



# Sandy City, Utah

10000 Centennial Parkway  
Sandy, UT 84070  
Phone: 801-568-7256

## Meeting Agenda

### Planning Commission

*Dave Bromley*  
*Cameron Duncan*  
*David Hart*  
*Ron Mortimer*  
*Daniel Schoenfeld*  
*Jamie Tsandes*  
*Steven Wrigley*  
*Craig Kitterman (Alternate)*  
*Jennifer George (Alternate)*

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Thursday, July 18, 2024

6:15 PM

Council Chambers and Online

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Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

[https://us02web.zoom.us/webinar/register/WN\\_70LyLJFMSQO4S5wIEveSXQ](https://us02web.zoom.us/webinar/register/WN_70LyLJFMSQO4S5wIEveSXQ)

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/83574974375>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 444 9171 or 669 900 6833 or 719 359 4580 or 253 205 0468

(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/83574974375>

Webinar ID: 835 7497 4375

Passcode: 508405

#### 4:00 PM FIELD TRIP

1. [24-262](#) Map

Attachments: [071824.pdf](#)

#### 6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

## Public Hearings

2. [CA04262024-0006762 \(PC\)](#) Amendments to Title 21 of the Land Development Code related to Home-based Microschools, Micro-education Entities, Charter and Public Schools  
  
**Attachments:** [Staff Report with Exhibits](#)
3. [CA07032024-0006794 \(PC\)](#) Amendments to Title 21 of the Land Development Code related to Accessory Structures in the Open Space District  
  
**Attachments:** [Staff Report and Exhibits](#)

## Public Meeting Items

4. [SPR05172024-006771](#) Willow Creek CC Maintenance Area Reconstruction Project (Preliminary Site Plan Review)  
8505 S. Willow Creek Dr.  
[Community #18, Willow Creek]  
  
**Attachments:** [Staff Report](#)  
[Exhibit B](#)
5. [CUP05272024-006775](#) Willow Creek CC Maintenance Area Reconstruction Project (Conditional Use Review)  
8505 S. Willow Creek Dr.  
[Community #18, Willow Creek]
6. [SPR04172024-006752](#) Larkin's Sunset Gardens Cemetery Expansion - Garden of Resurrection  
1950 E. Dimple Dell Rd.  
[Community #26]  
  
**Attachments:** [Staff Report](#)  
[Exhibit A](#)
7. [SPX06262024-006791](#) Southeast Industrial Park (Special Exception Review)  
8496 S. Harrison Street  
[Community #1, Northwest Exposure]  
  
**Attachments:** [Staff Report](#)  
[Exhibit A Application Letter](#)  
[Exhibit B Application Materials](#)

## Administrative Business

### 1. Minutes

[24-263](#) Minutes from the June 20, 2024 Meeting

**Attachments:** [06.20.2024 Minutes \(DRAFT\)](#)

## 2. Sandy City Development Report

[24-264](#)

Development Report

**Attachments:**[07.01.2024 DEV REPORT](#)

## 3. Director's Report

**Adjournment**

## Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



# Sandy City, Utah

10000 Centennial Parkway  
Sandy, UT 84070  
Phone: 801-568-7141

## Staff Report

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**File #:** 24-262, **Version:** 1

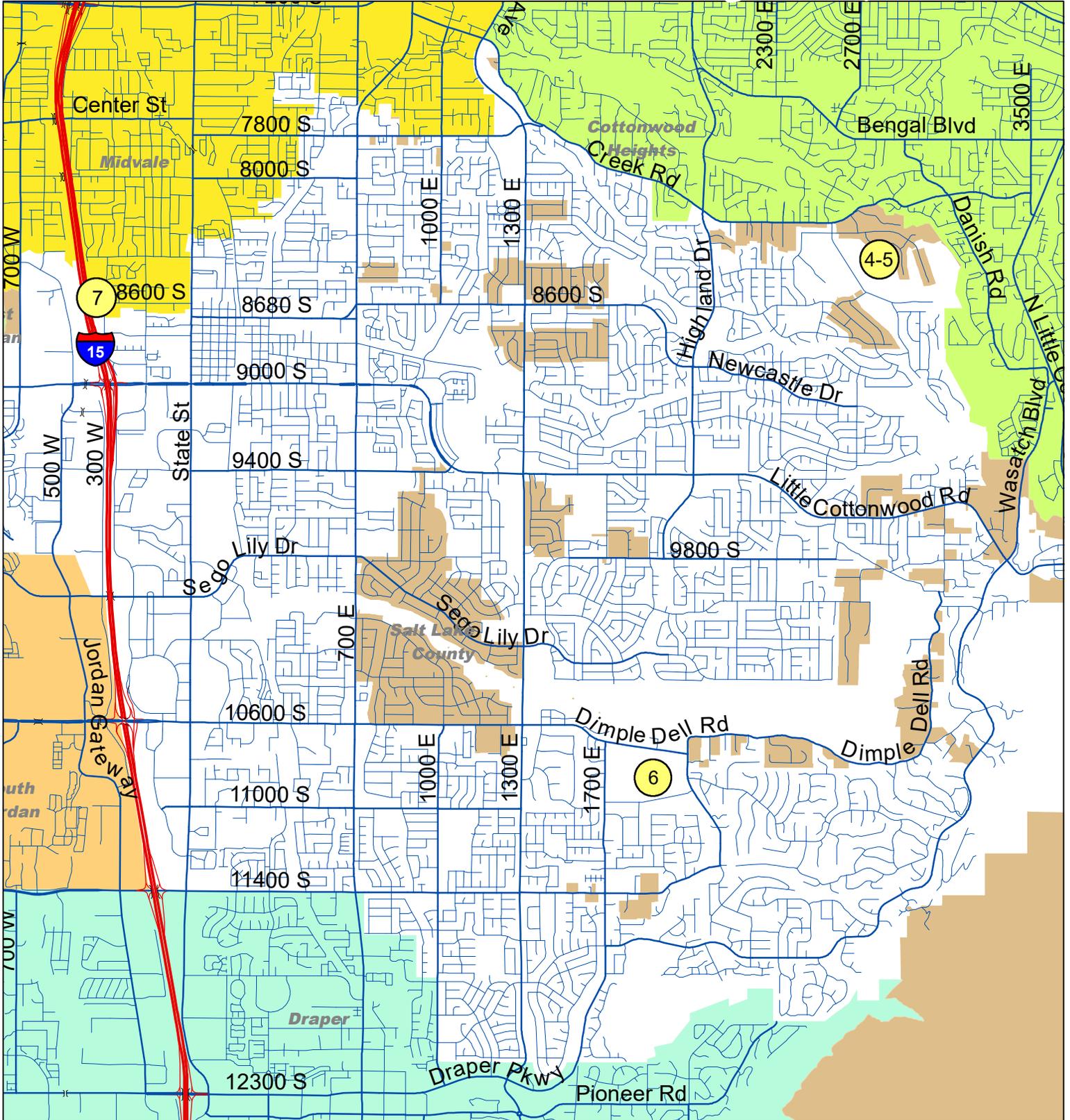
**Date:** 7/18/2024

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Map

# Planning Commission Field Trip

## July 18, 2024



### Legend

-  Locations to visit individually, with agenda item number
-  Locations to be visited on tour, with agenda item number

**See Planning Commission agenda packet for specific addresses and details regarding the application.**





## Staff Report

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**File #:** CA04262024-0006762  
**(PC), Version:** 1

**Date:** 7/18/2024

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**Agenda Item Title:**

Amendments to Title 21 of the Land Development Code related to Home-based Microschools, Micro-education Entities, Charter and Public Schools

**Presenter:**

Melissa Anderson, Zoning Administrator

**Description/Background:**

The proposed Code Amendments would amend Title 21, *Land Development Code*, Chapter 7, *Land Uses in Residential Districts*, Chapter 8, *Land Uses in the Commercial, Office, Industrial, Mixed Use, Transit Corridor, and Research and Development Districts*, Chapter 9, *Institutional Care District*, Chapter 10, *Open Space District*, Chapter 11, *Special Use Standards*, Chapter 19, *Special Development (SD) Districts*, and Chapter 37, *Definitions*. The code amendments are related to home-based microschoools, micro-education entities, charter schools and public schools to ensure Sandy's Land use Development Code (LDC) is consistent with the Utah Code.

During the 2024 Utah Legislative Session, Senate Bill 13 was passed, which provides Home-based Microschools and Micro-education Entities with similar requirements, waivers, and rights as private and charter schools. A Micro-education Entity provides kindergarten through grade 12 education services for up to 100 students, while a Home-based Microschool provides K - 12 education services for up to 16 students from a residential dwelling or property. Of significance is that cities are required to allow both of these schools in all zoning districts within a city, similar to charter and public schools (see UCA 10-9a-305(7)(a)). The proposed code amendments will bring various sections of the City's land use code into compliance with these new state law provisions. The code amendments also bring existing references to charter and public schools into compliance with the Utah Code.

Specific amendments to the LDC are included as Exhibit "A" (red-lined version) and Exhibit "B" (clean version).

Please see the attached staff report and exhibits for the full details of this item.

**Fiscal Impact:**

None

**Further action to be taken:**

The final decision on this item will be made by the City Council.

**Recommended Action and/or Suggested Motion:**

Staff recommends the Planning Commission forward a positive recommendation to the City Council

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to amend Title 21, of the Sandy Municipal Code, related to home-based microschools, micro-education entities, charter schools and public schools as shown in Exhibit "A", based on the following findings:

Findings:

1. The City Council may amend land use ordinances consistent with the purposes of the Sandy Land Development Code, the Sandy City General Plan, and the Utah Code, Municipal Land Use, Development, and Management Act per Title 21 Chapter 5 of the Sandy Municipal Code.
2. The proposal is reviewed by the Planning Commission and City Council in accordance with the requirements of Title 21 Chapter 5 of the Sandy Municipal Code.
3. The proposal complies with the purpose of the Land Development Code under Section 21-1-03 by promoting the public health, safety, and welfare; ensuring consistent and equitable standards; establishing fair procedures that are efficient and effective in terms of time and expense; and by facilitating the orderly growth and development of Sandy City.
4. The proposal complies with the Goals and Policies of the General Plan by establishing appropriate development standards for all uses and zoning categories within Sandy City.



JAMES SORENSEN  
COMMUNITY DEVELOPMENT  
DIRECTOR

MONICA ZOLTANSKI  
MAYOR

SHANE E. PACE  
CHIEF ADMINISTRATIVE  
OFFICER

## Staff Report Memorandum

### July 18, 2024

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To: City Council via Planning Commission

From: Community Development Department

Subject: Amendments to Title 21 of the Land Development Code related to Home-based Microschools, Micro-education Entities, Charter and Public School CA04262024-0006762

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**Public Hearing Notice:** This item has been noticed on public websites, sent to affected entities and posted in three public locations at least 10 days prior to the Public Hearing.

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#### Request

The proposed Code Amendments would amend Title 21, *Land Development Code*, Chapter 7, *Land Uses in Residential Districts*, Chapter 8, *Land Uses in the Commercial, Office, Industrial, Mixed Use, Transit Corridor, and Research and Development Districts*, Chapter 9, *Institutional Care District*, Chapter 10, *Open Space District*, Chapter 11, *Special Use Standards*, Chapter 19, *Special Development (SD) Districts*, and Chapter 37, *Definitions*. The code amendments are related to home-based microschoools, micro-education entities, charter schools and public schools to ensure Sandy's Land use Development Code (LDC) is consistent with the Utah Code. Specific amendments to the LDC are included as Exhibit "A" (red-lined version) and Exhibit "B" (clean version).

#### Background

During the 2024 Utah Legislative Session, [Senate Bill 13](#) was passed, which provides Home-based Microschools and Micro-education Entities with similar requirements, waivers, and rights as private and charter schools. A Micro-education Entity provides kindergarten through grade 12 education services for up to 100 students, while a Home-based Microschool provides K - 12 education services for up to 16 students from a residential dwelling or property. Of significance is that cities are required to allow both of these schools in all zoning districts within a city, similar to charter and public schools (see UCA 10-9a-305(7)(a)). The proposed code amendments will bring various sections of the City's land use code into compliance with these new state law provisions. The code amendments also bring existing references to charter and public schools into compliance with the Utah Code.

## Public Notice

The city issued notice of the public hearing for the proposed code amendments on public websites, mailed notice to affected entities and posted in three public locations at least 10 days prior to the Planning Commission public hearing in accordance with the Land Development Code Sec. 21-36-1 and the Utah Code § 10-9a-205.

## Analysis

A summary of the key points of [Senate Bill 13](#) are described as follows:

- Definitions for Home-based Microschool and Micro-education Entity are provided (see UCA 53G-6-201):
  - *Home-based microschool* means an individual or association of individuals that registers as a business entity in accordance with state and local laws; and provides kindergarten through grade 12 education services for compensation, to 16 or fewer students from an individual's residential dwelling, accessory dwelling unit, or residential property. A home-based microschool does not include a daycare.
  - *Micro-education entity* means a person or association of persons that registers as a business entity in accordance with state and local laws; and provides kindergarten through grade 12 education services for compensation to 100 students or fewer. A micro-education entity does not include a daycare, home-based microschool, private school, commercial school, or a school within the public education system
- A municipality is required to allow a home-based microschool and micro-education entity as a permitted use in all zoning districts (see UCA 10-9a-305(7)(a)).
- Cities are authorized to apply certain restrictions on home-based microschool and micro-education entity. For example, cities may require a business license and regulate parking, traffic, hours of operation and site development, as well as regulate the location if it is necessary to avoid risks to health or safety (see UCA 10-9a-305(10)).

To address these new legislative changes, the Land Development Code is proposed to be amended. The specific language of the proposed code amendment is shown under Exhibit “A” (red-lined version) and Exhibit “B” (clean version). A summary of those amendments is described as follows:

- **Definitions** for Home-based Microschool and Micro-education Entity have been added, consistent with the Utah Code definitions for these land uses.
- **Land Use Matrices** are amended to allow both Home-based Microschools and Micro-education Entities as permitted uses with a special use permit within all zones. This includes all residential, non-residential and special development zoning districts. The Open Space district is the only exception where all schools are **not** permitted in the zone. In addition, existing references to Charter Schools and Public Schools in land use matrices are changed to permitted uses where needed to bring the land development code in line with state law.
- **Micro-education Entity Standards** and qualifications are established by creating a new section under the *Special Use Standards* ([Sec. 21-11](#)). Similar to requirements for *Low Impact Commercial Schools* ([Sec. 21-11-12](#)), the standards for micro-education entities include:
  - **Occupancy** is limited to a maximum of 100 students if all other standards can be met.
  - **Access** to an arterial or major collector street must be provided and no access is permitted to any minor collector or local street.
  - **A Traffic Plan** that has been reviewed and approved by the City Transportation Engineer must include traffic flow, drop off, turn-around areas, and sufficient street width to accommodate additional vehicular traffic.
  - **Required Parking** must include at least 1 space for each instructor/staff, 4 visitor parking spaces, and 4 queuing spaces. Plus 1 visitor parking space and 1 queuing space is required for every 5 students beyond the first 20 students.
  - **An on-site drop-off** area must be provided.

- **Home-based Microschool Standards** and qualifications are established by creating new requirements under the existing *Home Occupation Standards* ([Sec. 21-11-5](#)). Similar to the requirements for *Child Day Care and Other Child Group Activities*, the standards for home-based microschoools are:
  - The standards under [Sec. 21-11-5\(d\)](#) apply to all home occupations, including all Category I and II home-based microschoools.
    - Category I home-based microschoools allow up to 8 students if all Category I standards can also be met.
    - Category II home-based microschoool allow up to 16 students with conditional use permit approval by the Planning Commission, if the Commission finds the following standards can also be met:
      - [Traffic Plan](#) that has been reviewed and approved by the City Transportation Engineer which includes acceptable traffic flow, drop off, turn-around areas, sufficient street width to accommodate additional vehicular traffic, and no more than 24 vehicular stops per day.
      - [Conditional Use Permit](#) requirements under [Sec. 21-33](#).

### No n-Conforming Use s

This code amendment would not create any non-conforming situations.

### Land Development Code Purpose Compliance

The Sandy City Land Development Code in 21-1-3 lists the criteria explaining the intent and purpose of the Ordinance. The purpose is:

#### **21-1-3 Purpose**

*This Code is adopted to implement Sandy City's General Plan and to promote public health, safety, convenience, aesthetics, welfare; efficient use of land; sustainable land use and building practices; transportation options and accessibility; crime prevention; timely citizen involvement in land use decision making; and efficiency in development review and land use administration. Specifically, this Code is established to promote the following purposes:*

#### **1. General**

- a. *To facilitate the orderly growth and development of Sandy City.*
- b. *To facilitate adequate provision for transportation, water, sewage, schools, parks, and other public requirements.*
- c. *To stabilize property values.*
- d. *To enhance the economic well-being of Sandy City and its inhabitants.*

#### **2. Implementation of General Plan**

*To coordinate and ensure the implementation of the City's General Plan through effective execution of development review requirements, adequate facility and services review and other goals, policies, or programs contained in the General Plan.*

#### **3. Comprehensive, Consistent and Equitable Regulations**

*To establish a system of fair, comprehensive, consistent and equitable regulations, standards and procedures for review and approval of all proposed land development within the City.*

#### **4. Efficiently and Effectively Managed Procedures**

- a. *To promote fair procedures that are efficient and effective in terms of time and expense.*
- b. *To be effective and responsive in terms of the allocation of authority and delegation of powers and duties among ministerial, appointed, and elected officials.*
- c. *To foster a positive customer service attitude and to respect the rights of all applicants and affected citizens.*

The proposed code amendment is consistent with the purpose of the Land Development Code because the proposal

promotes the public health, safety and welfare; ensures consistency and equitable standards; establishes fair procedures that are efficient and effective in terms of time and expense; facilitates the orderly growth and development of Sandy City; and is consistent with the Sandy City General Plan.

### General Plan Compliance

The Sandy City General Plan encourages appropriate development standards for all uses and zoning categories within the city. The proposed code amendment furthers that goal and objective by establishing appropriate land development standards for all uses and zoning categories within Sandy City.

### Recommendation

Staff recommends that the Planning Commission forward a positive recommendation to the City Council to amend Title 21, of the Sandy Municipal Code, related to home-based microschoools, micro-education entities, charter schools and public schools as shown in Exhibit “A”, based on the following findings:

### Findings:

1. The City Council may amend land use ordinances consistent with the purposes of the Sandy Land Development Code, the Sandy City General Plan, and the Utah Code, Municipal Land Use, Development, and Management Act per Title 21 Chapter 5 of the Sandy Municipal Code.
2. The proposal is reviewed by the Planning Commission and City Council in accordance with the requirements of Title 21 Chapter 5 of the Sandy Municipal Code.
3. The proposal complies with the purpose of the Land Development Code under Section 21-1-03 by promoting the public health, safety, and welfare; ensuring consistent and equitable standards; establishing fair procedures that are efficient and effective in terms of time and expense; and by facilitating the orderly growth and development of Sandy City.
4. The proposal complies with the Goals and Policies of the General Plan by establishing appropriate development standards for all uses and zoning categories within Sandy City.

Planner:



Melissa Anderson  
Zoning Administrator

Exhibits:

- A. Proposed code amendments (red-lined version)
- B. Proposed code amendments (clean version)

File Name: S:\USERS\PLN\STAFFRPT\2024\CA04262024-0006762 - MICROSCHOOLS\STAFF REPORT\STAFF REPORT - MICROSCHOOL CODE AMENDMENT.FINAL.PKT

CHAPTER 21-7. - LAND USES IN RESIDENTIAL DISTRICTS

...

Sec. 21-7-2. - Permitted Land Use Matrix by the Residential Districts.

(a) Matrix Explanation. The following matrix lists all permitted uses within Sandy City residential, civic or open space zones. The letters "P," "C," "S" or "N" shall mean "Permitted," "Conditional," "Special Use," or "Not Permitted," respectively. Refer to special use standards within the title for all land uses allowed with an "S." For those letters that are followed by a slash "/" the second letter shall indicate those location restrictions for businesses located within 250 feet of a residential district (unless bisected by a major arterial road as determined by the Sandy City Transportation Engineer in the Transportation Element of the Sandy City General Plan). For those land uses marked with a superscript number ( <sup>1</sup> ), refer to Subsection (c) of this section for explanation.

(b) Table of Uses.

Land Use Category	R-1-40	R-1-30	R-1-20	R-1-15	R-1-12	R-1-10	R-1-9	R-1-8	R-1-8 (INF)	R-1-7.5 (HS)	R-1-6	R-2-10	R-2-8	RM	MH	PUD
School, charter	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
School, commercial	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
School, commercial (low-impact)	N <sup>9</sup>															
<u>School, home-based microschoo</u>	<u>S<sup>2</sup></u>															
<u>School, micro-education entity</u>	<u>S<sup>15</sup></u>															
School, private or quasi-public	N <sup>9</sup>															
School, public	<u>CP</u>															

(c) Explanatory Notes for Land Use Matrix.

.....

2. This land use may be allowed only as a home occupation subject to the home occupations standards and qualifications.

...

9. May be allowed as a home occupation subject to the Home Occupation Standards and Qualifications. A conditional use permit would be required if a commercial school, low-impact, complies with the regulations established for such use.

...

15. A micro-education entity is a permitted use subject to the special use standards and qualifications.

**Exhibit "A"**

**CHAPTER 21-8. - LAND USES IN THE COMMERCIAL, OFFICE, INDUSTRIAL, MIXED USE, TRANSIT CORRIDOR, AND RESEARCH AND DEVELOPMENT DISTRICTS**

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**Sec. 21-8-2. - Permitted Land Use Matrix by the Commercial, Office, Industrial, Mixed Use, Transit Corridor, and Research and Development Districts.**

(a) Matrix Explanation. The following matrix lists all permitted uses within Sandy City commercial, office, industrial, mixed use, transit corridor, and research and development districts. The letters "P," "C," "S," or "N" shall mean "Permitted," "Conditional," "Special Use," or "Not Permitted," respectively. Refer to special use standards within this title for all land uses allowed with an "S." For those letters which are followed by a slash "/" the second letter shall indicate those location restrictions for businesses located within 250 feet of a residential district (unless bisected by a major arterial road as determined by the Sandy City Transportation Engineer in the Transportation Element of the Sandy City General Plan). For those land uses marked with a superscript number ( 1 ), refer to Subsection (c) of this section for explanation.

(b) Table of Uses.

Land Use Category	CBD	CB D-P	CB D-O	CBD -A&C	CR-PUD	RC	BC	CC	CN	CvC	CN (HS N)	HB D	LC	PO	ID	AM (Deal erships)	AM (Co mm ercial l)	MU	TC	RD
School, charter	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	NP	P
School, commercial	P	C	C	P	P	P	P	P	P	N	P	P	P	N	P	C	P	C	N	P
School, commercial (low-impact)	P <sup>17</sup>	C <sup>17</sup>	P <sup>17</sup>																	
<u>School, home-based microschoo</u>	<u>S<sup>28</sup></u>																			
<u>School, micro-education entity</u>	<u>S<sup>29</sup></u>																			
School, private or quasi-public	C	C	C	C	C	C	C	C	C	N	N	N	C	C	N	C	C	C	N	C
School, public	<del>GP</del>																			

...

(c) Explanatory Notes for Land Use Matrix.

...

28. A home-based microschoo may be allowed only as a home occupation subject to the home occupations standards and qualifications. If not otherwise permitted in the zone, the home-based microschoo may only be considered for existing legal non-conforming dwellings.

29. A micro-education entity is a permitted use subject to the special use standards and qualifications.

CHAPTER 21-9. - INSTITUTIONAL CARE DISTRICT

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Sec. 21-9-3. - Permitted Land Uses by the Institutional Care District.

(a) Matrix Explanation. The following matrix below lists all permitted standards within the Institutional Care District. The letters "P," "C," "S," or "N" shall mean "Permitted," "Conditional," "Special Use," or "Not Permitted," respectively. Refer to special use standards within this title for all land uses allowed with an "S." For those letters which are followed by a slash "/" the second letter shall indicate those location restrictions for business located within 250 feet of a residential district (unless bisected by a major arterial road as determined by the Sandy City Transportation Engineer in the Transportation Element of the Sandy City General Plan).

(b) Table of Uses.

*Land Uses in Institutional Care Districts*

School, charter	NP
School, commercial	N
School, commercial (low-impact)	N
<u>School, home-based microschool</u>	<u>S<sup>1</sup></u>
<u>School, micro-education entity</u>	<u>S<sup>2</sup></u>
School, private or quasi-public	N
School, public	NP

...

(c) Explanatory Notes.

1. A home-based microschool may be allowed only as a home occupation subject to the home occupations standards and qualifications. If not otherwise permitted in the zone, the home-based microschool may only be considered for existing legal non-conforming dwellings.
2. A micro-education entity is a permitted use subject to the special use standards and qualifications.

**CHAPTER 21-10. - OPEN SPACE DISTRICT**

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**Sec. 21-10-2. - Permitted Land Uses in the Open Space District.**

(a) Matrix Explanation. The following matrix lists all permitted uses within the Open Space District. The letters "P," "C," "S," or "N" shall mean "Permitted," "Conditional," "Special Use," or "Not Permitted," respectively. Refer to special use standards within this title for all land uses allowed with an "S." For those letters that are followed by a slash "/" the second letter shall indicate those location restrictions for business located within 250 feet of a residential district (unless bisected by a major arterial road as determined by the City Transportation Engineer in the Transportation Element of the Sandy City General Plan). For those land uses marked with a superscript number ( 1 ), refer to Subsection (c) of this section for explanation.

(b) Table of Uses.

*Land Uses in Open Space District*

School, charter	N
School, commercial	N
School, commercial (low-impact)	N
<u>School, home-based microschool</u>	<u>N</u>
<u>School, micro-education entity</u>	<u>N</u>
School, private or quasi-public	N
School, public	N

**CHAPTER 21-11. - SPECIAL USE STANDARDS**

...

**Sec. 21-11-5. Home Occupations.**

...

- (d) *Home Occupation Standards.* All home occupations, licensed or not, shall comply with the following standards at all times:
- (1) *Bona Fide Resident.* The home occupation business shall be owned by and carried on only by a bona fide resident of the home that resides in the home more than six months (183 days or more) per calendar year. Proof of residency shall be provided as follows:
    - a. A signed statement stating that the property is the primary residence of the business owner and will remain as the primary residence for the duration of the home occupation license; and
    - b. A government-issued identification listing the address of the property as the address of the business owner, unless the Director determines, for good cause, it is not required.
  - (2) *Satellite Office Not Allowed.* A home occupation shall not be construed to mean an employee working in his home in the service of an employer whose principal place of business is licensed at another location. Business activities that do not qualify for the exemption from licensure as described in this Section shall not be conducted at the home of an employee of a company and shall not be conducted by nonresident company employees.
  - (3) *Accessory Use on the Property.* For residential purposes, the home occupation shall be clearly secondary and incidental to the primary use of the dwelling unit.
  - (4) *On-Site Employees.* One full-time or full-time equivalent nonresident may be employed, volunteer, or work on the premises where the home occupation business is located. No more than two persons shall comprise the equivalent full-time employee, and only one nonresident employee may work at the home at one time.
  - (5) *Off-Site Employees.* Any home occupation may utilize employees to work off-site. The off-site employee, volunteer, hiree, or any other person engaged with the home occupation shall not come to the home for purposes related to the home occupation business license except for incidental vehicle stops.
  - (6) *Off-Street Parking.* All business-related vehicles which park at the location of the home occupation, including those of the applicant, employee, customers, clients, or business-related visitor vehicles, must use off-street parking. This provision excludes stops made by delivery vehicles.
  - (7) *Vehicle Advertisement.* Vehicles, trailers, or equipment may not be used for the primary purpose of advertising the home occupation at the site of the home occupation.
  - (8) *Designating Areas of Property to be Used.* The home occupation applicant must designate the portion of the home, accessory structure, yard, or attached or detached garage to be used as the location for business activities. No businesses are allowed to operate outside of an enclosed structure, unless otherwise approved by the Planning Commission for outside activities.
  - (9) *External Appearance.* The home occupation must maintain or improve the external residential appearance of the principal structure, attached or detached garage, or accessory structure. Any structural alterations to accommodate the home occupation shall maintain the architectural aesthetics and compatibility of the neighborhood.
  - (10) *Outdoor/Yard Space.* The home occupation shall not involve the use of any yard space for storage or display of supplies, inventory, or equipment when such use is in conjunction with the sales, service, or production of goods, unless specifically stored within trailers or accessory structures as allowed herein. Any screened area or structure used for the home occupation must be located in either the side or rear yard areas.
  - (11) *Business Trailer.* One trailer may be used in association with the home occupation. Trailers allowed in conjunction with a home occupation are as follows:
    - a. An open or enclosed trailer with a body length of 20 feet or less, excluding the tongue.

## Exhibit "A"

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- b. Materials/equipment shall not be stored outside of the trailer.
  - c. The trailer shall be placed in the side or rear yard behind a fence or garaged on private property and not within the front yard of the dwelling. If the home is located on a corner lot, the trailer shall not be stored on the street side of the house unless it is out of the required front yard setback. If the topography of the lot prohibits the parking of the trailer on the side or rear yard, the trailer must be stored off-site.
  - d. The trailer must be well-maintained and must not present negative impacts for adjacent neighbors, including, but not limited to, odors, dust, or parking location.
  - e. All areas utilized for the parking of trailers shall be paved with a hard surface (e.g., concrete, asphalt, brick, or other water impenetrable surface). This includes the side and rear yard of the home. It is prohibited to park upon areas that have been landscaped or are reserved for future landscaping.
  - f. A site plan shall be included with all business license applications indicating where the trailer will be stored outside of the front yard.
- (12) *Commercial Vehicle.* Only one such vehicle may be parked on a residential lot. A commercial vehicle parked or stored on a residential lot must be owned or apportioned by an occupant who resides at the residence. This vehicle must comply with all residential parking requirements contained within this title.
- (13) *Conformity with Safety Codes.* There shall be complete conformity with fire, building, plumbing, electrical, and all other City, County, State, and Federal codes.
- (14) *Health and Safety.* No process can be used which is hazardous to public health, safety, morals, or welfare.
- (15) *No Excessive Utility Uses.* The home occupation shall not cause a demand for municipal, community, or utility services that are substantially in excess of those usually and customarily provided for residential uses.
- (16) *Neighborhood Disruptions Not Permitted.* The home occupation shall not interfere or disrupt the peace, quiet, and domestic tranquility of the neighborhood. The home occupation shall not create or be associated with or produce odor, smoke, dust, heat, fumes, light, glare, noises or vibrations, excessive traffic, or other nuisances, including interferences with radio and television reception, or any other adverse effects within the neighborhood.
- (17) *Renter/Owner Responsibility.* If the applicant for a home occupation license rents or leases the property wherein the home occupation is intended to be conducted, the applicant must provide a letter of acknowledgment and consent from the property owner at the time the application is submitted to the Business License Office.
- (18) *Interior Alterations/Remodeling.* Interior alterations of the principal dwelling for the purpose of accommodating the home occupation are prohibited if such alteration eliminates the kitchen, and/or all of the dining areas, bathrooms, living areas, or all of the bedrooms.
- (19) *Exempt from Business Licensure.* A business license will not be required unless the combined off-site impact of the home occupation and the primary residential use materially exceeds the impact of the primary residential use alone. If a home occupation has any of the following impacts, a business license is required:
- a. Business-related customers, client visits, or meetings on the property.
  - b. Signage or advertising of the business that is visible from the exterior of the home.
  - c. The business owner or operator desires a physical copy of a business license.
  - d. Any nonresident working on the property.
  - e. Business-related deliveries are made to or from the property.
  - f. Accessory or commercial vehicles are stored or parked on the property for the home occupation.
  - g. The home or property requires inspections from any regulatory authority or agency, including, but not limited to, the City, Salt Lake Valley Health Department, and/or the Department of Agriculture.
  - h. The business generates any additional vehicular traffic or parking on the property.
  - i. If the State requires a sales tax number for any reason.

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**Exhibit "A"**

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- j. If the home occupation is categorized as a Category II, Conditional Use Home Occupations, as described herein.
  - k. If the home requires any modification requiring a building permit to accommodate the business operations.
  - l. When the business use within the home exceeds 25 percent of the primary dwelling.
- (e) *Category I Qualifications.* In addition to the standards previously set forth above, all Category I home occupation businesses must also comply with the provision of the qualifications outlined below. If a business finds that they are unable to fully comply with all of the qualifications set forth, the applicant may pursue possible approval as a Category II home occupation through the conditional use permit process before submitting the application for a home occupation business license.
- (1) *Hours.* No visitors in conjunction with the home occupation (clients, patrons, employees, volunteers, students, pupils, etc.) shall be permitted between the hours of 10:00 p.m. and 6:00 a.m.
  - (2) *Traffic.* Vehicular traffic from business related visitors and customers shall not exceed that which normally and reasonably occurs for a home in the neighborhood and shall be conducted so that the neighbors will not be significantly impacted by its existence. The home occupation shall be limited to two business related visitors or customers per hour, to a maximum of eight business related visitors or customers per day. Business related deliveries or pickups shall not exceed two per day.
  - (3) *Delivery Vehicles.* The receipt or delivery of merchandise, goods, or supplies for use in a home occupation shall be limited to vehicles with a gross vehicle weight rating (GVWR) of 23,000 pounds or less.
  - (4) *Conducted in a Home.* When business activities are being conducted on the property that is to be licensed, the home occupation shall be primarily conducted within the principal home.
  - (5) *Maximum Floor Space.* No more than 25 percent of the total main floor area or upper living levels of the dwelling unit, nor, in the alternative, more than 50 percent of the total floor area of any basement of the home unit shall be utilized for the home occupation.
  - (6) *Signs.* The home occupation may utilize one unanimated, non-illuminated flat sign for each street upon which the home abuts. The sign must be placed either in a window or on the exterior wall of the home wherein the home occupation is being conducted and may not have an area greater than one square foot.
  - (7) *Display of Products.* The home occupation may include the sale of tangible goods. Direct sales from display apparatus is permitted only if the goods or products are not visible from the exterior of any approved structure being used for the home occupation.
  - (8) *Food or Beverage Preparation for Consumption Outside of the Home.* Any home occupation involving or proposing to involve food or drink preparation, storage, or catering will be permitted when it is authorized by the appropriate State or County department or agency.
  - (9) *Category I Home Occupation Licensing Involving Child Day Care and Other Child Group Activities.*
    - a. This type of home occupation shall not exceed eight children associated with child day care or other child group activities (e.g., dance schools, preschool, music classes, etc.) at any one time. A maximum of eight students/children are permitted per day. This number shall include the licensee's own children if they are under six years of age and are under the care of the licensee at the time the home occupation is conducted.
    - b. All child day care and other group child activity facilities shall provide safe, outdoor play time and spaces as required by Federal, State, County, or local laws governing such business activities.

## Exhibit "A"

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(10) *Category I Home Occupation License Involving Adult Day Care.*

- a. This type of home occupation shall not exceed supervising more than two elderly persons 60 years of age or older or more than two persons who have a mental or physical disability or acquired brain injury, as defined by the Utah Department of Health and Human Services (DHHS) Division of Services for People with Disabilities (DSPD). Any home occupation of this nature which exceeds two individuals or more than 12 hours of operation will be considered a Category II home occupation and shall be reviewed and approved by the Planning Commission.
- b. This type of home occupation must comply with all local and state laws governing such business activity.

(11) *Category I Home Occupation Licensing Involving Renting Recreational Vehicles from Personal Property in Single-Family Residential Zones.*

- a. A property owner/resident living in the home may rent one recreational vehicle that is owned by the owner/resident. Where more than one recreational vehicle can fit on a recreational trailer, the owner may rent a maximum of two recreational vehicles.
- b. Any recreational vehicle must be parked according to the residential parking requirements and restrictions within this title, except that any recreational vehicle that is being rented from the home must be parked on a hard surface (concrete, asphalt, brick, or other impenetrable surface). In addition, the maximum area of hard surface for the purpose of parking a recreational vehicle shall be complied with.
- c. Advertising on the recreational vehicle is prohibited.
- d. Servicing the recreational vehicle shall be limited to those activities which will comply with Chapter 13-2 and Title 19.
- e. Any customer renting the recreational vehicle shall not leave their own car on the street, but may place their vehicle on the homeowner's property in compliance with all residential parking requirements during the time the recreational vehicle is being rented.

(12) Category I Home Occupation Licensing Involving a Home-based Microschool.

- a. A home-based microschool provides kindergarten through grade 12 education services for compensation. A home-based microschool does not include a daycare.
- b. A maximum of 8 students is permitted at any one time.
- c. A maximum of 8 students is permitted per day.
- d. The maximum number of students includes the licensee's and any employees' children if they are a student at the time the home occupation is conducted.

(f) *Category II, Conditional Use Permit Required.* If a home occupation is able to comply with all of the standards but is unable to comply with all of the Category I qualifications established above, the proposed business activities must be reviewed by the Planning Commission and granted a conditional use permit before pursuing a home occupation business license through the Business License Office.

(1) *General.* In addition to any conditions established by the Planning Commission at the time of its review, all Category II home occupations must comply with the following:

- a. All Category II home occupation uses shall only be conducted from property with a single-family dwelling.

## Exhibit "A"

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- b. The conditional use permit and the home occupation business license shall be maintained in good standing for the entire period that business is being conducted.
- (2) *Compliance.* Uses are appropriate as licensable home occupations only if they are determined to be compatible with residential neighborhoods after full conditional use review by the Planning Commission, compliance with Title 15, all of the standards and qualifications that have not been granted an exception through the conditional use process, and additional regulations set forth hereafter.
- (3) *Child Day Care.* The following items indicate maximum limits that may be granted by the Planning Commission when a child day care is expected to exceed eight children at one time:
- a. A maximum of 16 children is permitted at any one time.
  - b. A maximum of 18 children is permitted per day.
  - c. These numbers shall include the licensee's and any employees' children if they are under six years of age and are under the care of the licensee at the time the home occupation is conducted.
  - d. A maximum of 24 vehicular stops per day for child drop off or pick up is permitted.
- (4) *Group Child Activities.* The following provisions indicate a maximum limit that may be granted by the Planning Commission for other group child activities which are expected to generate or exceed eight children/students (e.g., dance schools, preschools, music classes, other care or instruction for children) at any one time other than child day care:
- a. The following guidelines shall be used to determine the maximum number of students/children permitted:
    - 1. A Traffic Plan that has been reviewed and approved by the City Transportation Engineer which includes acceptable traffic flow, drop off, and turn-around areas.
    - 2. The existing residential street is of sufficient width to accommodate additional vehicular traffic.
  - b. A maximum of 12 students/children per session and a maximum of 24 students/children per day shall be permitted.
  - c. A maximum of four sessions per day may be permitted.
  - d. All sessions combined shall not generate more than 24 vehicular stops per day.
  - e. The total number of students/children shall include the licensee's and any employees' children if they are under six years of age and are under the care of the licensee at the time the home occupation is conducted.
  - f. No group child activities falling under a Category II home occupation may be established within 300 feet as measured from property line to property line of another group child activity, Category II home occupation use.
- (5) *Home-based Microschool.* The following provisions indicate maximum limits that may be granted by the Planning Commission when a Home-based Microschool is unable to fully comply with all the qualifications set forth for a Category I Home Occupation License.
- a. The following shall be used to determine the maximum number of students permitted:
    - 1. A Traffic Plan that has been reviewed and approved by the City Transportation Engineer which includes acceptable traffic flow, drop off, and turn-around areas.

