

811
 CALL BLUESTAKES
 @ 811 AT LEAST 48 HOURS
 PRIOR TO THE
 COMMENCEMENT OF ANY
 CONSTRUCTION.
 Know what's below.
 Call before you dig.

BENCHMARK
 SOUTH QUARTER CORNER OF SECTION 11
 TOWNSHIP 2 SOUTH, RANGE 1 EAST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 5037.24'

SILVER SAGE ESTATES PRELIMINARY PLAT

10143 DIMPLE DELL ROAD
 SANDY, UTAH

FOR REVIEW
 NOT FOR CONSTRUCTION

DATE PRINTED
 April 8, 2026

EN SIGN
 THE STANDARD IN ENGINEERING

LAYTON
 919 North 400 West
 Layton, UT 84041
 Phone: 801.547.1100

SANDY
 Phone: 801.255.0529

TOOELE
 Phone: 435.843.3590

CEDAR CITY
 Phone: 435.865.1453

RICHFIELD
 Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
 ALYSSA HOLBROOK
 4585 S. HOLLADAY FARM LN
 HOLLADAY UT

CONTACT:
 ALYSSA HOLBROOK
 PHONE: 385-315-0289

INDEX OF DRAWINGS

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NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

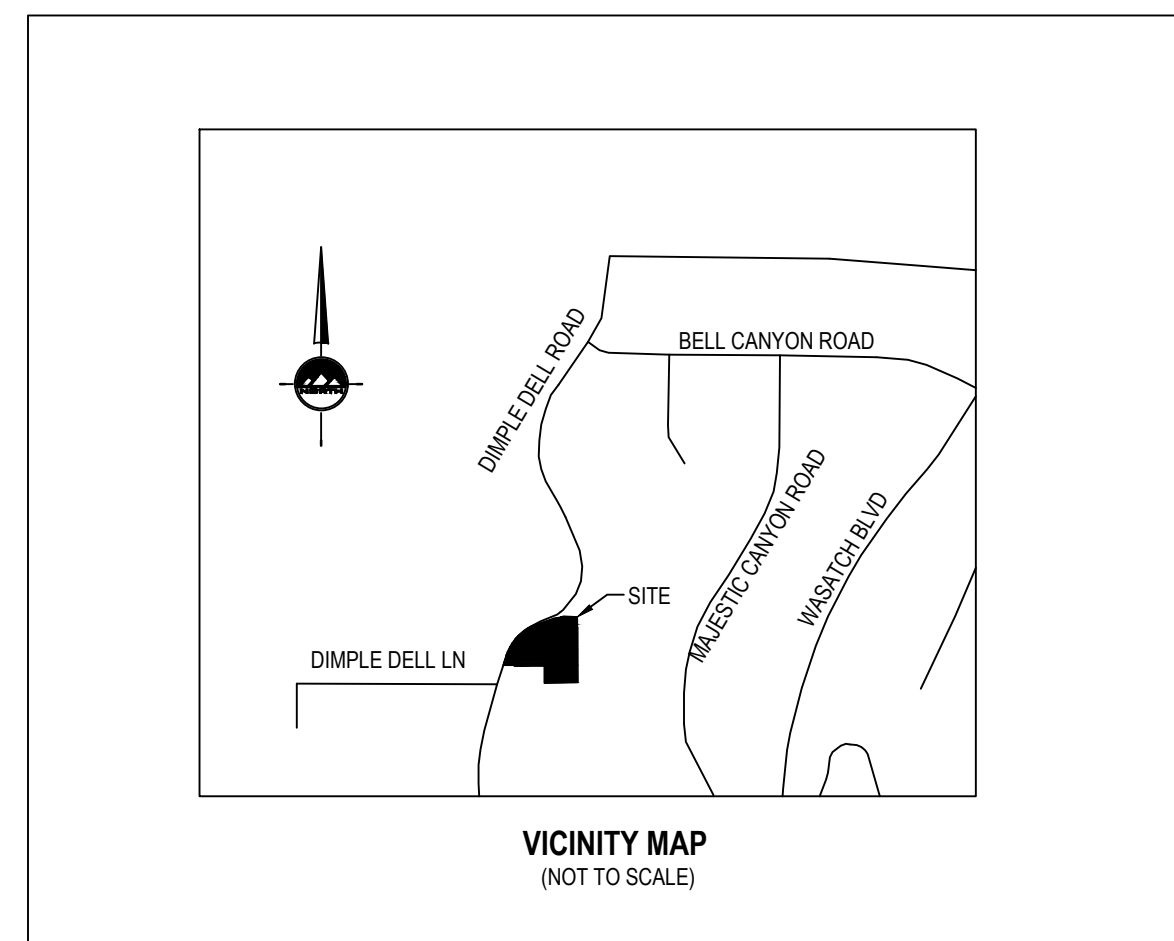
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

