115 W 9400 S	SPR01242023-006473	Jacob Toombs	8017879344	tirvin	Under Construction
Sandy Public Works Phase II	8775 S 700 W	SPR02152023-006485	Taylor Smith	8016368327	dwheelwright	Under Construction
UTA Civic Center Station - Site Modifications	10015 S BEETDIGGER	SPR02172023-006487	Nick Duerksen	8012371943	mwilcox	Under Construction
Waterford School Sports Field and Parking Addition	9502 1700 E, 84092	SPR03022023-006493	Greg Miles	8015721780	dwheelwright	Under Construction
AFCU Sandy ADA Site Improvements	2104 E 9400 S	SPR08112023-006586	Brad Illingsworth	8009993961	dwheelwright	Under Construction
Hale Centre Beehive Academy	9900 S MONROE ST	SPR10112023-006636	Bradley Beecher	8014389500	dwheelwright	Under Construction
Goodwill	8550 S 1300 E	SPR12202023-006675	Jeffery Jensen	8012664669	dwheelwright	Under Construction
Sandy Amphitheater Plaza Expansion	1245 E 9400 S	SPR04242023-006523	Mearle Marsh		mwilcox	Under Construction
Complete						

Case Name	Address	Case Number	Applicant	Applicant Contact	Assigned To	Status
School Yard Phase 3	11020 S STATE ST	SPR04222021-006032	Jake Tate		dwheelwright	Complete
School Yard Dumpster Enclosure	11020 S State Street	SPR05062021-006043	Jake Tate		dwheelwright	Complete
Camp Bow Wow Sandy	9495 S 700 E	SPR05112021-006049	JarNel, Inc. DBA: Camp Bow Wow Sandy	801-860-2085	dwheelwright	Complete
Sandy Lease Building	9492 S HIGHLAND	SPR06112021-006073	Brandon Lundeen		dwheelwright	Complete
GSL Production Facility	8626 S SANDY	SPR06112021-006074	Carl Greene	801-255-7700	dwheelwright	Complete
Jacksons C Store 191	1295 E 10600 S	SPR06162021-006076	Michael Sroufe	8017693000	dwheelwright	Complete
Bout Time Pub & Grub Patio Addition	31 W 10600 S	SPR06162021-006077	Russ Naylor	8014463029	dwheelwright	Complete
Ken Garff Hyundai Southtowne Remodel	10770 S AUTO MALL	SPR06182021-006078	Kirk Randall	8014036847	dwheelwright	Complete
Raising Cane's	10986 S STATE	SPR06182021-006079	LuAron Foster		dwheelwright	Complete
Challenger School Site Plan	10670 S 700 E	SPR06242021-006084	Matt Cooper		dwheelwright	Complete
The Orchard at Farnsworth Farms	11237 S FARNSWORTH	SPR06282021-006089	Joe Salisbury	8015085514	tirvin	Complete
Prime Insurance Storage Bldg/Site	8722 S HARRISON	SPR07092021-006099	Sean Bujold	385 799 5060	dwheelwright	Complete
Comcast Sandy Utah	9602 S 300 W	SPR07122021-006101	Ed Pugsley	801-815-7363	dwheelwright	Complete
Sage Vet Clinic	8590 S 1300 E	SPR07292021-006115	Frederick Halupka	801-244-7908	dwheelwright	Complete
Maverik	10640 S HOLIDAY PARK	SPR07292021-006116	Robert Poirier	801-984-2846	dwheelwright	Complete
Alta Canyon Pickleball Courts	9565 S HIGHLAND DR	SPR07302021-006118	Dan Medina		tirvin	Complete
Beehive Academy - Shopko Site	2165 E 9400 S	SPR08312021-006140	PACE CM - Tyler Bodrero	801-725-7337	dwheelwright	Complete

Case Name	Address	Case Number	Applicant	Applicant Contact	Assigned To	Status
McDonald's	9346 S 700 E	SPR12162021-006226	Darrin Perkes	8017133000	dwheelwright	Complete
Sandy City - Gold Star Family Monument	10000 S CENTENNIAL	SPR06212022-006350	Chris McCandless	8019845770	bbohlander	Complete
Sandy Public Works Fuel Island	8775 S 700 W	SPR07272022-006369	Paul Browning	8015682999	dwheelwright	Complete
Shelter The Homeless	8955 S HARRISON ST	SPR11212023-006659	Laurie Hopkins		manderson	Complete