Exhibit "A"

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2. The existing residential street is of sufficient width to accommodate additional vehicular traffic.

3. No more than 24 vehicular stops per day for student drop off or pick up is permitted.

b. A maximum of 16 students is permitted at any one time.

c. A maximum of 16 students is permitted per day.

e. The maximum number of students includes the licensee's and any employees' children if they are a student at the time the home occupation is conducted.

(56) *Work Shops.* Repair shops, including welding, carpentry, sheet metal work, furniture manufacturing, upholstery, and other similar manufacturing activities

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....

**Sec. 21-11-27. – Micro-Education Entity.**

(a) A Micro-education entity provides kindergarten through grade 12 education services for compensation. Micro-education entities are allowed according to the land use matrices as a Special Use provided it complies with all the following restrictions:

(1) Occupancy shall be limited to a maximum of 100 students at any one time and a maximum of 100 students per day.

(2) The proposed use must have direct access to an arterial or major collector street, with no access permitted to any minor collector or local street.

(3) The following shall be used to determine the maximum number of students permitted:

a. A Traffic Plan that has been reviewed and approved by the City Transportation Engineer which includes acceptable traffic flow, drop off, and turn-around areas.

b. The street is of sufficient width to accommodate additional vehicular traffic.

(4) Required Parking.

a. Required parking shall consist of at least one space for each instructor and staff, four visitor parking spaces, and four queuing spaces.

b. In addition, one visitor parking space and one queuing space is required for every five students or a portion thereof beyond the first 20 students.

(5) An on-site drop-off area shall be provided.

**CHAPTER 21-19. - SPECIAL DEVELOPMENT (SD) DISTRICTS**

**Sec. 21-19-1. - Special Development District SD.**

...

(c) *Land Uses Allowed.* Land uses allowed within an SD District shall be established by the review process as described in Subsection (e) of this section-, except as otherwise authorized by Utah Code Annotated as are currently in effect or as may be amended. These include, but are not limited:

(1) School, Charter. Charter School is a permitted use.

(2) School, Home-based Microschool. Home-based microschool may be allowed only as a home occupation subject to the home occupations standards and qualifications. If not otherwise permitted in the zone, the home-based microschool may only be considered for existing legal non-conforming dwellings.

(3) School, Micro-education entity. Micro-education entity is a permitted use subject to the special use standards and qualifications.

(4) School, Public. Public School is a permitted use.

...

**CHAPTER 21-37. - DEFINITIONS**

**Sec. 21-37-9. - "H" Definitions**

...

(12) *Home occupation* means a business, occupation, profession, operation, managing or carrying on of a business for the purpose of economic gain, which activity is carried on as an accessory use in a residential zone by a bona fide resident of the dwelling. A home occupation shall not be construed to mean an employee working in their own home in the service of an employer whose principal place of business is licensed at another location within Sandy or elsewhere. A home occupation shall not be construed to mean an individual making deliveries of products which were ordered in advance.

~~(13)~~ *Home-based microschoo*. See *School, Home-based microschoo*.

~~(1314)~~ *Hospice*. See *Health care facilities*.

...

**Sec. 21-37-14. - "M" Definitions.**

...

(8) *Medical and health care office* means a building used exclusively by physicians, dentists, and other health care personnel for the treatment and examination of patients on an outpatient basis.

~~(9)~~ *Micro-education entity*. See *School, Micro-education entity*.

~~(910)~~ *Micro wireless facility* means a type of small wireless facility that, not including any antenna, is no larger in dimension than 24 inches in length, 15 inches in width, and 12 inches in height, and on which any exterior antenna is no longer than 11 inches; and that only provides Wi-Fi service.

...

**Sec. 21-37-20. - "S" Definitions**

...

(3) *School, charter*, means a public school established by a contract with a school district governing board, the State Board Of Education, or the State Board for Charter Schools pursuant to state law.

(4) *School, commercial*, means a school established to provide for the teaching of vocational, industrial, clerical, managerial, artistic skills, or similar skills. This definition applies to schools that are owned and operated privately for profit and that do not offer a complete educational curriculum (e.g., beauty school, modeling school).

(5) *School, commercial (low-impact)*, means those commercial schools which are artistic in nature and which have a relatively low impact on surrounding uses because they are conducted indoors; have a limited number of students; and do not require a large number of parking spaces because of the age of the students. Such schools generally include smaller scale dance schools, music lessons, martial arts schools, gymnastics schools and similar uses.

## Exhibit "A"

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(6) School, Home-based microschool, means an individual or association of individuals that registers as a business entity in accordance with state and local laws; and provides kindergarten through grade 12 education services for compensation, to 16 or fewer students from an individual's residential dwelling, accessory dwelling unit, or residential property. A home-based microschool does not include a daycare.

(7) School, Micro-education entity, means a person or association of persons that registers as a business entity in accordance with state and local laws; and provides kindergarten through grade 12 education services for compensation to 100 students or fewer. A micro-education entity does not include a daycare, home-based microschool, private school, commercial school, or a school within the public education system.

(68) School, private or quasi-public, means a school operated by a private or quasi-public organization, or individual, which has a curriculum similar to that provided in any public school in the State of Utah, except that such curriculum may include religious instruction. A private school may be a profit-making or nonprofit organization. A private school may also include laboratory and shop instruction with the use of demonstration vehicles, products or models incidental to said instruction; but shall not include the repair, maintenance and manufacture of vehicles, goods or merchandise, and shall not provide direct services, other than instruction to the general public. (Does not include commercial schools.)

(79) Schools, public, means an educational facility operated by a school district or other public agency of the State of Utah.

...

**CHAPTER 21-7. - LAND USES IN RESIDENTIAL DISTRICTS**

...

**Sec. 21-7-2. - Permitted Land Use Matrix by the Residential Districts.**

(a) Matrix Explanation. The following matrix lists all permitted uses within Sandy City residential, civic or open space zones. The letters "P," "C," "S" or "N" shall mean "Permitted," "Conditional," "Special Use," or "Not Permitted," respectively. Refer to special use standards within the title for all land uses allowed with an "S." For those letters that are followed by a slash "/" the second letter shall indicate those location restrictions for businesses located within 250 feet of a residential district (unless bisected by a major arterial road as determined by the Sandy City Transportation Engineer in the Transportation Element of the Sandy City General Plan). For those land uses marked with a superscript number ( <sup>1</sup> ), refer to Subsection (c) of this section for explanation.

(b) Table of Uses.

Land Use Category	R-1-40	R-1-30	R-1-20	R-1-15	R-1-12	R-1-10	R-1-9	R-1-8	R-1-8 (INF)	R-1-7.5 (HS)	R-1-6	R-2-10	R-2-8	RM	MH	PUD
School, charter	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
School, commercial	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
School, commercial (low-impact)	N <sup>9</sup>															
School, home-based microschool	S <sup>2</sup>															
School, micro-education entity	S <sup>15</sup>															
School, private or quasi-public	N <sup>9</sup>															
School, public	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P

(c) Explanatory Notes for Land Use Matrix.

.....

2. This land use may be allowed only as a home occupation subject to the home occupations standards and qualifications.

...

9. May be allowed as a home occupation subject to the Home Occupation Standards and Qualifications. A conditional use permit would be required if a commercial school, low-impact, complies with the regulations established for such use.

...

15. A micro-education entity is a permitted use subject to the special use standards and qualifications.

**Exhibit "B"**

**CHAPTER 21-8. - LAND USES IN THE COMMERCIAL, OFFICE, INDUSTRIAL, MIXED USE, TRANSIT CORRIDOR, AND RESEARCH AND DEVELOPMENT DISTRICTS**

...

**Sec. 21-8-2. - Permitted Land Use Matrix by the Commercial, Office, Industrial, Mixed Use, Transit Corridor, and Research and Development Districts.**

(a) Matrix Explanation. The following matrix lists all permitted uses within Sandy City commercial, office, industrial, mixed use, transit corridor, and research and development districts. The letters "P," "C," "S," or "N" shall mean "Permitted," "Conditional," "Special Use," or "Not Permitted," respectively. Refer to special use standards within this title for all land uses allowed with an "S." For those letters which are followed by a slash "/" the second letter shall indicate those location restrictions for businesses located within 250 feet of a residential district (unless bisected by a major arterial road as determined by the Sandy City Transportation Engineer in the Transportation Element of the Sandy City General Plan). For those land uses marked with a superscript number ( 1 ), refer to Subsection (c) of this section for explanation.

(b) Table of Uses.

Land Use Category	CBD	CB D-P	CB D-O	CBD -A&C	CR-PUD	RC	BC	CC	CN	CvC	CN (HS N)	HB D	LC	PO	ID	AM (Deal erships)	AM (Co mmercial)	MU	TC	RD
School, charter	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
School, commercial	P	C	C	P	P	P	P	P	P	N	P	P	P	N	P	C	P	C	N	P
School, commercial (low-impact)	P <sup>17</sup>	C <sup>17</sup>	P <sup>17</sup>	P <sup>17</sup>	P <sup>17</sup>	P <sup>17</sup>	P <sup>17</sup>													
School, home-based microschool	S <sup>28</sup>	S <sup>28</sup>	S <sup>28</sup>	S <sup>28</sup>	S <sup>28</sup>															
School, micro-education entity	S <sup>29</sup>	S <sup>29</sup>	S <sup>29</sup>	S <sup>29</sup>	S <sup>29</sup>															
School, private or quasi-public	C	C	C	C	C	C	C	C	C	N	N	N	C	C	N	C	C	C	N	C
School, public	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P

...

(c) Explanatory Notes for Land Use Matrix.

...

28. A home-based microschool may be allowed only as a home occupation subject to the home occupations standards and qualifications. If not otherwise permitted in the zone, the home-based microschool may only be considered for existing legal non-conforming dwellings.

29. A micro-education entity is a permitted use subject to the special use standards and qualifications.

**CHAPTER 21-9. - INSTITUTIONAL CARE DISTRICT**

...

**Sec. 21-9-3. - Permitted Land Uses by the Institutional Care District.**

(a) Matrix Explanation. The following matrix below lists all permitted standards within the Institutional Care District. The letters "P," "C," "S," or "N" shall mean "Permitted," "Conditional," "Special Use," or "Not Permitted," respectively. Refer to special use standards within this title for all land uses allowed with an "S." For those letters which are followed by a slash "/" the second letter shall indicate those location restrictions for business located within 250 feet of a residential district (unless bisected by a major arterial road as determined by the Sandy City Transportation Engineer in the Transportation Element of the Sandy City General Plan).

(b) Table of Uses.

*Land Uses in Institutional Care Districts*

School, charter	P
School, commercial	N
School, commercial (low-impact)	N
School, home-based microschool	S <sup>1</sup>
School, micro-education entity	S <sup>2</sup>
School, private or quasi-public	N
School, public	P

...

(c) Explanatory Notes.

1. A home-based microschool may be allowed only as a home occupation subject to the home occupations standards and qualifications. If not otherwise permitted in the zone, the home-based microschool may only be considered for existing legal non-conforming dwellings.
2. A micro-education entity is a permitted use subject to the special use standards and qualifications.

**CHAPTER 21-10. - OPEN SPACE DISTRICT**

...

**Sec. 21-10-2. - Permitted Land Uses in the Open Space District.**

(a) Matrix Explanation. The following matrix lists all permitted uses within the Open Space District. The letters "P," "C," "S," or "N" shall mean "Permitted," "Conditional," "Special Use," or "Not Permitted," respectively. Refer to special use standards within this title for all land uses allowed with an "S." For those letters that are followed by a slash "/" the second letter shall indicate those location restrictions for business located within 250 feet of a residential district (unless bisected by a major arterial road as determined by the City Transportation Engineer in the Transportation Element of the Sandy City General Plan). For those land uses marked with a superscript number ( 1 ), refer to Subsection (c) of this section for explanation.

(b) Table of Uses.

*Land Uses in Open Space District*

School, charter	N
School, commercial	N
School, commercial (low-impact)	N
School, home-based microschool	N
School, micro-education entity	N
School, private or quasi-public	N
School, public	N

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**CHAPTER 21-11. - SPECIAL USE STANDARDS**

...

**Sec. 21-11-5. Home Occupations.**

...

- (d) *Home Occupation Standards.* All home occupations, licensed or not, shall comply with the following standards at all times:
- (1) *Bona Fide Resident.* The home occupation business shall be owned by and carried on only by a bona fide resident of the home that resides in the home more than six months (183 days or more) per calendar year. Proof of residency shall be provided as follows:
    - a. A signed statement stating that the property is the primary residence of the business owner and will remain as the primary residence for the duration of the home occupation license; and
    - b. A government-issued identification listing the address of the property as the address of the business owner, unless the Director determines, for good cause, it is not required.
  - (2) *Satellite Office Not Allowed.* A home occupation shall not be construed to mean an employee working in his home in the service of an employer whose principal place of business is licensed at another location. Business activities that do not qualify for the exemption from licensure as described in this Section shall not be conducted at the home of an employee of a company and shall not be conducted by nonresident company employees.
  - (3) *Accessory Use on the Property.* For residential purposes, the home occupation shall be clearly secondary and incidental to the primary use of the dwelling unit.
  - (4) *On-Site Employees.* One full-time or full-time equivalent nonresident may be employed, volunteer, or work on the premises where the home occupation business is located. No more than two persons shall comprise the equivalent full-time employee, and only one nonresident employee may work at the home at one time.
  - (5) *Off-Site Employees.* Any home occupation may utilize employees to work off-site. The off-site employee, volunteer, hiree, or any other person engaged with the home occupation shall not come to the home for purposes related to the home occupation business license except for incidental vehicle stops.
  - (6) *Off-Street Parking.* All business-related vehicles which park at the location of the home occupation, including those of the applicant, employee, customers, clients, or business-related visitor vehicles, must use off-street parking. This provision excludes stops made by delivery vehicles.
  - (7) *Vehicle Advertisement.* Vehicles, trailers, or equipment may not be used for the primary purpose of advertising the home occupation at the site of the home occupation.
  - (8) *Designating Areas of Property to be Used.* The home occupation applicant must designate the portion of the home, accessory structure, yard, or attached or detached garage to be used as the location for business activities. No businesses are allowed to operate outside of an enclosed structure, unless otherwise approved by the Planning Commission for outside activities.
  - (9) *External Appearance.* The home occupation must maintain or improve the external residential appearance of the principal structure, attached or detached garage, or accessory structure. Any structural alterations to accommodate the home occupation shall maintain the architectural aesthetics and compatibility of the neighborhood.
  - (10) *Outdoor/Yard Space.* The home occupation shall not involve the use of any yard space for storage or display of supplies, inventory, or equipment when such use is in conjunction with the sales, service, or production of goods, unless specifically stored within trailers or accessory structures as allowed herein. Any screened area or structure used for the home occupation must be located in either the side or rear yard areas.
  - (11) *Business Trailer.* One trailer may be used in association with the home occupation. Trailers allowed in conjunction with a home occupation are as follows:
    - a. An open or enclosed trailer with a body length of 20 feet or less, excluding the tongue.

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**Exhibit "B"**

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- b. Materials/equipment shall not be stored outside of the trailer.
  - c. The trailer shall be placed in the side or rear yard behind a fence or garaged on private property and not within the front yard of the dwelling. If the home is located on a corner lot, the trailer shall not be stored on the street side of the house unless it is out of the required front yard setback. If the topography of the lot prohibits the parking of the trailer on the side or rear yard, the trailer must be stored off-site.
  - d. The trailer must be well-maintained and must not present negative impacts for adjacent neighbors, including, but not limited to, odors, dust, or parking location.
  - e. All areas utilized for the parking of trailers shall be paved with a hard surface (e.g., concrete, asphalt, brick, or other water impenetrable surface). This includes the side and rear yard of the home. It is prohibited to park upon areas that have been landscaped or are reserved for future landscaping.
  - f. A site plan shall be included with all business license applications indicating where the trailer will be stored outside of the front yard.
- (12) *Commercial Vehicle.* Only one such vehicle may be parked on a residential lot. A commercial vehicle parked or stored on a residential lot must be owned or apportioned by an occupant who resides at the residence. This vehicle must comply with all residential parking requirements contained within this title.
- (13) *Conformity with Safety Codes.* There shall be complete conformity with fire, building, plumbing, electrical, and all other City, County, State, and Federal codes.
- (14) *Health and Safety.* No process can be used which is hazardous to public health, safety, morals, or welfare.
- (15) *No Excessive Utility Uses.* The home occupation shall not cause a demand for municipal, community, or utility services that are substantially in excess of those usually and customarily provided for residential uses.
- (16) *Neighborhood Disruptions Not Permitted.* The home occupation shall not interfere or disrupt the peace, quiet, and domestic tranquility of the neighborhood. The home occupation shall not create or be associated with or produce odor, smoke, dust, heat, fumes, light, glare, noises or vibrations, excessive traffic, or other nuisances, including interferences with radio and television reception, or any other adverse effects within the neighborhood.
- (17) *Renter/Owner Responsibility.* If the applicant for a home occupation license rents or leases the property wherein the home occupation is intended to be conducted, the applicant must provide a letter of acknowledgment and consent from the property owner at the time the application is submitted to the Business License Office.
- (18) *Interior Alterations/Remodeling.* Interior alterations of the principal dwelling for the purpose of accommodating the home occupation are prohibited if such alteration eliminates the kitchen, and/or all of the dining areas, bathrooms, living areas, or all of the bedrooms.
- (19) *Exempt from Business Licensure.* A business license will not be required unless the combined off-site impact of the home occupation and the primary residential use materially exceeds the impact of the primary residential use alone. If a home occupation has any of the following impacts, a business license is required:
- a. Business-related customers, client visits, or meetings on the property.
  - b. Signage or advertising of the business that is visible from the exterior of the home.
  - c. The business owner or operator desires a physical copy of a business license.
  - d. Any nonresident working on the property.
  - e. Business-related deliveries are made to or from the property.
  - f. Accessory or commercial vehicles are stored or parked on the property for the home occupation.
  - g. The home or property requires inspections from any regulatory authority or agency, including, but not limited to, the City, Salt Lake Valley Health Department, and/or the Department of Agriculture.
  - h. The business generates any additional vehicular traffic or parking on the property.
  - i. If the State requires a sales tax number for any reason.

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**Exhibit "B"**

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- j. If the home occupation is categorized as a Category II, Conditional Use Home Occupations, as described herein.
  - k. If the home requires any modification requiring a building permit to accommodate the business operations.
  - l. When the business use within the home exceeds 25 percent of the primary dwelling.
- (e) *Category I Qualifications.* In addition to the standards previously set forth above, all Category I home occupation businesses must also comply with the provision of the qualifications outlined below. If a business finds that they are unable to fully comply with all of the qualifications set forth, the applicant may pursue possible approval as a Category II home occupation through the conditional use permit process before submitting the application for a home occupation business license.
- (1) *Hours.* No visitors in conjunction with the home occupation (clients, patrons, employees, volunteers, students, pupils, etc.) shall be permitted between the hours of 10:00 p.m. and 6:00 a.m.
  - (2) *Traffic.* Vehicular traffic from business related visitors and customers shall not exceed that which normally and reasonably occurs for a home in the neighborhood and shall be conducted so that the neighbors will not be significantly impacted by its existence. The home occupation shall be limited to two business related visitors or customers per hour, to a maximum of eight business related visitors or customers per day. Business related deliveries or pickups shall not exceed two per day.
  - (3) *Delivery Vehicles.* The receipt or delivery of merchandise, goods, or supplies for use in a home occupation shall be limited to vehicles with a gross vehicle weight rating (GVWR) of 23,000 pounds or less.
  - (4) *Conducted in a Home.* When business activities are being conducted on the property that is to be licensed, the home occupation shall be primarily conducted within the principal home.
  - (5) *Maximum Floor Space.* No more than 25 percent of the total main floor area or upper living levels of the dwelling unit, nor, in the alternative, more than 50 percent of the total floor area of any basement of the home unit shall be utilized for the home occupation.
  - (6) *Signs.* The home occupation may utilize one unanimated, non-illuminated flat sign for each street upon which the home abuts. The sign must be placed either in a window or on the exterior wall of the home wherein the home occupation is being conducted and may not have an area greater than one square foot.
  - (7) *Display of Products.* The home occupation may include the sale of tangible goods. Direct sales from display apparatus is permitted only if the goods or products are not visible from the exterior of any approved structure being used for the home occupation.
  - (8) *Food or Beverage Preparation for Consumption Outside of the Home.* Any home occupation involving or proposing to involve food or drink preparation, storage, or catering will be permitted when it is authorized by the appropriate State or County department or agency.
  - (9) *Category I Home Occupation Licensing Involving Child Day Care and Other Child Group Activities.*
    - a. This type of home occupation shall not exceed eight children associated with child day care or other child group activities (e.g., dance schools, preschool, music classes, etc.) at any one time. A maximum of eight students/children are permitted per day. This number shall include the licensee's own children if they are under six years of age and are under the care of the licensee at the time the home occupation is conducted.
    - b. All child day care and other group child activity facilities shall provide safe, outdoor play time and spaces as required by Federal, State, County, or local laws governing such business activities.

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**Exhibit "B"**

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(10) *Category I Home Occupation License Involving Adult Day Care.*

- a. This type of home occupation shall not exceed supervising more than two elderly persons 60 years of age or older or more than two persons who have a mental or physical disability or acquired brain injury, as defined by the Utah Department of Health and Human Services (DHHS) Division of Services for People with Disabilities (DSPD). Any home occupation of this nature which exceeds two individuals or more than 12 hours of operation will be considered a Category II home occupation and shall be reviewed and approved by the Planning Commission.
- b. This type of home occupation must comply with all local and state laws governing such business activity.

(11) *Category I Home Occupation Licensing Involving Renting Recreational Vehicles from Personal Property in Single-Family Residential Zones.*

- a. A property owner/resident living in the home may rent one recreational vehicle that is owned by the owner/resident. Where more than one recreational vehicle can fit on a recreational trailer, the owner may rent a maximum of two recreational vehicles.
- b. Any recreational vehicle must be parked according to the residential parking requirements and restrictions within this title, except that any recreational vehicle that is being rented from the home must be parked on a hard surface (concrete, asphalt, brick, or other impenetrable surface). In addition, the maximum area of hard surface for the purpose of parking a recreational vehicle shall be complied with.
- c. Advertising on the recreational vehicle is prohibited.
- d. Servicing the recreational vehicle shall be limited to those activities which will comply with Chapter 13-2 and Title 19.
- e. Any customer renting the recreational vehicle shall not leave their own car on the street, but may place their vehicle on the homeowner's property in compliance with all residential parking requirements during the time the recreational vehicle is being rented.

(12) Category I Home Occupation Licensing Involving a Home-based Microschool.

- a. A Home-based microschool provides kindergarten through grade 12 education services for compensation. A home-based microschool does not include a daycare.
- b. A maximum of 8 students is permitted at any one time.
- c. A maximum of 8 students is permitted per day.
- d. The maximum number of students includes the licensee's and any employees' children if they are a student at the time the home occupation is conducted.

(f) *Category II, Conditional Use Permit Required.* If a home occupation is able to comply with all of the standards but is unable to comply with all of the Category I qualifications established above, the proposed business activities must be reviewed by the Planning Commission and granted a conditional use permit before pursuing a home occupation business license through the Business License Office.

(1) *General.* In addition to any conditions established by the Planning Commission at the time of its review, all Category II home occupations must comply with the following:

- a. All Category II home occupation uses shall only be conducted from property with a single-family dwelling.

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**Exhibit "B"**

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- b. The conditional use permit and the home occupation business license shall be maintained in good standing for the entire period that business is being conducted.
- (2) *Compliance.* Uses are appropriate as licensable home occupations only if they are determined to be compatible with residential neighborhoods after full conditional use review by the Planning Commission, compliance with Title 15, all of the standards and qualifications that have not been granted an exception through the conditional use process, and additional regulations set forth hereafter.
- (3) *Child Day Care.* The following items indicate maximum limits that may be granted by the Planning Commission when a child day care is expected to exceed eight children at one time:
- a. A maximum of 16 children is permitted at any one time.
  - b. A maximum of 18 children is permitted per day.
  - c. These numbers shall include the licensee's and any employees' children if they are under six years of age and are under the care of the licensee at the time the home occupation is conducted.
  - d. A maximum of 24 vehicular stops per day for child drop off or pick up is permitted.
- (4) *Group Child Activities.* The following provisions indicate a maximum limit that may be granted by the Planning Commission for other group child activities which are expected to generate or exceed eight children/students (e.g., dance schools, preschools, music classes, other care or instruction for children) at any one time other than child day care:
- a. The following guidelines shall be used to determine the maximum number of students/children permitted:
    - 1. A Traffic Plan that has been reviewed and approved by the City Transportation Engineer which includes acceptable traffic flow, drop off, and turn-around areas.
    - 2. The existing residential street is of sufficient width to accommodate additional vehicular traffic.
  - b. A maximum of 12 students/children per session and a maximum of 24 students/children per day shall be permitted.
  - c. A maximum of four sessions per day may be permitted.
  - d. All sessions combined shall not generate more than 24 vehicular stops per day.
  - e. The total number of students/children shall include the licensee's and any employees' children if they are under six years of age and are under the care of the licensee at the time the home occupation is conducted.
  - f. No group child activities falling under a Category II home occupation may be established within 300 feet as measured from property line to property line of another group child activity, Category II home occupation use.
- (5) *Home-based Microschool.* The following provisions indicate maximum limits that may be granted by the Planning Commission when a Home-based Microschool is unable to fully comply with all the qualifications set forth for a Category I Home Occupation License.
- a. The following shall be used to determine the maximum number of students permitted:
    - 1. A Traffic Plan that has been reviewed and approved by the City Transportation Engineer which includes acceptable traffic flow, drop off, and turn-around areas.

**Exhibit "B"**

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2. The existing residential street is of sufficient width to accommodate additional vehicular traffic.
  3. No more than 24 vehicular stops per day for student drop off or pick up is permitted.
  - b. A maximum of 16 students is permitted at any one time.
  - c. A maximum of 16 students is permitted per day.
  - e. The maximum number of students includes the licensee's and any employees' children if they are a student at the time the home occupation is conducted.
- (6) *Work Shops*. Repair shops, including welding, carpentry, sheet metal work, furniture manufacturing, upholstery, and other similar manufacturing activities

...

....

**Sec. 21-11-27. – Micro-Education Entity.**

- (a) A *Micro-education entity* provides kindergarten through grade 12 education services for compensation. Micro-education entities are allowed according to the land use matrices as a Special Use provided it complies with all the following restrictions:
- (1) Occupancy shall be limited to a maximum of 100 students at any one time and a maximum of 100 students per day.
  - (2) The proposed use must have direct access to an arterial or major collector street, with no access permitted to any minor collector or local street.
  - (3) The following shall be used to determine the maximum number of students permitted:
    - a. A Traffic Plan that has been reviewed and approved by the City Transportation Engineer which includes acceptable traffic flow, drop off, and turn-around areas.
    - b. The street is of sufficient width to accommodate additional vehicular traffic.
  - (4) Required Parking.
    - a. Required parking shall consist of at least one space for each instructor and staff, four visitor parking spaces, and four queuing spaces.
    - b. In addition, one visitor parking space and one queuing space is required for every five students or a portion thereof beyond the first 20 students.
  - (5) An on-site drop-off area shall be provided.

**CHAPTER 21-19. - SPECIAL DEVELOPMENT (SD) DISTRICTS**

**Sec. 21-19-1. - Special Development District SD.**

...

(c) *Land Uses Allowed.* Land uses allowed within an SD District shall be established by the review process as described in Subsection (e) of this section, except as otherwise authorized by Utah Code Annotated as are currently in effect or as may be amended. These include, but are not limited:

- (1) *School, Charter.* Charter School is a permitted use.
- (2) *School, Home-based Microschool.* Home-based microschool may be allowed only as a home occupation subject to the home occupations standards and qualifications. If not otherwise permitted in the zone, the home-based microschool may only be considered for existing legal non-conforming dwellings.
- (3) *School, Micro-education entity.* Micro-education entity is a permitted use subject to the special use standards and qualifications.
- (4) *School, Public.* Public School is a permitted use.

...

**CHAPTER 21-37. - DEFINITIONS**

**Sec. 21-37-9. - "H" Definitions**

...

(12) *Home occupation* means a business, occupation, profession, operation, managing or carrying on of a business for the purpose of economic gain, which activity is carried on as an accessory use in a residential zone by a bona fide resident of the dwelling. A home occupation shall not be construed to mean an employee working in their own home in the service of an employer whose principal place of business is licensed at another location within Sandy or elsewhere. A home occupation shall not be construed to mean an individual making deliveries of products which were ordered in advance.

(13) *Home-based microschool*. See School, Home-based microschool.

(14) *Hospice*. See Health care facilities.

...

**Sec. 21-37-14. - "M" Definitions.**

...

(8) Medical and health care office means a building used exclusively by physicians, dentists, and other health care personnel for the treatment and examination of patients on an outpatient basis.

(9) *Micro-education entity*. See School, Micro-education entity.

(10) Micro wireless facility means a type of small wireless facility that, not including any antenna, is no larger in dimension than 24 inches in length, 15 inches in width, and 12 inches in height, and on which any exterior antenna is no longer than 11 inches; and that only provides Wi-Fi service.

...

**Sec. 21-37-20. - "S" Definitions**

...

(3) School, charter, means a public school established by a contract with a school district governing board, the State Board Of Education, or the State Board for Charter Schools pursuant to state law.

(4) School, commercial, means a school established to provide for the teaching of vocational, industrial, clerical, managerial, artistic skills, or similar skills. This definition applies to schools that are owned and operated privately for profit and that do not offer a complete educational curriculum (e.g., beauty school, modeling school).

(5) School, commercial (low-impact), means those commercial schools which are artistic in nature and which have a relatively low impact on surrounding uses because they are conducted indoors; have a limited number of students; and do not require a large number of parking spaces because of the age of the students. Such schools generally include smaller scale dance schools, music lessons, martial arts schools, gymnastics schools and similar uses.

**Exhibit "B"**

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(6) School, *Home-based microschool*, means an individual or association of individuals that registers as a business entity in accordance with state and local laws; and provides kindergarten through grade 12 education services for compensation, to 16 or fewer students from an individual's residential dwelling, accessory dwelling unit, or residential property. A home-based microschool does not include a daycare.

(7) School, *Micro-education entity*, means a person or association of persons that registers as a business entity in accordance with state and local laws; and provides kindergarten through grade 12 education services for compensation to 100 students or fewer. A micro-education entity does not include a daycare, home-based microschool, private school, commercial school, or a school within the public education system.

(8) School, private or quasi-public, means a school operated by a private or quasi-public organization, or individual, which has a curriculum similar to that provided in any public school in the State of Utah, except that such curriculum may include religious instruction. A private school may be a profit-making or nonprofit organization. A private school may also include laboratory and shop instruction with the use of demonstration vehicles, products or models incidental to said instruction; but shall not include the repair, maintenance and manufacture of vehicles, goods or merchandise, and shall not provide direct services, other than instruction to the general public. (Does not include commercial schools.)

(9) Schools, public, means an educational facility operated by a school district or other public agency of the State of Utah.

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## Staff Report

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**File #:** CA07032024-0006794  
(PC), **Version:** 1

**Date:** 7/18/2024

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**Agenda Item Title:**

Amendments to Title 21 of the Land Development Code related to Accessory Structures in the Open Space District

**Presenter:**

Melissa Anderson, Zoning Administrator

**Description/Background:**

The proposed Code Amendment would amend Title 21, *Land Development Code*, Chapter 10, *Open Space Districts*, Section 2, *Permitted Land Uses in the Open Space District*. Through on-going administration of Sandy's Land Development Code, staff has identified an ambiguity in the code regarding whether accessory structures are allowed in the Open Space (OS) District. The proposed code amendment clarifies that accessory structures are allowed in parks and golf courses with conditional use review in the Open Space District.

The specific amendments to the Land Development Code are included as Exhibit "A" (red-lined version) and Exhibit "B" (clean version).

Please see the staff report and exhibits for the full details of this item.

**Fiscal Impact:**

None

**Further action to be taken:**

The final decision on this item will be made by the City Council.

**Recommended Action and/or Suggested Motion:**

Staff recommends that the Planning Commission forward a positive recommendation to the City Council to amend Title 21, of the Sandy Municipal Code, related to Accessory Structures in the Open Space District as shown in Exhibit "A", based on the following findings:

**Findings:**

1. The City Council may amend land use ordinances consistent with the purposes of the Sandy Land Development Code, the Sandy City General Plan, and the Utah Code, Municipal Land Use, Development, and Management Act per Title 21 Chapter 5 of the Sandy Municipal Code.
2. The proposal is reviewed by the Planning Commission and City Council in accordance with the requirements of Title 21 Chapter 5 of the Sandy Municipal Code.

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3. The proposal complies with the purpose of the Land Development Code under Section 21-1-03 by promoting the public health, safety, and welfare; ensuring consistent and equitable standards; establishing fair procedures that are efficient and effective in terms of time and expense; and by facilitating the orderly growth and development of Sandy City.

4. The proposal complies with the Goals and Policies of the General Plan by establishing appropriate development standards for all uses and zoning categories within Sandy City.



JAMES SORENSEN  
COMMUNITY DEVELOPMENT  
DIRECTOR

MONICA ZOLTANSKI  
MAYOR

SHANE E. PACE  
CHIEF ADMINISTRATIVE  
OFFICER

## Staff Report Memorandum July 18, 2024

To: City Council via Planning Commission  
From: Community Development Department  
Subject: Amendments to Title 21 of the Land Development Code related to Accessory Structures in the Open Space District CA07032024-0006794

**Public Hearing Notice:** This item has been noticed on public websites, sent to affected entities and posted in three public locations at least 10 days prior to the Public Hearing.

### Request

The proposed Code Amendment would amend Title 21, *Land Development Code*, Chapter 10, *Open Space Districts*, Section 2, *Permitted Land Uses in the Open Space District*. The code amendment clarifies that accessory structures are permitted for parks and golf courses with conditional use review in the Open Space District. The specific amendments to the Land Development Code are included as Exhibit “A” (red-lined version) and Exhibit “B” (clean version).

### Background

Through on-going administration of Sandy’s Land Development Code, staff has identified an ambiguity in the code regarding whether accessory structures are allowed in the Open Space (OS) District. The proposed code amendment is intended to clarify that accessory structures are permitted for parks and golf courses in the OS district.

Case History	
Case Number	Case Summary
N/A	Previously referenced in the 2008 Land Development Code under § 15A-10-02.
Ord. No. 13-13 CODE-4-13-2884	Code amendment to coordinate the land use matrices for Residential, Commercial, Institutional Care, and the Open Space Districts. This Code Amendment also includes eliminating provisions for new Recreational Vehicle Parks, as well as adding or amending definitions that are for specific uses listed in the land use matrices. (6-5-2013)
Ord. No. 13-19 CODE-7-13-3045	Code Amendment is to add “solid waste conversion facility” and “waste transfer station” as new allowed land uses within the Industrial Zone, with associated definitions, including prohibiting the use in the Open Space District. (8-15-2013)

Ord. No. 13-22 CODE-8-13-3112	Code Amendment is to add “Community Center” as a conditional land use within the R-1-7.5(HS), with associated definition, including prohibiting the use in the Open Space District. (10-4-2013)
Ord. No. 17-09 CODE-1-17-5181	Code amendments to adopt new terms and definitions for the alcohol licenses to match those of the Utah Department of Alcohol Beverage Control and also to determine which zoning districts the different licenses would be allowed in, including the Open Space District. (3-9-2017)
Ord. No. 18-21 CODE-06-18-5441	Removed “Residential Lease, Short Term” as a land use in various zoning districts, including the Open Space District (8-30-2018).

### Public Notice

The city issued notice of the public hearing for the proposed code amendments on public websites, mailed notice to affected entities and posted in three public locations at least 10 days prior to the Planning Commission public hearing in accordance with the Land Development Code Sec. 21-36-1 and the Utah Code § 10-9a-205.

### Analysis

In the Open Space (OS) District, Table of Land Uses ([Sec. 21-10-2\(b\)](#)), the code states that an “*Accessory structure (unless otherwise specified)*” is not permitted. The intent of this language is to restrict accessory structures unless they are associated with and support a primary use, in which case they would be allowed. While it is customary for parks and golf courses to feature accessory structures such as restrooms and maintenance buildings, the current code language can cause confusion whether an accessory structure is permitted for a park or golf course. This ambiguity is based in part on the definitions for a *park* and *outdoor recreation*.

As currently defined, a “Park” is described as a variety of land uses (e.g. playground, golf course, etc.), that are commonly associated with a park, but the code definition does not specifically list structures that are typically accessory to a park (see [Sec. 21-37-17](#))<sup>1,2</sup>. Consequently, if an accessory structure is proposed for a park, and without any reference to accessory structures in the definition of a park, it is unclear whether an accessory structure is allowed in a park. This is not the intent of the code.

Furthermore, the definition for “Outdoor Recreation” includes a description of various accessory structures commonly used for outdoor recreation activities (e.g. restrooms, maintenance buildings, etc.), with less specificity on the land uses associated with outdoor recreation ([Sec. 21-37-19](#))<sup>3</sup>. For example, playgrounds and golf courses are *not* specified in the definition for outdoor recreation. While both land uses can reasonably be considered a type of outdoor recreation, it calls into question whether an accessory structure is allowed with a playground or golf course.

Therefore, to eliminate any doubt and to provide clarity, staff is proposing to amend the code by adding an explanatory note for “accessory structures” in the OS zone that states: “*Accessory structures are permitted for parks and golf courses subject to the conditional use process.*” A park and outdoor recreation require a conditional use permit in the OS zone; therefore, a structure associated with the use must be reviewed under the conditional use process. This makes clear that a park can have a restroom, a golf course can have a maintenance building, and other accessory structures commonly associated with parks and golf courses may be allowed in the OS zoning district.

<sup>1</sup> **Park, private**, means a park, playground, swimming pool, **golf course** or athletic field, conservation areas including, but not limited to, wilderness areas, watershed areas, wildlife refuges, wetlands, available for recreational, educational, cultural, or aesthetic use, which is under the control, operation, or management of a private entity not associated with any unit of a government.

<sup>2</sup> **Park, public**, means a park, playground, swimming pool, **golf course** or athletic field, conservation areas including, but not limited to, wilderness areas, watershed areas, wildlife refuges, wetlands, available for recreational, educational, cultural, or aesthetic use, which is under the control, operation, or management of the State, a State agency, the County, or Sandy City.

<sup>3</sup> **Recreation, outdoor**, means an area free of buildings except for **restrooms**, dressing rooms, equipment storage, **maintenance buildings**, and open air pavilions, and used primarily for recreation activities not involving motor vehicles, animals, or overnight use. This definition shall include semi-private swimming pools.

### No n-C o n f o r m i n g U s e s

This code amendment would not create any non-conforming situations.

