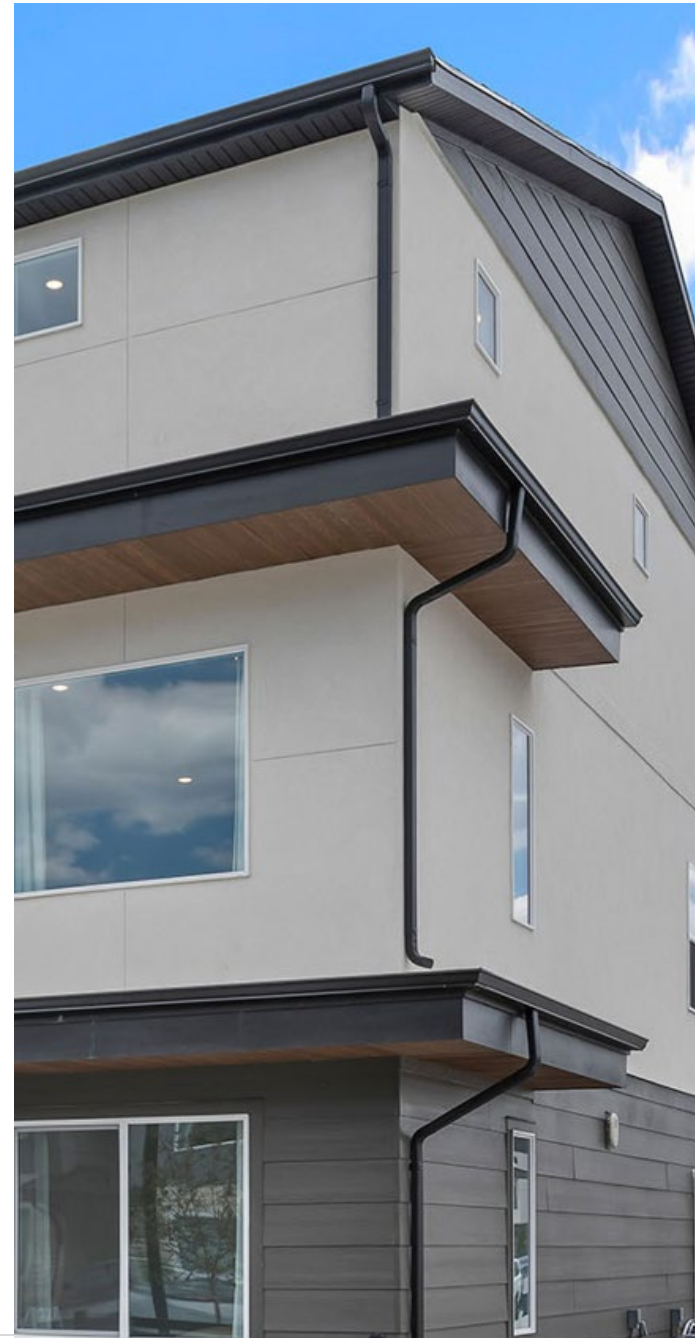




# 90<sup>th</sup> South Mixed Use Master Plan Update

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## Written Description

The 90th South Mixed-Use Master Plan spans approximately 17.75 acres along 90th South and Monroe Street, a key commercial corridor in Sandy City. The size of the property provides a unique opportunity for a master-planned, mixed-use development that aligns with Sandy City's Cairns District Master Plan and General Plan. The plan incorporates essential elements such as land use, architecture (both commercial and residential), signage, site design, and landscape standards.

The commercial district is designed to strengthen Sandy City's tax base while promoting a pedestrian-friendly environment with a 'Gateway' feel. It will also provide essential commercial amenities to the surrounding community.