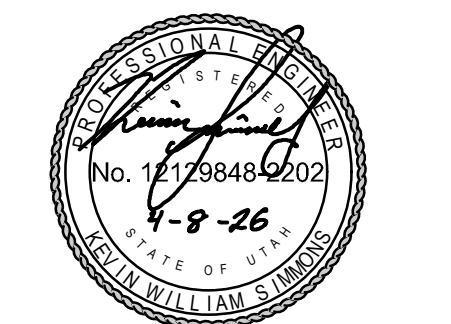
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



GENERAL NOTES

1. ALL WORK SHALL CONFORM TO SANDY CITY STANDARDS & SPECIFICATIONS.
2. CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

SILVER SAGE ESTATES
 PRELIMINARY PLAT
 10143 DIMPLE DELL ROAD
 SANDY, UTAH



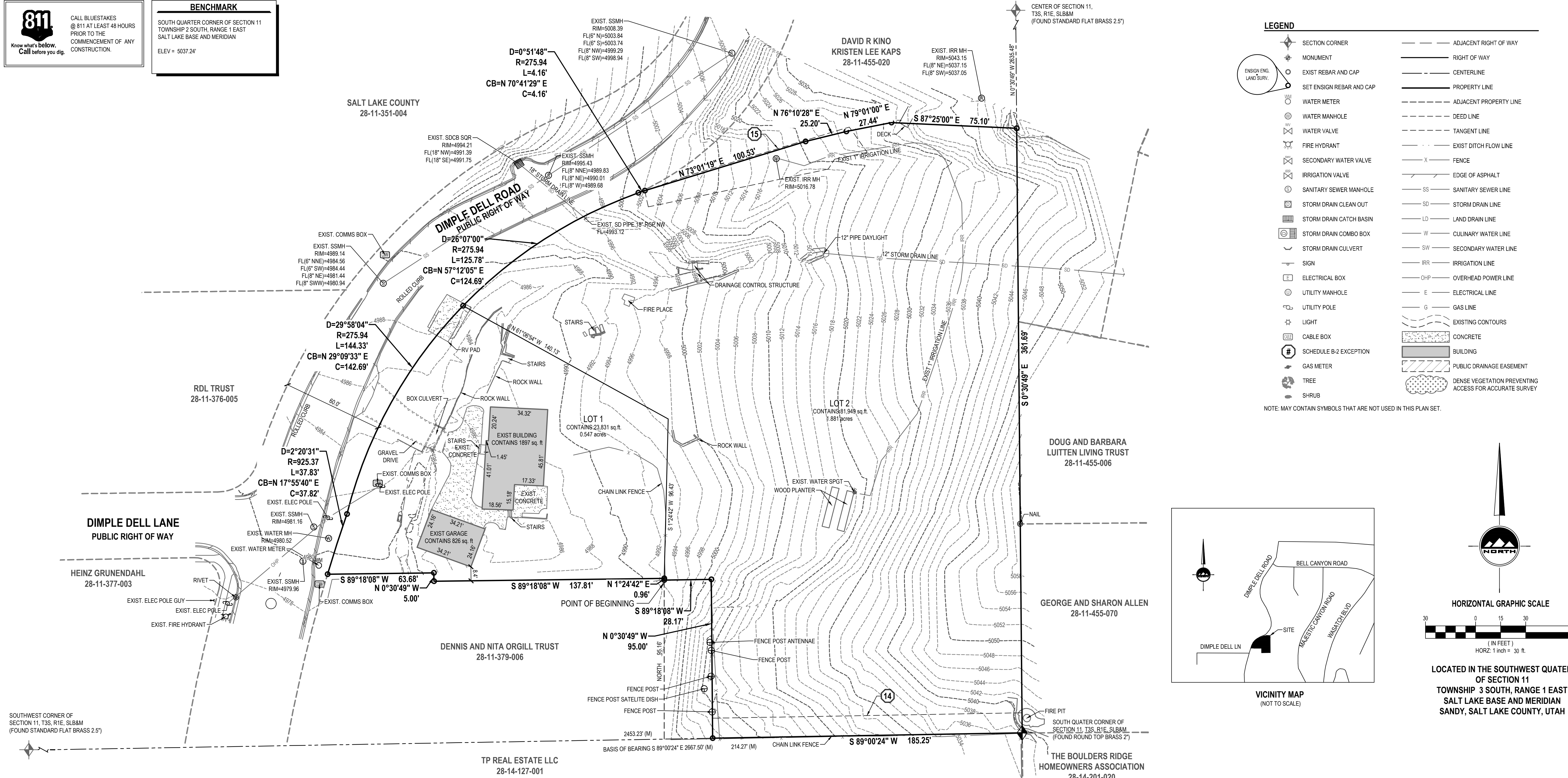
NO. DATE REVISION FOR REVIEW