### L a n d D e v e l o p m e n t C o d e P u r p o s e C o m p l i a n c e

The Sandy City Land Development Code in 21-1-3 lists the criteria explaining the intent and purpose of the Ordinance. The purpose is:

#### ***21-1-3 Purpose***

*This Code is adopted to implement Sandy City's General Plan and to promote public health, safety, convenience, aesthetics, welfare; efficient use of land; sustainable land use and building practices; transportation options and accessibility; crime prevention; timely citizen involvement in land use decision making; and efficiency in development review and land use administration. Specifically, this Code is established to promote the following purposes:*

#### ***1. General***

- a. To facilitate the orderly growth and development of Sandy City.*
- b. To facilitate adequate provision for transportation, water, sewage, schools, parks, and other public requirements.*
- c. To stabilize property values.*
- d. To enhance the economic well-being of Sandy City and its inhabitants.*

#### ***2. Implementation of General Plan***

*To coordinate and ensure the implementation of the City's General Plan through effective execution of development review requirements, adequate facility and services review and other goals, policies, or programs contained in the General Plan.*

#### ***3. Comprehensive, Consistent and Equitable Regulations***

*To establish a system of fair, comprehensive, consistent and equitable regulations, standards and procedures for review and approval of all proposed land development within the City.*

#### ***4. Efficiently and Effectively Managed Procedures***

- a. To promote fair procedures that are efficient and effective in terms of time and expense.*
- b. To be effective and responsive in terms of the allocation of authority and delegation of powers and duties among ministerial, appointed, and elected officials.*
- c. To foster a positive customer service attitude and to respect the rights of all applicants and affected citizens.*

The proposed code amendment is consistent with the purpose of the Land Development Code because the proposal promotes the public health, safety and welfare; ensures consistency and equitable standards; establishes fair procedures that are efficient and effective in terms of time and expense; facilitates the orderly growth and development of Sandy City; and is consistent with the Sandy City General Plan.

### G e n e r a l P l a n C o m p l i a n c e

The Sandy City General Plan encourages appropriate development standards for all uses and zoning categories within the city. The proposed code amendment furthers that goal and objective by establishing appropriate land development standards for all uses and zoning categories within Sandy City.

### R e c o m m e n d a t i o n

Staff recommends that the Planning Commission forward a positive recommendation to the City Council to amend Title 21, of the Sandy Municipal Code, related to Accessory Structures in the Open Space District as shown in Exhibit "A", based on the following findings:

### F i n d i n g s:

1. The City Council may amend land use ordinances consistent with the purposes of the Sandy Land Development Code, the Sandy City General Plan, and the Utah Code, Municipal Land Use, Development, and Management Act per Title 21 Chapter 5 of the Sandy Municipal Code.
2. The proposal is reviewed by the Planning Commission and City Council in accordance with the requirements of Title 21 Chapter 5 of the Sandy Municipal Code.
3. The proposal complies with the purpose of the Land Development Code under Section 21-1-03 by promoting the public health, safety, and welfare; ensuring consistent and equitable standards; establishing fair procedures that are efficient and effective in terms of time and expense; and by facilitating the orderly growth and development of Sandy City.
4. The proposal complies with the Goals and Policies of the General Plan by establishing appropriate development standards for all uses and zoning categories within Sandy City.

Planner:



Melissa Anderson  
Zoning Administrator

Exhibits:

- A. Proposed code amendments (red-lined version)
- B. Proposed code amendments (clean version)

File Name: S:\USERS\PLN\STAFFRPT\2024\CA07032024-0006794 - CODE AMEND ACC. STRUCTURE IN OS ZONE\STAFF REPORT\STAFF REPORT - ACC STRUCTURE IN OS CODE AMEND.FINAL

**CHAPTER 21-10. OPEN SPACE DISTRICT**

**Sec. 21-10-2. Permitted Land Uses in the Open Space District.**

(a) *Matrix Explanation.* The following matrix lists all permitted uses within the Open Space District. The letters "P," "C," "S," or "N" shall mean "Permitted," "Conditional," "Special Use," or "Not Permitted," respectively. Refer to special use standards within this title for all land uses allowed with an "S." For those letters that are followed by a slash "/" the second letter shall indicate those location restrictions for business located within 250 feet of a residential district (unless bisected by a major arterial road as determined by the City Transportation Engineer in the Transportation Element of the Sandy City General Plan). For those land uses marked with a superscript number (<sup>1</sup>), refer to Subsection (c) of this section for explanation.

(b) *Table of Uses.*

*Uses in Open Space District*

Accessory apartments	N
Accessory structure (unless otherwise specified)	N <sup>2</sup>
Agriculture	P

...

(c) *Explanatory Notes.*

1. Permitted as a conditional use only within golf course grounds and facilities. Not permitted in other facilities or uses in the Open Space District.
2. Accessory structures are permitted for parks and golf courses subject to the conditional use process.

(LDC 2008, § 15A-10-02; Ord. No. 13-13, 6-5-2013; Ord. No. 13-19, 8-15-2013; Ord. No. 13-22, 10-4-2013; Ord. No. 17-09, 3-9-2017; Ord. No. 18-21, § 1(15A-10-02), 8-30-2018)

**CHAPTER 21-10. OPEN SPACE DISTRICT**

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(b) *Table of Uses.*

*Uses in Open Space District*

Accessory apartments	N
Accessory structure (unless otherwise specified)	N <sup>2</sup>
Agriculture	P

...

(c) *Explanatory Notes.*

1. Permitted as a conditional use only within golf course grounds and facilities. Not permitted in other facilities or uses in the Open Space District.
2. Accessory structures are permitted for parks and golf courses subject to the conditional use process.

(LDC 2008, § 15A-10-02; Ord. No. 13-13, 6-5-2013; Ord. No. 13-19, 8-15-2013; Ord. No. 13-22, 10-4-2013; Ord. No. 17-09, 3-9-2017; Ord. No. 18-21, § 1(15A-10-02), 8-30-2018)



## Staff Report

**File #:**  
SPR05172024-006771,  
**Version:** 1

**Date:** 7/18/2024

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**Agenda Item Title:**

Willow Creek CC Maintenance Area Reconstruction Project (Preliminary Site Plan Review)  
8505 S. Willow Creek Dr.  
[Community #18, Willow Creek]

**Presenter:**

Douglas L. Wheelwright, Development Services Manager

**Description/Background:**

The applicant, Mr. James Glascock, Architect, representing the Willow Creek Country Club, is requesting Site Plan Review (SPR) and Conditional Use Permit (CUP) approval for the reconstruction and relocation of the existing maintenance area facilities for the property located at 8505 S. Willow Creek Dr. The proposed project area includes approximately 2.75 acres and is located on the northern boundary of the golf course property and abutting existing single-family homes. (These existing homes front onto Etienne Way and are located within the Un-incorporated Salt Lake County zoning jurisdiction.) The proposal is to construct: a new 16,663 square foot, single story, maintenance equipment storage, repair shop, and office use building; a 4,160 square foot greenhouse; a parking lot and other related improvements (such as landscaping). The new maintenance area complex is proposed to be located between the existing single-family homes to the north and the current maintenance buildings to the south. After the new construction is completed, the old maintenance facilities will be demolished and that area re-landscaped. Please see the applicant's request letter attached as (Exhibit A) and application materials (Exhibit B).

See the attached staff report for full details of the request

**Recommended Action and/or Suggested Motion:**

Site Plan Review

# 1 Staff recommends that the Planning Commission determine preliminary site plan review is complete for the proposed relocation and reconstruction of the Willow Creek Country Club Maintenance Area facilities, located at approximately 8505 S. Willow Creek Dr., based on the following findings and subject to the following conditions:

**Findings:**

1. That the proposed project will meet all the applicable requirements of the Sandy City Development Code and the Sandy City Architectural Design Standards as to building architectural design, materials and colors.
2. That the proposed new building and site improvements to this area of the country club

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complex will improve the visual appearance of the maintenance area and provide better impact mitigation compared to the existing conditions and facilities.

Conditions:

1. That the developer proceeds through the final site plan review process with staff prior to the start of any construction. The final site plan shall comply with all Development Code requirements and those modifications required or allowed by the Planning Commission.
2. That the development complies with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.
3. All utility boxes (i.e. transformers, switchgear, telephone, cable TV, etc.) shall be shown on the site plan and shall be placed underground or moved behind the front setback of the buildings and screened from view. Each box shall be shown in its exact location and shall be noted with its exact height, width and length. Building utility meters shall be mounted to the side or rear elevation or screened.
4. That the developer be responsible for the placement of a temporary 6-foot-high chain link fence around the perimeter of the project during the construction phase of the project for security. Said fence shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the Community Development Department during Site Plan Review.
5. That the applicant complies with all department requirements as noted in all Preliminary Review letters prior to submittal for final site plan review with staff.
6. Subject to final approval of the proposed Code Amendment CA07032024-0006794, by the City Council before final approval and building permit issuance.



JAMES SORENSEN  
COMMUNITY DEVELOPMENT  
DIRECTOR

MONICA ZOLTANSKI  
MAYOR

SHANE E. PACE  
CHIEF ADMINISTRATIVE OFFICER

# Staff Report Memorandum

## July 18, 2024

To: Planning Commission  
From: Community Development Department  
Subject: Willow Creek CC Maintenance Area Reconstruction Project (Preliminary Site Plan and Conditional Use Review) 8505 S. Willow Creek Dr. (Community #18, Willow Creek)

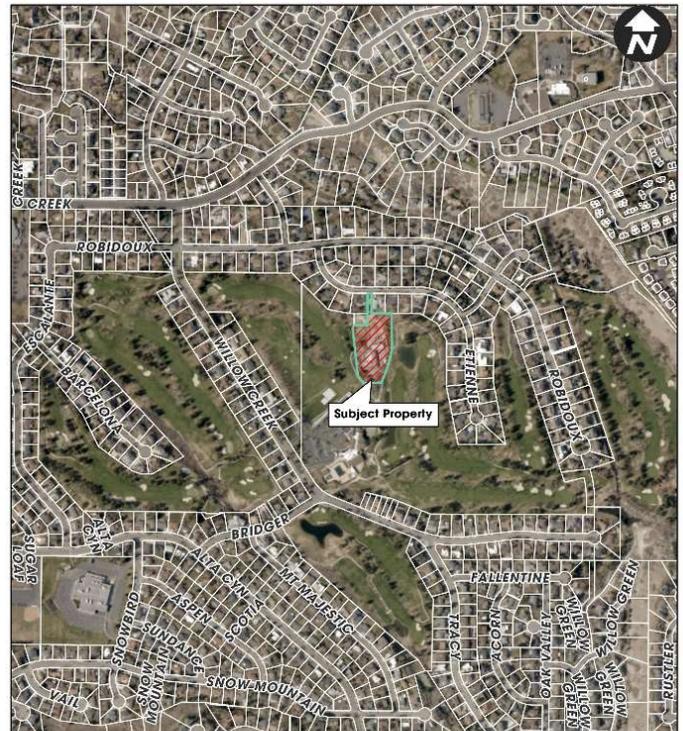
SPR05172024-006771  
CUP05172024-006775  
Open Space (OS) Zone  
Approx. 2.75 Acres

### Public Meeting Notice:

This item has been noticed to property owners within 500 feet of the subject area, on public websites, at public locations, and a sign posted on site.

### Request

The applicant, Mr. James Glascock, Architect, representing the Willow Creek Country Club, is requesting Site Plan Review (SPR) and Conditional Use Permit (CUP) approval for the reconstruction and relocation of the existing maintenance area facilities for the property located at 8505 S. Willow Creek Dr. The proposed project area includes approximately 2.75 acres and is located on the northern boundary of the golf course property and abutting existing single-family homes. (These existing homes front onto Etienne Way and are located within the Un-incorporated Salt Lake County zoning jurisdiction.) The proposal is to construct: a new 16,663 square foot, single story, maintenance equipment storage, repair shop, and office use building; a 4,160 square foot greenhouse; a parking lot and other related improvements (such as landscaping). The new maintenance area complex is proposed to be located between the existing single-family homes to the north and the current maintenance buildings to the south. After the new construction is completed, the old maintenance facilities will be demolished and that area re-landscaped. Please see the applicant’s request letter attached as (Exhibit A) and application materials (Exhibit B).



SPR05172024-006771  
CUP05272024-006775  
Willow Creek Country  
Club Maintenance Area  
8505 S Willow Creek Dr.

Property Case History	
Case Number	Case Summary
Ordinance #18-35	Sandy City annexed the subject property and designated the zoning classification as Open Space (OS). Adopted Dec. 26, 2018

**Background**

The Willow Creek Country Club complex consists of 158 acres containing a golf course, driving range, clubhouse with restaurant, golf pro shop, outdoor swimming pool, a maintenance area with buildings and a green house and a large vehicle parking lot for members of the club. The complex was developed entirely while the property was located within the zoning jurisdiction of Un-incorporated Salt Lake County. Sandy City annexed the country club property in December of 2018, and zoned the entire country club property as Open Space (OS). Upon annexation into Sandy City, the country club’s existing land uses, facilities and property automatically became either conforming or legal non-conforming to the Sandy City zoning ordinance as to land use classifications and physical site improvements. Since the property was annexed the County is no longer the land use authority. This is the first land use application sought by the country club seeking to amend any of the physical site improvements since being annexed into Sandy City.



Figure 1 - Existing drive access from Etienne Way



Figure 2 - Existing home on the west side of drive access.



Figure 3 - Existing drive access (looking north)



Figure 4 - Looking northeast and seeing the rear of the existing home on the east side of the drive access



Figure 5 - Existing dirt mound (where new building would be located) (looking east)



Figure 6 – Dirt mound and one of the existing buildings & current improvements (looking southeast)

The surrounding zoning to the south of the country club property is generally located within Sandy City and is zoned for larger lot single-family-dwelling use. The existing single-family homes abutting the northern side of the country club property are generally within an un-incorporated Salt Lake County jurisdictional island between Sandy City and Cottonwood Heights City. These abutting homes on the north of the golf course property are zoned A-1, under Salt Lake County’s zoning regulations (which allows for the existing single-family-residential homes on at least 10,000 lots.) The country club property is the only Open Space zoned property in the area.

Sandy City Code Chapter 21-10, *Open Space District*, includes a land use matrix that designates the listed land use designations as either permitted (P), conditional (C) or not allowed (N). Country club or golf course land use designations are not specifically listed in the matrix of land uses. The closest land use designations to describe these existing activities and site improvements are “Parks, Public and Private” and “Recreation, Outdoor”. Both categories are listed in the existing matrix as (C) conditional uses within the OS Zone. In the definitions section of the Sandy City Development Code, Chapter 21-37, *Definitions*, under the “**Parks, Public and Private**” land use category, a specific reference is made as examples, to “...open space, playground, swimming pool, golf course, or athletic field available for recreational...use”. Under the definition of “**Recreation, Outdoor**” land use category, a specific reference is made as examples, to “... restrooms, dressing rooms, equipment storage, maintenance buildings, and open-air pavilions, and used primarily for recreation activities...”

Also in Chapter 21-10, *Open Space District*, in the land use matrix is listed “**Accessory Structure, (Unless otherwise specified)**” and is designated as (N), not allowed. The intent of this language is to restrict accessory structures unless they are associated with and support a primary use, in which case they would be allowed. While it is customary for parks and golf courses to feature accessory structures such as restrooms and maintenance buildings, the current code language can cause confusion whether an accessory structure is permitted for a park or golf course. Staff has put forward a code amendment to provide clarity and eliminate any doubt that accessory structures are permitted for parks and golf courses with conditional use review in the Open Space Zone District. (See related code amendment application CA07032024-0006794, for full details.)

Sandy City Code requires any new site construction, building permit activity or infrastructure improvements must first receive Site Plan Review by the Planning Commission. The existing land uses are proposed to be reconstructed and relocated on the same property by these applications, are determined to be ancillary to and in support of “**Parks, Public or Private**” and “**Recreation, Outdoor**”. Those land use categories are both listed as (C) Conditional Uses in the open space zone matrix and require a conditional use permit to be reviewed along with the proposed site plan.

A **Conditional Use Permit** is required to be approved by the Planning Commission, to assess reasonably anticipated negative impacts of the proposed uses and the site improvements and buildings, and to impose mitigating measures and requirements to the extent possible, to reduce those anticipated impacts to surrounding properties. A **Site Plan Review** is required to approve the requested buildings and site improvements being made by the relocation and reconstruction of the maintenance area facilities of the country club and golf course property.

### **Public Notice and Outreach**

Applications for the site plan review and the conditional use permit were made on May 17, 2024. Planning staff sent the plans and documents to the reviewing city departments and divisions and requested preliminary site plan review by them. Staff prepared a neighborhood meeting public notice mailing for a Zoom meeting to be held for this project on June 10, 2024. On June 7, 2024, staff posted a public meeting notice sign on the property for the Planning Commission meeting to be held on June 20, 2024. The abutting residential neighbors residing on Etienne Way in the county saw the posted sign noticing the Planning Commission meeting scheduled for the 20th of June and called and emailed city staff about the project on Monday, June 10, 2024, and stated that they had not received any mailed notice for the neighborhood meeting to be held that night on June 10, but only saw the posted sign.

This information caused the planning staff to research the mailing list for the June 10, 2024, neighborhood meeting and staff found that the wrong portion of the Willow Creek area had been noticed and the more impacted area was not noticed. Planning staff went ahead and held the neighborhood meeting that night on June 10, 2024, but informed those in attendance that another neighborhood meeting would also be held on June 25, 2024, with a new Planning Commission meeting date of July 18, 2024. A revised public notice was mailed on June 12, 2024, to over 400 property owners surrounding the entire country club property for the second neighborhood meeting and stating the rescheduled Planning Commission meeting date of July 18, 2024.

### **Neighborhood Meeting**

Due to the noticing error, staff held two neighborhood meetings. Both meetings were well attended and there were several questions and concerns voiced by those in attendance and those that emailed staff prior to the meetings. Participants were generally from the neighborhood to the north of the golf course property. Please see Exhibit C for the minutes of both neighborhood meetings and a portion of presentation with responses to known questions and issues raised prior to the second meeting. The issues that were generally expressed during both meetings are summarized as follows:

- Questioning the need for any change from the existing facilities and activities.
- Statements that the proposed building for the maintenance activities was too tall at 35 feet to the ridge and too close to their rear property lines at 20 feet.
- Statements that existing views from residents' backyards would be negatively impacted by the new building.
- Questioning why the new buildings and related activities could not be replaced at their current locations and therefore not moved closer to their properties.
- Noise from activities and equipment.
- Vehicle traffic using their residential street to access the maintenance area.
- Odors coming from the maintenance area.
- Materials delivery and storage on site.
- Concerns about where construction workers might park their private vehicles during construction impacting their residential street.
- Assertions that the existing uses were not allowed to be changed or expanded.
- Assertions that accessory structures are not allowed in the OS zoning district.

## Analysis

This staff report includes two action items for consideration by the Planning Commission. The Site Plan Review will be analyzed first, followed by an analysis of the Conditional Use request. Following the analysis of the two requests, staff will present two separate suggested motions, each to be considered and voted upon by the Planning Commission in sequence.

### Site Design Concepts

The design concept from the beginning of this project has been to:

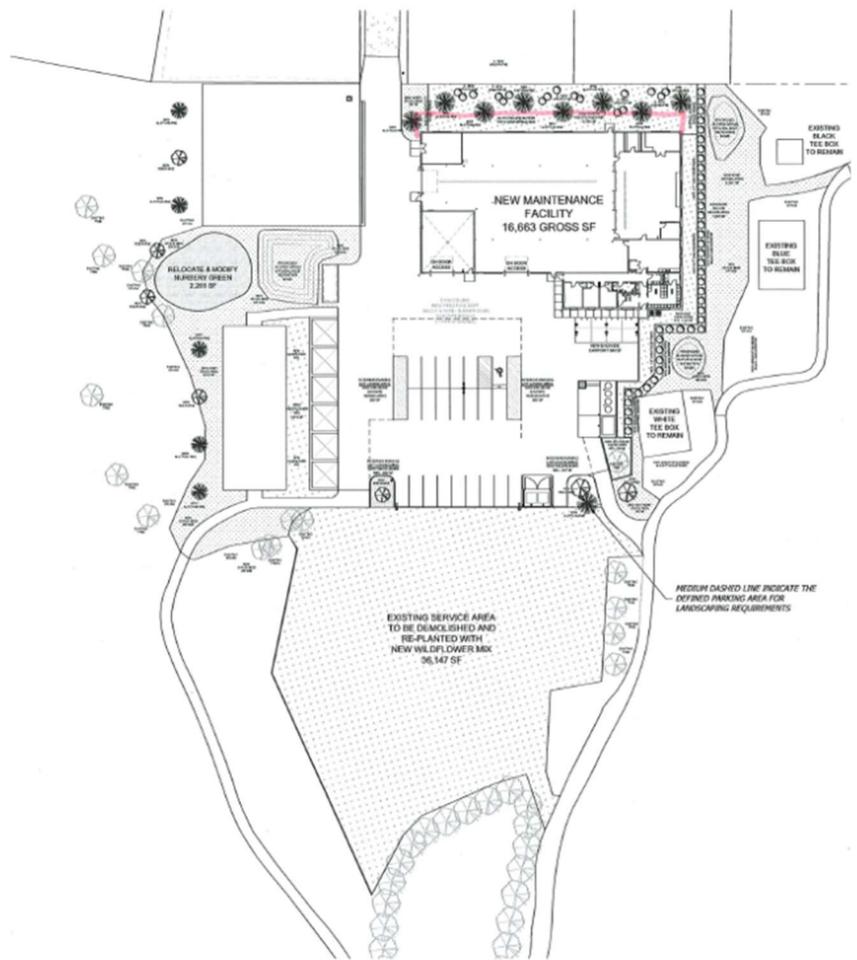
- Upgrade the maintenance area and buildings to the same architectural design level and building value as the rest of the country club buildings and site improvements, which have already been upgraded over the many years of operation.
- Locate the new facilities in the same general area but allow the existing functions of the maintenance area to continue during construction of the new facilities and then move the functions into the new facilities without operation interruption.
- Build a new larger building to consolidate several existing buildings into one energy efficient building, with all the activities and functions that are currently spread amongst three old metal buildings and include some outdoor activities that can be moved indoors.
- Located the new building as far north on the site as possible to act as a visual buffer and a noise buffer to the vehicle parking and the other outdoor activities that will continue.
- Design the roof structure of the new building to be more residential in appearance to the abutting neighborhood and less industrial in appearance and to provide more of a noise and activity buffer to the neighbors.
- Reclaim the south half of the 2.75-acre disturbed site area for new open space use and re-vegetation and possible future inclusion as part of the golf course layout.

### Revised Site and Building Plans

After the two neighborhood meetings were held, and in response to the issues which were raised by the community, the Willow Creek CC directors and the architect have submitted revised site and building plans, and a modified building design for the 16,663 square foot maintenance building. The following analysis is for the revised site and building plan.

### Access and Parking Lot Circulation

Access and parking for employee-owned vehicles, for country club vehicles, and for deliveries of materials and supplies to the



### REVISED SCHEMATIC LANDSCAPE PLAN

SCALE: 1" = 30'-0"

GRAPHIC SCALE 0 10 20 30 40 50 60 70 80 90 100 FT



maintenance area is existing and will not change or increase in intensity with the relocation and reconstruction. This same existing access will be used for all construction activities until completed. The new plans will relocate and formalize with improvements, the maintenance area parking lot to the south of the new maintenance building.

Parking

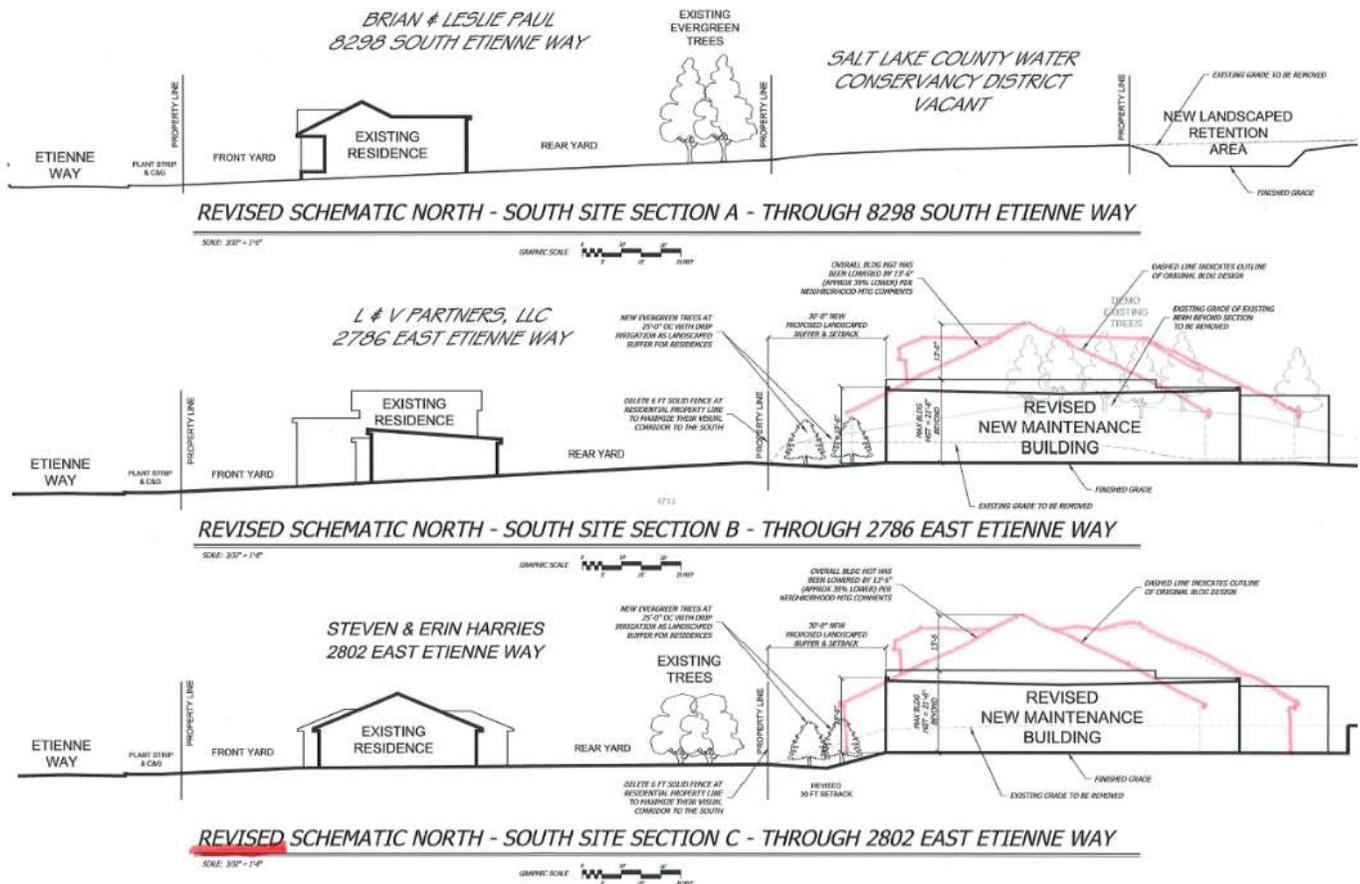
Parking on the maintenance facilities site is and will be restricted to employees of the maintenance facility and club vehicles and equipment and for materials and supplies deliveries. These activities exist now and will not increase due to the reconstruction. Parking is adequate for the operations. During the new construction, all construction parking and staging will be from the existing maintenance area portion of the site, located to the south of the proposed new facilities.

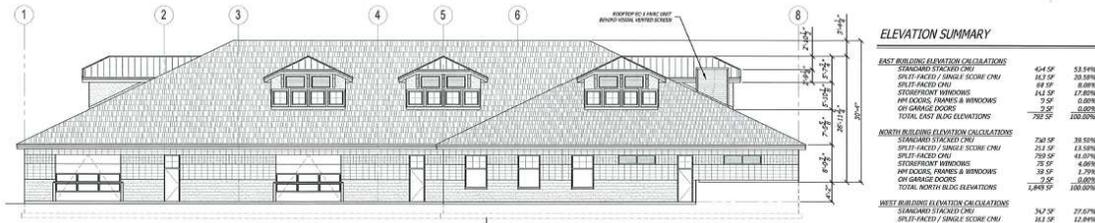
New Building Location

The revised site plan shifts the location of the proposed new building from 20 feet to 30 feet south of the existing property line. This is the same rear yard setback minimum allowed by the county zoning of the residential neighbors to the north in the A-1 zoning district. The rest of the new site plan has been adjusted to accommodate this building location shift and still allow the new facilities to be constructed north of the current site buildings and facilities.

Architectural Building Design and Materials

The original exterior wall building materials, being split face concrete masonry units (CMU), building colors, openings, and windows remain generally the same as with the first design. The wall heights have increased slightly to accommodate the new flat roof and its flat roof truss structure, replacing the prior pitched roof design and its resultant 35-foot building height. The new wall height varies slightly around the parameter of the new building, topping out at approximately 22 feet at its highest building face exposure point.

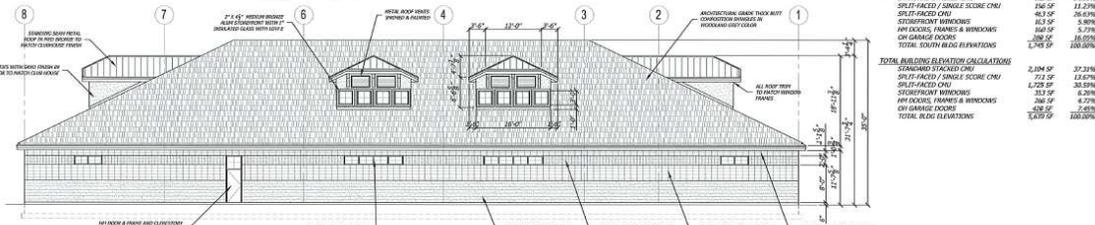




**SCHEMATIC SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

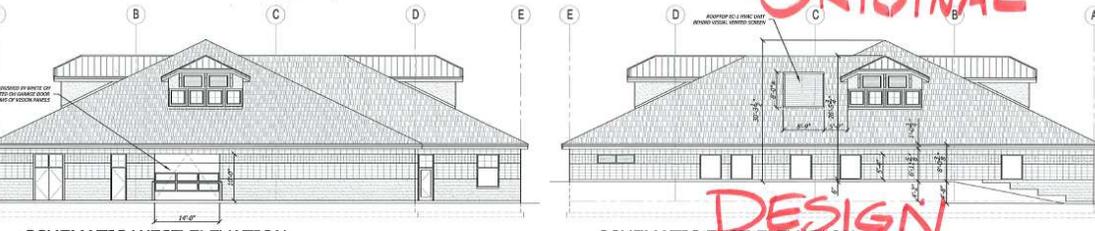
GRAPHIC SCALE



**SCHEMATIC NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

GRAPHIC SCALE



**SCHEMATIC WEST ELEVATION**

SCALE: 1/8" = 1'-0"

GRAPHIC SCALE

**SCHEMATIC EAST ELEVATION**

SCALE: 1/8" = 1'-0"

**ORIGINAL DESIGN**

**ELEVATION SUMMARY**

EAST BUILDING ELEVATION CALCULATIONS	
STANDARD STACKED CHU	404 SF
SPLIT-FACED / SINGLE SCORE CHU	53 SF
SPLIT-FACED CHU	88 SF
STREETFRONT WINDOWS	84 SF
HW DOORS, FRAMES & WINDOWS	75 SF
CH GARAGE DOORS	305 SF
<b>TOTAL EAST BLDG ELEVATIONS</b>	<b>789 SF</b>

NORTH BUILDING ELEVATION CALCULATIONS	
STANDARD STACKED CHU	750 SF
SPLIT-FACED / SINGLE SCORE CHU	213 SF
SPLIT-FACED CHU	202 SF
STREETFRONT WINDOWS	75 SF
HW DOORS, FRAMES & WINDOWS	133 SF
CH GARAGE DOORS	55 SF
<b>TOTAL NORTH BLDG ELEVATIONS</b>	<b>1,468 SF</b>

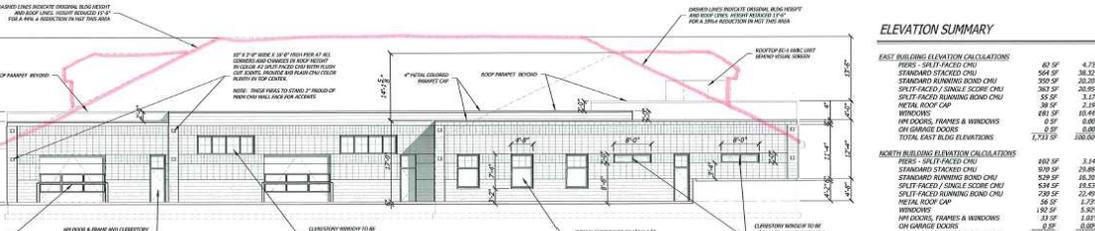
WEST BUILDING ELEVATION CALCULATIONS	
STANDARD STACKED CHU	347 SF
SPLIT-FACED / SINGLE SCORE CHU	141 SF
SPLIT-FACED CHU	483 SF
STREETFRONT WINDOWS	38 SF
HW DOORS, FRAMES & WINDOWS	133 SF
CH GARAGE DOORS	108 SF
<b>TOTAL WEST BLDG ELEVATIONS</b>	<b>1,250 SF</b>

SOUTH BUILDING ELEVATION CALCULATIONS	
STANDARD STACKED CHU	613 SF
SPLIT-FACED / SINGLE SCORE CHU	246 SF
SPLIT-FACED CHU	483 SF
STREETFRONT WINDOWS	84 SF
HW DOORS, FRAMES & WINDOWS	300 SF
CH GARAGE DOORS	208 SF
<b>TOTAL SOUTH BLDG ELEVATIONS</b>	<b>1,942 SF</b>

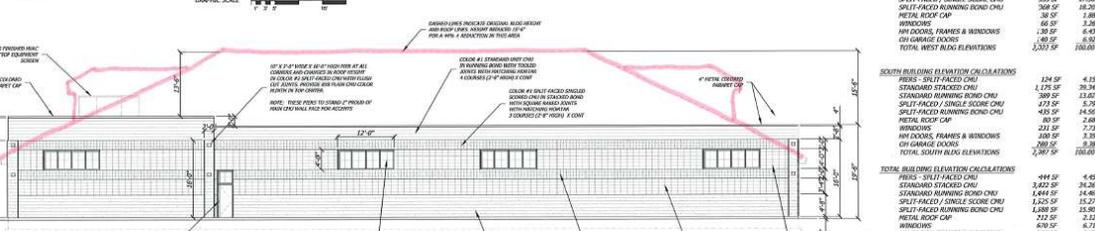
TOTAL BUILDING ELEVATION CALCULATIONS	
STANDARD STACKED CHU	2,104 SF
SPLIT-FACED / SINGLE SCORE CHU	772 SF
SPLIT-FACED CHU	1,278 SF
STREETFRONT WINDOWS	313 SF
HW DOORS, FRAMES & WINDOWS	626 SF
CH GARAGE DOORS	656 SF
<b>TOTAL BLDG ELEVATIONS</b>	<b>6,037 SF</b>



**SCHEMATIC SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

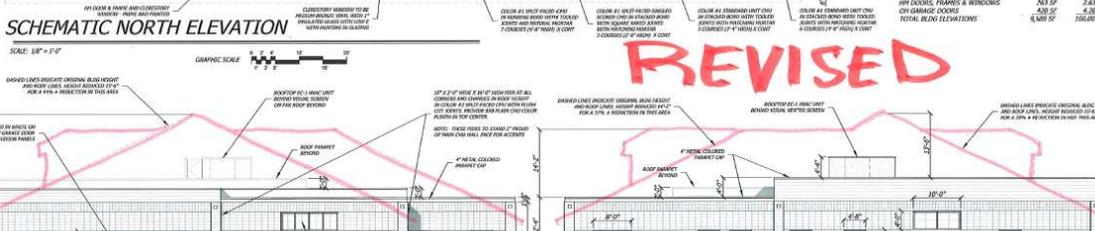
GRAPHIC SCALE



**SCHEMATIC NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

GRAPHIC SCALE



**SCHEMATIC WEST ELEVATION**

SCALE: 1/8" = 1'-0"

GRAPHIC SCALE

**SCHEMATIC EAST ELEVATION**

SCALE: 1/8" = 1'-0"

**REVISED DESIGN**

**ELEVATION SUMMARY**

EAST BUILDING ELEVATION CALCULATIONS	
PREES - SPLIT-FACED CHU	83 SF
STANDARD STACKED CHU	564 SF
STANDARD RUNNING BOND CHU	303 SF
SPLIT-FACED / SINGLE SCORE CHU	363 SF
SPLIT-FACED RUNNING BOND CHU	33 SF
METAL ROOF CAP	38 SF
WINDOWS	81 SF
HW DOORS, FRAMES & WINDOWS	6 SF
CH GARAGE DOORS	1,733 SF
<b>TOTAL EAST BLDG ELEVATIONS</b>	<b>3,130 SF</b>

NORTH BUILDING ELEVATION CALCULATIONS	
PREES - SPLIT-FACED CHU	807 SF
STANDARD STACKED CHU	910 SF
STANDARD RUNNING BOND CHU	529 SF
SPLIT-FACED / SINGLE SCORE CHU	544 SF
SPLIT-FACED RUNNING BOND CHU	730 SF
METAL ROOF CAP	56 SF
WINDOWS	197 SF
HW DOORS, FRAMES & WINDOWS	33 SF
CH GARAGE DOORS	85 SF
<b>TOTAL NORTH BLDG ELEVATIONS</b>	<b>3,762 SF</b>

WEST BUILDING ELEVATION CALCULATIONS	
PREES - SPLIT-FACED CHU	236 SF
STANDARD STACKED CHU	811 SF
STANDARD RUNNING BOND CHU	376 SF
SPLIT-FACED / SINGLE SCORE CHU	355 SF
SPLIT-FACED RUNNING BOND CHU	38 SF
METAL ROOF CAP	68 SF
WINDOWS	36 SF
HW DOORS, FRAMES & WINDOWS	13 SF
CH GARAGE DOORS	40 SF
<b>TOTAL WEST BLDG ELEVATIONS</b>	<b>1,931 SF</b>

SOUTH BUILDING ELEVATION CALCULATIONS	
PREES - SPLIT-FACED CHU	124 SF
STANDARD STACKED CHU	1,175 SF
STANDARD RUNNING BOND CHU	309 SF
SPLIT-FACED / SINGLE SCORE CHU	473 SF
SPLIT-FACED RUNNING BOND CHU	402 SF
METAL ROOF CAP	80 SF
WINDOWS	212 SF
HW DOORS, FRAMES & WINDOWS	100 SF
CH GARAGE DOORS	200 SF
<b>TOTAL SOUTH BLDG ELEVATIONS</b>	<b>3,085 SF</b>

TOTAL BUILDING ELEVATION CALCULATIONS	
PREES - SPLIT-FACED CHU	444 SF
STANDARD STACKED CHU	3,822 SF
STANDARD RUNNING BOND CHU	1,644 SF
SPLIT-FACED / SINGLE SCORE CHU	1,225 SF
SPLIT-FACED RUNNING BOND CHU	1,288 SF
METAL ROOF CAP	212 SF
WINDOWS	610 SF
HW DOORS, FRAMES & WINDOWS	703 SF
CH GARAGE DOORS	430 SF
<b>TOTAL BLDG ELEVATIONS</b>	<b>8,589 SF</b>

Landscaping and Irrigation

The revised site plan and landscaping plan has been modified to increase the planting density proposed for the new 30-foot building setback on the north side of the new building location. These plans include introducing evergreen trees and deciduous trees and ground level bushes and plantings to help with buffering the neighbor's view of the new building. The landscaping and the irrigation will meet the Sandy City water conservation requirements.