The residential district serves as a transition from the more intense land uses along 90th South to the quieter, medium-density residential neighborhood to the north. The update includes adding 64 attainable, owner-occupied townhomes that are marketed toward first-time home buyers, Sandy City's employees, schoolteachers, police officers, firefighters, and other city staff. These townhomes will offer an opportunity for homeownership, enabling local workers to live near their workplaces and strengthen the community. Additionally, this residential area will support the existing and future retail developments along the 90th South corridor, providing housing for those who will work, shop, and recreate in the area.

Phase	Land Use	Units	Sq/ft
I-II (Completed)	Residential	388	34,520
III	Residential	64	129,216
IV	Retail	5	46,305
V	MVP Facility	19 Townhomes 98 Congregate	89,574

As part of the 90th South Mixed-Use Master Plan Amendment, it includes the addition of the medically vulnerable shelter. This facility is aimed at serving individuals with medical vulnerabilities, ensuring they have access to stable housing and necessary services to support their health and well-being. In the future, this site could be redeveloped to 19 permanent supportive townhomes for the clients of the medically vulnerable shelter, along with up to 64,000 SF in a new medically vulnerable shelter and the necessary office space for staff, doctors, and therapists.

This 90th South Mixed-Use project will serve as a catalyst for the redevelopment of the entire area, fostering a vibrant and connected community that meets the needs of Sandy City's workforce, local businesses, and residents in need of supportive housing.

MOUNTAIN MEETS URBAN: Design approach is to have the architectural elements be designed with an Urban approach. The buildings gestures are intended to be on the more progressive side. Possible use of metal, masonry, stone, cement board and wood looking products on key elements will emulate this. The approach to landscaping is also intended to have a mountain type design solution.



## 90th South Master Plan Site Plan



## Housing Precedent Images

### Oliver Townhome – Actual Images





## Housing Precedent Images

### Oliver Townhome – Actual Images



#### MOUNTAIN MEETS URBAN:

Design approach is to have the architectural elements be designed with an Urban approach.

Buildings gestures: intended to be more progressive.

Materials:

Possible use of:

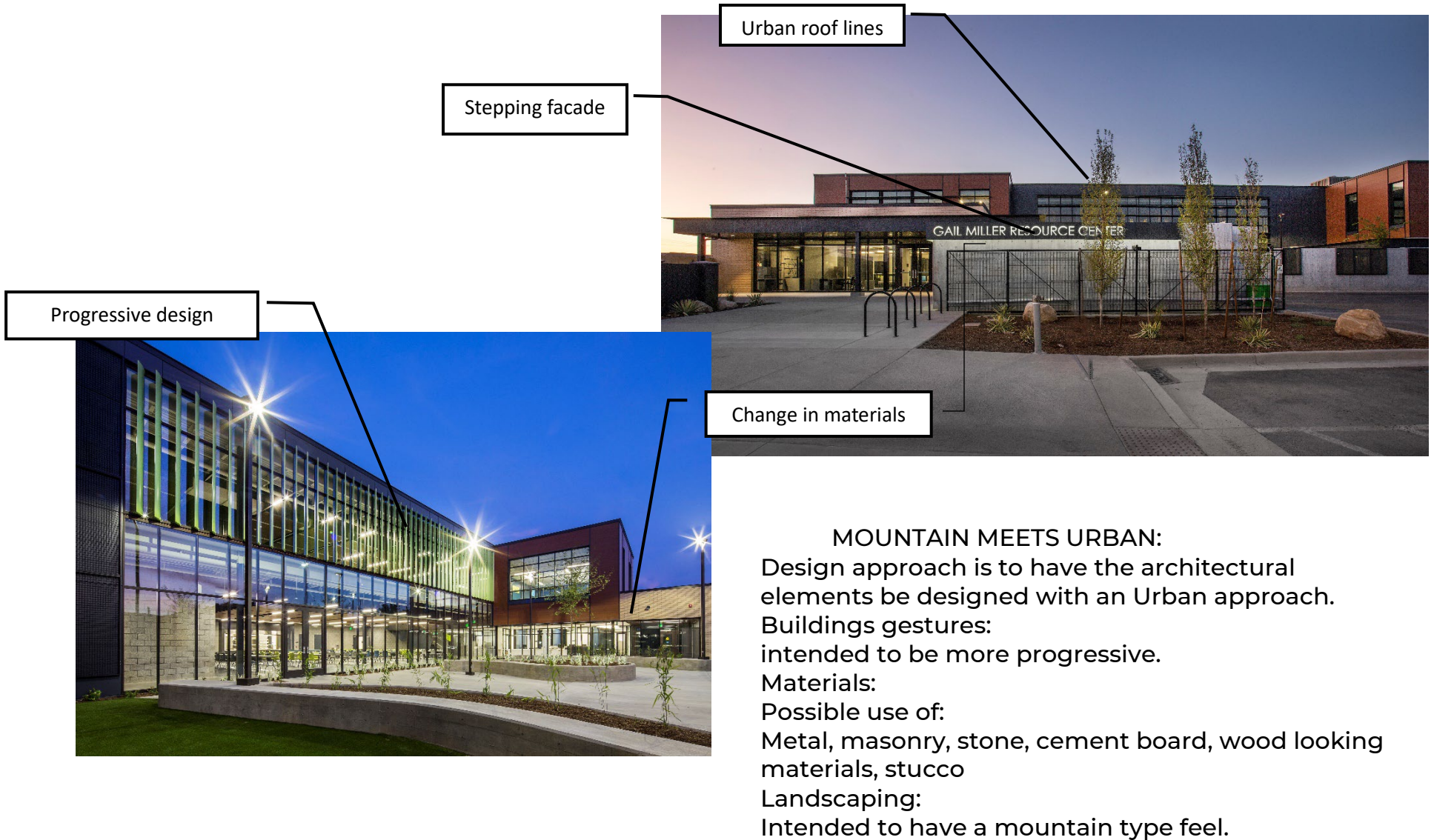
Metal, masonry, stone, cement board, wood looking materials, stucco