COVER

PROJECT NUMBER 13520 PRINT DATE 2026-04-08
 PROJECT MANAGER K.SIMMONS DESIGNED BY M.ELMER

811
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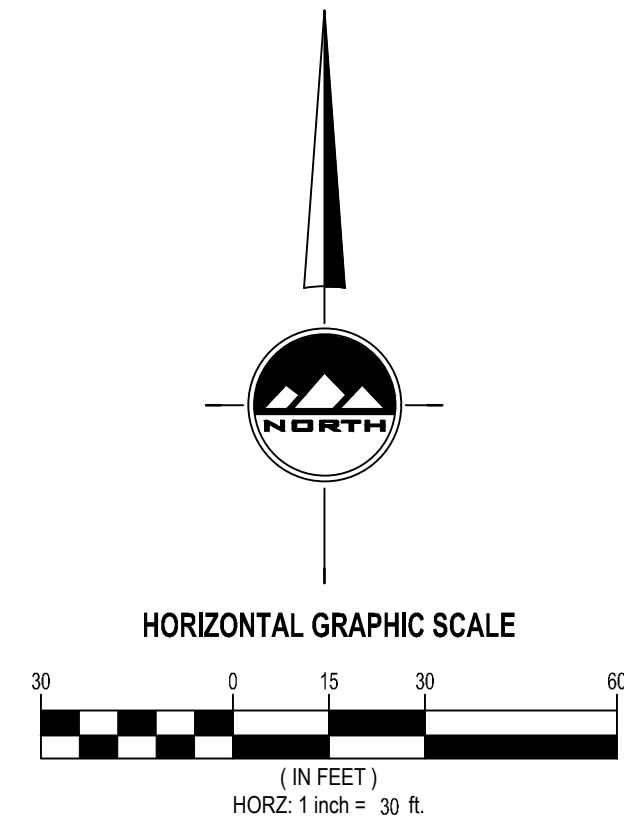
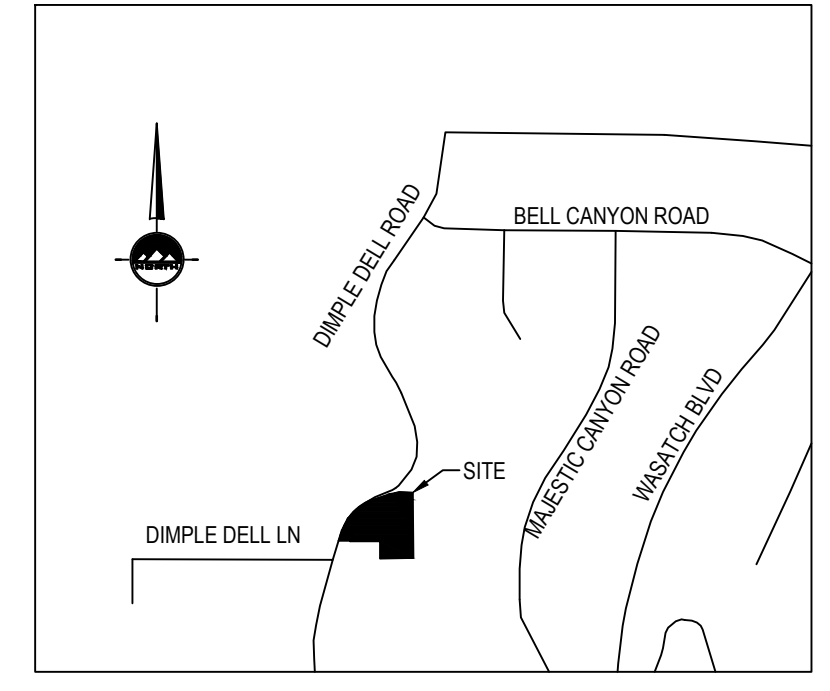
BENCHMARK
SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 3 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'