Signage

No signage is proposed as part of this site plan review.

Fencing

The prior plan called for a 6-foot-high solid vinyl fence to be placed along the north property line to help buffer the view of the new building by the neighbors abutting the building site. The country club will build or not build this screening fence, upon future conversations with those abutting neighbors on a property by property negotiation basis.

Staff Concerns

Planning staff has no additional concerns with this project. The country club has made substantial changes to the site plan and the building to help mitigate the neighborhood's collective concerns.

Conditional Use Permit Analysis

As part of Conditional Use Permit analysis, the City may impose conditions on a Conditional Use, based upon certain standards of review found in section 21-33-04, "*Conditional Use Permit*", of the Sandy City Land Development Code. The following standards of review are applicable to this request and merit discussion or additional consideration by the Planning Commission before an approval can be given (staff's analysis response is found below each item written in italics):

**Sec. 21-33-4. Conditions.**

In order to achieve compliance with the standards set forth herein, the City may impose conditions that address:

- (1) Size, configuration and location of the site and the proposed site plan layout.

*The size of the site is adequate to provide the required parking and other site improvements necessary to host the proposed new building and its use.*

- (2) Proposed site ingress and egress to existing and proposed roads and streets.

*The proposed site improvements will provide adequate vehicle access to the site.*

- (3) The adequacy, provision, relocation, or protection of public facilities and amenities, including roads and streets, culinary water, secondary water, sanitary sewer, storm drainage, public safety and fire protections, and other utilities.

*All necessary utility and street access infrastructure is present and available on site.*

- (4) Design, location and amount of off-street parking, loading areas and solid waste disposal and collection areas.

*The site plan provides the required amount of off-street parking for the use of the proposed portion of the 2.75-acre disturbed area. A permanent dumpster and dumpster enclosure will be provided on the revised site plan.*

- (5) Site circulation patterns for vehicular, pedestrian, and other traffic.

*The on-site vehicle circulation is adequate for the intended use.*

- (6) Mass, size, number, location, design, exterior features, materials, and colors of buildings, structures and other facilities.

*These factors have been considered and recommended for approval by the Planning Commission in the Site Plan Review application and determined to be appropriate and compatible. Both the proposed building setback increase from 20 to 30 feet and the change in the building design to the flat roof are being proposed by the applicant to mitigate reasonably anticipated impacts to adjoining properties.*

- (7) The location and design of all site features, including proposed signage, lighting, and refuse collection.

*These factors have been addressed in the proposed site improvement plans for the project. Commercial Signage is not being requested by the applicant.*

- (8) The provision of useable open space, public features, and recreational amenities.

*This standard is not applicable to this project. Although the vast majority of the total 158-acre site is landscaped as a golf course, the property is private and therefore public access is prohibited.*

- (9) Fencing, screening and landscape treatments, and other features designed to increase the attractiveness and safety of the site and protect adjoining property owners from noise, visual, and other impacts.

*The fencing of the north property line will be negotiated with the abutting neighbors to arrive at a mutually agreeable decision on fencing and range from no new fence to the six-foot-high solid vinyl fence originally proposed. Landscaping density, tree type variety and ground level plantings are now proposed for the rear yard building setback from the north property line to the new building to increase buffering of the new building visually and provide a reduction in noise transmission.*

- (10) Measures directed at minimizing or eliminating possible nuisance factors, including, but not limited to, noise, vibrations, smoke, dust, dirt, debris, plant materials, odors, gases, noxious matter, heat, glare, electromagnetic disturbances, and radiation.

*This new building and its location are intended to reduce current negative impacts to adjoining properties by its very presence and its structure being able to better contain noises, odors, smoke, glare, human presence on the site that is visible to the abutting residential neighbors. Consolidating as many current activities as possible into an enclosed, and insulated building will reduce potentially negative effects to the abutting residential neighbors from the current and future site development and activities*

- (11) The Measures designed to protect the natural features of the site, including wetlands and drainage ways, ground water protection, soils, wildlife, and plant life.

*The grading of the site to lower the building finished floor level and remove portions of the existing dirt mound, will remove some existing tree vegetation. This tree vegetation will be replaced with new tree planting of both evergreen and deciduous trees to eventually screen the new building from the adjoining neighbors' back yard views. Site drainage will be improved with drainage infrastructure and site detention measures proposed. Site storm water runoff water quality will be improved with the introduction of the paved parking lot, and oil and water separator structures which will be installed.*

- (12) The regulation of operating hours for activities affecting normal schedules and functions.

*Extended operating hours are not being requested, nor would they be expected for this service use.*

- (13) Identifying a time for regular review and monitoring, as determined necessary, to ensure the use continues to operate in compliance with all conditions and requirements of approval.

*Routine business licensing and plan review processes are in place to review and monitor factors relative to the CUP operations. Complaints will be investigated by the City Code Enforcement Staff and resolved or forwarded to the Planning Commission for reconsideration and possible revocation.*

- (14) Measures to assure compliance with all conditions and requirements of approval, including, but not limited to, bonds, letters of credit, improvement agreements, agreements to conditions, road maintenance funds, and restrictive covenants.

*All of these relative requirements will be implemented by city staff during the final review and approval processes.*

- (15) Such other conditions determined reasonable and necessary by the city to allow the operation of the proposed conditional use, at the proposed location in compliance with the requirements of this title.

*None have been identified.*

**Staff Concerns.** Planning staff does not have any concerns about the approval of this conditional use. This use is existing and will be continued with new building and site improvements, consistent with Sandy City Code requirements and conditions. All the proposed site improvements will allow continuation of the existing maintenance area functions with better buffering of the existing neighboring properties in better facilities with less environmental impacts.

## **Recommendations:**

### **Site Plan Review**

- # 1 Staff recommends that the Planning Commission determine preliminary site plan review is complete for the proposed relocation and reconstruction of the Willow Creek Country Club Maintenance Area facilities, located at approximately 8505 S. Willow Creek Dr., based on the following findings and subject to the following conditions:

### **Findings:**

1. That the proposed project will meet all the applicable requirements of the Sandy City Development Code and the Sandy City Architectural Design Standards as to building architectural design, materials and colors.
2. That the proposed new building and site improvements to this area of the country club complex will improve the visual appearance of the maintenance area and provide better impact mitigation compared to the existing conditions and facilities.

### **Conditions:**

1. That the developer proceeds through the final site plan review process with staff prior to the start of any construction. The final site plan shall comply with all Development Code requirements and those modifications required or allowed by the Planning Commission.
2. That the development complies with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.
3. All utility boxes (i.e. transformers, switchgear, telephone, cable TV, etc.) shall be shown on the site plan and shall be placed underground or moved behind the front setback of the buildings and screened from view. Each box shall be shown in its exact location and shall be noted with its exact height, width and length. Building utility meters shall be mounted to the side or rear elevation or screened.
4. That the developer be responsible for the placement of a temporary 6-foot-high chain link fence around the perimeter of the project during the construction phase of the project for security. Said fence shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the Community Development Department during Site Plan Review.
5. That the applicant complies with all department requirements as noted in all Preliminary Review letters prior to submittal for final site plan review with staff.
6. Subject to final approval of the proposed Code Amendment CA07032024-0006794, by the City Council before final approval and building permit issuance.

**Conditional Use Permit**

#2 Staff recommends that the Planning Commission approve a Conditional Use Permit for the proposed reconstruction and relocation of the Willow Creek Country Club's Maintenance Area, which is an accessory and ancillary use to the "Park, Public and Private" and "Recreation, Outdoor" primary land use, and based upon the staff report analysis and the following findings and conditions:

**Findings:**

1. These uses are existing and will be continued with new building and site improvements, consistent with Sandy City Code requirements and conditions.
2. All the proposed site improvements will allow continuation of the prior maintenance area functions with better buffering of the existing neighboring properties in better facilities with less environmental impacts.

**Conditions:**

1. That the operational hours be limited to the previous operations, seasonally adjusted.
2. That the site plan approval conditions and the proposed site improvements be installed as part of the SPR process finalization.
3. Subject to final approval of the proposed Code Amendment CA07032024-0006794, by the City Council before final approval and building permit issuance.

Planner:



Doug Wheelwright  
Development Services Manager

File Name: S:\USERS\PLN\STAFFRPT\2024\SPR05172024-006771 WILLOW CREEK COUNTRY CLUB - MAINTENCE AREA\WILLOW CREEK CC MAINTENANCE AREA RECONSTRUCTION SPR AND CUP P.C. STAFF REPORT 07-18-2024.DOCX

## Exhibit “A”

JAMES B. GLASCOCK, ARCHITECT P.C.  
ARCHITECTURE & PLANNING  
18901 East Lark Drive Queen Creek, Arizona 85142  
PHONE/FAX (801) 860-8905  
e-mail: [glascock@mtcon.net](mailto:glascock@mtcon.net)

Friday, May 24, 2024

City of Sandy  
Planning Commission  
10000 South Centennial Parkway  
Sandy, Utah 84070

Re: WCCC Maintenance Area – Proposed Conditional Use  
Willow Creek Country Club

Conditional Use – Description of Project

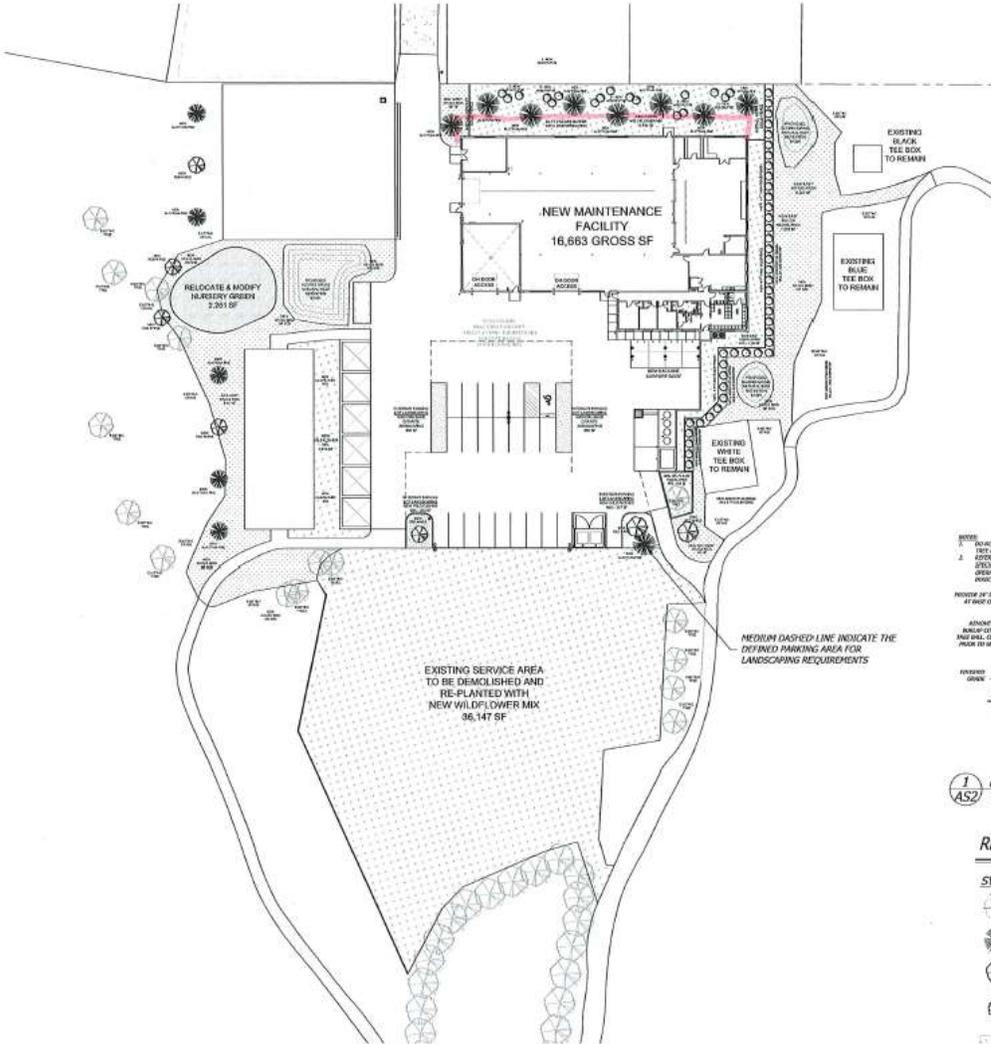
The purpose of the project is to replace the existing outdated maintenance area service buildings and service yard with a new functional design. All existing service facilities will be demolished and the existing service area re-graded and temporarily seeded with natural Utah wildflowers. This area will be held for future Country Club functions to be determined over time by the Club Membership. There is a small bermed area of soil on the site that will be used in the re-grading of this natural landscaped area. We have also been working with Jordan Valley Water Conservancy District to coordinate our site design with the pumphouse they will be constructing on their property.

The new maintenance complex will be a single one-story building to house all the existing functions that currently occur in the 3 -4 structures that will be removed. This will allow us to enclose the service functions, club storage, maintenance storage, fertilizer & pesticide storage, maintenance offices, equipment repair shop and service employee break room and lockers into a single efficient building. It will be designed and sized for current and anticipated future needs. The existing greenhouse will be replaced with a newer prefabricated building that will provide the nursery needs that the existing greenhouse cannot provide for the course and grounds. The new facility design will provide an efficient onsite equipment recirculating wash station and a small fuel area. The facility will be fenced and landscaped to provide visual barriers for the single-family residences to the north and to the club golf course and clubhouse.

The building will be fire-sprinklered and a new fire hydrant will be installed for Fire Department Use. Underground utilities will be upgraded as required by the various utility department standards and to service the new building. There will be adequate on-site parking for maintenance employees and turnaround for deliveries and Fire Department Access.

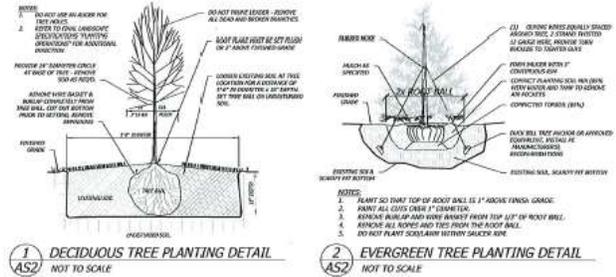
There will be no additional impact to the neighborhood. No new functions are being added by this project. The maintenance staff in and out parking will be controlled and remain as is and the minimal material deliveries to the site will also be controlled as currently exists. We have requested a variance from widening the existing service drive as requested by the staff to keep the entrance to this non-public area as is. We do not want to make this private drive entrance on Etienne Way any more appealing for the public to enter and cause more unintended traffic to our facility and create more issues for the neighbors.

Exhibit "B"  
See the attached files for the full plan set



REVISED LANDSCAPE CALCULATIONS

SITE SQUARE FOOTAGE TABULATION:		
TOTAL PROJECT SITE AREA (DISTURBED AREA) =		120,413 SF
TOTAL LANDSCAPE AREA =		65,790 SF 54.64%
LANDSCAPED AREA CALCULATIONS		
NEW / RELOCATED NURSERY GREEN	2,261 SF	
NEW EAST & NORTH GRASS SEED/SOD AREA	7,663 SF	
NEW WEST & SOUTH GRASS SEED/SOD AREA	6,437 SF	
NEW NORTH & EAST BLDG WILDFLOWER AREA	6,707 SF	
NEW HEDGE MULCH PLANTING AREA	1,287 SF	
INTERIOR PARKING LOT LANDSCAPING	1,369 SF	
GREENHOUSE/NEW WILDFLOWER AREA	1,919 SF	
FUTURE WCCC IMPROVEMENT LANDSCAPE AREA	35,147 SF	
TOTAL LANDSCAPED AREA	65,790 SF	54.64%
EXISTING AND NEW PLANTING		
EXISTING TREES WITHIN AREA & PERIMETER	11 TREES	
NEW RED MAPLE	7 TREES	
NEW AUSTRIAN PINE	14 TREES	
TOTAL TREES ON SITE AREA	32 TREES	
NEW SHRUBS TO FORM NEW HEDGE & BUFFER	59 SHRUBS	
INTERIOR PARKING LOT LANDSCAPING REQUIRED:		
TOTAL NEW PARKING AREA =	12,528 SF	
5% INTERIOR LANDSCAPE PARKING REQUIRED	627 SF	
NEW INTERIOR LANDSCAPING PROVIDED		
CRUSHED GRANITE XERISCAPING	2 @ 360 SF / EACH	
WEST WILDFLOWER PARKING ISLAND	783 SF (INCLUDES 1 TREE)	
EAST WILDFLOWER PARKING ISLAND	367 SF (INCLUDES 2 TREES)	
NEW INTERIOR PARKING PROVIDED	1,369 SF (EXCEEDS MINIMUM REQ'D)	



REVISED LANDSCAPE SCHEDULE

SYMBOL	QNTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
SEE PLAN		EXISTING TREE			
(Tree Symbol)	14	PINUS NIGRA	AUSTRIAN PINE	12" BALL/BURLAP	PER PLAN
(Tree Symbol)	7	ACER RUBRUM	RED MAPLE	12" BALL/BURLAP	PER PLAN
(Tree Symbol)	59	THUNIA OCCIDENTALIS	EMERALD ARBERRIVIAE	6" TALL/ 5 GAL	6 FT OC
(Hatched Pattern)			WASATCH MTN WILDFLOWER MIX		
(Dotted Pattern)			NEW GRASS SEE / SOD GRASS		
(Cross-hatched Pattern)			CRUSHED GRANITE		

REVISED SCHEMATIC LANDSCAPE PLAN

SCALE: 1" = 30'-0"



## Exhibit “C”

**Willow Creek Country Club Maintenance Building Neighborhood Meeting Minutes****June 10<sup>th</sup>, 2024, Meeting:**

Steven Harries explained he was opposed to the project and asked if the building could be built, where the existing structures are located. He also asked if anyone from the city council or administration/employees were members at Willow Creek

Alex with Willow Creek explained that there are no members of the city council or administration who are members of the country club.

Vivian Vonk explained that she had concerns about the project especially with the height being 35 feet tall and only 20 feet from the property lines and would feel better about it if it was moved to 60 feet from the property line. She also had concerns about the maintenance of the property because the landscaping there now isn't being maintained.

Doug Wheelwright, city staff, explained that the proposed height matches the same maximum building height allowed in the residential neighborhood.

Steven Harries asked what variances to the standards and requirements is the country club asking for that requires a conditional use permit from Sandy City.

James Glascock, the architect, explained that they are meeting all the requirements for the zone but it's the use in the zone that requires the conditional use and not the size or placement of the building.

Derek Wright with Willow Creek Country Club clarified that the purpose of the neighborhood meeting is not to necessarily decide on solutions but to inform and collect feedback so that the applicant and developers can then make any changes or add mitigations before it is brought to the Planning Commission.

Doug Wheelwright said yes to the comment by Mr. Wright. The purpose of the neighborhood meeting is to inform and educate what the proposal is, then take feedback and concerns from this meeting and address them in the staff report that will be presented to the Planning Commission for review.

Steve Fehlauer also expressed concern with the height and setbacks and asked that the proposed building be moved further away from the residential neighborhood.

Doug Wheelwright explained the conditional use and site plan permit process and that conditional use permits can't really be denied but only impose conditions to mitigate impacts. He explained that the Planning Commission is the land use authority and is the body to make sure that the concerns are mitigated.

Exhibit “C” cont.

### **Willow Creek Country Club Maintenance Building Neighborhood Meeting Minutes**

#### **June 25<sup>th</sup>, 2024, Meeting:**

Brad and Mindy Fogg asked about the design process of the site and if it is to accommodate a waterline or if that waterline can be relocated. He also asked why the building needs to be 35” tall for a one-story building.

Steve Fehlauer is concerned about the height and setbacks of the proposed building. He is also concerned with the impact and traffic that could impact the neighborhood and the entrance to the maintenance area.

Vivian Vonk is concerned about the height of the structure and had questions about the landscaping.

Todd Sheeran asked why conditional use is required if an accessory structure isn’t allowed in the OS zone and asked for references for those requirements.

Doug Wheelwright explained that they are asking for approval for all the proposed buildings and site improvements of the new locations and the OS requires the approval by the Planning Commission. Doug also provided the references.

Steve Harries asked about land use development code 21-10 for the OS zone and asked for clarification because automotive repairs, auto truck storage, plant nurseries and professional offices are not allowed in the zone at all.

Doug Wheelwright explained that that is more of a general statement and it would certainly apply to a new project but the country club is an existing use that was annexed into Sandy City in 2018 and that this is a reasonable request for a recreational open space use like a golf course.

Steve Harries invited the planning department, developers and Planning Commission members to come to the site and see for themselves what the residents are concerned about.

Doug Wheelwright explained that the Planning Commission does do a site visit with city staff prior to the meeting.

Dawnell Keller asked what the agenda of the open space is and why it’s so fluid.

Michelle Terry asked why the building needs to be so tall and why it’s such a high-pitched roof if it is not being used for a second story

Doug Wheelwright explained that it was so that building would match the residential neighborhood character with the roofing to blend in more.

Michelle Terry explained that they would prefer a flat roof that isn’t as tall instead of a residential looking pitched roof.

Lesley and Brian Paul have concerns with the setbacks of the proposed building and the noise of it being so close to the residential neighborhood

Doug Wheelwright explained that during the construction the noise would be increased but after that there shouldn’t be much of an impact because all of the outdoor maintenance that is currently being done would be moved inside the building creating more of a noise buffer than what exists now.

## Exhibit “C” cont.

Lesley and Brian Paul explained that they had heard that the proposed maintenance building would have a golf simulator and be used for other social events and are concerned about those impacts and traffic impacts.

Doug Wheelwright explained that none of those uses have been proposed.

Roxanne Fehlauer explained that she is against the project.

Nick Pappas asked about mitigations for construction workers parking in the residential neighborhood and how that would be managed. He is also concerned about A/C cooling and generators for the building and the noise that could produce.

Doug Wheelwright explained that there is a proposed roof top mechanical unit but that it is completely screened from view, and that the material of the building is concrete block.

Rob Voye isn't against the project but would like to see everyone come to an agreement to make the building smaller somehow through the height of the proposed building to not impact the neighborhood as much.

Lenny Vonk expressed concerns with the height and would like to see the roof height reduced. He also asked about flammable materials and fertilizers being stored onsite and what would happen if it caught fire so close to the neighborhoods.

James Glascock, the architect, explained the design of the building and that process included trying to make it look as residential as possible but that he could discuss changes to the design with the client. He explained that all fertilizers are not combustible and are stored separately in the building. He explained that there is no cooling for the building besides the office area and are only on the south side of the building which the noise would be mitigated by the building and as far as possible from the residential areas. James explained that they can't tear down the current buildings without the new ones being built and that is why he has placed the proposed building where it is. He explained that all construction parking would be provided onsite and no one would be parking in the residential neighborhood.

Derek Wright with Willow Creek explained that building only has internal access or utilized space on the south side, the rest of the building will not be used to mitigate noise. He also explained that no social uses or areas are planned or proposed for the building and that it is for maintenance staff only.

James Glascock also explained that he will work with the Willow Creek Country Club committee to find ways to mitigate all of these concerns as much as possible. He also explained that there is a waterline that goes through the parking lot but that was not a factor in the site design.

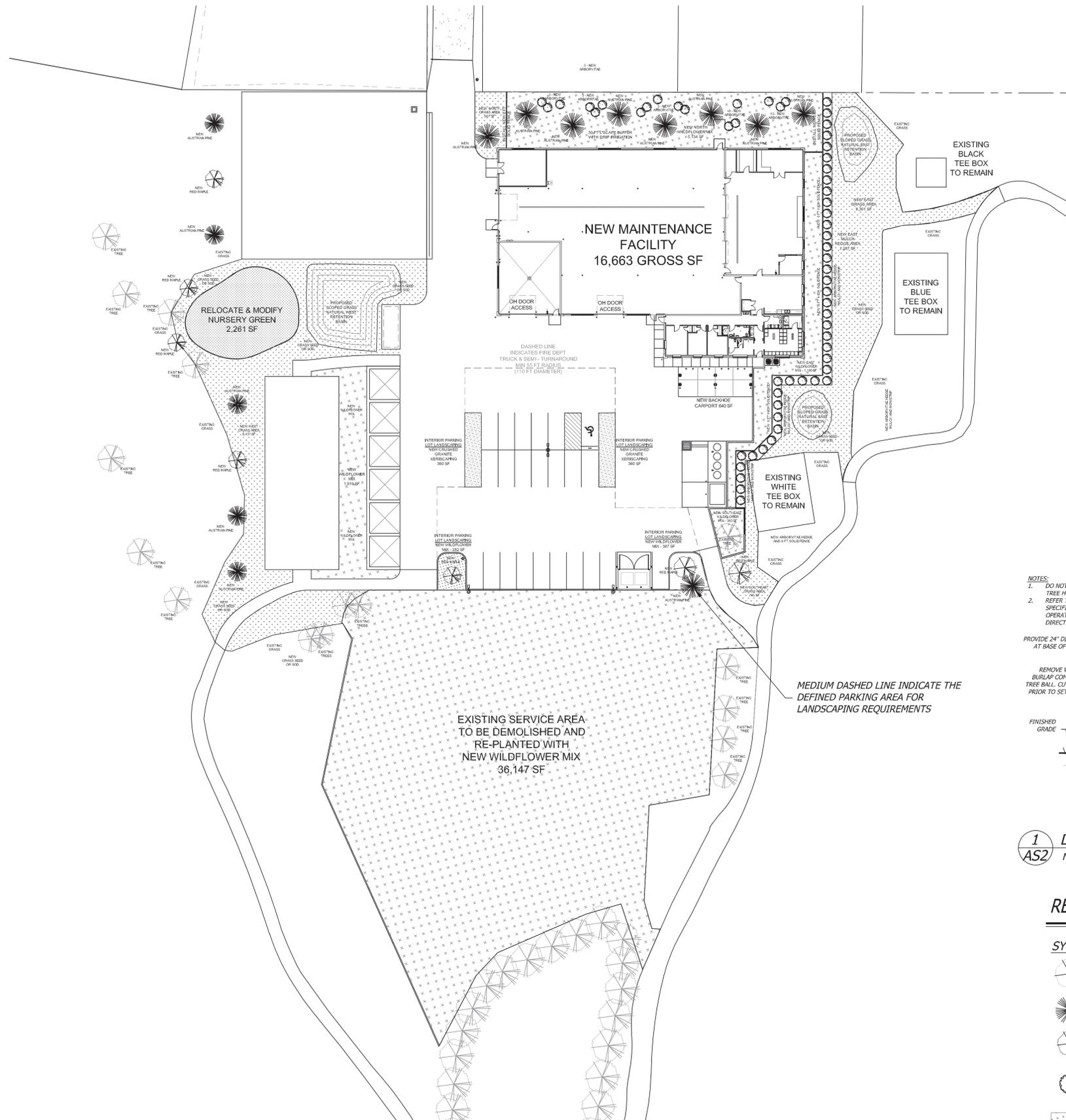
Jason King expressed concerns with the placement and size of the building and if a buffer for the building could be landscaped and the building could be pushed further away instead to help mitigate the impact.

James Glascock explained that the new parking lot location is also a buffer.

## Exhibit “C” cont.

## GENERAL INFORMATION AND STAFF RESPONSES TO QUESTIONS RAISED ABOUT THE WILLOW CREEK CC MAINTENANCE AREA RECONSTRUCTION PROJECT SITE PLAN REVIEW AND CONDITIONAL USE PERMIT, JUNE 25, 2024, PART OF NEIGHBORHOOD MEETING PRESENTATION.

1. **Sandy City Development Code Verses International Zoning Code (IZC)**. Neither the State of Utah nor Sandy City has adopted the IZC. Sandy City follows state law regarding zoning and land use regulation. Sandy City’s Zoning Ordinance is codified as Title 21 of the City Code, known as the Sandy City Development Code. There are approximately 500 pages to this ordinance. There are three main chapters in the development code that relate to this project specifically: Chapter 21-10, Open Space Zone; Chapter 21-32, Site Plan Review; and Chapter 21-33, Conditional Use Permit.
2. **Land Use Authority**. The designated Land Use Authority for these requested actions is the Sandy City Planning Commission. Decisions of the Planning Commission are final. These actions are not appealable to the City Council or Mayor. Appeals of decisions of the Planning Commission by City Code and State law are to the Sandy City Board of Adjustment and then to the District Court.
3. **Current construction activity or permitting**. No construction activity has been approved for the site to date. Construction starts are only authorized after completion of the Site Plan Review Process and issuance of a building permit from the City.
4. **Prior site development activities by the Country Club**. It has been stated that the Country Club has altered their property in the past without notice or public process. This property was under the zoning and development review processes of Salt Lake County prior to its annexation into Sandy City on December 26, 2018. This is the first project proposed under Sandy City’s jurisdiction and processes.
5. **View Protection**. Sandy City does not guarantee any view protection through its development regulations. It is prohibited by State law. Viewshed protection is only available through ownership of the property or an easement. These would be private arrangements that the City is not involved in. There is some measure of view impact mitigation through the City zoning established building location limits on the property, its setbacks and building height limits. Tree planting on private property is not restricted as to location spacing or ultimate growing height, and these can limit existing viewsheds over time as they grow.
6. **Property value protections**. The City does not guarantee protections for perceived loss of property values. It is not a public responsibility. Loss of value claims are very subjective and difficult to establish.
7. **Environmental Impact Studies**. Unlike in California, EIS’s are not required by the State or County or local governments for new building projects. If there has been experiences with leaky underground storage tanks of petroleum products, there is a State of Utah process for addressing that. A level one environmental assessment is usually the vehicle to try to identify environmental damage at a site. Upon evidence or presumption, the City can require a level one environmental assessment to be performed. All new construction will be required to protect against environmental contamination through the zoning and life safety codes.



### REVISED LANDSCAPE CALCULATIONS

**SITE SQUARE FOOTAGE TABULATION:**  
 TOTAL PROJECT SITE AREA (DISTURBED AREA) = 120,113 SF  
 TOTAL LANDSCAPE AREA = 65,790 SF 54.64%

**LANDSCAPED AREA CALCULATIONS**

NEW / RELOCATED NURSERY GREEN	2,261 SF	
NEW EAST & NORTH GRASS SEED/SOD AREA	7,663 SF	
NEW WEST & SOUTH GRASS SEED/SOD AREA	8,437 SF	
NEW NORTH & EAST BLDG WILDFLOWER AREA	6,707 SF	
NEW HEDGE MULCH PLANTING AREA	1,287 SF	
INTERIOR PARKING LOT LANDSCAPING	1,369 SF	
GREENHOUSE/BIN WILDFLOWER AREA	1,919 SF	
FUTURE WCCC IMPROVEMENT LANDSCAPE AREA	36,147 SF	
<b>TOTAL LANDSCAPED AREA</b>	<b>65,790 SF</b>	<b>54.64%</b>

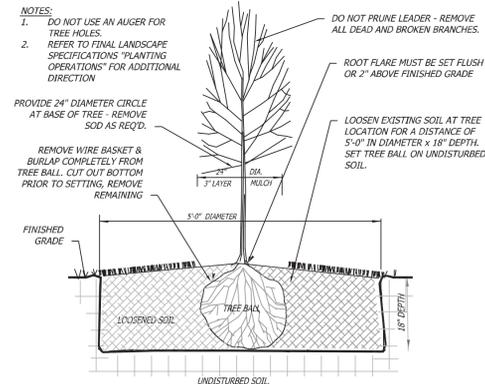
**EXISTING AND NEW PLANTING**

EXISTING TREES WITHIN AREA & PERIMETER	11 TREES
NEW RED MAPLE	7 TREES
NEW AUSTRIAN PINE	14 TREES
<b>TOTAL TREES ON SITE AREA</b>	<b>32 TREES</b>

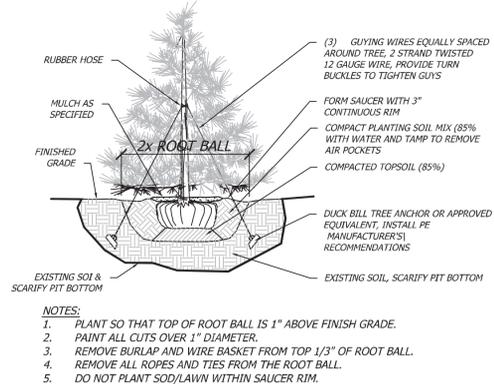
NEW SHRUBS TO FORM NEW HEDGE & BUFFER 59 SHRUBS

**INTERIOR PARKING LOT LANDSCAPING REQUIRED:**

TOTAL NEW PARKING AREA =	12,528 SF
5% INTERIOR LANDSCAPE PARKING REQUIRED	627 SF
12,528 SF X 5.0% =	
NEW INTERIOR LANDSCAPING PROVIDED	627 SF
CRUSHED GRANITE XERISCAPING	2 @ 360 SF / EACH
WEST WILDFLOWER PARKING ISLAND	282 SF (INCLUDES 1 TREE)
EAST WILDFLOWER PARKING ISLAND	367 SF (INCLUDES 2 TREES)
NEW INTERIOR PARKING PROVIDED	1,369 SF (EXCEEDS MINIMUM REQ'D)



1 DECIDUOUS TREE PLANTING DETAIL  
 AS2 NOT TO SCALE



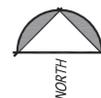
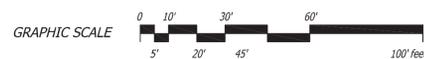
2 EVERGREEN TREE PLANTING DETAIL  
 AS2 NOT TO SCALE

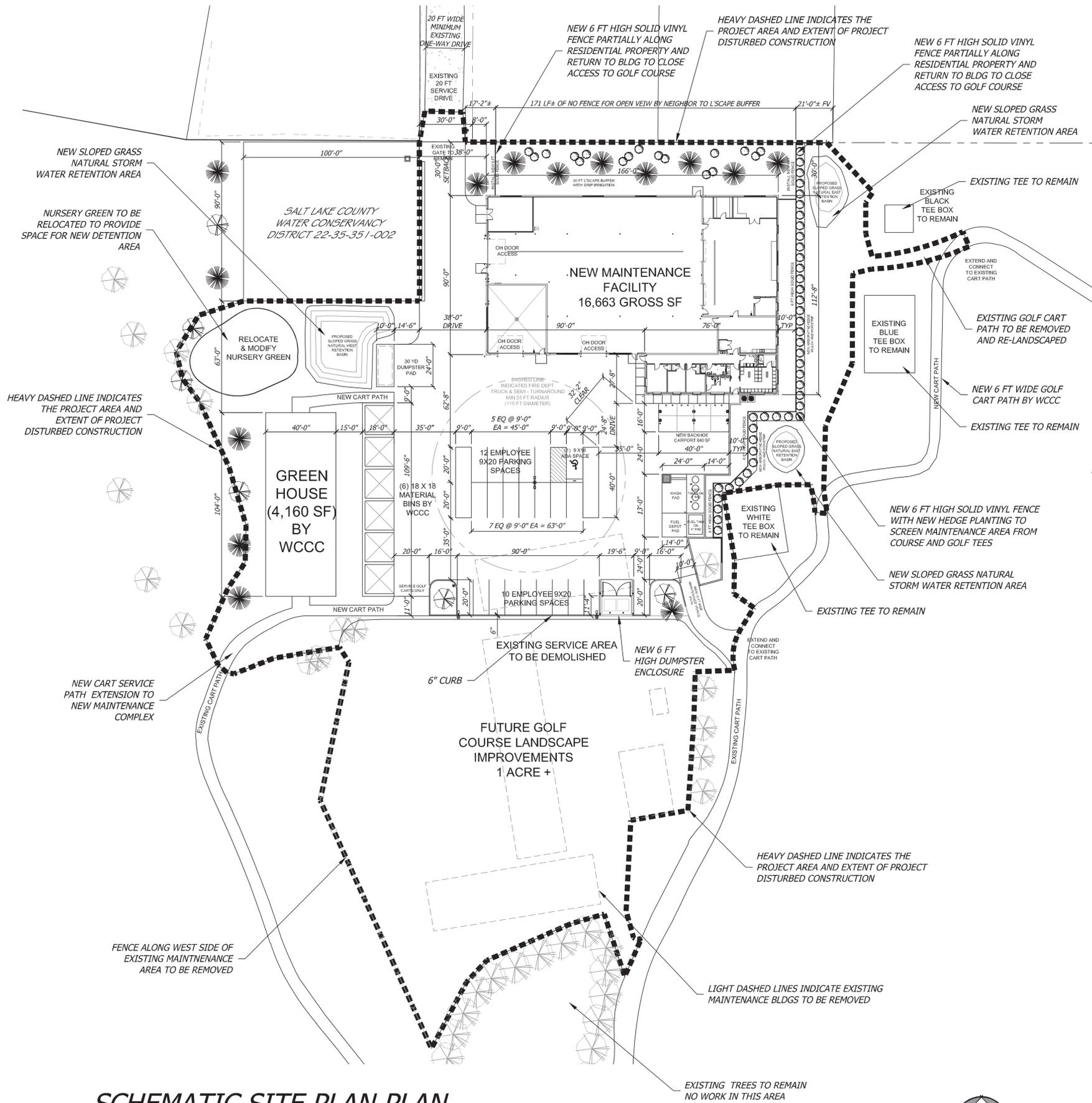
### REVISED LANDSCAPE SCHEDULE

SYMBOL	QNTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
	SEE PLAN	EXISTING TREE			
	14	PINUS NIGRA	AUSTRIAN PINE	12' BALL/BURLAP	PER PLAN
	7	ACER RUBRUM	RED MAPLE	12' BALL/BURLAP	PER PLAN
	59	THUJA OCCIDENTALIS	EMERALD ARBERVITAE	6' TALL/ 5 GAL	6 FT OC
		WASATCH MTN WILDFLOWER MIX			
		NEW GRASS SEE / SOD GRASS			
		CRUSHED GRANITE			

## REVISED SCHEMATIC LANDSCAPE PLAN

SCALE: 1" = 30'-0"