Landscaping:

Intended to have a mountain type feel.

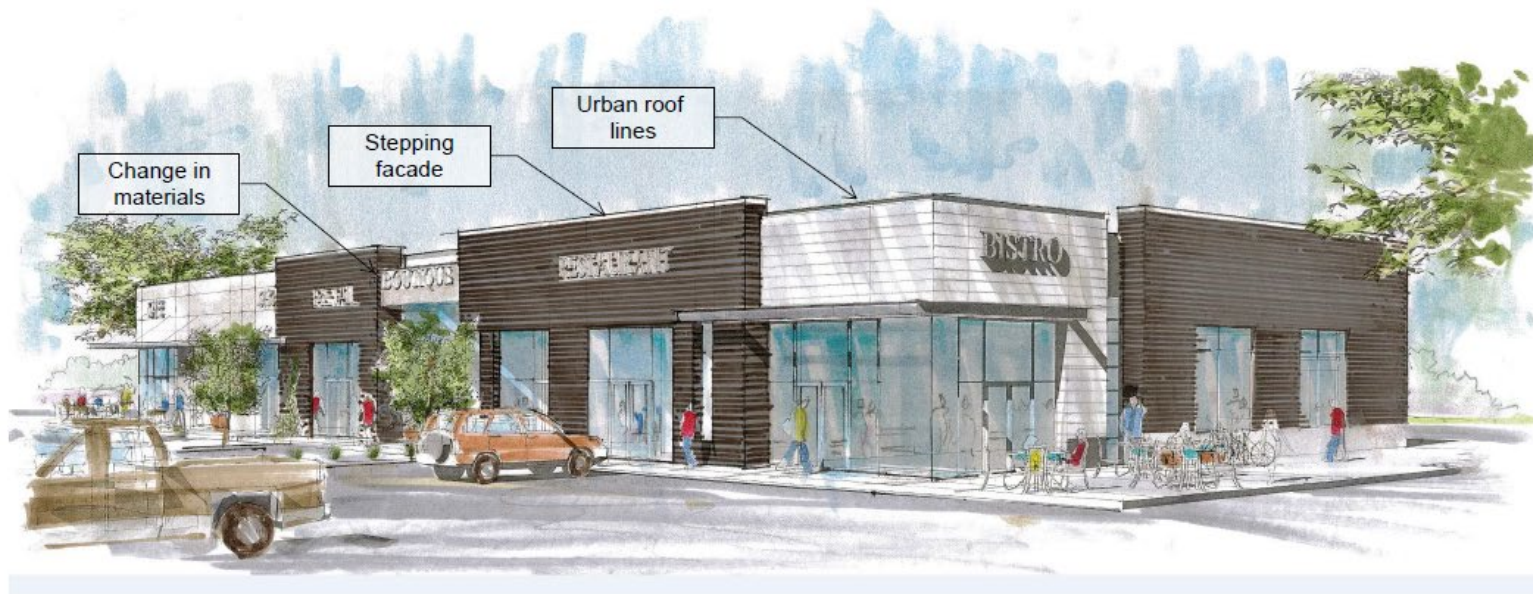
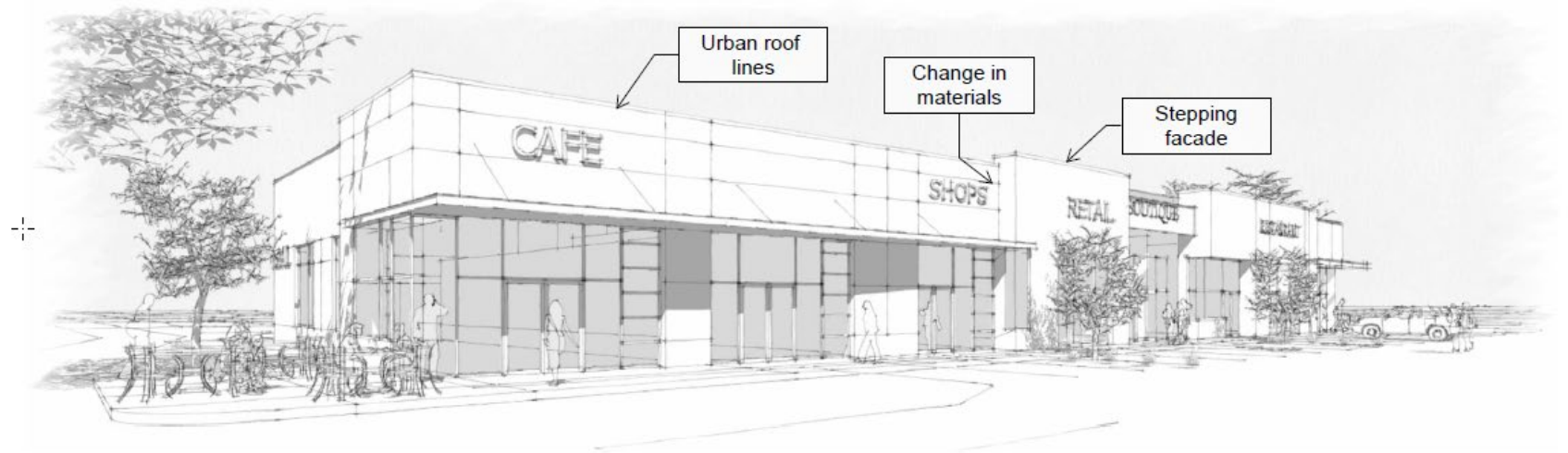


## Medically Vulnerable Housing Precedent Images





## Retail Precedent Images



**MOUNTAIN MEETS URBAN:**  
Design approach is to have the architectural elements be designed with an Urban approach.

- Buildings gestures: intended to be more progressive.
- Materials:  
Possible use of:  
metal  
masonry  
stone  
cement board  
wood looking materials  
stucco