LEGEND

| | |
|----------------------------|--|
| ◆ SECTION CORNER | --- ADJACENT RIGHT OF WAY |
| ⊕ MONUMENT | — RIGHT OF WAY |
| ○ EXIST REBAR AND CAP | — CENTERLINE |
| ⊗ SET ENSIGN REBAR AND CAP | — PROPERTY LINE |
| ⊙ WATER METER | - - - ADJACENT PROPERTY LINE |
| ⊕ WATER MANHOLE | — DEED LINE |
| ⊕ WATER VALVE | - - - TANGENT LINE |
| ⊕ FIRE HYDRANT | — EXIST DITCH FLOW LINE |
| ⊕ SECONDARY WATER VALVE | — FENCE |
| ⊕ IRRIGATION VALVE | — EDGE OF ASPHALT |
| ⊕ SANITARY SEWER MANHOLE | — SS SANITARY SEWER LINE |
| ⊕ STORM DRAIN CLEAN OUT | — SD STORM DRAIN LINE |
| ⊕ STORM DRAIN CATCH BASIN | — LD LAND DRAIN LINE |
| ⊕ STORM DRAIN COMBO BOX | — W CULINARY WATER LINE |
| ⊕ STORM DRAIN CULVERT | — SW SECONDARY WATER LINE |
| ⊕ SIGN | — IRR IRRIGATION LINE |
| ⊕ ELECTRICAL BOX | — OHP OVERHEAD POWER LINE |
| ⊕ UTILITY MANHOLE | — E ELECTRICAL LINE |
| ⊕ UTILITY POLE | — G GAS LINE |
| ⊕ LIGHT | — EXISTING CONTOURS |
| ⊕ CABLE BOX | ▨ CONCRETE |
| ⊕ SCHEDULE B-2 EXCEPTION | ▨ BUILDING |
| ⊕ GAS METER | ▨ PUBLIC DRAINAGE EASEMENT |
| ⊕ TREE | ▨ DENSE VEGETATION PREVENTING ACCESS FOR ACCURATE SURVEY |
| ⊕ SHRUB | |

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



LOCATED IN THE SOUTHWEST QUATER
OF SECTION 11
TOWNSHIP 3 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANDY, SALT LAKE COUNTY, UTAH

SOUTHWEST CORNER OF SECTION 11, T3S, R1E, S1B&M (FOUND STANDARD FLAT BRASS 2.5")

SURVEYOR'S NARRATIVE

I, Patrick M. Harris do hereby state that I am a Professional Land Surveyor and that I hold certificate no. 286882 as prescribed by the laws of the State of Utah and represent that I have made a survey of the following described property. The Purpose of this survey is to provide an ALTA/NSPS Land Title and Topographic Survey for use by the client. The Basis of Bearing is the line between the South Quarter Corner and the Southwest Quarter Corner of section 11, Township 3 South, Range 1 East, Salt Lake Base and Meridian, said line measures South 89°00'24" West 2667.50 feet.