### SITE SUMMARY

**SITE SQUARE FOOTAGE TABULATION:**  
TOTAL PROJECT SITE AREA (DISTURBED AREA) = 120,413 SF  
100.00%

BUILDINGS & ABOVE-GROUND IMPROVEMENTS			
1-STORY MAINTENANCE BUILDING	16,663 SF		
1-STORY PRE-FAB GREENHOUSE BUILDING	4,160 SF		
1-STORY MAINTENANCE EQUIPMENT CARPORT	640 SF		
<b>TOTAL BUILDING AREAS</b>	<b>21,463 SF</b>	<b>17.82%</b>	
MISCELLANEOUS SITE IMPROVEMENTS			
GOLF COURSE MATERIAL BINS	1,971 SF		
MATERIAL DUMPSTER PAD	240 SF		
FUEL & WASH STATION	871 SF		
GARBAGE DUMPSTER GATED ENCLOSURE	374 SF		
<b>TOTAL MISCELLANEOUS ITEMS</b>	<b>3,456 SF</b>	<b>2.87%</b>	
LANDSCAPED AREA (SEE SHEET AS-2 FOR FURTHER BREAKDOWNS)			
EAST, WEST & NORTH LANDSCAPING	28,274 SF		
PARKING LOT LANDSCAPING	1,369 SF		
FUTURE WCCC IMPROVEMENT LANDSCAPE AREA	36,147 SF		
<b>TOTAL LANDSCAPED AREA</b>	<b>65,790 SF</b>	<b>54.64%</b>	
HARDSCAPE AREA			
SIDEWALKS AND SLABS	661 SF		
CART PATHS	1,860 SF		
ASPHALT PAVING	27,183 SF		
<b>TOTAL HARDSCAPED AREA</b>	<b>29,704 SF</b>	<b>24.67%</b>	
<b>SITE TOTAL</b>	<b>120,413 SF</b>	<b>100.00%</b>	

**PARKING REQUIREMENTS:**  
REQUIRED PARKING EXISTING BLDG - THIS IS NOT A PUBLIC PARKING AREA  
ACCESS IS LIMITED TO MAINTENANCE STAFF AND MATERIAL DELIVERIES ONLY  
PER SECTION TABLE 21-24-8

BUSINESS SERVICES (OFFICE AREA)	1,415 SF	
1,415 SF / 1000 SF X 4 SPACES / 1000 SF =		2 SPACES
LIGHT/MEDIUM INDUSTRIAL	15,248 SF	
15,248 SF / 1000 SF X 1 SPACES / 1000 SF =		16 SPACES
<b>TOTAL PARKING REQUIRED</b>		<b>18 SPACES</b>

**TOTAL SPACES PROVIDED = 23 SPACES**

MINIMUM 90° PARKING SPACE SIZE REQ'D = 9 FT WIDE X 20 FT DEEP WITH 24 FT BACK-UP  
ALL PARKING SPACES MEET THIS REQUIREMENT

**ACCESSIBLE SPACES REQUIRED:**  
PER ICC ANSI A117.1-2017 AND 2021 IBC CHAPTER 11 TABLE 1106.2  
1 SPACE FOR 1 TO 25 SPACES = 1 ADA SPACE  
ACCESSIBLE SPACES PROVIDED = 1 ADA SPACE

PARKING LOT LANDSCAPING = 5%  
REFER TO SHEET AS-2 FOR LANDSCAPING CALCULATIONS

## SCHEMATIC SITE PLAN PLAN



**James B. Glascock, Architect P.C.**  
Architecture • Planning  
18901 East Lark Drive  
Queen Creek, Arizona 85142  
801 - 860 - 8905 e-mail: jglascock@mtcon.net

Project  
**24-001**  
**WCCC GROUNDS MAINTENANCE COMPLEX**  
WILLOW CREEK COUNTRY CLUB  
8505 WILLOW CREEK DRIVE  
SANDY, UTAH 84093

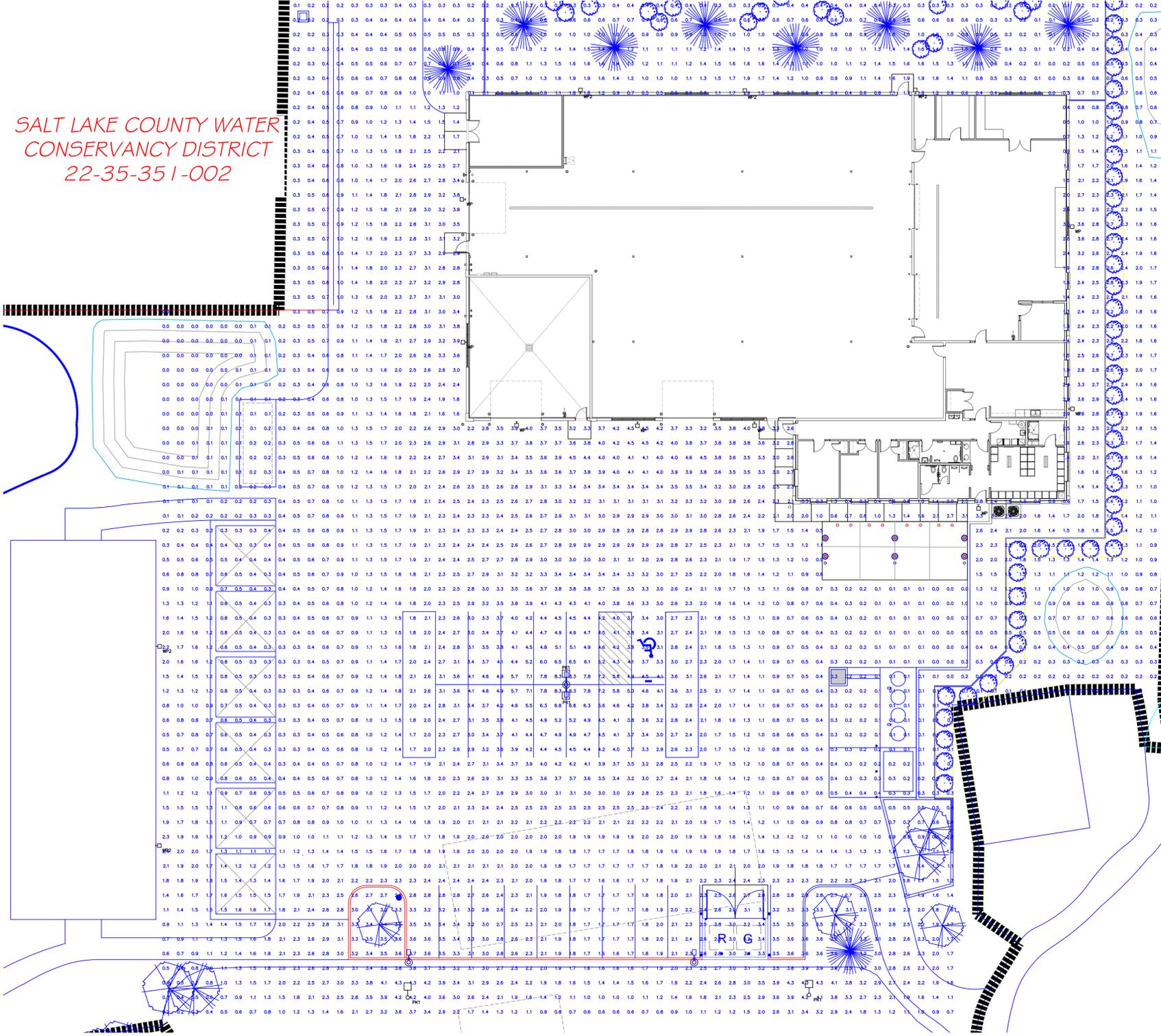
Revisions  
Date  
**07/03/24**  
**AS-1** REVISED

ALL RIGHTS RESERVED. JAMES B. GLASCOCK ARCHITECT - COPYRIGHT  
This drawing is intended as part of an architectural contract of record and is the property of James B. Glascock, Architect P.C. It is an exclusive original work of authorship. None of the pictorial, graphic or technical data or drawings depicted on this sheet may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, or otherwise, without the express prior written permission of the architect.





SALT LAKE COUNTY WATER  
CONSERVANCY DISTRICT  
22-35-351-002



SITE ELECTRICAL PLAN  
REF. SCALE: 1"=1/16"

- GENERAL NOTES
1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODES HAVING JURISDICTION.
  2. ALL MATERIAL SHALL BE NEW AND BEAR THE U.L. LABEL LISTED APPROVAL FOR ITS INSTALLED APPLICATION.
  3. FURNISH AND INSTALL LIGHT FIXTURES w/ALL MOUNTING HARDWARE REQUIRED TO COMPLY w/ANY AND ALL CODE REQUIREMENTS.

WC SITE LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	MOUNTING	MODEL	TOTAL VA	VOLTS	NOTE 1
PK1	(Symbol)	(1) 125W LED	DSX1 LED P4 40K T35 MVOLT	POLE	Lithonia Lighting DSX1 LED P4 40K T35	125	MULTIPLE	MOUNT ON 20 FT MATCHING 50 POLE
WP	(Symbol)	(1) 46W LED	DSXW LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, 0	WALL	Lithonia Lighting DSXW LED 20C 700 40K T3M MVOLT	45.7	MULTIPLE	LED DRIVER
WP2	(Symbol)	(1) 14W LED	DSXW LED WITH (1) 10 LED LIGHT ENGINES, TYPE T3S OPTIC, 4000K, 0	WALL	Lithonia Lighting DSXW LED 10C 350 40K T3S MVOLT	13.3	MULTIPLE	LED DRIVER

**D-Series Size 1 LED Wall Luminaire**

**Specifications**  
 Width: 13.31" (341mm)  
 Depth: 10" (254mm)  
 Height: 6.3/8" (162mm)

**Back Box (BBW, E20WC)**  
 Width: 13.31" (341mm)  
 Depth: 4" (102mm)  
 Height: 6.3/8" (162mm)

**Ordering Information**  
 EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

DSXW LED	LED	Area Luminaire	Color Temperature	Beam Spread	Mounting	Shipping	Notes
DSXW100	100	1000	40K	30°	DSXW100	DSXW100	DSXW100

**Accessories**

**Notes**

**D-Series Size 1 LED Area Luminaire**

**Specifications**  
 Length: 32.71" (832mm)  
 Width: 14.25" (363mm)  
 Height H1: 7.88" (200mm)  
 Height H2: 2.73" (69mm)  
 Weight: 36 lbs (16.3kg)

**Ordering Information**  
 EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NITAI2R P9RH DDBX3

DSX1 LED	LED	Area Luminaire	Color Temperature	Beam Spread	Mounting	Shipping	Notes
DSX100	100	1000	40K	30°	DSX100	DSX100	DSX100

**Accessories**

**Notes**

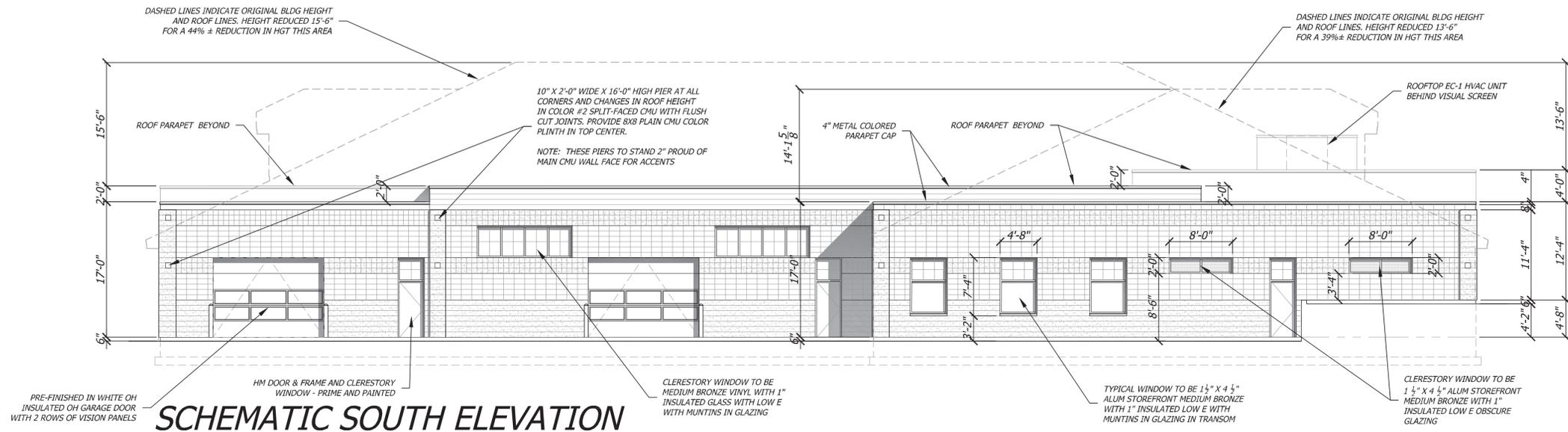
James B. Glascock, Architect P.C.  
 Architecture - Planning  
 18901 EAST LARK DRIVE  
 QUEEN CREEK, AZ 85142  
 801 - 860 - 8905 GLASCOCK@MTCON.NET



Project  
 21-007  
 WCCC GROUNDS MAINTENANCE COMPLEX  
 WILLOW CREEK COUNTRY CLUB  
 8505 WILLOW CREEK DRIVE  
 SANDY, UTAH 84093

Date  
 07/01/24  
 Revisions  
 E101

EDG  
 ENGINEERING  
 3580 SOUTH 6000 WEST  
 WEST VALLEY CITY, UTAH  
 VOICE: (801) 604-0928  
 EMAIL: johancock@edg-engineering.com



**SCHEMATIC SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**ELEVATION SUMMARY**

**EAST BUILDING ELEVATION CALCULATIONS**

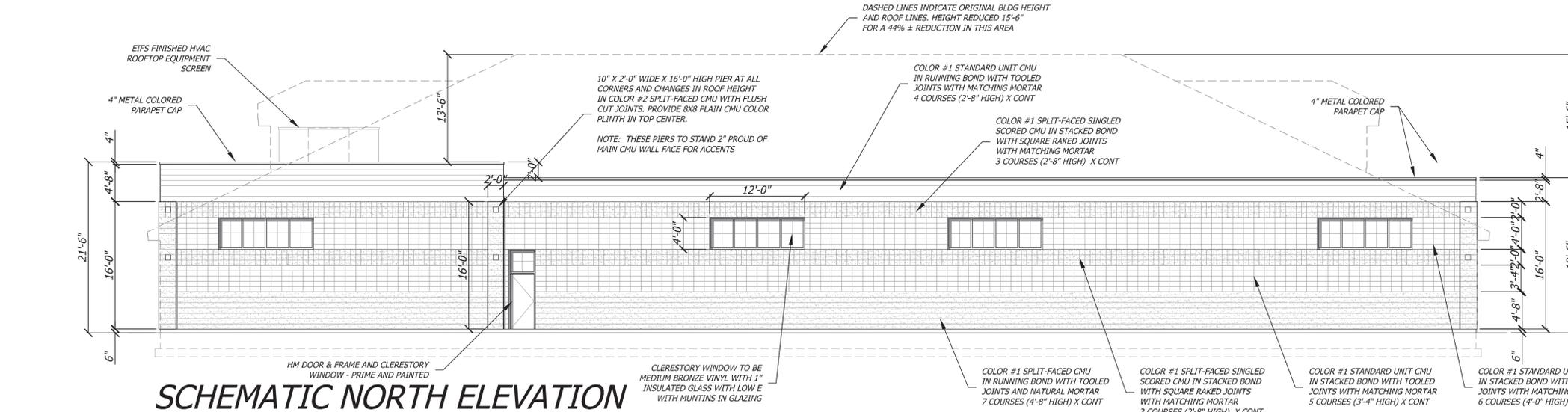
PIERS - SPLIT-FACED CMU	82 SF	4.73%
STANDARD STACKED CMU	664 SF	38.32%
STANDARD RUNNING BOND CMU	350 SF	20.20%
SPLIT-FACED / SINGLE SCORE CMU	363 SF	20.95%
SPLIT-FACED RUNNING BOND CMU	55 SF	3.17%
METAL ROOF CAP	38 SF	2.19%
WINDOWS	181 SF	10.44%
HM DOORS, FRAMES & WINDOWS	0 SF	0.00%
OH GARAGE DOORS	0 SF	0.00%
TOTAL EAST BLDG ELEVATIONS	1,733 SF	100.00%

**NORTH BUILDING ELEVATION CALCULATIONS**

PIERS - SPLIT-FACED CMU	102 SF	3.14%
STANDARD STACKED CMU	970 SF	29.88%
STANDARD RUNNING BOND CMU	529 SF	16.30%
SPLIT-FACED / SINGLE SCORE CMU	634 SF	19.53%
SPLIT-FACED RUNNING BOND CMU	730 SF	22.49%
METAL ROOF CAP	56 SF	1.73%
WINDOWS	192 SF	5.92%
HM DOORS, FRAMES & WINDOWS	33 SF	1.01%
OH GARAGE DOORS	0 SF	0.00%
TOTAL NORTH BLDG ELEVATIONS	3,246 SF	100.00%

**WEST BUILDING ELEVATION CALCULATIONS**

PIERS - SPLIT-FACED CMU	136 SF	6.73%
STANDARD STACKED CMU	613 SF	30.32%
STANDARD RUNNING BOND CMU	176 SF	8.70%
SPLIT-FACED / SINGLE SCORE CMU	355 SF	17.56%
SPLIT-FACED RUNNING BOND CMU	368 SF	18.20%
METAL ROOF CAP	38 SF	1.88%
WINDOWS	66 SF	3.26%
HM DOORS, FRAMES & WINDOWS	130 SF	6.43%
OH GARAGE DOORS	140 SF	6.92%
TOTAL WEST BLDG ELEVATIONS	2,022 SF	100.00%



**SCHEMATIC NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

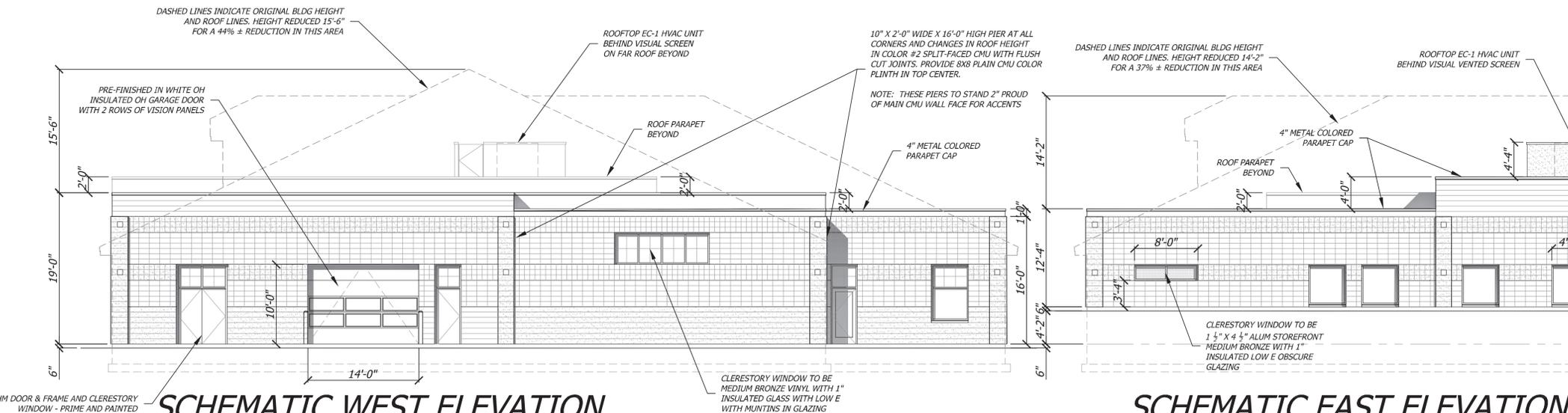


**SOUTH BUILDING ELEVATION CALCULATIONS**

PIERS - SPLIT-FACED CMU	124 SF	4.15%
STANDARD STACKED CMU	1,175 SF	39.34%
STANDARD RUNNING BOND CMU	389 SF	13.02%
SPLIT-FACED / SINGLE SCORE CMU	173 SF	5.79%
SPLIT-FACED RUNNING BOND CMU	435 SF	14.56%
METAL ROOF CAP	80 SF	2.68%
WINDOWS	231 SF	7.73%
HM DOORS, FRAMES & WINDOWS	100 SF	3.35%
OH GARAGE DOORS	280 SF	9.38%
TOTAL SOUTH BLDG ELEVATIONS	2,987 SF	100.00%

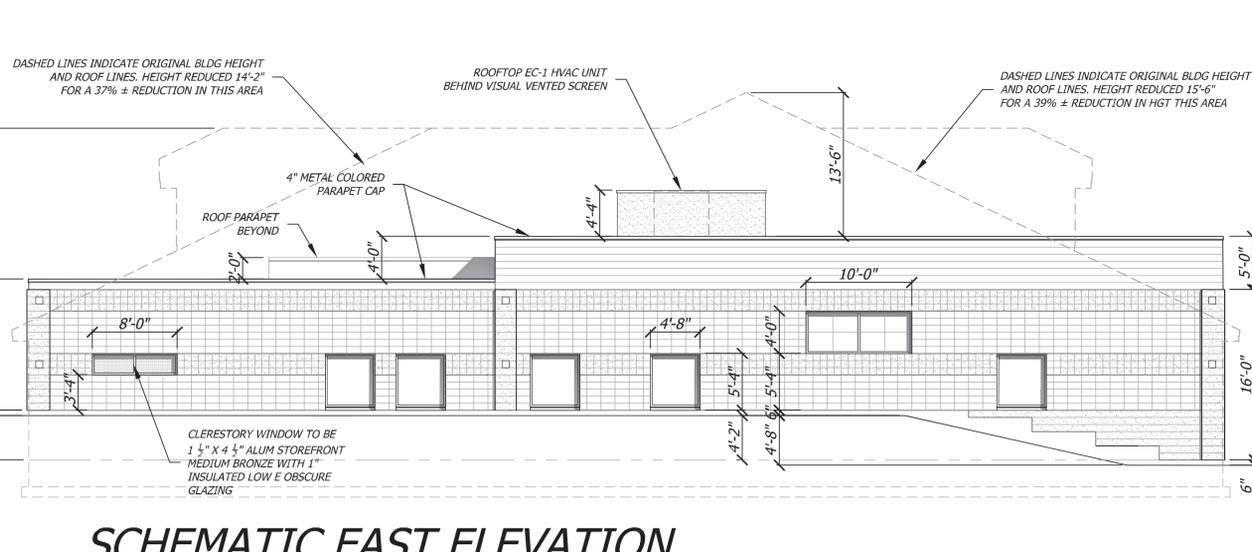
**TOTAL BUILDING ELEVATION CALCULATIONS**

PIERS - SPLIT-FACED CMU	444 SF	4.45%
STANDARD STACKED CMU	3,422 SF	34.26%
STANDARD RUNNING BOND CMU	1,444 SF	14.46%
SPLIT-FACED / SINGLE SCORE CMU	1,525 SF	15.27%
SPLIT-FACED RUNNING BOND CMU	1,588 SF	15.90%
METAL ROOF CAP	212 SF	2.12%
WINDOWS	670 SF	6.71%
HM DOORS, FRAMES & WINDOWS	263 SF	2.63%
OH GARAGE DOORS	420 SF	4.20%
TOTAL BLDG ELEVATIONS	9,988 SF	100.00%



**SCHEMATIC WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**SCHEMATIC EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**James B. Glascock, Architect P.C.**  
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 18901 East Lark Drive  
 Queen Creek, Arizona 85142  
 801 - 860 - 8905 e-mail: jglascock@mtcon.net

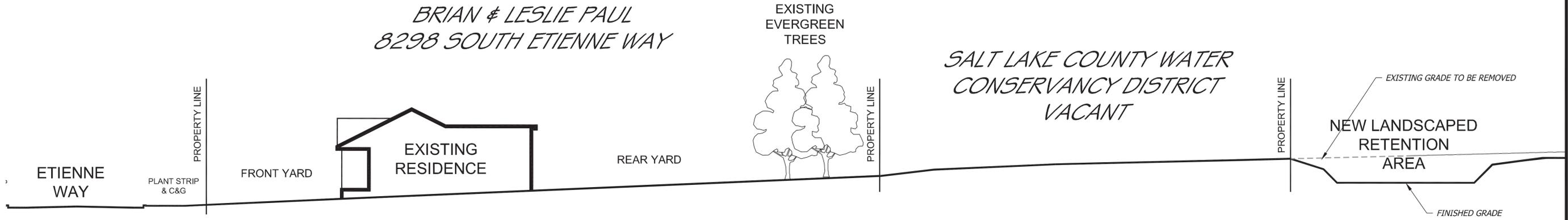
**Project 24-002**  
**WCCG GROUNDS MAINTENANCE COMPLEX**  
 WILLOW CREEK COUNTRY CLUB  
 8505 WILLOW CREEK DRIVE  
 SANDY, UTAH 84093

**Date** 07-03-24

**Revisions**

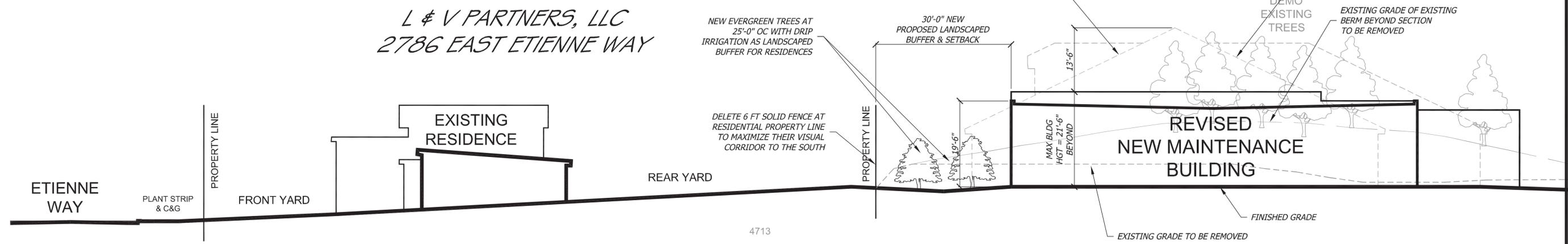

**A-3** REVISED

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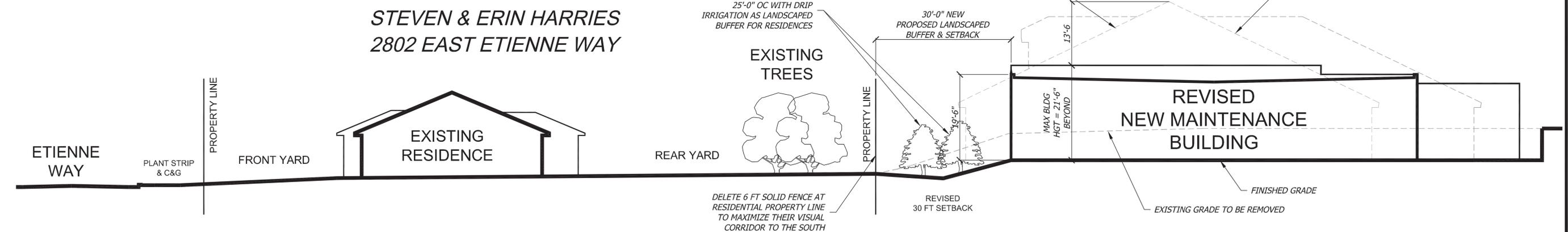
**REVISED SCHEMATIC NORTH - SOUTH SITE SECTION A - THROUGH 8298 SOUTH ETIENNE WAY**

SCALE: 3/32" = 1'-0"



**REVISED SCHEMATIC NORTH - SOUTH SITE SECTION B - THROUGH 2786 EAST ETIENNE WAY**

SCALE: 3/32" = 1'-0"



**REVISED SCHEMATIC NORTH - SOUTH SITE SECTION C - THROUGH 2802 EAST ETIENNE WAY**

SCALE: 3/32" = 1'-0"



**James B. Glascock, Architect P.C.**  
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**WCCG GROUNDS MAINTENANCE COMPLEX**  
 WILLOW CREEK COUNTRY CLUB  
 8505 WILLOW CREEK DRIVE  
 SANDY, UTAH 84093

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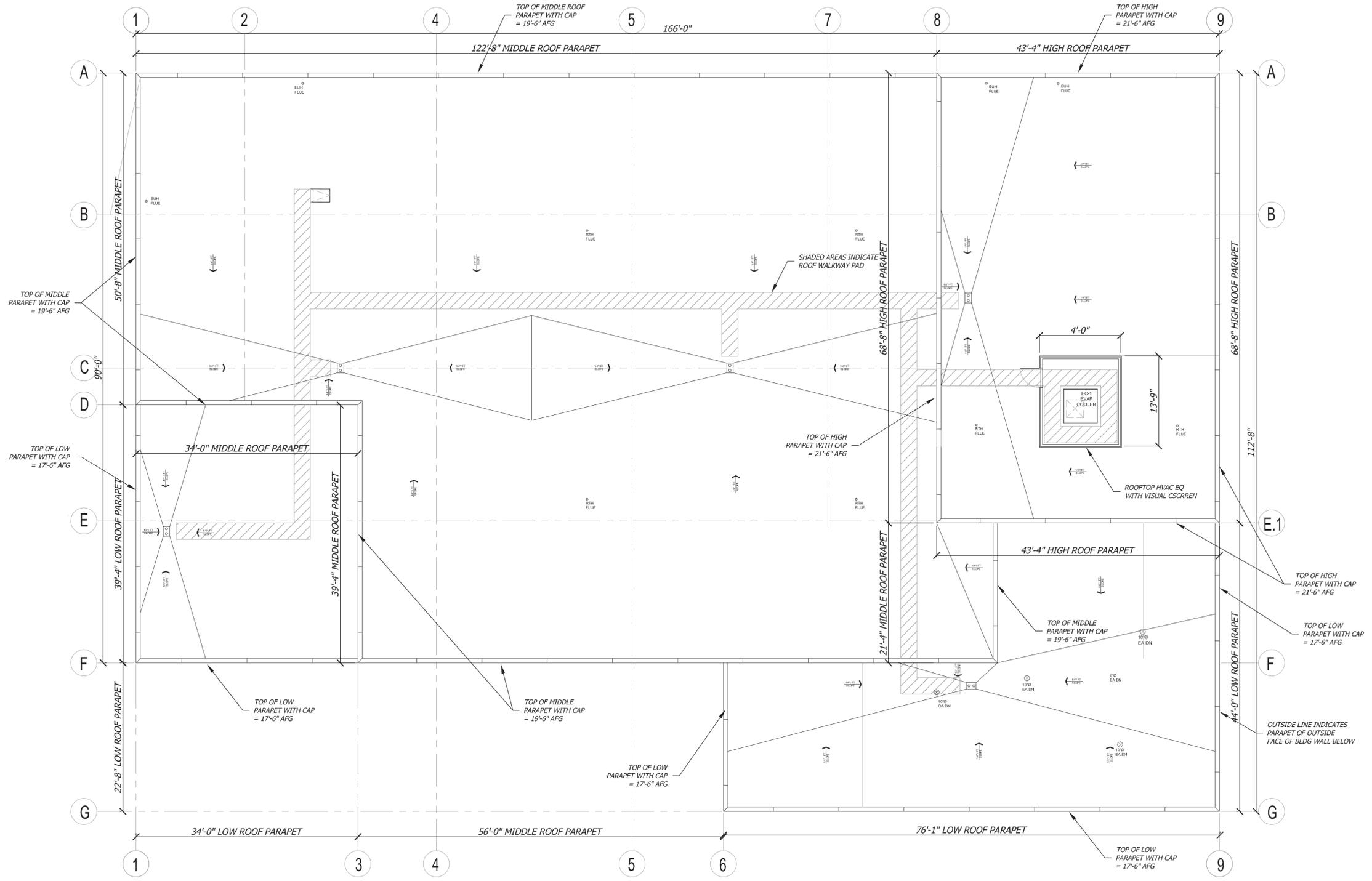
Project **24-001**

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Revisions

Date **07/03/24**

**AS-3** REVISED



# REVISED SCHEMATIC ROOF PLAN

SCALE: 1/8" = 1'-0"



**James B. Glascock, Architect P.C.**  
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 801 - 860 - 8905 e-mail: [glascock@mtcon.net](mailto:glascock@mtcon.net)

Project **24-002**  
**WCCC GROUNDS MAINTENANCE COMPLEX**  
 WILLOW CREEK COUNTRY CLUB  
 8505 WILLOW CREEK DRIVE  
 SANDY, UTAH 84093

Date	Revisions
07-03-24	A-2
	REVISED



## Staff Report

**File #:**  
CUP05272024-006775,  
**Version:** 1

**Date:** 7/18/2024

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**Agenda Item Title:**

Willow Creek CC Maintenance Area Reconstruction Project (Conditional Use Review)  
8505 S. Willow Creek Dr.  
[Community #18, Willow Creek]

**Presenter:**

Douglas L. Wheelwright, Development Services Manager

**Description/Background:**

The applicant, Mr. James Glascock, Architect, representing the Willow Creek Country Club, is requesting Site Plan Review (SPR) and Conditional Use Permit (CUP) approval for the reconstruction and relocation of the existing maintenance area facilities for the property located at 8505 S. Willow Creek Dr. The proposed project area includes approximately 2.75 acres and is located on the northern boundary of the golf course property and abutting existing single-family homes. (These existing homes front onto Etienne Way and are located within the Un-incorporated Salt Lake County zoning jurisdiction.) The proposal is to construct: a new 16,663 square foot, single story, maintenance equipment storage, repair shop, and office use building; a 4,160 square foot greenhouse; a parking lot and other related improvements (such as landscaping). The new maintenance area complex is proposed to be located between the existing single-family homes to the north and the current maintenance buildings to the south. After the new construction is completed, the old maintenance facilities will be demolished and that area re-landscaped. Please see the applicant's request letter attached as (Exhibit A) and application materials (Exhibit B).

See the attached staff report in the site plan review file (SPR05172024-006771) for full details of the request.

**Recommended Action and/or Suggested Motion:**

#2 Staff recommends that the Planning Commission approve a Conditional Use Permit for the proposed reconstruction and relocation of the Willow Creek Country Club's Maintenance Area, which is an accessory and ancillary use to the "Park, Public and Private" and "Recreation, Outdoor" primary land use, and based upon the staff report analysis and the following findings and conditions:

**Findings:**

1. These uses are existing and will be continued with new building and site improvements, consistent with Sandy City Code requirements and conditions.
2. All the proposed site improvements will allow continuation of the prior maintenance area functions with better buffering of the existing neighboring properties in better facilities with less

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**File #:**  
CUP05272024-006775,  
**Version:** 1

**Date:** 7/18/2024

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environmental impacts.

Conditions:

1. That the operational hours be limited to the previous operations, seasonally adjusted.
2. That the site plan approval conditions and the proposed site improvements be installed as part of the SPR process finalization.
3. Subject to final approval of the proposed Code Amendment CA07032024-0006794, by the City Council before final approval and building permit issuance.



## Staff Report

**File #:**  
SPR04172024-006752,  
**Version:** 1

**Date:** 7/18/2024

---

**Agenda Item Title:**

Larkin's Sunset Gardens Cemetery Expansion - Garden of Resurrection  
1950 E. Dimple Dell Rd.  
[Community #26]

**Presenter:**

Douglas L. Wheelwright, Development Services Manager

**Description/Background:**

The applicant, Mr. Rob Larkin, representing Larkin Mortuary Corp., is requesting Site Plan Review (SPR) approval by the Planning Commission of an approximate 6.5-acre, 7,000 burial plot cemetery expansion of the existing Sunset Gardens Cemetery for property located at 1950 E. Dimple Dell Rd. The request is to develop an additional phase of the existing Sunset Gardens cemetery property to be named "Garden of Resurrection." This phase will be located within the south-central portion of the overall 69-acre cemetery property. The cemetery property is located between 1700 East St. and 2000 East St, and between Dimple Dell Rd. and approximately 10900 South and is zoned R-1-20A. The new phase will be landscaped and an extension of the existing private driveway network will be installed making a loop, to connect to other existing driveways, which will then contain the new phase. Irrigation water and storm drainage infrastructure utilities will be extended into the new phase area.

This property was annexed into Sandy City on April 2, 1996, from un-incorporated Salt Lake County jurisdiction. The overall cemetery operation consists of burial plots, mausoleum structures, a mortuary, greenhouses, operations and maintenance buildings and a retail florist shop. The cemetery existed before its annexation into Sandy City. Conditional Use approval was granted for the Cemetery expansion and mausoleum uses in 2004, by the Sandy City Planning Commission. Since then, various expansions and improvements have been made to this operation. Surrounding land uses and zoning is larger lot single-family residential.

**Recommended Action and/or Suggested Motion:**

Staff recommends that the Planning Commission find that the proposed Site Plan Review for the Larkin's Sunset Gardens Cemetery Expansion Project, Garden of Resurrection Phase be determined to be complete as proposed, based upon the following three findings and the following two conditions of approval:

Findings:

1. That the proposed project is consistent with the previously approved master development plan for the Sunset Gardens Cemetery facility.

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**File #:**  
SPR04172024-006752,  
**Version: 1**

**Date:** 7/18/2024

- 
2. That the proposed new phase will provide additional burial plot capacity to the established private cemetery operation.
  3. That the application is consistent with the existing conditional use permit.

Conditions:

1. That the developer proceeds through the Final Site Plan Review process with City staff to complete the project plan development process.
2. That the requirements and conditions of the various City Departments and Divisions be met and finalized during the Final Site Plan Review process with staff.



JAMES SORENSEN  
COMMUNITY DEVELOPMENT  
DIRECTOR

MONICA ZOLTANSKI  
MAYOR

SHANE E. PACE  
CHIEF ADMINISTRATIVE OFFICER

## Staff Report Memorandum July 18, 2024

To: Planning Commission  
From: Community Development Department  
Subject: Larkin’s Sunset Gardens Cemetery Expansion Project, Garden of Resurrection Phase (Preliminary Site Plan Review)  
1950 E. Dimple Dell Rd.  
[Community #26]

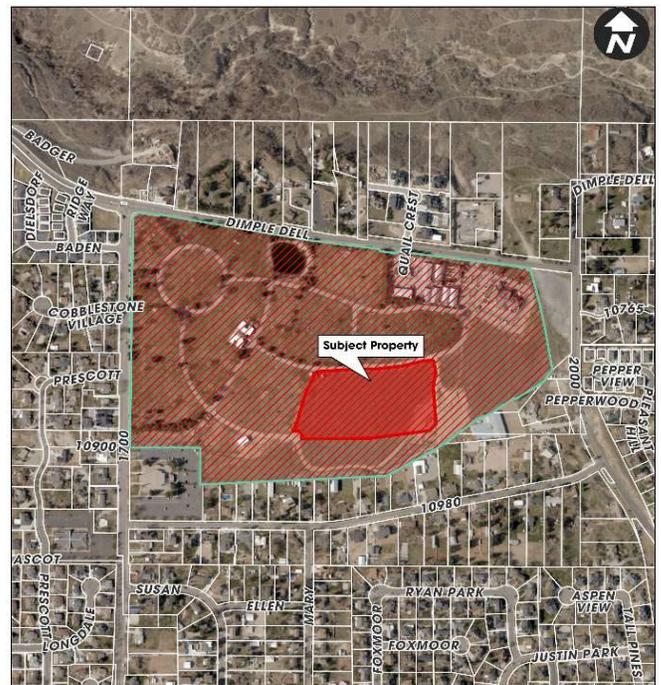
SPR04172024-006752

R-1-20A Zone District  
Approx. 7,000 burial plots  
on 6.5 acres

**Public Meeting Notice:** This item has been noticed to property owners within 500 feet of the subject area, on public websites, and at public locations.

