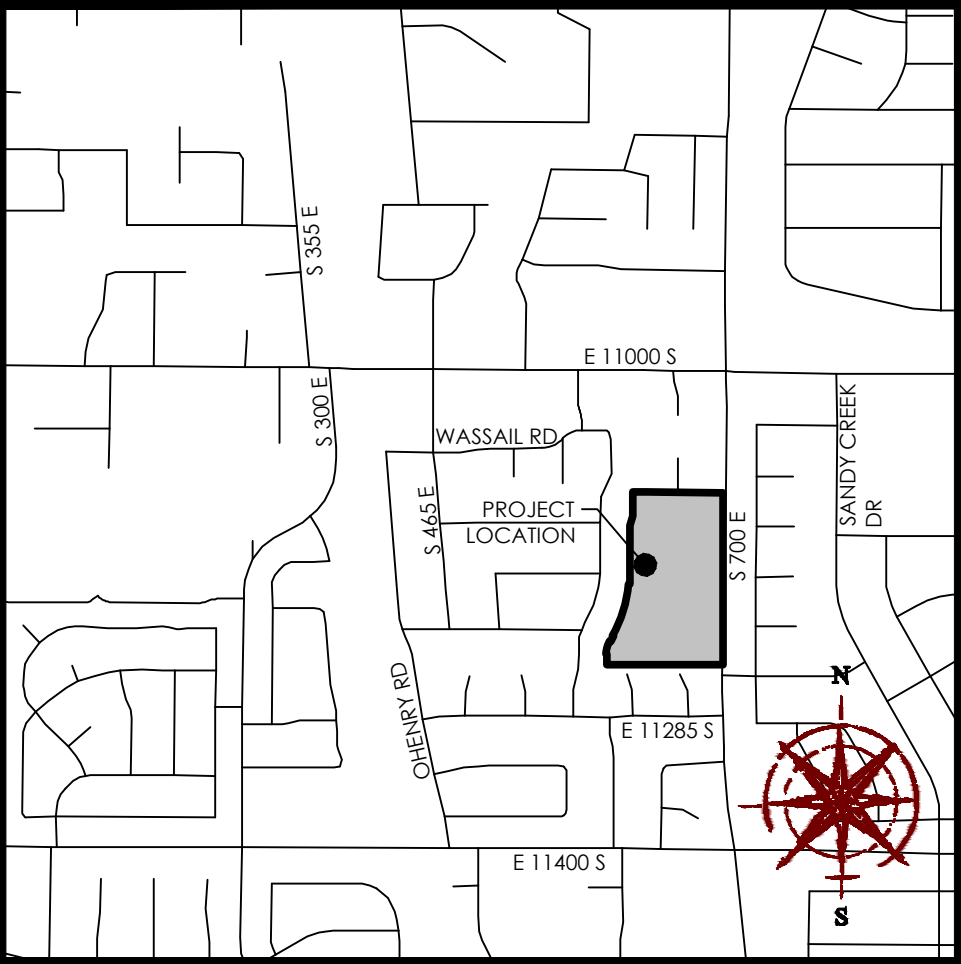




CUP06282021-006086/SPR06282021-006089/SUB06282021-006091
Conditional Use Permit/Site Plan/Subdivision
11237 S. Farnsworth Ln

0 100 200 400 600 800 1,000 Feet

PRODUCED BY CRAIG EVANS
COMMUNITY DEVELOPMENT DEPARTMENT



VICINITY MAP
N.T.S.

Curve Table					Line Table		
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH	LINE	DIRECTION
C3	51.15	50°15'46"	44.88	N64°20'42"E	43.45	L2	N90°00'00"E
C4	14.00	50°23'40"	12.31	N64°48'10"W	11.92	L3	S89°39'05"E
C5	26.00	50°23'40"	22.87	N64°48'10"W	22.14	L4	N89°39'05"E
C6	216.00	17°27'21"	65.81	N09°04'35"E	65.55	L5	S69°39'05"E
C11	184.00	5°55'09"	19.01	S03°18'29"W	19.00	L6	N69°39'05"W
C12	28.00	90°20'55"	44.15	S44°49'33"E	39.72	L7	N20°20'55"E
C13	66.00	90°20'55"	104.07	S44°49'33"E	93.62	L9	S83°43'56"E
C14	222.00	20°00'00"	77.49	S10°20'55"W	77.10	L10	N74°58'33"W
C16	28.00	68°40'29"	33.56	S55°39'46"W	31.59	L11	S89°43'34"E
C17	192.00	6°18'04"	21.12	S18°10'29"W	21.10	L13	S89°46'05"E
C19	44.00	68°40'29"	52.74	S55°39'46"W	49.64		
C20	208.00	20°58'36"	76.15	S10°50'13"W	75.73		
C21	200.00	20°00'00"	69.81	N10°20'55"E	69.46		
C22	200.00	20°00'00"	69.81	S10°20'55"W	69.46		
C23	44.00	90°20'55"	69.38	S44°49'33"E	62.41		
C25	178.00	20°00'00"	62.13	S10°20'55"W	61.82		
C26	230.00	20°58'36"	84.21	S10°50'13"W	83.74		
C27	66.00	68°40'29"	79.11	S55°39'46"W	74.46		
C29	20.00	50°23'40"	17.59	S64°48'10"E	17.03		
C30	20.00	50°23'40"	17.59	S64°48'10"E	17.03		
C31	50.00	5°08'16"	4.48	S40°06'05"E	4.48		
C32	51.27	22°24'55"	20.06	S59°47'24"W	19.93		
C34	160.00	14°04'51"	39.32	N13°18'29"E	39.22		
C38	168.00	14°39'54"	43.00	N07°41'30"E	42.88		