COMMITMENT DESCRIPTIONS

The Land referred to herein below is situated in the County of Salt Lake, State of Utah and is described as follows:

Property 1
PARCEL 1:
BEGINNING AT A POINT WHICH IS 185.25 FEET WEST AND NORTH 95 FEET AND WEST 29.60 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE NORTH 01°24'42" EAST 96.43 FEET; THENCE NORTH 60°27'01" WEST 174.79 FEET; THENCE SOUTHERLY ALONG THE CENTERLINE OF DIMPLE DELL DRIVE THE FOLLOWING (5) COURSES: SOUTH 40°57'35" WEST 26.84 FEET; THENCE SOUTH 30°03'54" WEST 35.34 FEET; THENCE SOUTH 25°05'31" WEST 36.42 FEET; THENCE SOUTH 20°10'02" EAST 44.40 FEET; THENCE SOUTH 16°05'47" WEST 44.71 FEET; THENCE SOUTH 13°00'13" EAST 53.00 FEET; THENCE EAST 60.08 FEET; THENCE SOUTH 5.00 FEET; THENCE EAST 136.34 FEET TO THE POINT OF BEGINNING. LESS AND EXCEPTING THEREFROM ANY PORTION LYING WITHIN THE BOUNDS OF DIMPLE DELL ROAD.

PARCEL 2:
BEGINNING AT THE SOUTH QUARTER CORNER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE MERIDIAN, AND RUNNING THENCE WEST 185.25 FEET; THENCE NORTH 95 FEET; THENCE WEST 165.94 FEET; THENCE NORTH 5 FEET; THENCE WEST 60.08 FEET; THENCE NORTH 73°00'13" WEST 33 FEET; THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT 9.43 FEET; THENCE NORTH 17°09'30" EAST 50.55 FEET; THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT 103.27 FEET; THENCE NORTH 53°30'07" WEST 30 FEET; THENCE NORTH 89°02'20" EAST 33 FEET; MORE OR LESS; THENCE SOUTH 51°32'45" EAST 33 FEET; THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT 124.51 FEET; THENCE NORTH 61°56'03" EAST 5.68 FEET; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT TO THE SOUTHWEST CORNER OF THE BRAY PROPERTY; THENCE NORTHEASTERLY ALONG SAID LINE TO A POINT NORTH 87°25' WEST 97.87 FEET AND NORTH 361.71 FEET FROM BEGINNING; THENCE SOUTH 87°25' EAST 97.87 FEET; THENCE SOUTH 361.71 FEET TO THE POINT OF BEGINNING. SUBJECT TO AN EASEMENT AS REFERENCED IN THAT CERTAIN GRANT OF EASEMENT FOR IRRIGATION LINES RECORDED MARCH 11, 2008, AS ENTRY NO. 10369979, IN BOOK 9680 AT PAGE 197 OF THE OFFICIAL RECORDS. LESS AND EXCEPTING THEREFROM ANY PORTION LYING WITHIN THE BOUNDS OF DIMPLE DELL ROAD.

PARCEL 3:
BEGINNING NORTH 0°30'49" WEST 322.98 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 0°30'49" WEST 38.71 FEET; THENCE NORTH 87°25' WEST 75.1 FEET; THENCE SOUTH 79°01' WEST 27.44 FEET;
THENCE SOUTH 76°10'28" WEST 25.20 FEET; THENCE SOUTH 36° EAST 20.87 FEET; THENCE SOUTH 89°11'39" EAST 21.45 FEET; THENCE NORTH 74°48'29" EAST 23.06 FEET; THENCE SOUTH 82°16'34" EAST 24.8 FEET; THENCE SOUTH 23°43'14" EAST 17.48 FEET; THENCE EAST 39.21 FEET TO THE POINT OF BEGINNING.