### Request

The applicant, Mr. Rob Larkin, representing Larkin Mortuary Corp., is requesting Site Plan Review (SPR) approval by the Planning Commission of an approximate 6.5-acre, 7,000 burial plot cemetery expansion of the existing Sunset Gardens Cemetery for property located at 1950 E. Dimple Dell Rd. The request is to develop an additional phase of the existing Sunset Gardens cemetery property to be named “Garden of Resurrection.” This phase will be located within the south-central portion of the overall 69-acre cemetery property. The cemetery property is located between 1700 East St. and 2000 East St, and between Dimple Dell Rd. and approximately 10900 South and is zoned R-1-20A. The new phase will be landscaped and an extension of the existing private driveway network will be installed making a loop, to connect to other existing driveways, which will then contain the new phase. Irrigation water and storm drainage infrastructure utilities will be extended into the new phase area. Please see the attached application materials (Exhibit A) and images of the area (Exhibit B).



SPR04172024-006752  
Larkin Sunset Gardens  
1950 E Dimple Dell Rd

Sandy City, UT  
Community Development Department



**Staff Concerns:**

The planning staff does not have any concerns about this project.

**Recommendation**

Staff recommends that the Planning Commission find that the proposed Site Plan Review for the Larkin's Sunset Gardens Cemetery Expansion Project, Garden of Resurrection Phase be determined to be complete as proposed, based upon the following three findings and the following two conditions of approval:

**Findings:**

1. That the proposed project is consistent with the previously approved master development plan for the Sunset Gardens Cemetery facility.
2. That the proposed new phase will provide additional burial plot capacity to the established private cemetery operation.
3. That the application is consistent with the existing conditional use permit.

**Conditions:**

1. That the developer proceeds through the Final Site Plan Review process with City staff to complete the project plan development process.
2. That the requirements and conditions of the various City Departments and Divisions be met and finalized during the Final Site Plan Review process with staff.

Planner:



Doug Wheelwright  
Development Services Manager

File Name: S:\USERS\PLN\STAFFRPT\2024\SPR04172024-006752\_LARKIN'S SUNSET GARDENS\LARKIN'S SUNSET GARDEN CEMETERY EXPANSION STAFF REPORT 7-18-2024.DOCX



Exhibit "B"



Exhibit "B" (continued)



Exhibit "C"

Planning Commission Minutes  
April 15, 2004  
Page 17

11. **Larkin Sunset Gardens - Expansion**  
**1950 E. Dimple Dell Road**

SPR#04-16  
CU#04-18

Rob Larkin, of Larkin Mortuaries, requested Planning Commission approval of the expansion of the Sunset Gardens Cemetery. The applicant is proposing to increase the number of available burial plots and construct a new road to provide better circulation on the site. The proposal will occupy approximately 4 acres of land.

Access to the proposed expansion will be through the existing road networks on the site. The closest site entrance to the area is from Dimple Dell Road at the mortuary entrance and through the roundabout. There is currently only one interior road connection leading from the roundabout to the site interior. During heavy traffic periods, this causes directional conflicts between automobiles entering and exiting the cemetery through this location. The applicant plans to institute one-way traffic circulation through the site with the new road connection to the roundabout. This will mitigate some of the traffic conflicts on the site.

Staff recommends that the Planning Commission grant approval of the preliminary site plan for the expansion of the Larkin Sunset Gardens Cemetery and approval for the expansion of a Conditional Use facility based upon the following findings:

1. The proposed expansion is consistent with existing land use and facilities.
2. The additional road connection will mitigate interior circulation conflicts at the site.
3. There is an ever increasing need for more burial plots.

And be subject to the following conditions:

1. That the developer provide staff with a fully engineered and dimensioned site plan for this project according to the Site Plan Review Procedures Handout that is in compliance with all Development Code requirements and those modifications required by the Planning Commission, and that the development proceed through the Final Site Plan Review Process with staff prior to the start of any construction (including payment of development fees and posting of an appropriate bond to guarantee completion of all required improvements on and off the site).
2. That the development comply with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.
3. That the developer be responsible to meet all provisions of the R-1-20A zone, the Sandy City Development Code and all conditions of approval imposed by the Planning Commission regarding this project prior to issuance of a building permit including but not limited to: compliance with the Sandy City Water Policy which includes providing staff with a specific water efficient landscape and irrigation plan prior to final approval of the site plan.

Exhibit "C" (continued)

Planning Commission Minutes  
April 15, 2004  
Page 18

4. All utility boxes, i.e., transformers, switch gear, telephone, cable tv, etc., shall be shown on the site plan and shall be placed underground or moved behind the front setback (minimum of 30 feet from the front property line) and screened from view. Each box shall be shown in its exact location and shall be noted with its exact height, width, and length.
5. That the use be reviewed upon legitimate complaint.

Jason Larkin, representative for Larkin Memorial Estates, agreed to comply with all the conditions listed in the staff report.

Don Milne mentioned that he can support this request as proposed but emphasized the need for a secondary access into this cemetery. He put the applicant on notice that this will be an important issue when future expansions are proposed.

Bruce Steadman agreed with Mr. Milne's comment regarding the need for a second access.

**Ken Reber moved that the Planning Commission grant approval of the preliminary site plan for the expansion of the Larkin Sunset Gardens Cemetery and approval for the expansion of a conditional use facility based upon the findings listed in the staff report and be subject to the conditions listed in the staff report.**

Monica Collard seconded the motion. The vote was as follows: Ken Reber, yes; Monica Collard, yes; Alan Matheson, yes; Bruce Steadman, yes; Ed Casperson, yes; Don Milne, yes; Max Burdick, yes. The vote was unanimous in favor.

~~12. **Century Theaters @ Union Heights**  
**7682 S. Union Park Ave.**~~

~~SPR#04-15~~

~~Dave Dixon, of Dixon & Associates, has submitted the first phase of development of the Union Heights project which will be the Century Theater building to be located in the middle of the development on the west side of the property.~~

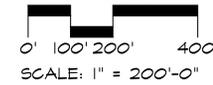
~~The staff report addressed such issues as architectural design, building height, landscape plan, and fencing.~~

~~Staff identified the following concerns with this proposal as follows:~~

- ~~1. More architectural detailing is needed on the south and west wells to break up the massive walls.~~
- ~~2. More and larger trees are needed on the west side of the building to buffer the neighbors.~~



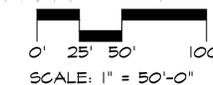
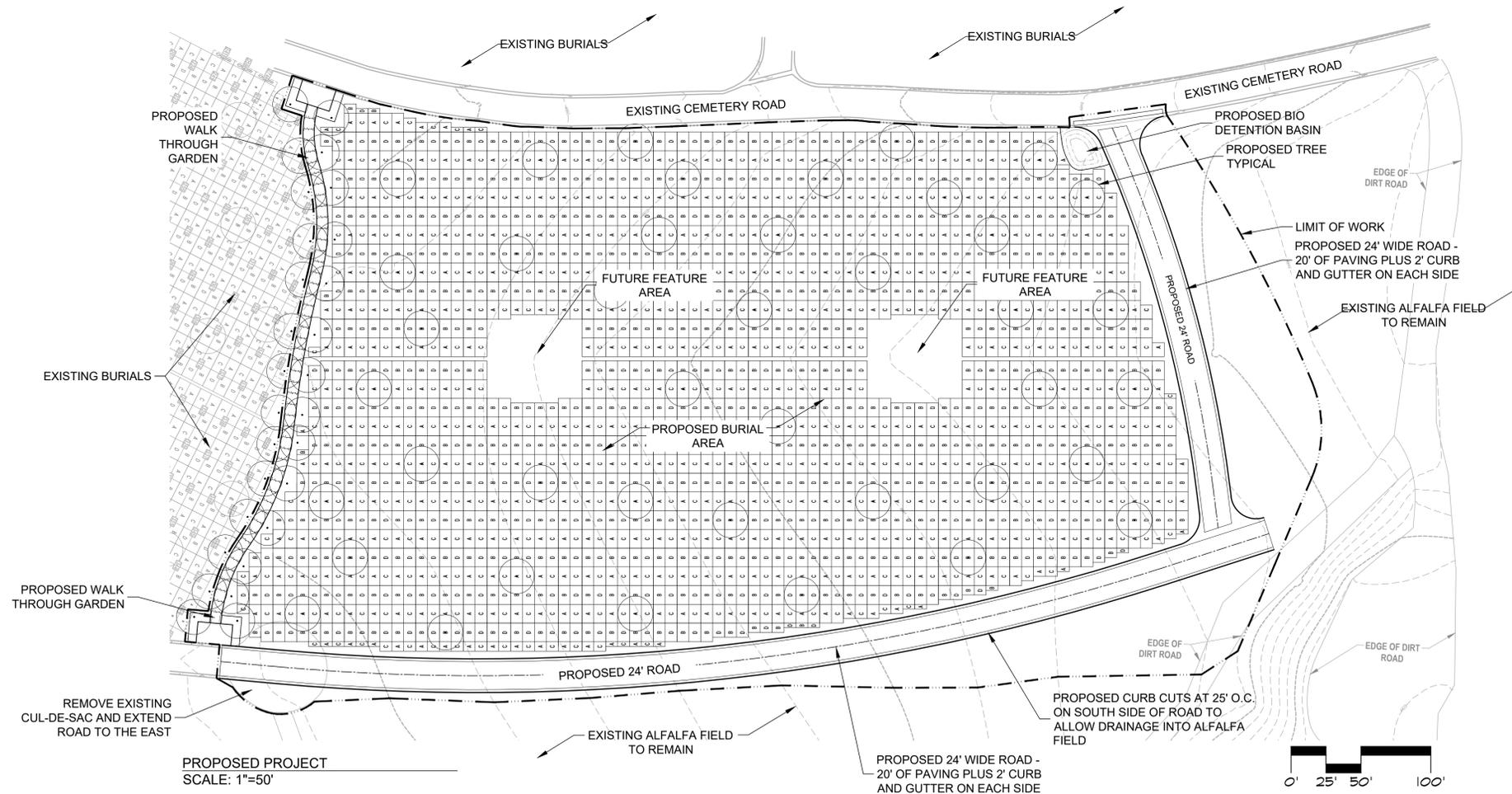
LARKIN SUNSET GARDENS - PROJECT SITE  
SCALE: 1"=200'



PROJECT OVERVIEW:  
WE WILL REMOVE A PORTION OF THE EXISTING ALFALFA FIELD, GRADE THE SITE OUT, CONSTRUCT THE ROADS AND INSTALL IRRIGATION, SOD AND TREES TO CREATE THE BURIAL AREA.

PROJECT SITE IS APPROXIMATELY 6.5 ACRES

HARD SURFACE = 29,691 SF.  
LANDSCAPE = 256,021 SF.



Underground Service Alert

Call: 811

TWO WORKING DAYS BEFORE YOU DIG



NO.	REVISIONS	DATE	BY
1	REVISED GRASSING ON SOUTH ROAD ELIMINATED CHANGE BASINS AND CHANGERS	6-14-24	DC

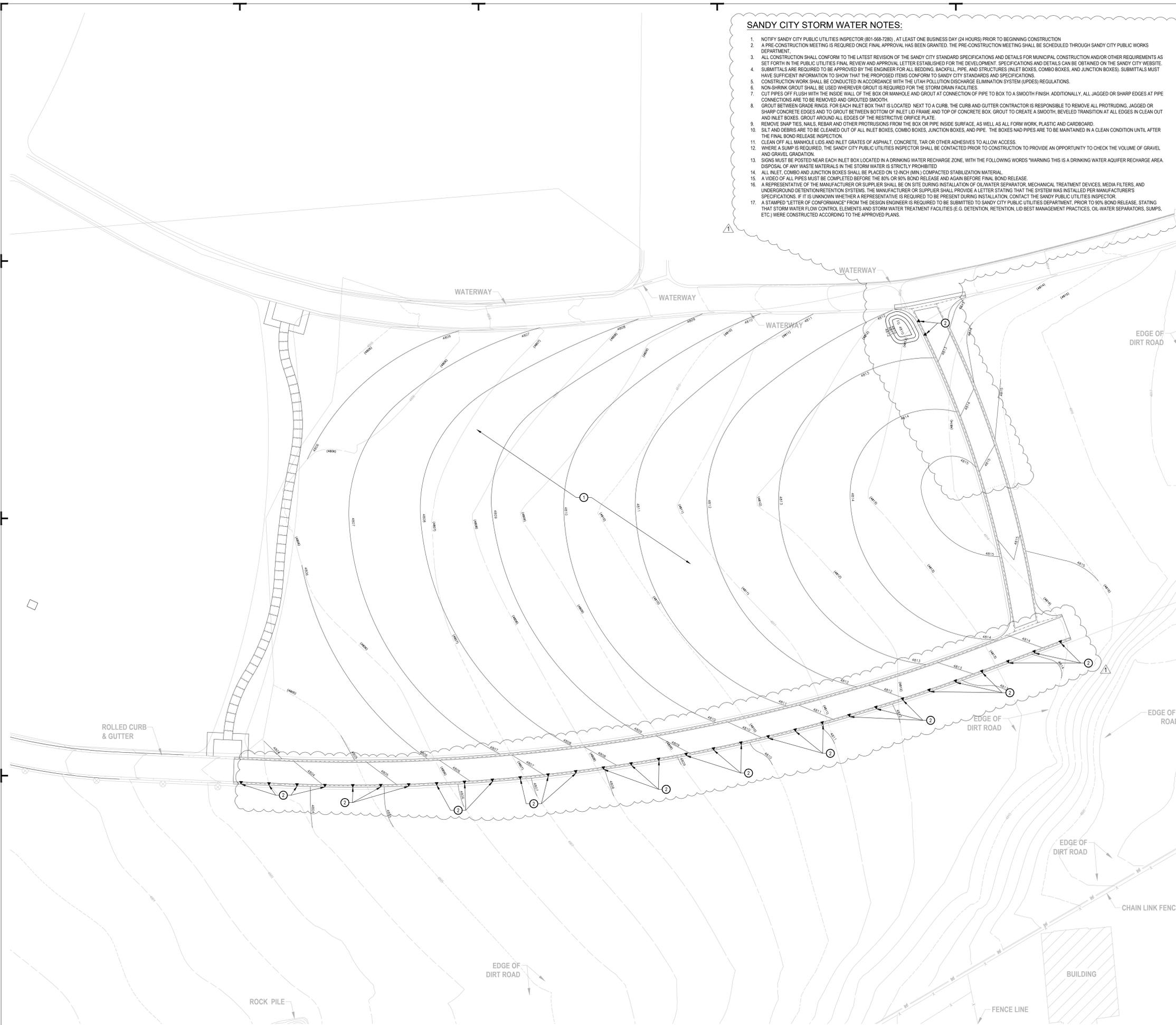
Scale:	SEE PLAN
Date:	MAR 15 2024
Drawn By:	DC
Approved By:	DC

**LARKIN SUNSET GARDENS  
RESURRECTION**

**SITE PLAN**

The use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction, publication, or re-use by any method, in whole or in part without the express consent of EDA Land Planning P.C. is prohibited. Title to the plans and specifications remain in EDA Land Planning P.C. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

S:\2024\Files\24148\Civil\Prod\_Dwg\24148\_Plan.dwg Engine Jun 20, 2024 - 10:39am



- SANDY CITY STORM WATER NOTES:**
1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
  2. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
  3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, AND STRUCTURES (INLET BOXES, COMBO BOXES, AND JUNCTION BOXES). SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
  4. CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
  5. NON-SHRINK GROUT SHALL BE USED WHEREVER GROUT IS REQUIRED FOR THE STORM DRAIN FACILITIES.
  6. CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE AND GROUT AT CONNECTION OF PIPE TO BOX TO A SMOOTH FINISH. ADDITIONALLY, ALL JAGGED OR SHARP EDGES AT PIPE CONNECTIONS ARE TO BE REMOVED AND GROUTED SMOOTH.
  7. GROUT BETWEEN GRADE RINGS, FOR EACH INLET BOX THAT IS LOCATED NEXT TO A CURB, THE CURB AND GUTTER CONTRACTOR IS RESPONSIBLE TO REMOVE ALL PROTRUDING, JAGGED OR SHARP CONCRETE EDGES AND TO GROUT BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX. GROUT TO CREATE A SMOOTH, BEVELED TRANSITION AT ALL EDGES IN CLEAN OUT AND INLET BOXES. GROUT AROUND ALL EDGES OF THE RESTRICTIVE ORIFICE PLATE.
  8. REMOVE SNAP TIES, NAILS, REBAR AND OTHER PROTRUSIONS FROM THE BOX OR PIPE INSIDE SURFACE, AS WELL AS ALL FORM WORK, PLASTIC AND CARDBOARD.
  9. SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL INLET BOXES, COMBO BOXES, JUNCTION BOXES, AND PIPE. THE BOXES AND PIPES ARE TO BE MAINTAINED IN A CLEAN CONDITION UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
  10. CLEAN OFF ALL MANHOLE LIDS AND INLET GRATES OF ASPHALT, CONCRETE, TAR OR OTHER ADHESIVES TO ALLOW ACCESS.
  11. WHERE A SUMP IS REQUIRED, THE SANDY CITY PUBLIC UTILITIES INSPECTOR SHALL BE CONTACTED PRIOR TO CONSTRUCTION TO PROVIDE AN OPPORTUNITY TO CHECK THE VOLUME OF GRAVEL AND GRAVEL GRADATION.
  12. SIGNS MUST BE POSTED NEAR EACH INLET BOX LOCATED IN A DRINKING WATER RECHARGE ZONE, WITH THE FOLLOWING WORDS "WARNING THIS IS A DRINKING WATER AQUIFER RECHARGE AREA. DISPOSAL OF ANY WASTE MATERIALS IN THE STORM WATER IS STRICTLY PROHIBITED."
  13. ALL INLET, COMBO AND JUNCTION BOXES SHALL BE PLACED ON 12-INCH (MIN.) COMPACTED STABILIZATION MATERIAL.
  14. A VIDEO OF ALL PIPES MUST BE COMPLETED BEFORE THE 80% OR 90% BOND RELEASE AND AGAIN BEFORE FINAL BOND RELEASE.
  15. A REPRESENTATIVE OF THE MANUFACTURER OR SUPPLIER SHALL BE ON SITE DURING INSTALLATION OF OIL/WATER SEPARATOR, MECHANICAL TREATMENT DEVICES, MEDIA FILTERS, AND UNDERGROUND DETENTION/RETENTION SYSTEMS. THE MANUFACTURER OR SUPPLIER SHALL PROVIDE A LETTER STATING THAT THE SYSTEM WAS INSTALLED PER MANUFACTURERS SPECIFICATIONS. IF IT IS UNKNOWN WHETHER A REPRESENTATIVE IS REQUIRED TO PRESENT DURING INSTALLATION, CONTACT THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
  16. A STAMPED "LETTER OF CONFORMANCE" FROM THE DESIGN ENGINEER IS REQUIRED TO BE SUBMITTED TO SANDY CITY PUBLIC UTILITIES DEPARTMENT, PRIOR TO 90% BOND RELEASE, STATING THAT STORM WATER FLOW CONTROL ELEMENTS AND STORM WATER TREATMENT FACILITIES (E.G. DETENTION, RETENTION, LID BEST MANAGEMENT PRACTICES, OIL-WATER SEPARATORS, SUMPS, ETC.) WERE CONSTRUCTED ACCORDING TO THE APPROVED PLANS.

**GENERAL NOTES:**

SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT (IF AVAILABLE). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS & SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C2.10 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTORS FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

ALL ELEVATIONS SHOWN AT TOP AND BOTTOM OF WALL(S), IF ANY, ARE ELEVATIONS AT FINISH GRADE, UNLESS OTHERWISE NOTED.

- SANDY CITY GENERAL NOTES:**
1. MATERIALS, CONSTRUCTION AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION, ADDENDUMS, AND SPECIAL PROVISIONS THERETO AND AS DIRECTED BY THE CITY ENGINEER, OR HIS AUTHORIZED REPRESENTATIVE. THE CURRENT EDITION IS AVAILABLE AT: [HTTP://SANDY.UTAH.GOV/GOVERNMENT/PUBLIC-WORKS/STANDARDS-SPECIFICATIONS.HTML](http://sandy.utah.gov/government/public-works/standards-specifications.html)
  2. CONCRETE SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 03000 AND 03300
  3. REINFORCING STEEL SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 03200
  4. PRECAST MANHOLES AND STRUCTURES SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 03400. COMBO AND JUNCTION BOXES SHALL BE CAST-IN-PLACE UNLESS SPECIFIED AND/OR APPROVED BY THE CITY REPRESENTATIVE.
  5. BACKFILL SHALL MEET THE REQUIREMENTS SPECIFIED IN 02240
  6. COMPACTION SHALL BE 98% PER SPECIFICATIONS IN SECTION 02240
  7. PIPE SIZE, ELEVATION AND LOCATION SHALL BE SHOWN ON APPROVED CONSTRUCTION DRAWINGS
  8. MANHOLE RING AND COVER SHALL BE D&L SUPPLY MODEL A-1190 OR APPROVED EQUAL
  9. INLET FRAME, GRATE AND HOOD SHALL BE D&L SUPPLY MODEL 3511 (FOR SLOPES LESS THAN 2%) OR MODEL 1-3519 (FOR SLOPES GREATER THAN 2%) OR APPROVED EQUAL
  10. THROAT OPENING HEIGHT OF CURB INLET SHALL BE A MIN. 4"
  11. WHEN A CURB INLET BOX IS INSTALLED IN A LOCATION WITH EXISTING CURB AND GUTTER, THE CURB AND GUTTER SHALL BE REPLACED TO THE NEXT JOINT OR AS DIRECTED BY THE CITY REPRESENTATIVE.
  12. REBAR SPLICE FOR CAST-IN-PLACE STRUCTURES SHALL BE MIN. 40 DIAMETERS
  13. PIPE TO STRUCTURE COLLAR (SEE CITY DETAIL SD-90) SHALL BE INSTALLED FOR ALL PIPE TO STRUCTURE CONNECTIONS FOR CURB INLET BOXES, COMBO BOXES, AND JUNCTION BOXES.

- KEYED NOTES:**
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.
1. GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.
  2. CUT ROLLED CURBING TO ALLOW WATER TO FLOW ONTO LANDSCAPING. SEE CONSTRUCTION PLAN AND DETAILS.
  3. LANDSCAPED RETENTION BASIN, 3:1 MAXIMUM SIDE SLOPES. REFER TO LANDSCAPING PLANS FOR VEGETATION AND PLANTINGS.  
BOT BASIN: 4810.00  
TOP STORAGE: 4511.00  
TOP FREEBOARD: 4512.00  
BOT FOOTPRINT: 176 SF  
STORAGE VOLUME: 263 CF

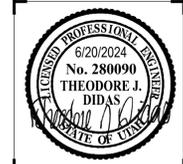
**COMMON GRADING ABBREVIATIONS:**  
SEE SHEET C0.01 FOR ADDITIONAL ABBREVIATIONS

- BFE	BASEMENT FLOOR ELEVATION
- BW	FINISH GRADE AT BOTTOM OF WALL
- EX or EXIST	EXISTING
- EOA	EDGE OF ASPHALT
- EOC	EDGE OF CONCRETE
- FFE	FINISH FLOOR ELEVATION
- FG	FINISH GRADE
- FL	FLOW LINE
- GB	GRADE BREAK
- HP	HIGH POINT
- LP	LOW POINT
- NG	NATURAL GROUND
- SDCB	STORM DRAIN CATCH BASIN
- SDCO	STORM DRAIN CLEANOUT BOX
- SDOB	STORM DRAIN DRAIN BASIN
- SOMH	STORM DRAIN MANHOLE
- TBC	TOP BACK OF CURB
- TOA	TOP OF ASPHALT
- TOC	TOP OF CONCRETE
- TOG	TOP OF GRATE
- TOW	TOP OF WALL
- TW	FINISH GRADE AT TOP OF WALL
- WW	WATERWAY

**Blue Stakes of UTAH 811**  
Bluestakes.org

**NOTICE!**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

**McNEIL ENGINEERING**  
Economic and Sustainable Design, Professionals You Know and Trust  
8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcnengineering.com  
Civil Engineering • Consulting & Landscape Architecture  
Structural Engineering • Land Surveying & HDS



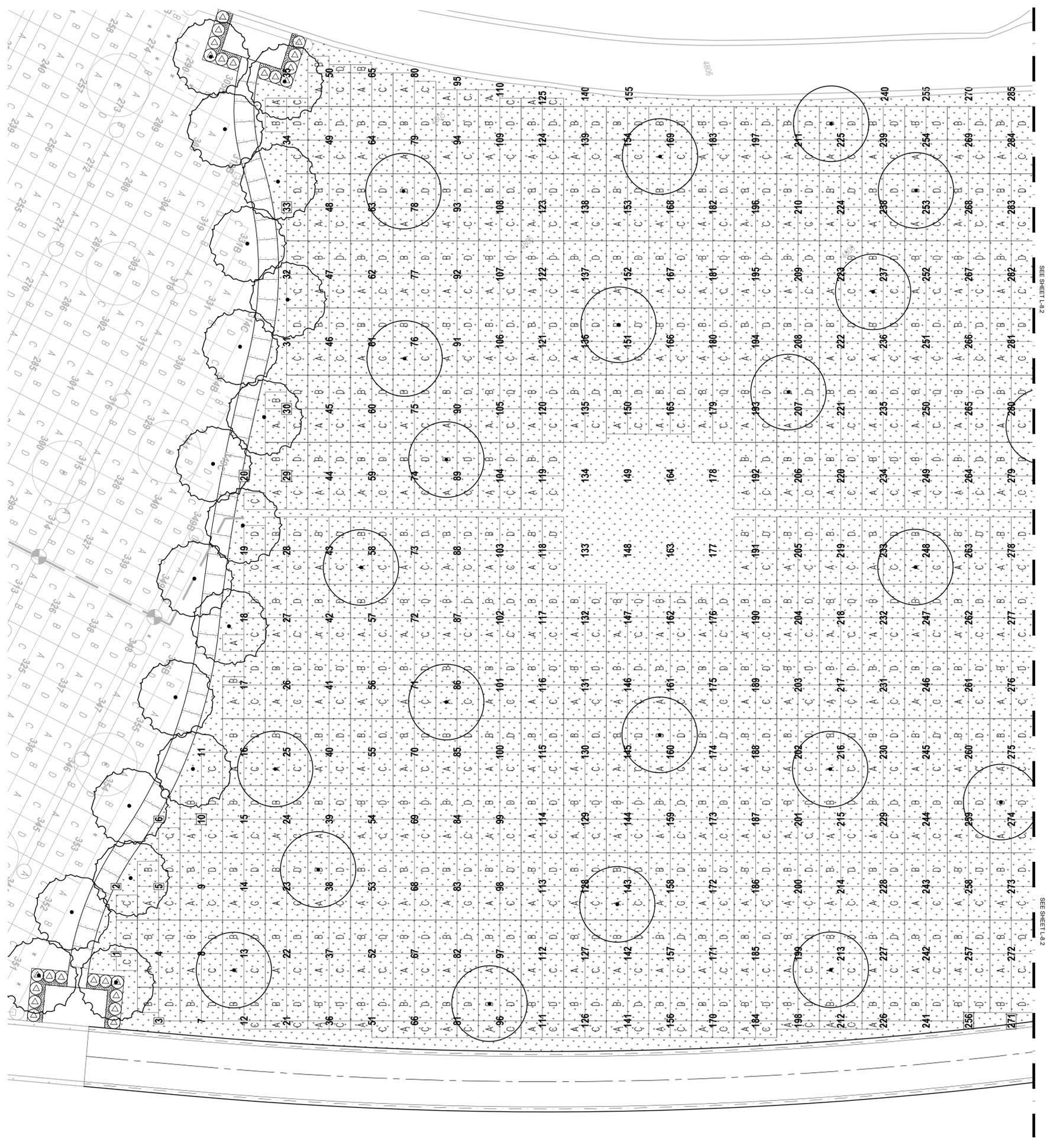
**LARKIN SUNSET GARDENS RESURRECTION**  
1950 E 10600 S  
SANDY, UT 84092

**REVISIONS**

REV	DATE	DESCRIPTION
1	6/19/24	REVISED PER CITY COMMENTS

PROJECT NO: 24148  
DRAWN BY: GBL  
CHECKED BY: TJD  
DATE: 6/20/2024

**GRADING AND DRAINAGE PLAN**  
**C2.01**



**PLANTING NOTES**

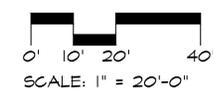
- PRE-EMERGENT HERBICIDE SHALL BE ADDED TO ALL PLANTING AREAS AT THE RECOMMENDED RATES. APPLY BEFORE AND AFTER PLACEMENT OF MULCH.
- REFER TO PLANTING DETAILS, SPECIFICATIONS AND NOTES ON SHEETS L-9.1 AND L-10.1
- MULCH:  
INSTALL SHREDDED CEDAR BARK MULCH IN ALL PLANTING BEDS TO A DEPTH OF 3" MIN. PROVIDE 3 SAMPLES FOR SELECTION BY GROUNDS SUPERINTENDENT OR L.A.
- THE CONTRACTOR SHALL HAVE AN AGRICULTURAL SOILS ANALYSIS PERFORMED ON THE SOIL BY A SOILS LAB APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT. THE SOILS LAB SHALL PROVIDE RECOMMENDATIONS FOR AMENDING THE SOIL FOR THE PLANTING AREAS AND TURF AREAS. RESULTS SHALL BE FORWARDED TO THE OWNER AND LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL AMEND THE SOIL AS PER THE AGRICULTURAL SOILS ANALYSIS REPORT.
- CONTRACTOR SHALL RESTORE ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMIT THAT ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL PATCH ANY DAMAGED TURF DUE TO CONSTRUCTION ACTIVITY WITH SOD. MATCH EXISTING SPECIES.
- CONTRACTOR SHALL CREATE A 6" DIAMETER TREE RING AT ALL NEW TREES THAT ARE WITHIN THE GRASS AREA. TREE RING SHALL BE SHOVEL CUT EDGE UNLESS OTHERWISE SPECIFIED. INSTALL 3" MIN. DEPTH OF SPECIFIED MULCH WITHIN RING.
- FOR ADDITIONAL INFORMATION, SEE GENERAL PLANTING NOTES AND SPECIFICATIONS ON SHEETS L-9.1 AND L-10.1.

**DRILLSEED AND HYDOMULCH NOTES (SUMMIT SEEDING)**

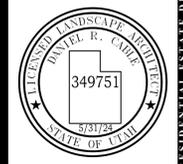
- SCARIFY SOIL TO DEPTH OF ONE-HALF INCHES (1/2").
  - 24 HOURS PRIOR TO THE APPLICATION OF SEED, IRRIGATE TO A MINIMUM DEPTH OF FOUR INCHES (4").
  - SEED MIX SHALL BE FROM SUMMIT SEEDING AS FOLLOWS:  
DRILLSEED - VELVET BLUE OR BLUE RIBBON BLEND - OWNER TO SELECT SPECIES PURE LIVE SEED LBS/ACRE  
VELVET BLUE 5  
BLUE RIBBON BLEND 5
  - NOTE: PLS LBS/ACRE + LBS/ACRE. PLS LBS/ACRE IS THE MOST ACCURATE WAY TO SPECIFY SEEDS AND TAKES INTO ACCOUNT BOTH PURITY AND GERMINATION. PLS % = % PURITY X % GERMINATION.
  - DRILL SEED WITH TURF SEEDER
  - USE THE FOLLOWING SLURRY COMPONENTS:  
WOOD FIBER MULCH W/ TACKIFIER 2,000 LBS/ACRE  
FERTILIZER W/ 19-26-S OR EQUAL AS PER MANUFACTURER SPECIFICATIONS.
- \*SUMMIT CONTACT INFORMATION:  
MIKE SUTTON SUMMIT SEEDING  
10400 S 3731 W #102-331  
PH: (801) 906-9503

**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	DETAIL
<b>TREES</b>					
	19	Prunus x yedoensis	Yoshino Cherry	2" Cal.	D
	41	Shade Tree Selected by Cemetery	Lawn Area	2" Cal.	D
<b>SHRUBS</b>					
	96	1 Gallon Shrub	Selected by Cemetery	1 gal.	B
	24	5 Gallon Shrub	Selected by Cemetery	5 gal.	B
<b>GROUND COVERS</b>					
	224,916 sf	Turf Drillseed Bluegrass / Rye Mix	Drillseed	seed	N/A



**Underground Service Alert**  
Call: 811  
TWO WORKING DAYS BEFORE YOU DIG

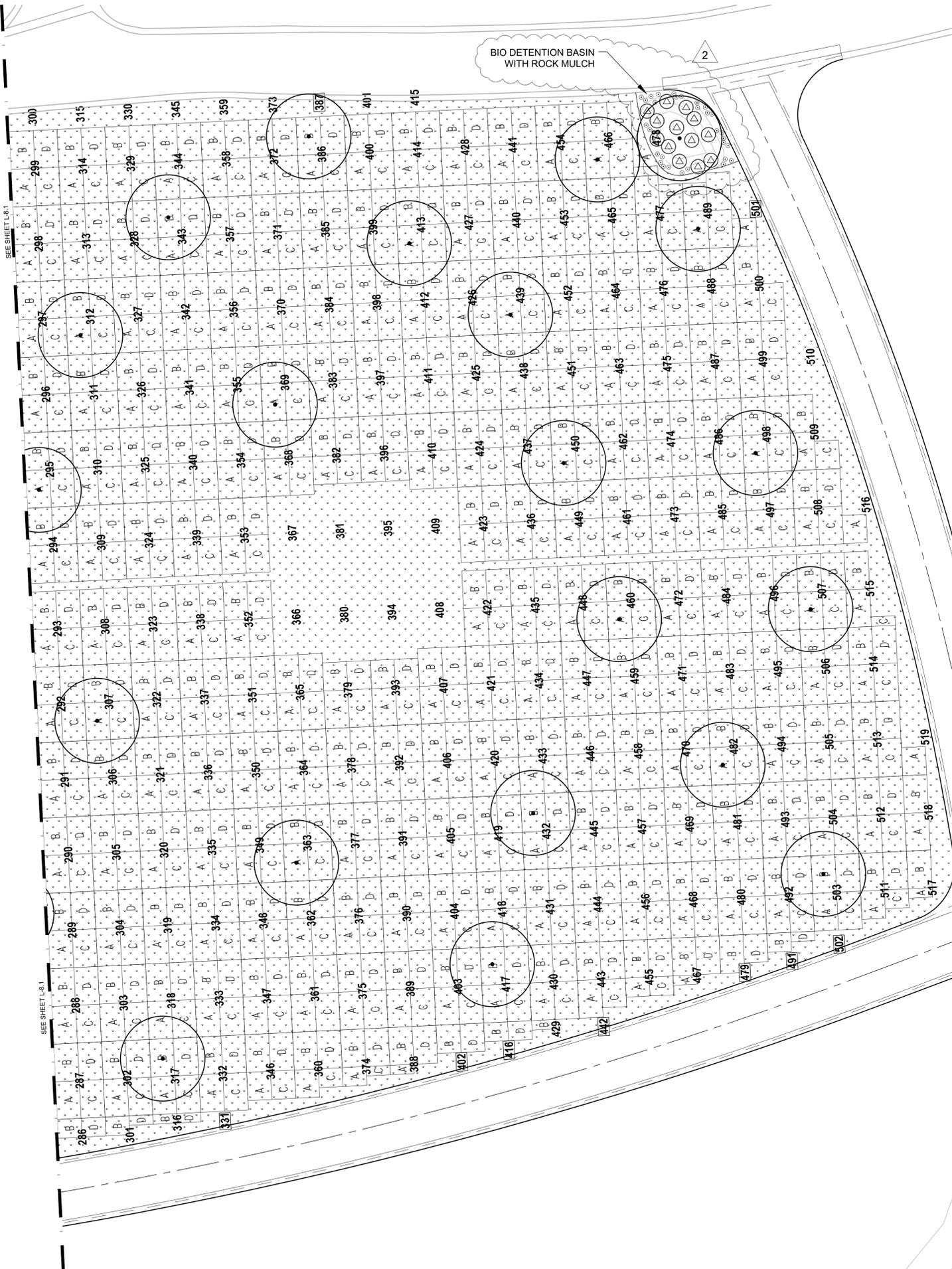


NO.	REVISIONS	DATE	BY

Scale: 1" = 20'-0"  
Date: MAR 15 2024  
Drawn By: DC  
Approved By: DC

**LARKIN SUNSET GARDENS  
RESURRECTION  
PLANTING PLAN**

Job No. 22-142  
Sheet No. L-8.1  
15 of 18



- PLANTING NOTES**
- PRE-EMERGENT HERBICIDE SHALL BE ADDED TO ALL PLANTING AREAS AT THE RECOMMENDED RATES. APPLY BEFORE AND AFTER PLACEMENT OF MULCH.
  - REFER TO PLANTING DETAILS, SPECIFICATIONS AND NOTES ON SHEETS L-8.1 AND L-10.1
  - MULCH:  
INSTALL SHREDDED CEDAR BARK MULCH IN ALL PLANTING BEDS TO A DEPTH OF 3" MIN. PROVIDE 3 SAMPLES FOR SELECTION BY GROUNDS SUPERINTENDENT OR L.A.
  - THE CONTRACTOR SHALL HAVE AN AGRICULTURAL SOILS ANALYSIS PERFORMED ON THE SOIL BY A SOILS LAB APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT. THE SOILS LAB SHALL PROVIDE RECOMMENDATIONS FOR AMENDING THE SOIL FOR THE PLANTING AREAS AND TURF AREAS. RESULTS SHALL BE FORWARDED TO THE OWNER AND LANDSCAPE ARCHITECT.
  - THE CONTRACTOR SHALL AMEND THE SOIL AS PER THE AGRICULTURAL SOILS ANALYSIS REPORT.
  - CONTRACTOR SHALL RESTORE ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMIT THAT ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
  - CONTRACTOR SHALL PATCH ANY DAMAGED TURF DUE TO CONSTRUCTION ACTIVITY WITH SOD. MATCH EXISTING SPECIES.
  - CONTRACTOR SHALL CREATE A 6" DIAMETER TREE RING AT ALL NEW TREES THAT ARE WITHIN THE GRASS AREA. TREE RING SHALL BE SHOVEL CUT EDGE UNLESS OTHERWISE SPECIFIED. INSTALL 3" MIN. DEPTH OF SPECIFIED MULCH WITHIN RING.
  - FOR ADDITIONAL INFORMATION, SEE GENERAL PLANTING NOTES AND SPECIFICATIONS ON SHEETS L-8.1 AND L-10.1.