Line Table		
LINE	DIRECTION	LENGTH
L12	N90°00'00"E	12.39
L3	S89°39'05"E	18.00
L4	N89°39'05"E	18.00
L5	S69°39'05"E	21.98
L6	N69°39'05"W	24.00
L7	N20°20'55"E	2.05
L9	S83°43'56"E	24.00
L10	N74°58'33"W	24.00
L11	S89°43'34"E	24.00
L13	S89°46'05"E	20.01

SANDY CITY GENERAL NOTES AND NOTE TO PURCHASERS:

1. REQUIREMENTS HAVE BEEN IMPOSED RELATING TO THE DEVELOPMENT OF THIS SUBDIVISION AND DEVELOPMENT ON EACH OF THE LOTS.
2. BUILDING PERMITS/CERTIFICATES OF OCCUPANCY MAY NOT BE ISSUED UNTIL CERTAIN IMPROVEMENTS HAVE BEEN INSTALLED.
3. CERTAIN MEASURES ARE REQUIRED TO CONTROL BLOWING SOIL AND SAND DURING CONSTRUCTION ON A LOT.
4. NO TREES SHALL BE PLANTED IN PUBLIC PARK STRIPS LESS THAN 8 FEET WIDE. CENTERLINE OF TREE(S) SHALL BE PLANTED A MINIMUM OF 4 FEET AWAY FROM BACK OF CURB AND EITHER SIDE OF SIDEWALK.
5. NO DRIVEWAYS SHALL BE CONSTRUCTED AS TO SLOPE TOWARD ANY STRUCTURES WITHOUT WRITTEN PERMISSION FROM SANDY CITY ENGINEER.
6. EVIDENCE THAT THE CONTRACTOR HAS A SANDY CITY PERMIT TO WORK IN THE PUBLIC WAY SHALL BE PRESENTED TO THE BUILDING DIVISION PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT THE PUBLIC WORKS DEPARTMENT FOR MORE INFORMATION.
7. ALL ROADWAYS THAT ARE NOT PRIVATE ROADS ARE DEDICATED TO SANDY CITY AS RIGHT-OF-WAY ("R.O.W.") FOR PUBLIC AND UTILITY USE.
8. UNITS WITH PLAT ARE SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS & RESTRICTIONS RECORDED CONCURRENTLY WITH THE PLAT.

THE REQUIREMENTS AND CONDITIONS SET FORTH IN NOTES 1-8 ABOVE ARE DETAILED IN THE SANDY CITY COMMUNITY DEVELOPMENT AND ENGINEERING FILES (KNOWN AS SUB06282021-006091) AS SUCH FILES EXIST AS OF THE DATE OF THE RECORDING OF THE PLAT, THE CONDITIONS OF APPROVAL IMPOSED BY THE SANDY CITY PLANNING COMMISSION, THE SANDY CITY STANDARD SPECIFICATION FOR SANDY BUILDING CODE, AND THE SANDY CITY LAND DEVELOPMENT CODE REQUIREMENTS MAY BE IMPOSED AS REQUIRED BY THE APPLICABLE SANDY CITY ORDINANCES AT THE TIME OF ADDITIONAL DEVELOPMENT APPLICATIONS AND APPROVALS RELATED TO THE SUBJECT PROPERTY.

EASEMENT APPROVAL		SANDY CITY MAYOR	
CENTURY LINK	DATE	PRESENTED TO THE SANDY CITY MAYOR THIS	DAY OF
ROCKY MOUNTAIN POWER	DATE	20	A.D.
DOMINION ENERGY	DATE	AT WHICH TIME THE SUBDIVISION WAS APPROVED AND ACCEPTED.	
COMCAST	DATE	MAYOR	
ATTEST: SANDY CITY RECORDER		SEAL	

PLAT PREPARED BY		PREPARED FOR:	
OWNER/DEVELOPER		DAI	
14304 SOUTH, 145 E SUITE 204		DRAPER, UTAH 84024	
(801) 870-1810		CONTACT: JOE SALISBURY	

RECORD OF SURVEY	
R.O.S. NO.	
MAYOR	
ATTEST: SANDY CITY RECORDER	

SANDY CITY PARKS AND REC.	
APPROVED THIS	DAY OF
	A.D. 20
DIRECTOR	

PUBLIC UTILITIES DEPARTMENT	
APPROVED THIS	DAY OF
	A.D. 20
PUBLIC UTILITIES ENGINEERING MANAGER	

SALT LAKE COUNTY HEALTH DEPT.	
APPROVED THIS	DAY OF
	A.D. 20
CITY ATTORNEY	

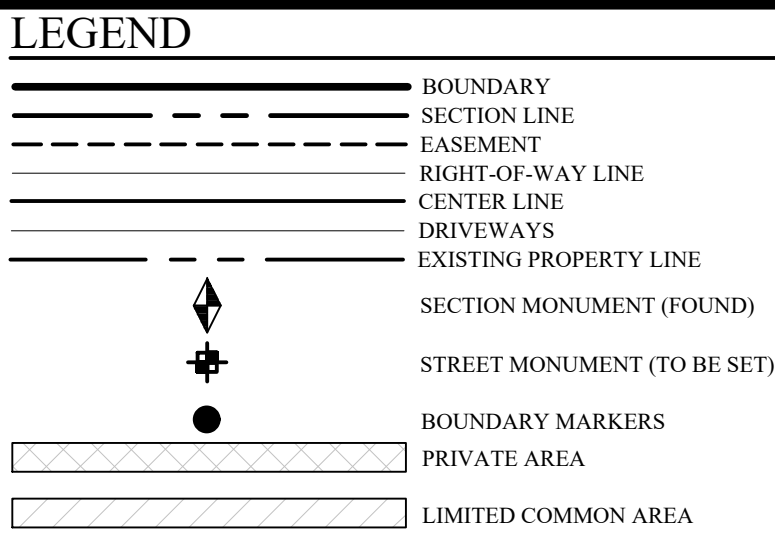
SANDY CITY ATTORNEY	
APPROVED AS TO FORM THIS	DAY OF
	A.D. 20
CITY ATTORNEY	

PLANNING COMMISSION	
APPROVED THIS	DAY OF
	A.D. 20
CHAIRMAN	

SANDY CITY ENGINEER	
APPROVED THIS	DAY OF
	A.D. 20
CITY ENGINEER	

THE ORCHARD

PRELIMINARY PLAT
LOCATED IN THE NE 1/4 OF SECTION 19, T3S, R1E,
SALT LAKE BASE & MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH