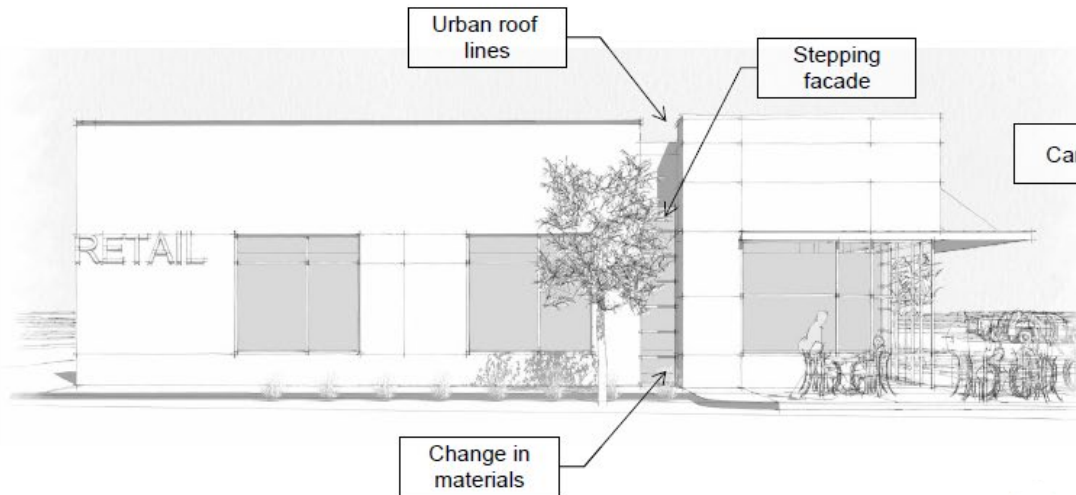


## Retail Precedent Images



**MOUNTAIN MEETS URBAN:**  
Design approach is to have the architectural elements be designed with an Urban approach.

- Buildings gestures: intended to be more progressive.
- Materials:  
Possible use of:  
metal  
masonry  
stone  
cement board  
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stucco



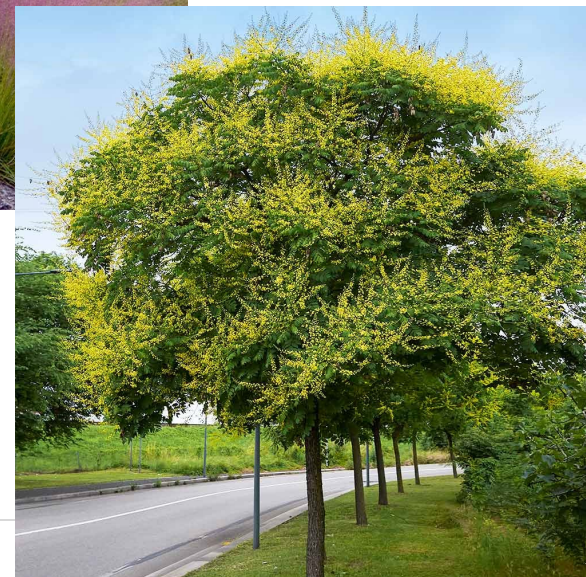


## Landscaping Precedent Images



Landscape / Open Space:  
Intended to blend the feel of the mountains  
with an urban setting while being conscious  
towards water conservation.