- DRILLSEED AND HYDROMULCH NOTES (SUMMIT SEEDING)**
- SCARIFY SOIL TO DEPTH OF ONE-HALF INCHES (1/2").
  - 24 HOURS PRIOR TO THE APPLICATION OF SEED, IRRIGATE TO A MINIMUM DEPTH OF FOUR INCHES (4").
  - SEED MIX SHALL BE FROM SUMMIT SEEDING AS FOLLOWS:  

SPECIES	PURE LIVE SEED LBS/ACRE
VELVET BLUE	5
BLUE RIBBON BLEND	5

NOTE: PLS LBS/ACRE = LBS/ACRE. PLS LBS/ACRE IS THE MOST ACCURATE WAY TO SPECIFY SEEDS AND TAKES INTO ACCOUNT BOTH PURITY AND GERMINATION. PLS % = % PURITY X % GERMINATION.
  - DRILL SEED WITH TURF SEEDER
  - USE THE FOLLOWING SLURRY COMPONENTS:  

WOOD FIBER MULCH W/ TACKIFIER	2,000 LBS/ACRE
FERTILIZE W/ 19-26-S OR EQUAL AS PER MANUFACTURER SPECIFICATIONS.	
- \*SUMMIT SEEDING CONTACT INFORMATION:  
 MIKE SUTTON SUMMIT SEEDING  
 10400 S 3731 W #102-331  
 PH: (801) 906-9503

**PLANT SCHEDULE 2**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	DETAIL
<b>TREES</b>					
○	21	Shade Tree Selected by Cemetery	Lawn Area	2" Cal.	D
<b>SHRUBS</b>					
●	30	1 Gallon Shrub	Selected by Cemetery	1 gal.	B
△	13	5 Gallon Shrub	Selected by Cemetery	5 gal.	B
<b>GROUND COVERS</b>					
•••••	99,635 sf	Turf Drillseed Bluegrass / Rye Mix	Drillseed	seed	



RESUME MASTER PLANS - COMMUNITY PLANNING - VEGETATIONAL IMPROVEMENTS - MIXED USE DEVELOPMENTS - VISUAL ART DEVELOPMENTS - CONCEPTUAL DEVELOPMENTS - PARKS & RECREATION PLANNING & DESIGN - RESIDENTIAL ESTATE DESIGN - GRAPHIC DESIGN

NO.	REVISIONS	DATE	BY
1	REVISED GRASSING ON SOUTH ROAD EXISTING CANALS BASIN AND CHANGES	6-14-24	DC

Scale: 1" = 20'-0"  
 DATE: MAR 15 2024  
 DRAWN BY: [Signature]  
 APPROVED BY: DC

**LARKIN SUNSET GARDENS  
 RESURRECTION  
 PLANTING PLAN**

0' 10' 20' 40'  
 SCALE: 1" = 20'-0"

**Underground Service Alert**  
 Call: 811  
 TWO WORKING DAYS BEFORE YOU DIG

North

Job No. 22-142  
 Sheet No. L-8.2  
 16 of 16



## Staff Report

**File #:**  
SPX06262024-006791,  
**Version:** 1

**Date:** 7/18/2024

**Agenda Item Title:**  
Southeast Industrial Park (Special Exception Review)  
8496 S. Harrison Street  
[Community #1, Northwest Exposure]

**Presenter:**  
Thomas Irvin, Senior Planner

**Description/Background:**  
The applicant, Jessica Rice representing UDOT, is requesting special exception approval for the property located at 8496 S. Harrison St. The request is to modify landscaping requirements for a property impacted by eminent domain proceedings. The applicant has provided a written request (Exhibit A) and application materials which includes written approval of the request from the property owners (Exhibit B).

The staff report and exhibits are attached for full details of this request.

**Recommended Action and/or Suggested Motion:**  
Staff recommends that the Planning Commission approve a special exception to not provide a five-foot landscaping buffer along the west side of the property located at 8496 S. Harrison St. based on the following findings:

Findings:

1. That granting the special exception does not adversely affect the health, safety, and welfare of the public as it would have minimal impact due to the limited visibility of rear yard area of the site.
2. That granting the special exception is the minimum necessary for the reasonable use of land and improvements. It is necessary to maintain vehicular access of large vehicles to an industrial development as demonstrated in the applicant's materials.
3. That granting the special exception does not have a materially detrimental impact on the rights or enjoyment of property of adjacent property owners being that it is in an area of minimal visibility.
4. The special exception is the result of a hardship imposed by eminent domain proceedings or negotiations conducted by UDOT for an I-15 expansion project.
5. City staff has recommended that the proposed changes sought with the special exception

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**File #:**  
SPX06262024-006791,  
**Version:** 1

**Date:** 7/18/2024

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are necessary and appropriate for the changes in the property caused by the eminent domain proceedings.



# SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN  
COMMUNITY DEVELOPMENT  
DIRECTOR

MONICA ZOLTANSKI  
MAYOR

SHANE E. PACE  
CHIEF ADMINISTRATIVE OFFICER

## Staff Report Memorandum July 18, 2024

To: Planning Commission  
From: Community Development Department  
Subject: Southeast Industrial Park Special Exception  
8496 S. Harrison St.  
[Community #1 – Northwest Exposure]

SPX06262024-00679  
Zone: RC  
1.75 Acres

**Public Hearing Notice:** This item has been noticed to property owners within 500 feet of the subject area, on public websites, and at public locations.

### Request

The applicant, Jessica Rice representing UDOT, is requesting special exception approval for the property located at 8496 S. Harrison St. The request is to modify landscaping requirements for a property impacted by eminent domain proceedings. The applicant has provided a written request (Exhibit A) and application materials which includes written approval of the request from the property owners (Exhibit B).

### Background

The subject property is approximately 1.75 acres in size. It is located within the RC Zone (Regional Commercial District). It is bordered on the east by single family homes located in Midvale City. To the north is the Copperview Recreation Center as well as an associated skate park, also located in Midvale. To the west is the recently widened Interstate 15 corridor, and to the south is the Sam T. Evans Truck Tops commercial building which is also within the RC Zone.



SPX06262024-006791  
Special Exception  
8496 S Harrison St  
Sandy City, UT  
Community Development Department

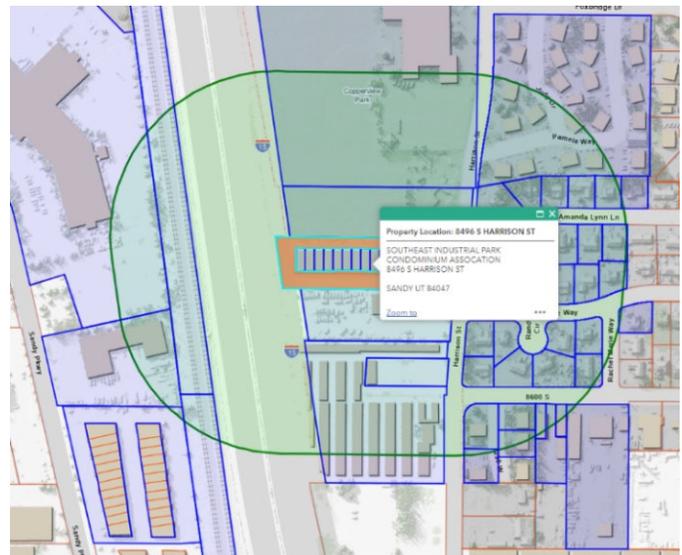
Property Case History	
Case Number	Case Summary
SPR#02-06	Preliminary site plan approval granted by Planning Commission on October 17, 2002
CUP#02-11	Conditional use permit approved by Planning Commission for a warehousing use in the RC Zone.
S#03-03	Preliminary subdivision approval granted by Planning Commission on February 20, 2003 for a 20-condo unit commercial building.
S#09-02	Amended subdivision approval granted by Planning Commission on May 18, 2012 to reduce the number of condo units from 20 to 18.
SUB02222022-006272	Amended subdivision approval granted by Planning Commission on April 7, 2022 to remove a portion of the west property taken for the widening of I-15.

**Public Notice and Outreach**

Notices were mailed to property owners within 500 feet of the subject property and affected entities. The notice was posted to the Utah Public Notice website and the city website. A physical copy of the notice was posted at City Hall.

**Analysis**

This property went before the Planning Commission in 2022 for preliminary subdivision review. The subdivision would dedicate the western portion of the property to UDOT and require the removal of several condo units to allow for the widening of I-15. UDOT was the condemning authority in the Eminent Domain proceedings. The subdivision is currently on hold awaiting the outcome of this special exception request.



One of the conditions of the subdivision approval was as follows:

*That the property owner work with staff to create a five-foot landscape buffer to be installed along the rear (west) property line located between the parking lot access and the property line.*

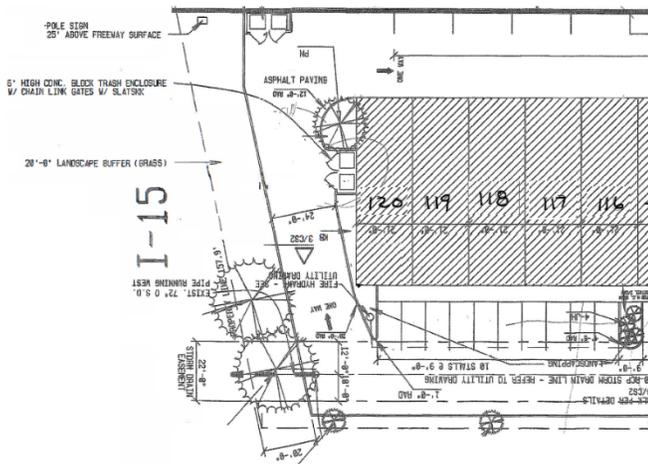
This condition was required based on the following Sandy City ordinance:

**Sec. 21-25-2. - Commercial and Industrial Landscaping Requirements.**

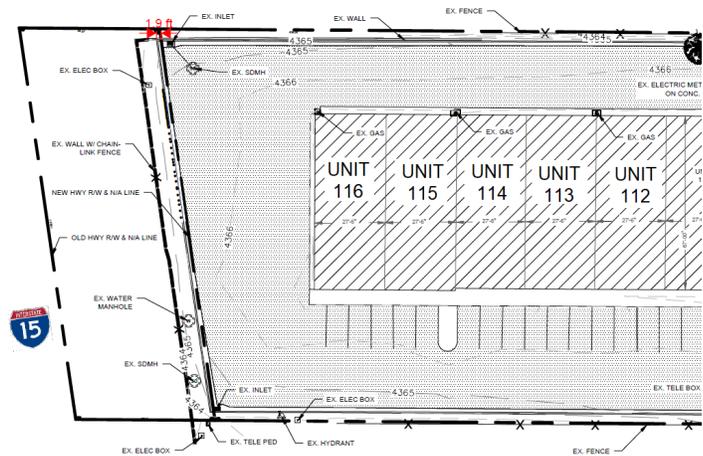
*(b) Side and Rear Yards.*

*(1) There shall be a minimum of five feet of landscaping between parking areas and side or rear property lines (except between commercial uses where said landscaping is not visible from areas of public access, or where structures are allowed to have a zero setback) and a minimum of five feet of landscaping between an access driveway and a side or rear property line unless said driveway is to be used for common access by an adjacent lot.*

A landscaping buffer did exist along the west side of the property prior to the subdivision. UDOT has constructed a five-foot zero-scaped landscape buffer area, however it was installed along the I-15 corridor side and not along the subject property.



**West Side of Property Prior to Freeway Widening**



**West side of Property Current Conditions**

Properties Affected by Eminent Domain Proceedings

Section 21-2-23 of the Sandy City Land Development Code allows the Planning Commission to grant special exceptions in connection with eminent domain proceedings or negotiations. These requests can be made by either the property owner or the condemning authority. The code lists several criteria to be used by the Planning Commission when determining if a special exception is warranted. These are as follows (see [section 21-2-23](#)):

- 1) *Granting the special exception does not adversely affect the health, safety, and welfare of the public.*
- 2) *Granting the special exception is the minimum necessary for the reasonable use of land and improvements.*
- 3) *Granting the special exception does not have a materially detrimental impact on the rights or enjoyment of property of adjacent property owners.*
- 4) *The special exception is the result of a hardship imposed by eminent domain proceedings or negotiations.*
- 5) *City staff has provided a recommendation to the Planning Commission describing whether the proposed changes that would be authorized by the special exception are necessary and appropriate for the changes in the property caused by the eminent domain proceedings or negotiations.*

Not providing a five-foot landscaping buffer on the west side will not adversely affect the health, safety, and welfare of the public. Keeping the area as asphalt will help facilitate truck access around the structures. Additionally, keeping the buffer on the I-15 side allows UDOT to have the necessary freeway signs and drainage systems within their right of way while meeting Federal and State traffic and safety requirements.

**Recommendation**

Staff recommends that the Planning Commission approve a special exception to not provide a five-foot landscaping buffer along the west side of the property located at 8496 S. Harrison St. based on the following findings:

**Findings:**

1. That granting the special exception does not adversely affect the health, safety, and welfare of the public as it would have minimal impact due to the limited visibility of rear yard area of the site.
2. That granting the special exception is the minimum necessary for the reasonable use of land and improvements. It is necessary to maintain vehicular access of large vehicles to an industrial development as demonstrated in the

applicant's materials.

3. That granting the special exception does not have a materially detrimental impact on the rights or enjoyment of property of adjacent property owners being that it is in an area of minimal visibility.
4. The special exception is the result of a hardship imposed by eminent domain proceedings or negotiations conducted by UDOT for an I-15 expansion project.
5. City staff has recommended that the proposed changes sought with the special exception are necessary and appropriate for the changes in the property caused by the eminent domain proceedings.

Planner:



Thomas Irvin  
Senior Planner

File Name: S:\USERS\PLN\STAFFRPT\2024\SPX06262024-006791 Southeast Industrial Park Special Exception\Planning Commission\Southeast Industrial Park Special Exception \Planning Commission\Staff Report.docx

## Exhibit "A"



State of Utah

SPENCER J. COX  
GovernorDEIDRE M. HENDERSON  
Lieutenant Governor

## DEPARTMENT OF TRANSPORTATION

CARLOS M. BRACERAS, P.E.  
*Executive Director*LISA J. WILSON, P.E.  
*Deputy Director of Engineering and Operations*BENJAMIN G. HUOT, P.E.  
*Deputy Director of Planning and Investment*

21 June 2024

Mr. Thomas Irvin  
Sandy Community Development  
Planning Division

SUBJECT: Special Exception Request for SUB02222022-006272, Southeast Industrial Park Second Amended Condominium Plat, Amended to Units 101-116

Dear Mr. Irvin,

This special exception request is for elimination of the five-foot landscape buffer along the rear (west) boundary of the Southeast Industrial Park Amended Condominium Plat ("Plat"), amended to Units 101-116, located at 8496 S. Harrison Street in Sandy, Utah (see Exhibit A).

In 2020 as part of the I-15 northbound expansion project, UDOT needed additional property to construct the collector-distributor system. This resulted in the removal of Units 117, 118 and the existing landscape buffer (see Exhibit B) and the reconfiguration of the rear property line of the Plat. UDOT reconfigured the existing building and driveway aisle. However, they did not reestablish a landscape buffer (see Exhibit C). These impacts were made under the threat of eminent domain.

The current rockscape, curb and gutter are located within the UDOT ROW. There is not sufficient space to add a landscape buffer without compromising the usability of the rear of this property. The following points address Special Exception Review Criteria under Sandy City Code for Properties Affected by Eminent Domain Proceedings, Section 21-2-23(c):

1. Granting the special exception does not adversely affect the health, safety, and welfare of the public.
  - o Keeping the rockscape, curb and gutter where it is currently allows UDOT to have the necessary freeway signs and drainage system within the UDOT right of way and to meet Federal and State traffic

Region Two • 2010 South 2760 West • Salt Lake City, UT 84104-4592  
Telephone (801) 975-4900 • Facsimile (801) 975-4841 • [www.udot.utah.gov](http://www.udot.utah.gov)



State of Utah

SPENCER J. COX  
Governor

DEIDRE M. HENDERSON  
Lieutenant Governor

## DEPARTMENT OF TRANSPORTATION

CARLOS M. BRACERAS, P.E.  
*Executive Director*

LISA J. WILSON, P.E.  
*Deputy Director of Engineering and Operations*

BENJAMIN G. HUOT, P.E.  
*Deputy Director of Planning and Investment*

and safety requirements. The area in reference is at the rear of the site, and therefore has minimal effect on the health and welfare of the public. Additionally, it abuts an interstate with a speed limit of 70 mph.

2. Granting the special exception is the minimum necessary for the reasonable use of land and improvements.
  - o The site is set up to accommodate a WB-62 semi-truck, and any reduction to the area to accommodate the landscape buffer will reduce the functionality of the site for the businesses that use the space (see Exhibit D).
3. Granting the special exception does not have a materially detrimental impact on the rights or enjoyment of property of adjacent property owners.
  - o The layout of the rear of the property is consistent with the properties to the south; and the adjacent property to the north is bordered by a noise wall, providing a visual barrier to the Salt Lake County Recreation Center.
4. The special exception is the result of a hardship imposed by eminent domain proceedings or negotiations.
  - o Yes, the property acquisition was the result of a freeway improvement project along I-15 to add a collector-distributor system to help alleviate traffic congestion and enhance the safety of the traveling public.

UDOT has been negotiating with the property owners and the condominium association (see Exhibit E) to minimize the impact to their property and businesses. As a result of those negotiations, UDOT agreed to seek this Special Exception on the condominium association's behalf to waive the landscape buffer.

Thank you for your consideration.

Sincerely,

Jessica A. Rice, S.E.  
I-15 NB Project Director

Exhibit "B"



State of Utah

SPENCER J. COX  
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21 June 2024

Mr. Thomas Irvin  
Sandy Community Development  
Planning Division

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  - The layout of the rear of the property is consistent with the properties to the south; and the adjacent property to the north is bordered by a noise wall, providing a visual barrier to the Salt Lake County Recreation Center.
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  - Yes, the property acquisition was the result of a freeway improvement project along I-15 to add a collector-distributor system to help alleviate traffic congestion and enhance the safety of the traveling public.

UDOT has been negotiating with the property owners and the condominium association (see Exhibit E) to minimize the impact to their property and businesses. As a result of those negotiations, UDOT agreed to seek this Special Exception on the condominium association's behalf to waive the landscape buffer.

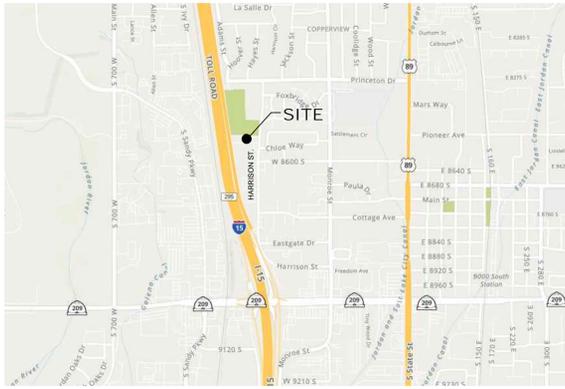
Thank you for your consideration.

Sincerely,

Jessica A. Rice, S.E.  
I-15 NB Project Director

# SOUTHEAST INDUSTRIAL PARK AMENDED CONDOMINIUM PLAT AMENDED TO UNITS 101-116

LOCATED IN THE  
SOUTHWEST QUARTER OF SECTION 36,  
TOWNSHIP 2 SOUTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
SANDY CITY, SALT LAKE COUNTY, UTAH



VICINITY MAP  
NOT TO SCALE



**SURVEYOR'S CERTIFICATE**  
I, C. DAVID MCKINNEY DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 5251295 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, EASEMENTS, AND RIGHT-OF-WAYS, TO BE KNOWN AS SOUTHEAST INDUSTRIAL PARK AMENDED CONDOMINIUM PLAT AMENDED TO UNITS 101-116, AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

C. DAVID MCKINNEY  
LIC. 5251295

**BOUNDARY DESCRIPTION**

BEGINNING AT A POINT WHICH IS NORTH 04 DEGREES 04'00" EAST 313.07 FEET AND NORTH 89 DEGREES 35'00" WEST 25.05 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, THENCE NORTH 04 DEGREES 04'00" EAST 156.54 FEET, THENCE NORTH 89 DEGREES 35'00" WEST 505.02 FEET MORE OR LESS TO THE EAST BOUNDARY LINE OF THE STATE HIGHWAY, THENCE SOUTH 08 DEGREES 04'02" EAST ALONG SAID HIGHWAY 157.96 FEET, THENCE SOUTH 89 DEGREES 35'00" EAST 471.95 FEET TO THE POINT OF BEGINNING. CONTAINS 1.75 ACRES.

**CITY ATTORNEY EXPLANATORY NOTE:**

PURSUANT TO UTAH CODE ANN. 10-9a-608 ALL UNIT OWNERS IN THE SOUTHEAST INDUSTRIAL PARK PLAT WERE NOTIFIED OF THE PETITION TO AMEND THE PLAT. THE SIGNATURE OF EACH OF THE OWNERS WHO CONSENTED TO THE AMENDMENT WERE INCLUDED ON THE PETITION. NOT ALL OWNERS WERE AVAILABLE OR WILLING TO CONSENT TO THE AMENDMENT, SO A PUBLIC HEARING WAS CONDUCTED, WITH NOTICES PROVIDED TO ALL UNIT OWNERS PURSUANT TO UTAH CODE 10-9a-608(1)(b). AT THE PUBLIC HEARING THE AMENDMENT WAS CONSIDERED AND APPROVED BY THE SANDY CITY LAND USE AUTHORITY (THE PLANNING COMMISSION) ACCORDING TO THE CRITERIA SPECIFIED IN UTAH CODE ANN. 10-9a-609(1). CONSISTENT WITH THE ABOVE OUTLINED PROCESS, THE COUNTY RECORDER'S OFFICE IS OBLIGATED TO RECORD THE AMENDMENT WITHOUT THE CONSENT OF ALL LOT OWNERS UNDER UTAH CODE ANN. 10-9a-609(3).

**CONSENT TO RECORD**

THE UNDERSIGNED SOUTHEAST INDUSTRIAL PARK CONDOMINIUM ASSOCIATION DOES HEREBY CONSENT TO THE RECORDING BY THE SALT LAKE COUNTY RECORDER OF THE SOUTHEAST INDUSTRIAL PARK AMENDED CONDOMINIUM PLAT AMENDED TO UNITS 101-116 MAP PREPARED BY HORROCKS ENGINEERS AND CERTIFIED BY C. DAVID MCKINNEY, LICENSED PROFESSIONAL SURVEYOR.

SOUTHEAST INDUSTRIAL PARK CONDOMINIUM ASSOCIATION INC.

SIGNED: \_\_\_\_\_

SIGNED: \_\_\_\_\_

FOR: \_\_\_\_\_ UTAH DEPARTMENT OF TRANSPORTATION

**CORPORATION ACKNOWLEDGMENT**

STATE OF UTAH } S.S.  
COUNTY OF SALT LAKE }  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY  
APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF SALT LAKE AND SAID STATE OF UTAH, \_\_\_\_\_ WHO,  
BEING BY ME DULY SWORN, DID SAY THAT HE /SHE IS THE  
OF  
SOUTHEAST INDUSTRIAL PARK CONDOMINIUM ASSOCIATION, INC., A CORPORATION,  
AND THAT THE FORE GOING OWNER'S DEDICATION WAS SIGNED FOR, AND IN BEHALF OF  
SAID CORPORATION, BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND HE /SHE  
ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.

COMMISSION NUMBER: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_  
NOTARY PUBLIC SIGNATURE: \_\_\_\_\_  
(RESIDING IN SALT LAKE COUNTY, UTAH)

**UTAH DEPT. OF TRANSPORTATION ACKNOWLEDGMENT**

STATE OF UTAH } S.S.  
COUNTY OF SALT LAKE }  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY  
APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF SALT LAKE AND SAID STATE OF UTAH, \_\_\_\_\_ WHO,  
BEING BY ME DULY SWORN, DID SAY THAT HE /SHE IS THE  
OF  
UTAH DEPARTMENT OF TRANSPORTATION, AN AGENCY OF THE STATE OF UTAH, AND  
THAT THE FORE GOING CONSENT TO RECORD WAS SIGNED FOR, AND IN BEHALF OF,  
SAID AGENCY, BY VIRTUE OF THE AUTHORITY VESTED IN HIM/HER, AND HE /SHE  
ACKNOWLEDGED TO ME THAT SAID AGENCY EXECUTED THE SAME.

COMMISSION NUMBER: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_  
NOTARY PUBLIC SIGNATURE: \_\_\_\_\_  
(RESIDING IN SALT LAKE COUNTY, UTAH)

**SOUTHEAST INDUSTRIAL PARK  
AMENDED CONDOMINIUM PLAT  
AMENDED TO UNITS 101-116**

LOCATED IN THE  
SOUTHWEST QUARTER OF SECTION 36,  
TOWNSHIP 2 SOUTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
SANDY CITY, SALT LAKE COUNTY, UTAH

SALT LAKE COUNTY RECORDER  
RECORDED #  
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF  
DATE \_\_\_\_\_ TIME \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

FEE \$ \_\_\_\_\_ CLERK \_\_\_\_\_ DEPUTY SALT LAKE COUNTY RECORDER \_\_\_\_\_

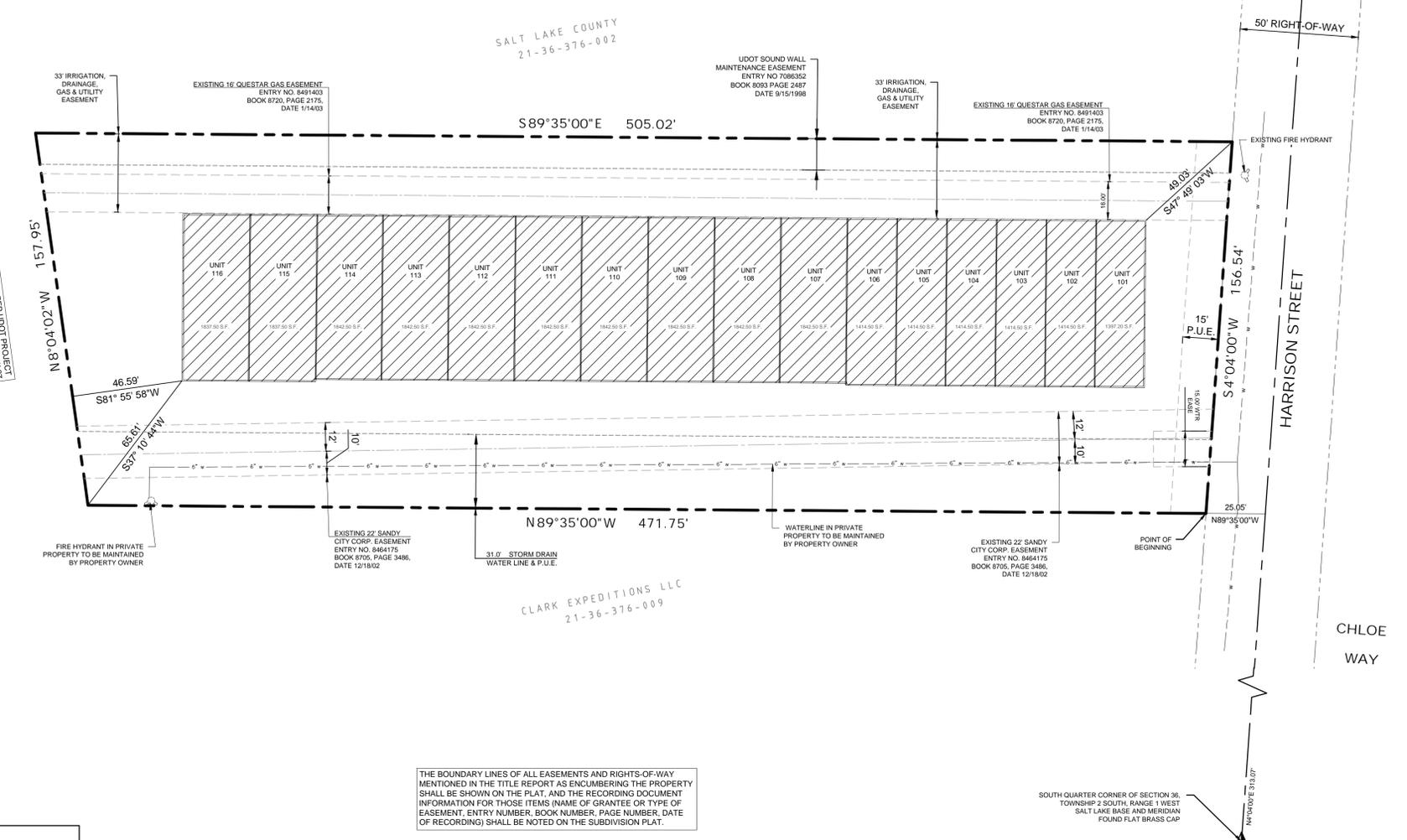
**LEGEND**

- PROPERTY BOUNDARY
- - - - - ADJACENT PROPERTY EASEMENT
- ▲ SECTION CORNER
- COMMON AREA
- ▨ PRIVATE OWNERSHIP
- ⊕ EXISTING FIRE HYDRANT
- P.U.E. PUBLIC UTILITY EASEMENT

**NOTES**

1. REQUIREMENTS HAVE BEEN IMPOSED RELATING TO THE DEVELOPMENT OF THIS SUBDIVISION AND DEVELOPMENT ON EACH OF THE LOTS.
2. BUILDING PERMITS/CERTIFICATES OF OCCUPANCY MAY NOT BE ISSUED UNTIL CERTAIN IMPROVEMENTS HAVE BEEN INSTALLED.
3. CERTAIN MEASURES ARE REQUIRED TO CONTROL BLOWING SOIL AND SAND DURING CONSTRUCTION ON A LOT.
4. NO DRIVEWAY SHALL BE CONSTRUCTED TO CONVEY STORM WATER RUNOFF TOWARD ANY BUILDING.
5. PROPERTIES ARE TO BE GRADED SUCH THAT STORM WATER RUNOFF WILL DRAIN AWAY FROM STRUCTURES AND TOWARDS PROPERTY BOUNDARIES. HOWEVER, NEW DEVELOPMENT OR REDEVELOPMENT SHALL NOT INCREASE THE BURDEN OF STORM WATER ON NEIGHBORING AND/OR DOWNSTREAM PROPERTIES. STORM WATER RUNOFF SHALL BE ENTIRELY CONTROLLED WITHIN THE LIMITS OF PROJECT SITE. PERPETRATING PROPERTY OWNERS MAY BE LIABLE FOR DAMAGES IN CIVIL COURTS DUE TO DAMAGES CAUSED TO ADJACENT PROPERTIES FROM RUNOFF (INCLUDING FLOWS THAT EXISTED BEFORE THE NEW DEVELOPMENT OR REDEVELOPMENT OCCURRED). ANY CONCENTRATED FLOWS LEAVING A SITE SHALL HAVE AN AGREEMENT/EASEMENT WITH THE AFFECTED PROPERTY OWNERS.
6. THE CITY SHALL BE GIVEN THE FIRST RIGHT OF REFUSAL TO PURCHASE WATER RIGHTS ACCOMPANYING THE PROPERTY IN THIS DEVELOPMENT.

REFERENCE SHOULD BE MADE TO SANDY CITY COMMUNITY DEVELOPMENT FILE: SUB0222022-006272 AND ENGINEERING FILE: SUB0222022-006272 AND THE SANDY CITY LAND DEVELOPMENT CODE CONCERNING THE ABOVE NOTES.



THE BOUNDARY LINES OF ALL EASEMENTS AND RIGHTS-OF-WAY MENTIONED IN THE TITLE REPORT AS ENCUMBERING THE PROPERTY SHALL BE SHOWN ON THE PLAT, AND THE RECORDING DOCUMENT INFORMATION FOR THOSE ITEMS (NAME OF GRANTEE OR TYPE OF EASEMENT, ENTRY NUMBER, BOOK NUMBER, PAGE NUMBER, DATE OF RECORDING) SHALL BE NOTED ON THE SUBDIVISION PLAT.

PREPARED: APRIL 12, 2021  
**HORROCKS ENGINEERS**  
2162 West Grove Pkwy., Suite 400  
Pleasant Grove, UT 84062  
(801) 763-5100

<b>MIDVALE CITY IRRIGATION</b> APPROVED THIS _____ DAY OF _____, A.D. 20____.	<b>PLANNING COMMISSION</b> APPROVED THIS _____ DAY OF _____, A.D. 20____.	<b>QUESTAR</b> APPROVED THIS _____ DAY OF _____, A.D. 20____.	<b>ENGINEER'S CERTIFICATE</b> APPROVED THIS _____ DAY OF _____, A.D. 20____.	<b>APPROVAL AS TO FORM</b> APPROVED THIS _____ DAY OF _____, A.D. 20____.	<b>SANDY CITY MAYOR</b> PRESENTED TO THE MAYOR OF SANDY CITY THIS _____ DAY OF _____, A.D. 20____, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.
MIDVALE CITY IRRIGATION	SANDY CITY PLANNING COMMISSION	QUESTAR	SANDY CITY ENGINEER	SANDY ATTORNEY	MAYOR
<b>HEALTH DEPARTMENT</b> APPROVED THIS _____ DAY OF _____, A.D. 20____.	<b>QWEST COMMUNICATIONS</b> APPROVED THIS _____ DAY OF _____, A.D. 20____.	<b>ROCKY MOUNTAIN POWER</b> APPROVED THIS _____ DAY OF _____, A.D. 20____.	<b>COMCAST</b> APPROVED THIS _____ DAY OF _____, A.D. 20____ BY _____.	<b>SANDY SUBURBAN IMPROVEMENT DISTRICT</b> APPROVED THIS _____ DAY OF _____, A.D. 20____.	<b>SANDY CITY PUBLIC UTILITIES</b> APPROVED THIS _____ DAY OF _____, A.D. 20____.
SALT LAKE COUNTY HEALTH DEPARTMENT	QWEST COMMUNICATIONS	ROCKY MOUNTAIN POWER	COMCAST	GENERAL MANAGER	ENGINEERING MANAGER

**SAM EVANS**  
TRUCKTOPS - TRAILERS  
TRUCK ACCESSORIES

TRUCK TOPS  
TRAILERS

STORAGE LOCKS  
TRUCK ACCESSORIES

FREE

**CARPET  
FIXER**  
FLOORING SPECIALIST  
801-255-1888

**SOFA  
BIZ**

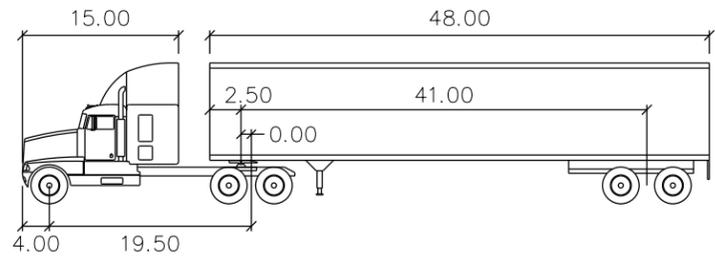




PRETT...  
IF YOU'  
JUST DO

SAN JUAN  
TRUCKS - PARTS  
SALES - SERVICE

STOP-N-LOCK



WB-62

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



**SOUTHEAST INDUSTRIAL PARK  
 CONDOMINIUM ASSOCIATION  
 8496 S HARRISON ST**

**DATE: 06/24/2024**

**From:** [Jessica Rice](#)  
**To:** [Ski4Powder](#)  
**Cc:** [Todd Kodele](#); [Eric Lyon](#)  
**Subject:** Re: plat amendment

---

Thanks Paul & Todd.  
Jessica A Rice, SE  
UDOT Region 2 Project Manager  
office: 801.887.3410  
mobile: 801.987.0531  
[jrice@utah.gov](mailto:jrice@utah.gov)

On Tue, Jun 11, 2024 at 11:51 AM Ski4Powder <[ski4powder@msn.com](mailto:ski4powder@msn.com)> wrote:

Jessica,

We are in support of the plat amendment per the attached.

Thank you,

Paul Quilter

On 6/11/2024 9:34:29 AM, Jessica Rice <[jrice@utah.gov](mailto:jrice@utah.gov)> wrote:

Todd, Paul,

Please find attached the current plat that will be submitted with the special exception. I would appreciate if the board can send a note or even respond to this email with your support of the plat amendment request.

Thank you,  
Jessica

Jessica A Rice, SE  
UDOT Region 2 Project Manager  
office: 801.887.3410  
mobile: 801.987.0531  
[jrice@utah.gov](mailto:jrice@utah.gov)



# Sandy City, Utah

10000 Centennial Parkway  
Sandy, UT 84070  
Phone: 801-568-7141

## Staff Report

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**File #:** 24-263, **Version:** 1

**Date:** 7/18/2024

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Minutes from the June 20, 2024 Meeting



# Sandy City, Utah

10000 Centennial Parkway  
Sandy, UT 84070  
Phone: 801-568-7256

## Meeting Minutes

### Planning Commission

*Dave Bromley*  
*Cameron Duncan*  
*David Hart*  
*Ron Mortimer*  
*Daniel Schoenfeld*  
*Jamie Tsandes*  
*Steven Wrigley*  
*Craig Kitterman (Alternate)*  
*Jennifer George (Alternate)*

---

Thursday, June 20, 2024

6:15 PM

Council Chambers and Online

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Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

[https://us02web.zoom.us/webinar/register/WN\\_9aDW5WmETcaSalA6huY40g](https://us02web.zoom.us/webinar/register/WN_9aDW5WmETcaSalA6huY40g)

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/84845202124>

Or join via phone by dialing:

US: 346 248 7799 or 699 444 9171 or 669 900 6833 or 719 359 4580 or 253 205 0468 or 253 215 8782  
(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/84845202124>

Webinar ID: 848 4520 2124

Passcode: 789849

#### 4:00 PM FIELD TRIP

1. [24-232](#) Field Trip will depart from the west steps of City Hall.

Attachments: [Map](#)

#### 5:15 PM EXECUTIVE SESSION

General Plan discussion held in the Community Development Conference Room.

## 6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

- Present** 6 - Commissioner Dave Bromley  
 Commissioner Cameron Duncan  
 Commissioner David Hart  
 Commissioner Ron Mortimer  
 Commissioner Daniel Schoenfeld  
 Commissioner Jennifer George
- Absent** 3 - Commissioner Jamie Tsandes  
 Commissioner Steven Wrigley  
 Commissioner Craig Kitterman

## Public Hearings

- 2. [CA04262024](#) Amendments to Title 21 Land Development Code related to Elements of  
[-0006761](#) the General Plan  
[\(PC\)](#)

**Attachments:** [Staff Report and Exhibits](#)

Melissa Anderson introduced this item to the Planning Commission and stated that the code amendments ensure the General Plan Elements referenced in the Land Development Code are consistent with the requirements of the Utah Code.

Daniel Schoenfeld opened this item for public comment.

Daniel Schoenfeld closed this item to public comment.