NORTHEAST CORNER OF
SECTION 19, T3S, R1E, SLB&M
FOUND 2.5IN FLAT BRASS
SALT LAKE COUNTY MONUMENT

S00°04'20"W 2639.59' (CALCULATED)

S00°04'20"W 684.78'

N89°55'40"W 72.51'

POINT
OF BEGINNING

700 EAST (PUBLIC ROAD)

S0°14'35"W 408.98'

S0°14'43"W 464.15'

N0°13'50"E 252.54'

N0°13'50"E 185.04'

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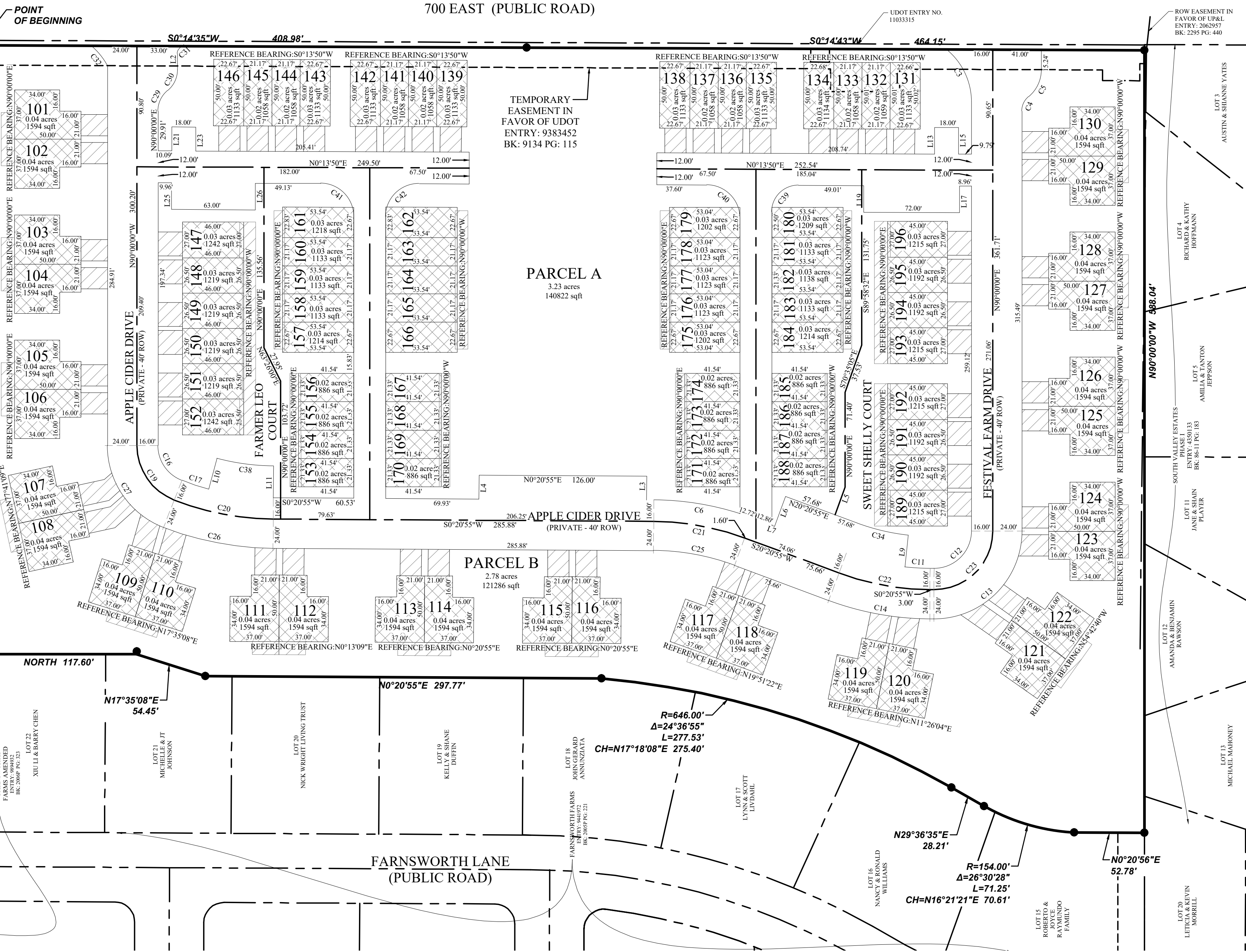