Possible materials:  
Native grasses, shrubs, perennials, ground cover and trees  
Stone, pavers, masonry  
Metal  
Wood looking materials





## Signage Precedent Images



Signage / Landscape:  
Invoking Mountain Meets Urban

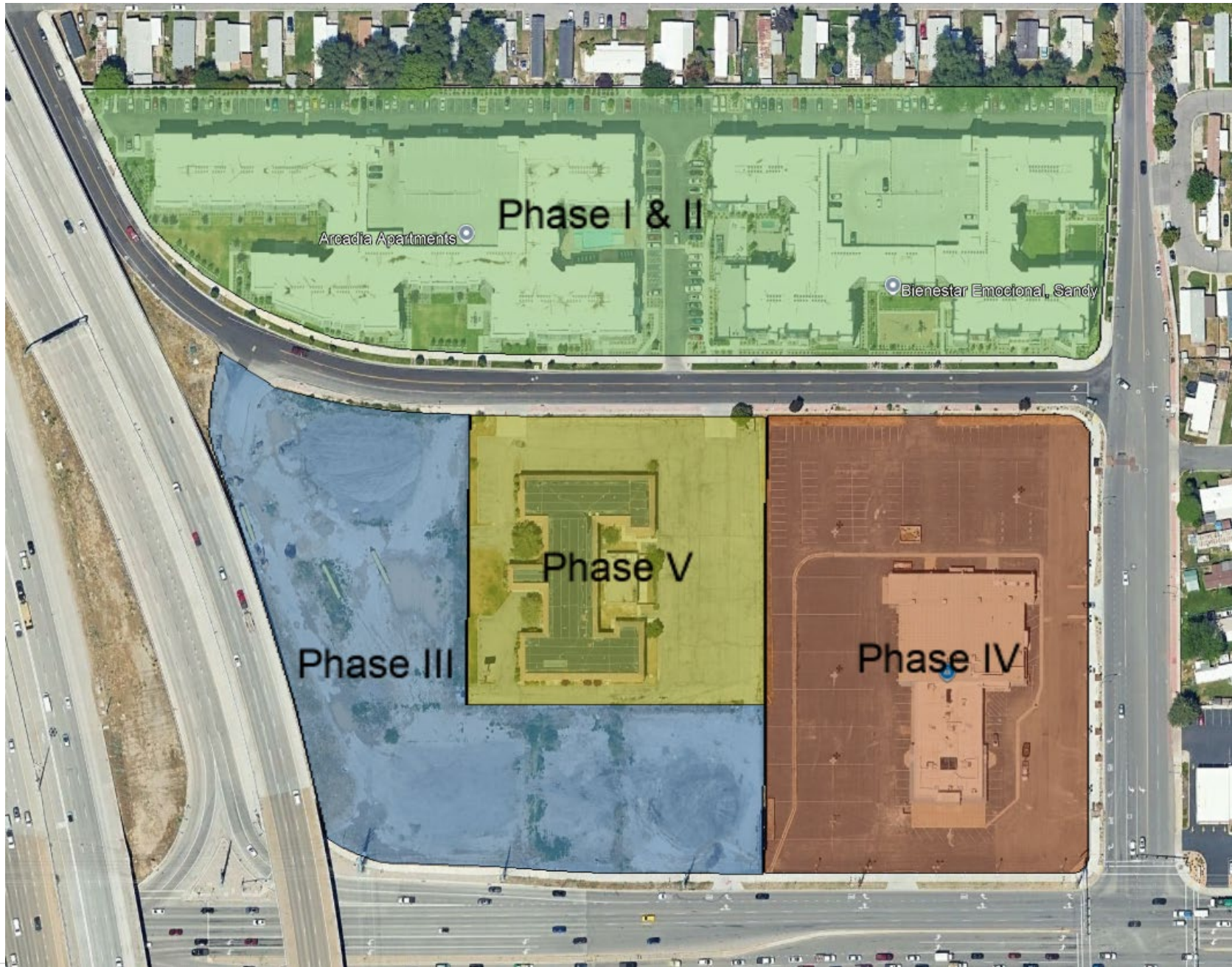
Possible materials:  
Native grasses, shrubs,  
perennials, ground cover and  
trees  
Stone, pavers, masonry  
Metal  
Wood looking materials