AS SURVEYED DESCRIPTION

Beginning at a point which is South 89°00'24" East 214.27 feet along the section line, and North 95.12 feet from the South Corner of Section 11, Township 3 South, Range 1 East said point being the POINT OF BEGINNING;
thence North 01°24'42" East 0.96 feet;
thence South 89°18'08" West 137.81 feet;
thence North 00°30'49" West 5.00 feet;
thence South 89°18'08" West 63.68 feet, to the easterly right of way line of Dimple Dell Road;
thence along the Easterly right of way line of Dimple Dell Road the following 3 calls;
1. Northerly 37.83 feet along the arc of a 925.37 foot radius curve to the right (center bears South 73°14'35" East and the chord bears North 17°55'40" East 37.82 feet with a central angle of 0°20'31");
2. thence Easterly 4.16 feet along the arc of a 275.94 foot radius curve to the right (center bears South 73°14'35" East and the chord bears North 29°09'33" East 142.69 feet with a central angle of 29°58'04");
3. thence Northeasterly 125.78 feet along the arc of a 275.94 foot radius curve to the right (center bears South 45°51'25" East and the chord bears North 57°12'05" East 124.69 feet with a central angle of 26°07'00");
thence Easterly 4.16 feet along the arc of a 275.94 foot radius curve to the right (center bears South 19°44'25" East and the chord bears North 70°41'29" East 4.16 feet with a central angle of 00°51'48");
thence North 73°01'19" East 100.53 feet;
thence North 76°10'28" East 25.20 feet;
thence North 79°01'00" East 27.44 feet;
thence South 87°25'00" East 75.10 feet, to the section line;
thence South 00°30'49" East 361.69 feet, along the section line to the South Quarter Corner of Section 11;
thence South 89°00'24" West 185.25 feet, along the South section line;
thence North 00°30'49" West 95.00 feet;
thence South 89°18'08" West 28.17 feet to the point of beginning.

To: (i) James G. Bay and Carol S. Bay, (ii) OnRecord Title LLC, and (iii) Old Republic National Title Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with 2011 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 7(a), 8, 11(a), 13, 16, 17, 18 and 19 of Table A hereof.

The field work was completed on October 25, 2024.

Date of Plat or Map: December 6, 2024.

Date: _____
Trent R. Williams, PLS
License No. 8034679

Note: For conditions of record not shown herein as well as specific references to items in the title report, please refer to a title report supplied by OnRecord Title LLC, of Midvale, Utah under Commitment No. 1226634, dated effective July 23, 2024.