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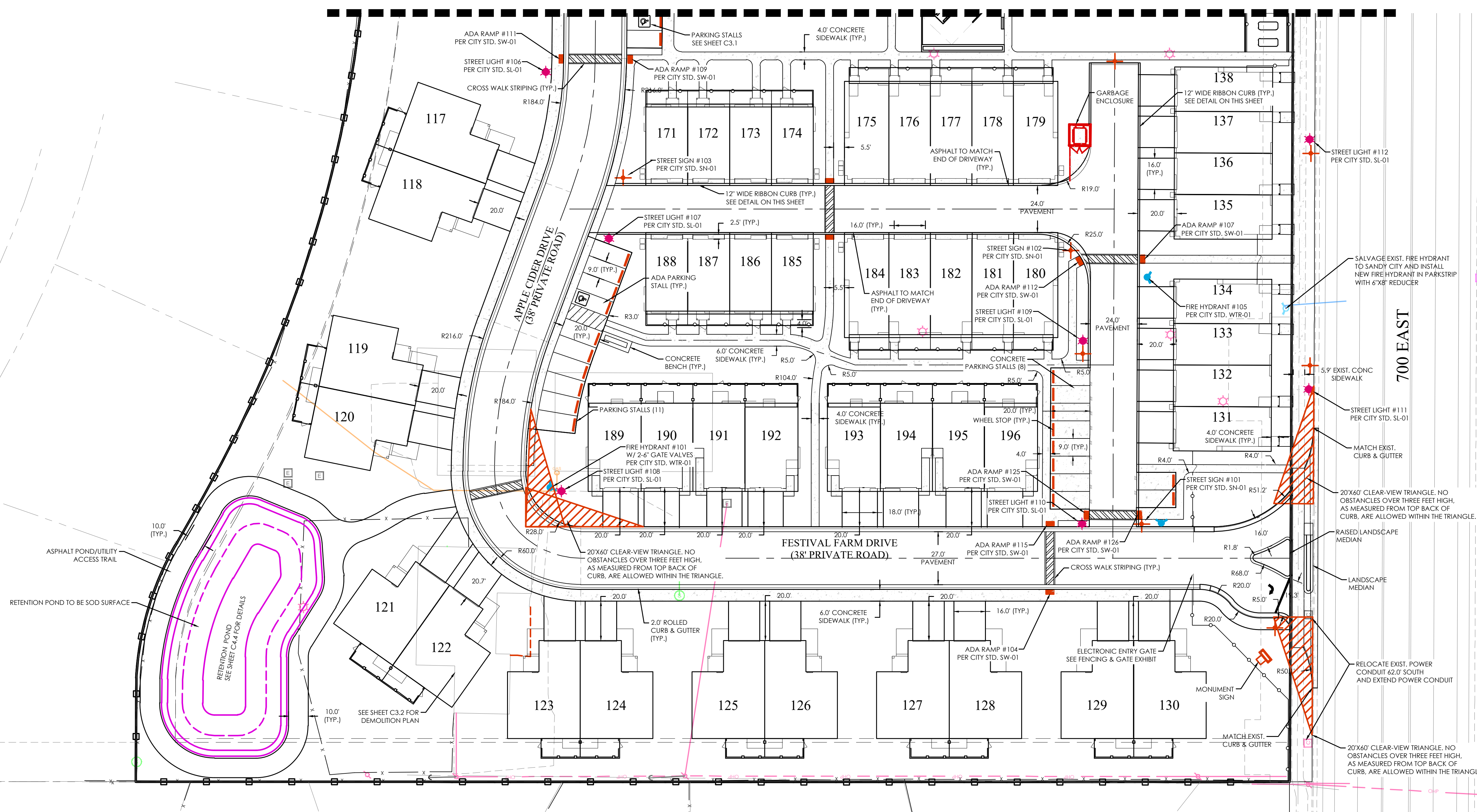
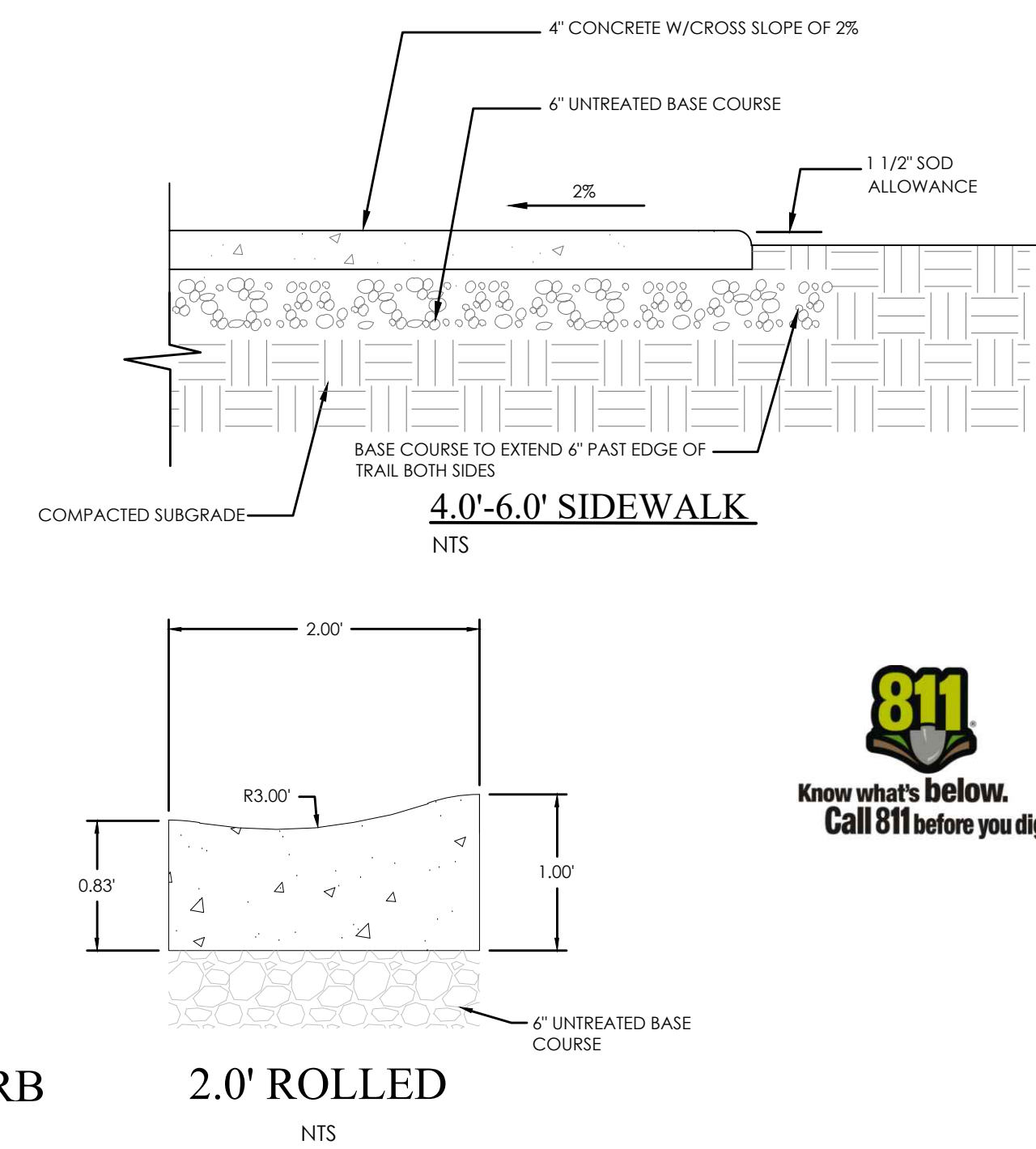
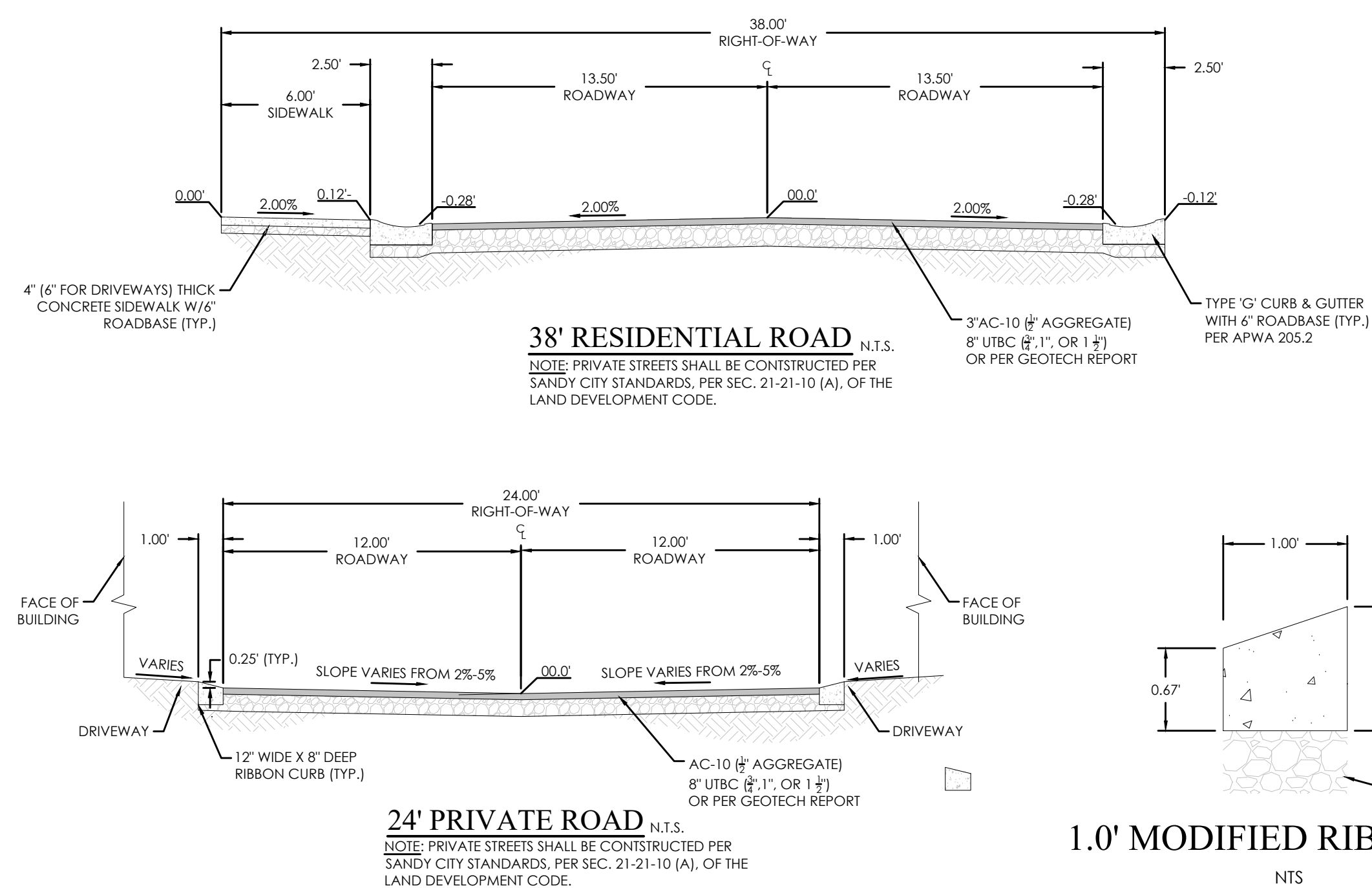