## Master Plan Details



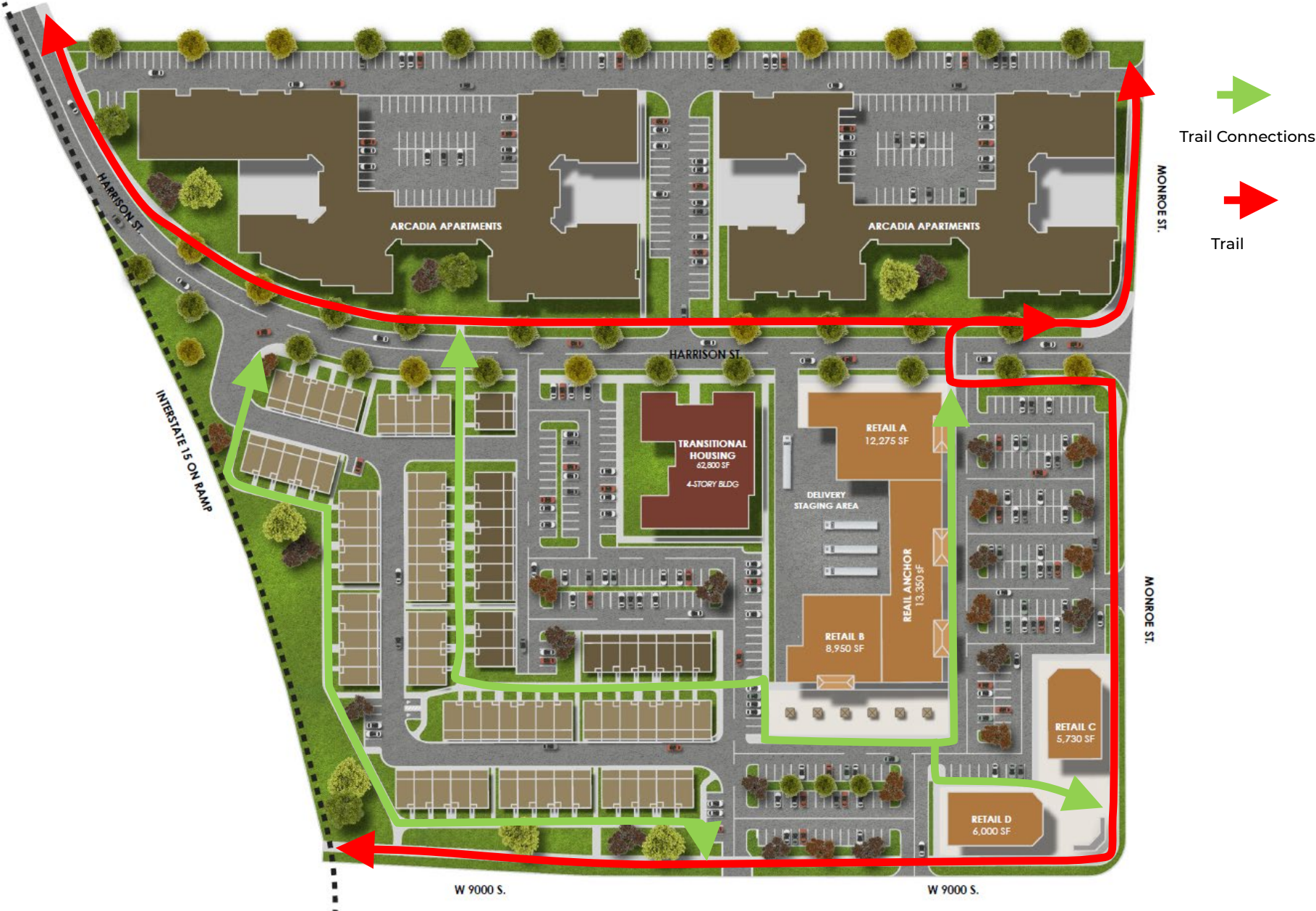


## Phasing Overview





Trail Connection





Master Plan Elements