Case Name	Address	Case Number	Applicant	Applicant Contact	Assigned To	Status
Under Review						
Lot 4 Jason K Circle	182 E 9000 S	SUB04102024-006745	Jill Kinder	8017184622	tirvin	Open
KV Larson Subdivision	963 E 8600 S	SUB06132023-006549	Ronald K. Larson	2067137789	tirvin	Pending
Alta Canyon 2 Subdivision	9855 S 3100 E	SUB07132023-006568	Dana Conway	8018914880	tirvin	Pending
Meek Subdivision	3761 E LITTLE COTTONWOOD LN	SUB02282024-006722	Robert Meek		tirvin	Pending
Windflower Townhomes	9349 S WINDFLOWER	SUB06142021-006075	Randy Moore		tirvin	Under Review
Crescent Wood Estates	543 E 10735 S	SUB02032022-006262	Arthur J. (A.J.) Kim		tirvin	Under Review
Crabtree Subdivision	2845 E LITTLE COTTONWOOD RD	SUB06142022-006347	Tami Crabtree	8018081733	tirvin	Under Review
Sandy Station Block 59 Subdivision	8810 S 90 E	SUB09232022-006408	Mark stephenson	8015148797	tirvin	Under Review
Brand Estates Subdivision	285 E 11000 S	SUB10112022-006417	Kyle Denos	3852812539	tirvin	Under Review
Sheep Ranch Subdivision	3170 E LITTLE COTTONWOOD RD	SUB01042023-006461	Aaron Rust		tirvin	Under Review
Final Review						
Sandy Station Block 20 Subdivision	240 E 8960 S	SUB09282022-006410	Mark stephenson	8015148797	tirvin	Final Review
The Orchards at Dimple Dell	10216 S DIMPLE DELL RD	SUB02212024-006720	Brett Lovell	8017064693	tirvin	Final Review
Resubmit						
Thackeray Towns Subdivision	10760 S 700 E	SUB06242021-006082	John Sawyer		tirvin	Resubmit
Oberland Road Subdivision	2900 E OBERLAND RD	SUB06282022-006352	Dustin Freckleton	5127796368	tirvin	Resubmit
Woodhaven Estates Subdivision	7613 S 300 E	SUB01182023-006471	Brandon Fry	8017181331	tirvin	Resubmit

Case Name	Address	Case Number	Applicant	Applicant Contact	Assigned To	Status
Under Construction						
Monte Cristo at LaCaille	9701 S 3775 E	SUB04262021-006034	Chris McCandless		mwilcox	Under Construction
Crescent View Peaks	137 E 11000 S	SUB04272021-006035	Kyle Simons		tirvin	Under Construction
Hagan Road Subdivision	11523 S HAGAN	SUB05072021-006045	Blair Johnson		tirvin	Under Construction
Cyprus Credit Union Subdivision	8955 S 700 E	SUB01122022-006248	Cyprus Credit Union	801-260-7600	dwheelwright	Under Construction
Park Lane Amended	1775 E 11400 S	SUB07082022-006359	Laine Fluekiger	8015715541	tirvin	Under Construction
Longpath Subdivision	11510 S HAGAN RD	SUB08292022-006389	Kyle Simons	3852757240	tirvin	Under Construction
Sandy Oaks Subdivision Phase 5	8449 S 300 E	SUB11222022-006448	Greg Larsen	8016081600	tirvin	Under Construction
Complete						
Wild Goose Estates	2570 E 10000 S	SUB05112021-006048	Josh Kasteler		tirvin	Complete
Derricott Subdivision	8566 S JOHNSONWAY	SUB05172021-006052	Daniel Derricott	8019712114	tirvin	Complete
Pebble Hills	1165 E 8600 S	SUB05182021-006053	Duaine Rasmussen		tirvin	Complete
The Orchard at Farnsworth Farms	11237 S FARNSWORTH	SUB06282021-006091	Joe Salisbury	8015085514	tirvin	Complete
Lot 206 Pepperwood Creek Phase 2	10909 SECRET VIEW RD, 84092	SUB07162021-006105	Logan Locke	8017559243	tirvin	Complete
Pepperwood 11E	2 S BENTWOOD LN	SUB08022021-006119	Dave Bromley		tirvin	Complete