	BOUNDARY
	ROW
	CENTERLINE
	LOT LINE
	EASEMENT
	15" STORM DRAIN
	8" SANITARY SEWER
	8" CULINARY WATER
	8" SECONDARY WATER
	CONTOUR MAJOR
	CONTOUR MINOR
	EXIST. STORM DRAIN
	EXIST. SANITARY SEWER
	EXIST. CULINARY WATER
	EXIST. CONTOUR MAJOR
	EXIST. CONTOUR MINOR
	SIGN
	STREET LIGHT
	SD MH, INLET, AND COMBO
	SEWER MANHOLE
	CULINARY VALVE, TEE & BEND
	SECONDARY VALVE, TEE & BEND
	WATER BLOW-OFF
	FIRE HYDRANT
	STREET MONUMENT (TO BE SET)
	EXIST. STREET MONUMENT
	EXIST. SD INLET & MH
	EXIST. SEWER MH
	EXIST. VALVE, TEE, & BEND
	EXIST. FIRE HYDRANT
	SPOT ELEVATION

(IN FEET)
1 inch = 30 ft.



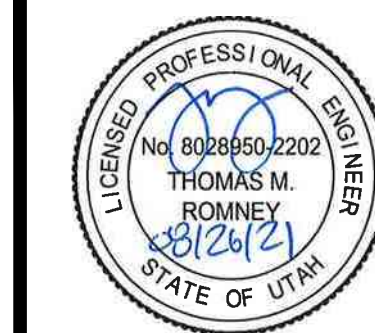
1. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.
2. ALL PUBLIC IMPROVEMENTS, WHICH ARE TO BE OWNED AND MAINTAINED BY SANDY CITY, AND ALL PUBLICLY- AND PRIVATELY-OWNED AND MAINTAINED ROADS SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION). THE SPECIFICATIONS CAN BE FOUND IN .PDF FORMAT ON LINE AT WWW.SANDY.UTAH.GOV (SEARCH FOR "STANDARD SPECIFICATIONS").
3. PROVIDE A PROCTOR TEST, FOR ROADBASE MATERIAL, THAT IS TO BE PLACED IN THE PUBLIC RIGHT-OF-WAY TO THE SANDY CITY PUBLIC WORKS INSPECTOR, WHEN DELIVERED OR PLACED ON SITE.
4. FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT. SANDY CITY STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN, HOWEVER, UNLESS GEOTECHNICAL REPORT RECOMMENDATIONS ARE MORE STRINGENT."
5. BUILDER/OWNER SHALL OBTAIN AN EXCAVATION PERMIT FROM SANDY CITY PUBLIC WORKS DEPARTMENT PRIOR TO DOING ANY WORK IN THE SANDY CITY RIGHT-OF-WAY. TRAFFIC PLAN, BONDING, AND INSURANCE WILL BE REQUIRED.
6. NOTIFY SANDY CITY PUBLIC WORKS INSPECTION DEPARTMENT, 801-568-2999, 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF ANY ROADWAYS OR PUBLIC IMPROVEMENTS, INCLUDING SEWER FACILITIES. ALL INSPECTIONS MUST BE DONE PRIOR TO OR CONCURRENT WITH CONSTRUCTION. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE UNCOVERING AND/OR REMOVAL OF ALL ITEMS INSTALLED WITHOUT NOTIFICATION, AT THE DISCRETION OF THE CITY ENGINEER.
7. BUILDER/OWNER SHALL REPLACE ANY EXISTING SIDEWALK OR CURB & GUTTER, ALONG THE FRONTAGE OF THIS PROJECT, THAT IS FOUND TO BE LIFTED, CHIPPED, CRACKED, SPALLED, OR NOT PROPERLY FINISHED, AS DIRECTED BY THE SANDY CITY INSPECTOR.
8. ALL IMPROVEMENTS WITHIN THE UTAH DEPARTMENT OF TRANSPORTATION (UDOT) RIGHT-OF-WAY SHALL BE CONSTRUCTED AS REQUIRED BY UDOT REGION TWO.
9. BUILDER/OWNER SHALL OBTAIN AN EXCAVATION PERMIT FROM UTAH DEPARTMENT OF TRANSPORTATION (UDOT) REGION TWO PRIOR TO DOING ANY WORK WITHIN THE UDOT RIGHT-OF-WAY.
10. DUST, MUD, AND EROSION SHALL BE ADEQUATELY CONTROLLED, BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS, AT ALL TIMES, HOWEVER, THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS, FOR DUST SUPPRESSION, IS ABSOLUTELY PROHIBITED.
11. INSTALL SURVEY MONUMENTS ACCORDING TO THE RECORDED PLAT PER SALT LAKE COUNTY SPECIFICATIONS.
12. INSTALL SURVEY RIVETS, OFFSET FROM EACH LOT'S PROPERTY CORNERS, IN CURB OR SIDEWALK.
13. PROVIDE SLOPE AWAY FROM BUILDINGS THAT COMPLIES WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (2% MINIMUM/1% MAXIMUM ON HARD SURFACES; 5% MINIMUM/2:1 MAXIMUM IN LANDSCAPE AREAS--FOR A MINIMUM OF 10 FEET IN ANY CASE).
14. PRIOR TO RELEASE OF THE GUARANTEE FOR IMPROVEMENTS, AND ACCORDING TO THE "CITY ENGINEER REQUIREMENTS FOR IMPROVEMENTS" PROJECT, THE DEVELOPER SHALL SUBMIT A .PDF COPY OF THE CONTRACTOR'S SITE (NOT BUILDING) CONSTRUCTION DRAWING SET TO SANDY CITY PUBLIC WORKS DEPARTMENT. AN AS-BUILT FIELD SURVEY IS NOT REQUIRED. THE AS-BUILT DRAWING MAY BE SUBMITTED BY E-MAIL AT dpoulseu@sandy.utah.gov, OR ON A US FLASH DRIVE, OR THE HARD-COPY ORIGINAL, MAY BE SUBMITTED TO SANDY CITY (DAVE POULSEN, 801-568-6058), WHERE THE SET WILL BE SCANNED AND RETURNED TO THE OWNER.