**A motion was made by Dave Bromley, seconded by Cameron Duncan, that the Planning Commission forward a positive recommendation to the City Council to amend Title 21, of the Sandy Municipal Code, related to Elements of the General Plan Elements based on the findings detailed in the staff report. The motion carried by the following role call vote:**

- Yes:** 6 - Dave Bromley  
 Cameron Duncan  
 David Hart  
 Ron Mortimer  
 Daniel Schoenfeld  
 Jennifer George
- Absent:** 3 - Jamie Tsandes  
 Steven Wrigley  
 Craig Kitterman

## Public Meeting Items

3. [SPX0612202](#) Alta Park Subdivision (Special Exception Review)  
[4-006781](#) 11190 S. 1000 E.  
[Community #13, Alta High]

**A motion was made by David Hart, seconded by Dave Bromley, that the Planning Commission approve a special exception to create two flag lots for the Alta Park Subdivision located at 11190 S 1000 E served by a private street based on the findings detailed in the staff report. The motion carried by the following roll call vote:**

- Yes:** 6 - Dave Bromley  
Cameron Duncan  
David Hart  
Ron Mortimer  
Daniel Schoenfeld  
Jennifer George

- Absent:** 3 - Jamie Tsandes  
Steven Wrigley  
Craig Kitterman

DRAFT

4. [SUB0507202](#) Alta Park Subdivision (Preliminary Subdivision Review)  
[4-006766](#) 11190 S. 1000 E.  
[Community #13, Alta High]

**Attachments:** [Exhibit A](#)  
[Exhibit B](#)  
[Staff Report.pdf](#)

Thomas Irvin introduced this item to the Planning Commission.

David Hart asked if the fire department has reviewed this for fire access.

Thomas Irvin said yes.

Dwayne Rasmussen, 6900 S 900 E, Midvale, is the developer for this project and is available for any questions.

Daniel Schoenfeld asked Dwayne Rasmussen if he's read the staff report.

Dwayne Rasmussen said yes.

Daniel Schoenfeld opened this item for public comment.

Daniel Schoenfeld closed this item to public comment.

Dave Bromley asked if there should be an additional condition regarding a maintenance agreement for the private driveway.

Mike Wilcox said that would be an acceptable addition.

**A motion was made by Cameron Duncan, seconded by David Hart, that the Planning Commission determine that preliminary subdivision review for the Alta Park Subdivision located at 11190 S. 1000 E. is substantially complete based on the findings and subject to three conditions detailed in the staff report with the addition of a 4th condition - That a shared access and maintenance agreement is applied to the flagpole portion of the lot. The motion carried by the following roll call vote:**

**Yes:** 6 - Dave Bromley  
Cameron Duncan  
David Hart  
Ron Mortimer  
Daniel Schoenfeld  
Jennifer George

**Absent:** 3 - Jamie Tsandes  
Steven Wrigley  
Craig Kitterman

5. [CUP0219202](#) Canny Kids Daycare (Conditional Use Permit)  
[4-006714](#) 1669 E. 11400 S.  
[Community #23, Sunrise]

**Attachments:** [Staff Report](#)

Sarah Stringham introduced this item to the Planning Commission.

Christine Boyd, 1669 E 11400 S, said she has every intention on keeping the children and neighborhood safe.

Daniel Schoenfeld asked if she's read the staff report.

Christine Boyd said yes and mentioned that the kids in her daycare do not climb trees and understands some concerns in the staff report are related to traffic.

Daniel Schoenfeld opened this item for public comment.

Daniel Schoenfeld closed this item to public comment.

Cameron Duncan asked Sarah Stringham about the direction of travel and if it was resolved.

Sarah Stringham said yes.

David Hart asked Christine Boyd if she's okay with condition #1.

Christine Boyd said that her gate system makes it a little difficult and feels the flow of traffic goes in the direction of her gates and asked if its mandatory to change.

Cameron Duncan said if it's a condition then it's mandatory.

David Hart said the issue is the line of sight and the request to switch is that it's a better view when you're leaving.

Mike Wilcox said the other alternative is to work with the neighbor and have them modify their fencing and the easier solution would be to switch the direction of travel.

**A motion was made by David Hart, seconded by Jennifer George, that the Planning Commission approve a category II home occupation conditional use permit for daycare use as described in the staff report for the property located at 1669 E 11400 S based on the findings and subject to the four conditions detailed in the staff report. The motion carried by the following roll call vote:**

**Yes:** 6 - Dave Bromley  
Cameron Duncan  
David Hart  
Ron Mortimer  
Daniel Schoenfeld  
Jennifer George

**Absent:** 3 - Jamie Tsandes  
Steven Wrigley  
Craig Kitterman

- 6. [CUP0506202](#) Milk and Cookies Painting (Conditional Use Permit)  
[4-006764](#) 107 E. Benson Way  
 [Community #4, Historic Sandy]

**Attachments:** [Staff Report](#)

Sarah Stringham introduced this item to the Planning Commission.

Jeff Olson, 107 E Benson Way, said he's a graphic designer & artist and would love to teach art.

Daniel Schoenfeld asked Jeff Olson if he's read the staff report.

Jeff Olson said yes.

David Hart said his sign might be out of compliance.

Daniel Schoenfeld opened this item for public comment.

Sally Egbert, 103 E Benson Way, is Jeff Olson's neighbor and said that she has no problem with this request.

Daniel Hackley, 92 E Benson Way, asked what his business hours will be.

Daniel Schoenfeld closed this item to public comment.

Jeff Olson replied that the business hours will be range from 9a -8:30pm.

**A motion was made by Dave Bromley, seconded by David Hart, that the Planning Commission approve a Conditional Use Permit for a category II home occupation for child group activities as described in the staff report for the property located at 107 E Benson Way based on the findings and subject to the four conditions detailed in the staff report. The motion carried by the following roll call vote:**

- Yes:** 6 - Dave Bromley  
 Cameron Duncan  
 David Hart  
 Ron Mortimer  
 Daniel Schoenfeld  
 Jennifer George

- Absent:** 3 - Jamie Tsandes  
 Steven Wrigley  
 Craig Kitterman

7. [CUP0507202](#) Dall Accessory Structure (Conditional Use Permit)  
[4-006765](#) 27 Northridge Way  
[Community #28, Pepper Dell]

**Attachments:** [Staff Report](#)

Sarah Stringham introduced this item to the Planning Commission.

Corby Dall, 27 Northridge Way, said the accessory structure is to store excess vehicles.

Daniel Schoenfeld asked Corby Dall if he's read the staff report.

Corby Dall said yes.

Cameron Duncan asked how high the garage door is

Corby Dall said 12 feet and that he's done everything in his power to make it so this is not a giant obstruction for his next door neighbor.

Daniel Schoenfeld opened this item for public comment.

Robert Tucker, 28 Northridge Way, said that he opposes the project unless he and the applicant can come to a compromise that doesn't result in damaging his view and the value of his property.

Andrew Stitt, 1084 S Lostwood Drive, asked if there's been an environmental study has been done and if there's any mitigation to prevent erosion.

Daniel Schoenfeld closed this item for public comment.

Sarah Stringham said this area is in the SAO Zone and this project would go through the sensitive area overlay zone review process.

Ryan Kump, Acting City Engineer, said with an SAO review they are requiring a full grading plan and a SWIPP to be submitted.

Mike Wilcox said that the Planning Commission can mitigate impacts created by the applicant's request and the request tonight is for height and reduction in setback. The code prohibits protection of views or sight lines.

Cameron Duncan said that it looks like there's still two or three feet where the garage could be moved over a bit.

Dave Bromley said that makes sense.

David Hart said his only hesitation is that it's a little off centered visually because of the door.

Cameron Duncan said it probably sits back 70 feet from the road and would be okay if they dropped the roof a little bit.

**A motion was made by Dave Bromley, seconded by David Hart, that the Planning**

Commission approve a Conditional Use Permit for an accessory structure with additional height and reduced setbacks as described in the staff report for the property located at 27 Northridge Way base don the findings and subject to the five conditions detailed in the staff report with a modification to add a 6th condition - That there be a 7 ft setback from the property line. The motion carried by the following roll call vote:

**Yes:** 5 - Dave Bromley  
David Hart  
Ron Mortimer  
Daniel Schoenfeld  
Jennifer George

**No:** 1 - Cameron Duncan

**Absent:** 3 - Jamie Tsandes  
Steven Wrigley  
Craig Kitterman

### Administrative Business

1. Minutes

An all in favor motion was made by Cameron Duncan to approve the meeting minutes from 05.16.2024.

[24-233](#)

Minutes

**Attachments:** [05.16.2024 Minutes](#)

2. Election of Chair and Vice Chair

David Hart was voted in as Chair and Dave Bromley was voted in as Vice Chair.

3. Director's Report

### Adjournment

An all in favor motion was made to adjourn.

## Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



## Staff Report

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**File #:** 24-264, **Version:** 1

**Date:** 7/18/2024

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Development Report

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
<b>Under Review</b>										
WM Fuel #5235 Sandy, UT	9081 S QUARRY BEND DR	SPR03112022-006282	01/03/2023			SD(X)	Ryan Alvarez		dwheelwright	Under Review
Thackeray Towns Site Plan	10760 S 700 E	SPR06242021-006083	06/24/2021		4.00	PUD(10)	John Sawyer		tirvin	Under Review
Bicentennial Park Improvements	530 E 8680 S	SPR07272023-006575	10/17/2023			OS	Jeremy Garcia		sstringham	Under Review
Red Sky Apartments	10145 S CENTENNIAL PKWY	SPR12062022-006452	05/08/2023		1.45	CBD	Corey Solum		mwilcox	Under Review
Centennial Village	235 W SEGO LILY DR	SPR12282021-006237	07/28/2022		0.49	CBD-A&C	Dan Simons	(801) 230-1339	mwilcox	Under Review
<b>Under Construction</b>										
Cyprus Credit Union	8955 S 700 E	SPR01032022-006241	08/17/2022		0.78	BC	Cyprus Credit Union		dwheelwright	Under Construction
Sandy Urban Fishery Wetlands	850 W SHIELDS LN	SPR01182022-006255	02/22/2022		61.17	OS	DAN MEDINA		dwheelwright	Under Construction
The Rio at 94th	115 W 9400 S	SPR01242023-006473			0.38	RM(12)	Jacob Toombs	8017879344	tirvin	Under Construction
St. Anna Greek Orthodox Church	9201 S 1300 E	SPR01262022-006258	03/25/2022		3.00	CN	James Derby	8016801385	dwheelwright	Under Construction
Sandy City Fire Station #31	9295 S MONROE ST	SPR02132024-006711	04/19/2024		9.44	RC	Ryan McConaghie		mwilcox	Under Construction
Sandy Public Works Phase II	8775 S 700 W	SPR02152023-006485			16.92	ID	Taylor Smith	8016368327	dwheelwright	Under Construction
UTA Civic Center Station - Site Modification	10015 S BEETDIGGER BLVD	SPR02172023-006487				MU	Nick Duerksen	8012012050	mwilcox	Under Construction
Waterford School Sports Field and Parking A	9502 1700 E, 84092	SPR03022023-006493	05/26/2023			PO	Greg Miles		dwheelwright	Under Construction
Sandy Amphitheater Plaza Expansion	1245 E 9400 S	SPR04242023-006523	07/21/2023		7.13	SD(MU)	Mearle Marsh		mwilcox	Under Construction
Dimple Dell Park - 300 East Trailhead	321 E 10195 S	SPR05132022-006318	07/12/2022		5.00	OS	Dan Sonntag	8012058201	tirvin	Under Construction
Dimple Dell Park - Badger Cove Trailhead	1651 E BADGER CV	SPR05132022-006320	08/25/2022		4.63	OS	Dan Sonntag		tirvin	Under Construction
Dimple Dell Park - Wrangler Trailhead	10305 S 1300 E	SPR05132022-006324	08/25/2022		10.38	CC	Dan Sonntag		tirvin	Under Construction
SLCo Household Hazardous Waste Facility	8775 S 700 W	SPR06042021-006065	01/05/2022		16.92	ID	Jordan Gray	3852146750	dwheelwright	Under Construction
AFCU Sandy Landscape Remodel	2104 E 9400 S	SPR07262022-006364	08/16/2022		2.23	PO	Brad Illingsworth		dwheelwright	Under Construction
Standard Plumbing	9150 S 300 W	SPR08012022-006374			3.31	ID	Chad Spencer	8014505113	dwheelwright	Under Construction
The Ridges at Dimple Dell	1405 E 10600 S	SPR08032021-006125	11/19/2021		0.02	MU	Brad Reynolds Constru	8015980246	mwilcox	Under Construction
AFCU Sandy ADA Site Improvements	2104 E 9400 S	SPR08112023-006586			2.23	PO	Brad Illingsworth		dwheelwright	Under Construction
Hansen Dental Office	9872 S 700 E	SPR08162023-006587			0.32	CN	Pete Meuzelaar		dwheelwright	Under Construction
Veterinary Emergency Group (VEG)	11084 S STATE ST	SPR08262022-006388	08/23/2023		1.20	CBD	Tahesha Silva		dwheelwright	Under Construction
Hale Centre Beehive Academy	9900 S MONROE ST	SPR10112023-006636				CBD-O	Bradley Beecher	8015974589	dwheelwright	Under Construction
WHW Engineering New Office Building	733 W 9000 S	SPR10172022-006421	05/08/2023		0.82	CvC	Win Packer	8015803301	dwheelwright	Under Construction
Cedarwood at Sandy - Expansion	575 E 11000 S	SPR11172022-006447	02/21/2023		3.87	SD(EH)	Ryan Griffiths	8019102756	tirvin	Under Construction
Trans-Jordan Waste Facility	8815 S 700 W	SPR11232022-006449				ID	Trans-Jordan Cities		dwheelwright	Under Construction
Waterford School Student Commons	1590 E 9400 S	SPR12022022-006451	06/22/2023		8.83	PO	Greg Miles	8018162289	dwheelwright	Under Construction
Main Street Park	70 E 8760 S	SPR12032021-006220	01/28/2022		0.92	R-1-7.5(HS)	DAN MEDINA	801-201-2202	mwilcox	Under Construction
Goodwill	8550 S 1300 E	SPR12202023-006675			4.39	CN	Jeffery Jensen		dwheelwright	Under Construction
<b>On Hold</b>										
Band Fire Warehouse	9618 S 500 W	SPR01272023-006477			0.51	ID	Jesse Reynolds		dwheelwright	On Hold
Summit Two - Phase 1	10250 MONROE ST, 84070	SPR03292022-006291				CBD-O	Raddon Summit Hotel,		dwheelwright	On Hold
Sandy Park Center retail pad	9835 S MONROE ST	SPR04152022-006306			0.73	CBD-O	LeeAnn Miller	3852996262	dwheelwright	On Hold
Master Muffler	9235 S 700 E	SPR06292022-006355			0.44	CC	Brandy Donecker	2103716751	dwheelwright	On Hold
Smith's Altaview Fuel Center	10315 S 1300 E	SPR07202021-006107			0.46	CC	Anderson Wahlen & As	801-913-8406	dwheelwright	On Hold
Harmons Landscape Improvements	7755 S 700 E	SPR07262022-006365			7.12	CN	Frank Lunquist		dwheelwright	On Hold
Summit Two at the Cairns	10250 S CENTENNIAL PKWY	SPR08032021-006124			5.07	CBD-O	Anthony Lyman	8012304582	dwheelwright	On Hold
Classic Fun Center	9151 S 255 W, 84070	SPR09072023-006606				RC	David Henderson		dwheelwright	On Hold
<b>Resubmit</b>										
Garden of Resurrection Larkin Sunset Garder	1950 E DIMPLE DELL RD	SPR04172024-006752			69.19	R-1-20A	Rob Larkin	8015414184	dwheelwright	Resubmit
Latin Grill	1289 E 8600 S	SPR04182024-006756			1.23	CN	Robert Dance		dwheelwright	Resubmit
Rasht Development Project	8475 S STATE ST	SPR04242024-006758			0.99	RC	Ramin Nasrabadi		dwheelwright	Resubmit
Willow Creek Country Club - Maintenance A	8505 S WILLOW CREEK DR	SPR05172024-006771			11.09	OS	James B Glascock		dwheelwright	Resubmit

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
South Towne II	10150 S CENTENNIAL PKWY	SPR05302024-006777			7.63	CBD-O	Logan Prete		dwheelwright	Resubmit
Tagg N Go Express Car Wash	7750 S 700 E	SPR06282023-006556			0.42	CN	Thomas Hunt		dwheelwright	Resubmit
Creek Rd Office Condos - 5th AMD	7410 CREEK RD 301 84093	SPR07072021-006096	09/23/2021			PO	Marcus Green		tirvin	Resubmit
Office Building at 11000 South	65 E 11000 S	SPR09202023-006624			0.18	LC	Alta Construction		dwheelwright	Resubmit
OneTen Apartments	109 W 11000 S	SPR10242022-006427	08/18/2023		0.07	CBD	Corey Solum		mwilcox	Resubmit
<b>Others</b>										
Betos Mexican Restaurant	255 W 9000 S	SPR01042022-006242				RC	Brennan Alldredge	8013054869	dwheelwright	Complete
Woodhaven Estates	7613 S 300 E	SPR01102023-006464	12/18/2023		0.98	PUD (12)	Brandon Fry		tirvin	Pending
Waterford School Science Center	1480 E 9400 S	SPR01112022-006245	03/10/2022		7.28	PO	Greg Miles		dwheelwright	Complete
Bicentennial Park Localscapes Conversion	552 E 8680 S	SPR01242024-006702	03/12/2024			OS	Ben Rodes	2088607297	sstringham	Pending
Storm Mountain Park Localscapes Conversio	11426 S 1000 E	SPR01242024-006703	03/08/2024			OS	Ben Rodes	2088607297	sstringham	Pending
MACU Event Cenenter/ SLCO	9575 S STATE ST	SPR01292024-006706			0.96	CBD	Jordan Gray	3582145760	dwheelwright	Pending
Sandy Shulsen Mixed Use	10115 MONROE ST, 84070	SPR02082023-006482	12/14/2023			CBD-A&C	Howard Cooke	801-664-8132	mwilcox	Pending
EOS Fitness Sandy	10291 S 1300 E	SPR02162024-006713			2.99	CC	Art Babcock		dwheelwright	Open
Compass Apartments	9295 S MONROE ST	SPR02212024-006719			9.44	RC	Cole Peterson	8014484486	mwilcox	Preliminary Review
The Orchards at Dimple Dell	10216 S DIMPLE DELL RD	SPR03262024-006738	05/01/2024		5.80	R-1-10	Brett Lovell	8017064693	tirvin	Pending
School Yard Phase 3	11020 S STATE ST	SPR04222021-006032	09/20/2021		3.07	CBD	Jake Tate	801-910-5340	dwheelwright	Complete
Camp Bow Wow Sandy	9495 S 700 E	SPR05112021-006049	04/13/2022			CC	JarNel, Inc. DBA: Can	801-860-2085	dwheelwright	Complete
Kelly Lund Mechanical Addition	415 W 9800 S	SPR05122021-006050	06/17/2021		0.47	RD	Kelly Lund	801-300-3906	dwheelwright	Complete
Dimple Dell Park - Lone Peak Trailhead	10042 S 700 E	SPR05132022-006322	08/25/2022		4.65	OS	Dan Sonntag		tirvin	Pending
Quick Quack Car Wash	7708-7720 S 700 E	SPR05142024-006769				CN	Hailey Peterson		dwheelwright	Preliminary Review
East Sandy State Liquor and Wine Store	1880 E 9400 S	SPR05242022-006333	08/15/2022			SD(Magna)	DABC		dwheelwright	Complete
TrenzOil	9750 S 700 E	SPR05272022-006335	10/27/2022		0.65	CN	Jonathan Flores		dwheelwright	Complete
Sandy Lease Building	9492 S HIGHLAND	SPR06112021-006073	09/02/2021			SD(Magna)	Brandon Lundeen	801-347-2369	dwheelwright	Complete
GSL Production Facility	8626 S SANDY	SPR06112021-006074	02/02/2022			CR-PUD	Carl Greene	801-641-3894	dwheelwright	Complete
Jacksons C Store 191	1295 E 10600 S	SPR06162021-006076	09/20/2021		0.59	CC	Michael Sroufe	8017693013	dwheelwright	Complete
Bout Time Pub & Grub Patio Addition	31 W 10600 S	SPR06162021-006077	09/07/2021			AM	Russ Naylor	8012432727	dwheelwright	Complete
Ken Garff Hyundai Southtowne Remodel	10770 S AUTO MALL	SPR06182021-006078	07/09/2021			AM	Kirk Randall	8014036847	dwheelwright	Complete
Raising Cane's	10986 S STATE	SPR06182021-006079	09/22/2021			AM	LuAron Foster		dwheelwright	Complete
Sandy City - Gold Star Family Monument	10000 S CENTENNIAL PKWY	SPR06212022-006350			7.04	CBD-O	Chris McCandless		bbohlander	Complete
Challenger School Site Plan	10670 S 700 E	SPR06242021-006084	06/24/2021		5.45	CN	Matt Cooper	8019107439	dwheelwright	Complete
The Orchard at Farnsworth Farms	11237 S FARNSWORTH	SPR06282021-006089	10/12/2021			PUD(10)	Joe Salisbury		tirvin	Complete
Prime Insurance Storage Bldg/Site	8722 S HARRISON	SPR07092021-006099	12/02/2021			RC	Sean Bujold		dwheelwright	Complete
Comcast Sandy Utah	9602 S 300 W	SPR07122021-006101	07/26/2021		5.49	RD	Ed Pugsley	801-815-7363	dwheelwright	Complete
Zions Bank Sandy/Southtowne	125 W 10600 S	SPR07272022-006367	05/08/2023		1.14	AM	Angelica Fierro		dwheelwright	Complete
Sandy Public Works Fuel Island	8775 S 700 W	SPR07272022-006369	08/25/2022		16.92	ID	Paul Browning		dwheelwright	Complete
RT & CL Investment Properties	9580 S 500 W	SPR07282022-006370	10/27/2022		1.00	ID	Chris Liddell	8018705841	dwheelwright	Complete
Sage Vet Clinic	8590 S 1300 E	SPR07292021-006115	01/20/2022		0.48	CN	Frederick Halupka	801-244-7908	dwheelwright	Complete
Maverik	10640 S HOLIDAY PARK	SPR07292021-006116	08/05/2021			AM	Robert Poirier	801-450-0189	dwheelwright	Complete
Alta Canyon Pickleball Courts	9565 S HIGHLAND DR	SPR07302021-006118	07/30/2021		1.51	OS	Dan Medina		tirvin	Complete
Dimple Dell Commercial	1373 E 10600 S	SPR08012022-006375	10/27/2022		0.28	CC	Josh Gera		dwheelwright	Complete
JVWCD 700 East Well House	7618 S 700 E	SPR08212023-006589			0.49	PUD(12)	Kevin Rubow	8015654377	dwheelwright	Final Review
Beehive Academy - Shopko Site	2165 E 9400 S	SPR08312021-006140	12/16/2021		9.18	CN	PACE CM - Tyler Bodr	801-725-7337	dwheelwright	Complete
Stage Office Storage Building	8238 700 E, 84070	SPR09212022-006407	12/07/2023			BC	Ross Drummond	8015737620	dwheelwright	Open
Kuwahara Wholesale	8575 STATE ST, 84070	SPR10162023-006639				SD(FM-HS)	Alex Kuwahara	8016916592	tirvin	Preliminary Review
Sandy East Village Ph 3 & Dry Creek Apartm	166 E MIDVILLAGE BLVD	SPR11142022-006445				MU	IBI Group		mwilcox	Approved
Shelter The Homeless	8955 S HARRISON ST	SPR11212023-006659			1.50	RC	Laurie Hopkins		manderson	Complete
Parkland Industrial Building/Greenlaw Partne	565 W PARKLAND DR	SPR11292021-006217	06/28/2022		6.70	ID	Niko Hardman		dwheelwright	Complete

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Parkland Waterline Loop to 700 W	565 W PARKLAND DR	SPR11292022-006450			6.70	ID	Niko Hardman		dwheelwright	Complete
McDonald's	9346 S 700 E	SPR12162021-006226	03/25/2022		0.79	CC	Darrin Perkes	8018154227	dwheelwright	Complete

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
<b>Under Review</b>										
Sheep Ranch Subdivision	3170 E LITTLE COTTONWOOD RD	SUB01042023-006461	06/15/2023	12.00		R-1-15	Aaron Rust	8014976642	tirvin	Under Review
Crescent Wood Estates	543 E 10735 S	SUB02032022-006262	02/03/2022		0.50	R-1-20A	Arthur J. (A.J.) Kim	8019133400	tirvin	Under Review
Debenham Lot LIne Adj	10 S COBBLEWOOD	SUB05192021-006055				PUD(1.62)	Daniel Debenham	801-808-7190	tirvin	Under Review
Lambert - Magleby construction	11489 S OBERLAND RD	SUB06052023-006543	08/04/2023	1.00	2.10	PUD(2)	Laura Bunker	8014928087	manderson	Under Review
Stadium Block Fire Station Subdivision	9295 S MONROE ST	SUB06272023-006554	04/22/2024		9.44	RC	RYAN KUMP		tirvin	Under Review
Second (2nd) Amendment to South Towne C	10450 S STATE ST	SUB08302023-006600	10/25/2023	5.00	5.09	CBD	Jason Boal		mwilcox	Under Review
Sandy East Village Lot 2, Second Amended	10020 S BEETDIGGER BLVD	SUB09102021-006149	11/19/2021	2.00		MU	Ken Shields		tirvin	Under Review
Brand Estates Subdivision	285 E 11000 S	SUB10112022-006417	08/31/2023	12.00	4.46	R-1-15	Kyle Denos	8017937660	tirvin	Under Review
Pepperwood Phase 10C Amended	3 S COBBLEWOOD CV	SUB11012021-006197	11/19/2021	2.00	0.71	PUD(1.62)	David Jenkins	8016312999	mwilcox	Under Review
South Towne Market Place Subdivision	10130 S STATE ST	SUB12182023-006671	04/03/2024	2.00	4.89	CBD	Jason Boal		mwilcox	Under Review
Jiffy Lube	2039 E 9400 S	SUB12192022-006457	04/02/2024	2.00	5.60	CN	Daniel Canning		dwheelwright	Under Review
<b>Under Construction</b>										
Cyprus Credit Union Subdivision	8955 S 700 E	SUB01122022-006248	07/05/2023	2.00	0.78	BC	Cyprus Credit Union		dwheelwright	Under Construction
Monte Cristo at LaCaille	9701 S 3775 E	SUB04262021-006034	11/29/2021	13.00		R-1-15	Chris McCandless	8015974575	mwilcox	Under Construction
Crescent View Peaks	137 E 11000 S	SUB04272021-006035	06/18/2021			R-1-40A	Kyle Simons	8013814687	tirvin	Under Construction
Hagan Road Subdivision	11523 S HAGAN	SUB05072021-006045	06/02/2021			R-1-20A	Blair Johnson	8013011078	tirvin	Under Construction
Windflower Townhomes	9349 S WINDFLOWER	SUB06142021-006075	06/14/2021	3.00		PUD(12)	Randy Moore		tirvin	Under Construction
Park Lane Amended	1775 E 11400 S	SUB07082022-006359	09/21/2022	2.00	0.35	SD(R-2-A)	Laine Fluekiger	8015715541	tirvin	Under Construction
Longpath Subdivision	11510 S HAGAN RD	SUB08292022-006389	11/21/2022	1.00	0.56	R-1-20A	Kyle Simons	8013814687	tirvin	Under Construction
Sandy Oaks Subdivision Phase 5	8449 S 300 E	SUB11222022-006448	02/22/2023	2.00		R-1-7.5(HS)	Greg Larsen	8016081600	tirvin	Under Construction
<b>On Hold</b>										
Raddon Summit Subdivision	10250 MONROE ST, 84070	SUB08312022-006390		3.00		CBD-O	Raddon Summit Hotel,		dwheelwright	On Hold
<b>Resubmit</b>										
Corner Bend Subdivision	2186 E POWDERKEG DR	SUB01142022-006249	06/21/2022		0.18	R-1-8	Dan Moore	801-554-8920	tirvin	Resubmit
Dimple Dell Ridge Lot 1 Amended Plat	1703 E DIMPLE DELL RD	SUB01182022-006256	07/05/2022	1.00	0.69	R-1-20A	Mark Goodsell	801-361-0909	tirvin	Resubmit
Southeast Industrial Park Amended Condomi	8496 S HARRISON ST	SUB02222022-006272	04/08/2022	16.00	1.95	RC	David McKinney		tirvin	Resubmit
Meek Subdivision	3761 E LITTLE COTTONWOOD LN	SUB02282024-006722	04/23/2024	2.00		R-1-8	Robert Meek	3854810189	tirvin	Resubmit
Aspan Plaza Condo Amendment	849 E 9400 S	SUB03262024-006735				SD(CC)-Ti	SCOTT A DILLEY	8017067384	tirvin	Resubmit
Dimple Dell Ridge Consolidation	1727 DIMPLE DELL RD 84092	SUB04012024-006741				R-1-20A	Efren Lopez		tirvin	Resubmit
Red Sky Apartments	10140 S CENTENNIAL PKWY	SUB04102023-006516	05/08/2023	1.00		CBD-P	Corey Solum		mwilcox	Resubmit
Lot 4 Jason K Circle	182 E 9000 S	SUB04102024-006745		2.00	0.85	R-1-8	Jill Kinder	8017184622	tirvin	Resubmit
Sandy Park Center Lot 3 Amended	9835 S MONROE ST	SUB04152022-006305	06/07/2022	2.00	0.73	CBD-O	LeeAnn Miller	3852996262	tirvin	Resubmit
Crabtree Subdivision	2845 E LITTLE COTTONWOOD RD	SUB06142022-006347		2.00		R-1-15	Tami Crabtree	8012314484	tirvin	Resubmit
Sierra Estates III	3677 E LITTLE COTTONWOOD RD	SUB06172024-006786		2.00		R-1-10	Robert Grow		tirvin	Resubmit
Thackeray Towns Subdivision	10760 S 700 E	SUB06242021-006082	06/24/2021	41.00	4.00	PUD(10)	John Sawyer		tirvin	Resubmit
Oberland Road Subdivision	2900 E OBERLAND RD	SUB06282022-006352		3.00		R-1-40A	Dustin Freckleton	5127796368	tirvin	Resubmit
Tagg N Go Express Car Wash	7750 S 700 E	SUB06282023-006557		1.00	0.42	CN	Thomas Hunt	8016644724	dwheelwright	Resubmit
Edgemont Elementary Subdivision	1085 E GALENA DR	SUB08232021-006136		1.00	6.68	R-1-8	Leon Wilcox	8015415372	tirvin	Resubmit
Badger Cove	1651 E BADGER COVE	SUB09132023-006609				OS	Dustin Wiberg	8018287865	tirvin	Resubmit
Sandy Station Block 59 Subdivision	8810 S 90 E	SUB09232022-006408	09/15/2023	2.00	0.23	R-1-7.5(HS)	Mark stephenson	8015148797	tirvin	Resubmit
Sandy Station Block 20 Subdivision	240 E 8960 S	SUB09282022-006410	09/15/2023	2.00	0.24	R-1-7.5(HS)	Mark stephenson	8015148797	tirvin	Resubmit
<b>Others</b>										
Woodhaven Estates Subdivision	7613 S 300 E	SUB01182023-006471	12/18/2023	24.00	0.98	PUD (12)	Brandon Fry		tirvin	Pending
GSL Electric New Production Facility	595 W SANDY PKWY	SUB01252024-006704		1.00	1.70	CR-PUD	Carl Greene	8016413894	dwheelwright	Fees Paid
Crescent View Peaks Lot Line Adjustment	137 E 11000 S	SUB02042022-006263				R-1-20A	Stonybrook Building C		tirvin	Complete
Cottages on 80th Plat Amendment	8031 S 625 E	SUB02222023-006491	03/21/2023	3.00	0.02	RM(12)	Troy Ferran	8012597533	tirvin	Complete

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Franciose/Hutchins	11727 S AUTUMN RIDGE DR	SUB03082023-006494	05/31/2023	2.00	0.32	SD(R-1-15)	Laurel Franciose	8017034085	tirvin	Complete
Pepperwood Phase 5 and Phase 11F Amending	9 BENT HOLLOW LN	SUB03162023-006503	05/24/2023	2.00		PUD(1.62)	Dave Bromley	8012303842	tirvin	Complete
Dimple Dell Ridge Consolidation	1727 DIMPLE DELL RD 84092	SUB03192024-006733				R-1-20A	Efren Lopez		tirvin	Received
OneTen Apartments	109 W 11000 S	SUB03292023-006511	08/18/2023	1.00	0.07	CBD	Corey Solum		mwilcox	Fees Paid
Somerset Villas	625 E 8100 S	SUB04042022-006297	07/27/2022	6.00		RM(12)	Clayton Homes, Inc.	8018599995	tirvin	Pending
Wilson Lot Consolidation	660 E 8680 S	SUB04232023-006522			0.19	RM(12)	Jonathan Wilson	8016608221	tirvin	Complete
Synergy Canyons 1st AMD	9150 S SANDY PKWY	SUB05032021-006038	05/03/2021			ID	Soren Urry	4355030496	tirvin	Complete
Sandy Mall Subdivision 2 Amending Lot 1	9471 S 700 E	SUB05062021-006044	06/21/2021	2.00	22.62	CC	FPA Sandy Mall Assoc		tirvin	Complete
Alta Park Subdivision	11190 S 1000 E	SUB05072024-006766	07/02/2024	4.00	1.17	R-1-8	Hayley Pratt, Castlewo	407-617-0698	tirvin	Final Review
Mt Jordan Meadows No. 4	75 E 9270 S	SUB05102021-006046	07/16/2021			R-1-8	Ryan Kump	8015986196	tirvin	Complete
Wild Goose Estates	2570 E 10000 S	SUB05112021-006048	05/11/2021	7.00		R-1-20A	Josh Kasteler	8016942322	tirvin	Complete
Derricott Subdivision	8566 S JOHNSONWAY	SUB05172021-006052	07/16/2021	2.00		R-1-8	Daniel Derricott	8019712114	tirvin	Complete
Pebble Hills	1165 E 8600 S	SUB05182021-006053	05/19/2021	14.00		R-1-8	Duaine Rasmussen	8015567632	tirvin	Complete
Myers-Long Lot Line Adjustment	3035 E HIDDENWOOD DR	SUB05192024-006772			0.71	PUD(1.62)	David Myers	5102195349	tirvin	Open
Sierra Estates 2-3	3677 E LITTLE COTTONWOOD RD	SUB05232024-006773				R-1-10	S. SCOTT CARLSON	8014503511	tirvin	Received
Somerset Villas	625 E 8100 S	SUB05262022-006334				RM(12)	Clayton Homes, Inc.	8018599995	tirvin	Complete
The Rio at 94th Subdivision	115 W 9400 S	SUB05312024-006779		3.00	0.38	RM(12)	Jacob Toombs		tirvin	Open
KV Larson Subdivision	963 E 8600 S	SUB06132023-006549	02/02/2024	8.00	2.50	SD(R-1-7)	Ronald K. Larson	2067137789	tirvin	Pending
East Town Village Condo Plat	8327 STATE ST 84070	SUB06132023-006550		1.00		MU	Charles Akerlow		tirvin	Fees Due
GEORGE LAKE SUBDIVISION AMENDED	8644 S HARVARD PARK DR	SUB06132024-006782		2.00	0.50	R-1-8	Brent Lake	8015189776	tirvin	Fees Due
Quick Quack Sandy Harmons	7708 700 E	SUB06252024-006790		3.00		CN	Russ Nelson		tirvin	Fees Paid
The Orchard at Farnsworth Farms	11237 S FARNSWORTH	SUB06282021-006091	10/12/2021	96.00		PUD(10)	Joe Salisbury		tirvin	Complete
Altawood No 2 2nd Amendment	19 ALTAWOOD	SUB06282021-006092	10/20/2021	2.00		R-1-20	Tony Calderone		tirvin	Complete
Myers/Long property line adjustment	3035 E HIDDENWOOD DR	SUB07022024-006793			0.71	PUD(1.62)	David Myers	5102195349	tirvin	Open
AFCU 10000 South Sandy - Parcel Consolidation	76 W SEGO LILY DR	SUB07032023-006559			3.66	CBD-O	AWA Engineering (Ric	7023706962	dwheelwright	Complete
Creek Rd Office Condos - 5th AMD	7410 S CREEK RD 301	SUB07072021-006097	09/23/2021	1.00		PO	Marcus Green		tirvin	Complete
Myers-Long lot line change	3035 E HIDDENWOOD DR	SUB07102024-006796		2.00	0.71	PUD(1.62)	David Myers	5102195349	tirvin	Open
Alta Canyon 2 Subdivision	9855 S 3100 E	SUB07132023-006568		4.00	1.79	R-1-15	Dana Conway	8018914880	tirvin	Pending
Lot 206 Pepperwood Creek Phase 2	10909 SECRET VIEW RD, 84092	SUB07162021-006105	11/19/2021	1.00		PUD(1.62)	Logan Locke		tirvin	Complete
Albion Village Condo Consolidation	65 ALBION VILLAGE WAY 405 8407	SUB07162021-006106	07/21/2021			MU	Kevin Rindlisbacher	480-251-0325	tirvin	Complete
Pepperwood 11E	2 S BENTWOOD LN	SUB08022021-006119	08/02/2021		1.18	PUD(1.62)	Dave Bromley	801-230-3842	tirvin	Complete
Pepperwood 11F	2 S BENTWOOD LN	SUB08022021-006120	08/02/2021		1.18	PUD(1.62)	Dave Bromley	801-230-3842	tirvin	Complete
The Ridges at Dimple Dell	1405 E 10600 S	SUB08052021-006127	11/19/2021	49.00	0.02	MU	Paul Ranstrom	8015980246	tirvin	Complete
Sandy City Centre Plat Second Amended and	215 W 10000 S, 84070	SUB08152022-006383		4.00		CBD-A&C	David A Jenkins	8016312999	mwilcox	Open
Majestic Overlook Plat Amendment	3253 BELL CANYON RD 84092	SUB09172021-006154	11/12/2021	2.00		R-1-10	Michael Day		tirvin	Complete
The Shops at South Town Amended Subdivision	10450 S STATE ST KA-2	SUB10122021-006180	07/21/2023	13.00		CBD	Leeza Evensen		mwilcox	Complete
Kuwahara Wholesale	8575 STATE ST, 84070	SUB10162023-006638		1.00		SD(FM-HS)	Alex Kuwahara	8016916592	tirvin	Fees Due
Lot 102 & 103 Tannenbaum Cove Amd	9682 S TANNENBAUM CV	SUB10252022-006428	01/24/2023		0.32	R-1-10	Alec Moffitt	8018307560	tirvin	Complete
Maverik - Utah Auto Mall Ph 1 Amd	175 10600 S 84070	SUB11092021-006202	12/03/2021	1.00		AM	Kevin Deis		tirvin	Complete
Parkland Subdivision/Greenlaw Partners	565 W PARKLAND DR	SUB11152021-006208	06/07/2022	4.00	6.70	ID	Niko Hardman		dwheelwright	Complete
SCENIC OAKS AMENDED LOT 5 PLAT	2156 E SCENIC OAKS CV	SUB11152022-006446	03/04/2023	1.00	0.61	R-1-20A	Robert Holfeltz	8018428459	mwilcox	Complete
Wendy Davis Lot Line Adj	9066 S JASON K CIR	SUB12062023-006668			0.28	R-1-8	Wendy Davis		tirvin	Received
Oakwood Cove Estates 2nd Amdeded	8038 OAKWOOD VISTA CV, 84093	SUB12262021-006235		1.00		R-1-8	Avraham Galili	9164258429	tirvin	Denied