REVISION BLOCK		
#	DATE	DESCRIPTION
1	11-1-12	11-1-12
2	11-1-12	11-1-12
3	11-1-12	11-1-12
4	11-1-12	11-1-12
5	11-1-12	11-1-12

Scale: 1"=30'	Drawn: CFT
Date: 8/26/2021	Job #: 20-0558
Sheet:	

C3



THE ORCHARD

SANDY CITY, UT

SITE PLAN

Request for Special Exception

8-20-2021

Re: Request for private roads with less than 52' of right-of-way

The private roads within our site plan have less than 52' of right-of-way. We are requesting a special exception to allow for the proposed private roads

I believe this project is eligible for a waiver because for the following reasons:

1. Increasing the right-of-way for the private road system would eliminate open space and push buildings closer together leaving a less desirable development.
2. Focus Engineering evaluated the feasibility of different vehicle types on the road. According to their analysis, large trucks and diesel trucks could navigate through the project.
3. The right-of-way was designed to relate to the farm theme in having smaller roads to slow traffic and to create a pedestrian friendly project.
4. This community is meant to be a reflection of the look/feel of historic Sandy. As a result, having a larger right-of-way would make it appear like a "concrete jungle" and take away from the intended look/feel of an intimate country cottage lane.

We believe our current road system, as approved by the city council, will enhance both the aesthetics and functionality of the community for residents.

Best regards,

Joe Salisbury
DAI

Request for Special Exception

8-20-2021

Re: Request to fence height for The Orchard at Farnsworth Farms

Based on strong requests from adjacent neighbors, we are seeking a special exception to increase the height of the perimeter fence to 8 feet along all perimeter property lines except along 700 East. We believe this is a valid request for the following reasons:

1. Adjacent landowners along the north, west, and south property lines strongly requested to have a taller fence to provide increased privacy and to mitigate noise resulting from the new development. We designed the proposed 8-foot tall stone fence to satisfy with the requests of neighbors.
2. The 8-foot tall fence will increase the safety of the residents living in this community.

We believe the taller stone fence will satisfy the neighbors' request and provide for a safer and quieter community.

Best regards,

Sandy City

The Orchard at Farnsworth Farms will have a private main road that connects to 700 East with two access points. Additionally, we are installing entrance gates at each access point, making this a private road.

We believe this project is eligible for a special exception for a private road for the following reasons:

1. Gates will create added privacy to residents by limiting the amount of through traffic.
2. The private road will create a safer community by preventing nonresidents from entering without permission.
3. Gates will slow vehicles down, promoting safer and slower roads.

We also request a special exception for residential lots without public frontage. We believe the requirement to maintain a public road system within the PUD is not necessary.

Thank you,

DAI Utah

Sandy City

There are currently areas within my site plan for The Orchard at Farnsworth Farms where sidewalks have been designed on just one side of the road. I am requesting to have the sidewalk requirement waived, that requires sidewalks to be on both sides of the road.

I believe this project is eligible for a waiver because for the following reasons:

1. I've designed an extensive walking path system throughout the project that allows residents to easily walk between open space areas, parking spaces, and homes.
2. Crosswalks have been designed throughout the development to provide residents with safe and easy options to cross the private road within the community.
3. The community is going to be gated, which will lessen the number of cars driving through the community, making it safer to only have a full sidewalk on one side of the road.
4. This community is meant to be a reflection of look/feel of historic Sandy. As a result, having full sidewalks on both sides of the road will make it appear like a "concrete jungle" and take away from the intended look/feel of an intimate country cottage lane.

As a result, I believe the requirement to have sidewalks on both sides of the road in this community is unnecessary.

Thank you

Request for Special Exception

8-20-2021

Re: Request to reduce sidewalk widths within mews for The Orchard at Farnsworth Farms

The Pedestrian Mews within our site plan have sidewalks that are narrower than the required 8 feet. We are requesting a special exception to allow for the proposed 6-foot sidewalks for the following reasons:

1. The pedestrian mews within the community are very narrow and the required 8-foot sidewalks occupy a disproportionately large percentage of this area between buildings. We believe it would be much better for the community to have more green space as opposed to wide concrete sidewalks within the mews.
2. We have designed an extensive walking path system throughout the entire community to provide residents the ability to easily walk between open space areas, parking spaces, and homes. This extensive path system should more than offset the minor 2-foot reduction in sidewalk width within the mews.

We believe 6-foot sidewalks would enhance the aesthetics and functionality of the mews within this community.

Best regards,

Joe Salisbury
DAI

Request for Special Exception

9-08-2021

Re: Request to modify width requirement of pedestrian mews for The Orchard at Farnsworth Farms

A portion of the pedestrian mews within the site plan are slightly narrower than the required width of 26 feet. They became narrower than the mew widths shown on the original site plan approved by the City Council after implementing numerous redline modifications received from staff through the redline review process, which shrunk the mews. The mew widths are now 25.45 feet (southern mew) and 22.42 feet (northern mew), which are both just slightly narrower than the 26-foot requirement.

We are requesting a special exception to allow the mews as shown for the following reasons:

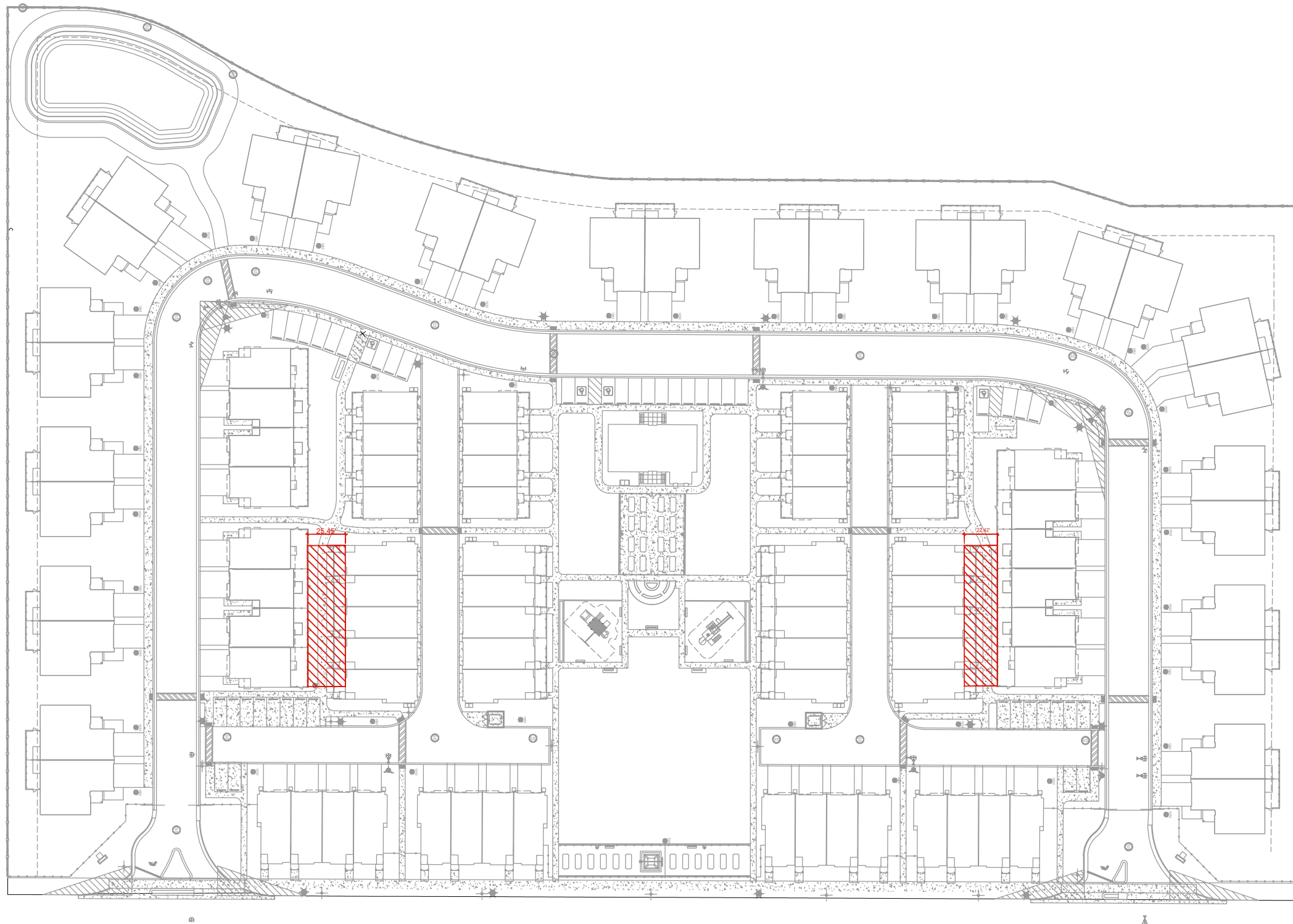
1. Preserve the center open space area to be as consistent as possible from what was originally proposed, and ultimately approved by, the City Council in October 2020. The current site plan has incorporated all city staff redlines and is as consistent as possible with the approved site plan.
2. Shrinking the center open space area to increase the pedestrian mew width would eliminate two rows of orchard trees and shrink the lawn between the playgrounds to an uncomfortable width, thus modifying the center open space area to a level that wouldn't reflect what was originally approved by the City Council. We felt that preserving the center open space was the higher priority.
3. The pedestrian mews are just slightly narrower than the required 26-foot width.

The current site plan design maximizes mew width, while maintaining the look/feel and functionality of the center open space area as approved by the City Council. The attached exhibit reflects the new pedestrian mew widths for your reference.

Best regards,



Joe Salisbury
DAI





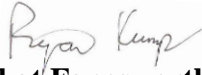
DEPARTMENT OF PUBLIC WORKS

Kurt Bradburn
Mayor

Matthew Huish
Chief Administrative Officer

Michael Gladbach, P.E.
Director

RECOMMENDATION FOR SPECIAL EXCEPTIONS

DATE: September 9, 2021
TO: Craig Evans, Planner
FROM: Ryan C. Kump, P.E., City Engineer 
SUBJECT: **Project Name:** The Orchard at Farnsworth Farms
Plan Case Number: SUB 06282021-006091
Project Address: 11237 S. Farnsworth Ln.

Joe Salisbury, the developer of the The Orchard at Farnsworth Farms townhome project, requests special exceptions for various site plan requirements. Specifically, he is requesting exceptions for:

- Right-of-way (ROW) less than 52'
- Private Roadway Network
- No park strip and sidewalk on one side of the street
- Pedestrian Mews and sidewalks less than 26'/8'

Recommendation for approval of these requests is based on the following points.

- Sandy City Council has previously reviewed a concept proposal of this development with these special exceptions and has requested this version of the site plan be taken through development as previously shown.
- Joe Salisbury, DAI, has provided letters outlining the special exceptions in detail, with reasoning and potential benefits for allowing the exceptions. Engineering agrees with the reasoning provided and sees minimal negative impacts to city infrastructure by allowing said special exceptions.
- Public roads, built to full width, are always the preferred development proposal within Sandy City. However, this proposal is adequate as shown and meets minimum engineering requirements.