- SCHEDULE B-2 EXCEPTIONS**
- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met. (Blanket in nature)
 - Taxes or assessments which are not now payable, or which are not shown as existing liens by the records of any taxing authority that levies taxes or assessment on real property or by the public records. (Not Survey Related)
 - Any facts, interest, or claims which are not shown by the public records but which could be ascertained by an inspection of said land or by making inquiry of persons in possession, or claiming to be in possession, thereof. (Blanket in nature)
 - Easements, liens, encumbrances, or claims of easements, liens or encumbrances which are not shown by the public records. (Blanket in Nature)
 - Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose. (Blanket in nature)
 - Any liens, or right to a lien, for services, labor or material theretofore or hereafter furnished, imposed by law and not shown by the public records. (Not Survey Related)
 - (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights. Claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records. (Blanket in nature)
 - 2024 General Property Taxes have been Paid (Not Survey Related)
 - Said properties are located within the boundaries of Unincorporated, Salt Lake County, and is subject to all assessments and service charges levied therefor. Tax District: 33C (Affects Parcels 1 and 2) (Blanket in Nature)
 - Said property is located within the boundaries of Unincorporated, Salt Lake County, and is subject to all assessments and service charges levied therefor. Tax District: 35D (Affects Parcel 3) (Blanket in Nature)
 - WATER RIGHTS, claims or title to water, and agreements, covenants, conditions or rights incident thereto, whether or not shown by the public records. (Blanket in nature)
 - Subject to all existing roads, street, alleys, ditches, reservoirs, utilities, canals, pipelines, power poles, telephone, sewer, gas or water lines and rights of way and easements thereof. (Blanket in nature)
 - Minerals of whatsoever kind, subsurface and surface substances, including but not limited to coal, lignite, oil, gas, geothermal resources, uranium, clay, rock, sand and gravel in, on, and/or under and that may be produced from the land, together with all rights, privileges, and immunities relating thereto, whether or not appearing in the Public Records or listed in Schedule B. The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, or reservations of interests that are not listed. (Blanket in nature)
 - Easements and/or Right-of-Ways as disclosed by means instruments of record, including but not limited to that certain Warranty Deed: Recorded: January 11, 1988, Entry No.: 4572913, Book: 5995, Page: 2189, of the Official Records. (Shown on Survey).
 - Easements and reservations as referenced in that certain Grant of Easement for Irrigation Lines: Recorded: March 11, 2008, Entry No.: 10369979, Book: 9680, Page: 197, of the Official Records. (Approximate location shown on Survey)

- There appear to be gaps and or overlaps with the boundaries of the adjoining land. Subject to discrepancies, conflicts in boundary lines, shortage in area, encroachments, lack of mathematical closures, or any other facts which an A.L.T.A. Survey (made in accordance with "Minimum standard detail requirements for ALTA/NSPS Land Title Surveys"), may disclose, and which may or may not be shown by the public records, or any other facts.
 - The rights, title and interest of James G. Bay and Carol S. Bay, Trustees of The James and Carol Bay Revocable Trust dated the 24th day of February, 2023, pursuant to that certain Warranty Deed, recorded September 27, 2023, as Entry No. 14156912, in Book 11447 at Page 1688, of the Official Records.
**NOTE: The legal description for Parcel 2 contains errors.
 - Easements and reservations as referenced in that certain Certificate of Annexation: Recorded: December 20, 2024, Entry No.: 14282652, Book: 11540, Page: 6525, of the Official Records.
 - Deed of Trust: Dated: January 12, 2021, Trustor: James G. Bay and Carol S. Bay, as joint tenants Trustee: Amrock Utah, LLC Beneficiary: MERS, Inc., solely as nominee for Quicken Loans, LLC Amount: \$204,000.00, Recorded: January 19, 2021, Entry No.: 13536352, Book: 11100, Page: 8108, of the Official Records (Blanket in Nature)
 - Deed of Trust: Dated: September 22, 2023, Trustor: James G. Bay and Carol S. Bay, as joint tenants Trustee: University First Federal Credit Union Beneficiary: University First Federal Credit Union Amount: \$249,900.00, Recorded: September 17, 2023, Entry No.: 14156911, Book: 11447, Page: 1673, of the Official Records (Blanket in Nature)
- NOTE: The following name(s) have been checked for judgments and no unsatisfied judgments appear of record, except as shown herein:
- Buyer(s)/Borrower(s): Capital Land Holdings LLC Seller(s): James & Carol Bay Revocable Trust Other Parties: James G. Bay and Carol S. Bay
Grantee: James G. Bay and Carol S. Bay, Trustees of The James and Carol Bay Revocable Trust, dated the 24th day of February, 2023
Recorded: September 27, 2023, Entry No.: 14156912, (Parcels 1 and 3)
- Warranty Deed
Grantor: James G. Bay and Carol S. Bay
Grantee: James G. Bay and Carol S. Bay, Trustees of The James and Carol Bay Revocable Trust, dated the 24th day of February, 2023
Recorded: September 27, 2023, Entry No.: 14156910
- Warranty Deed
Grantor: Milton O. Gold and Linnie P. Gold, Trustees of the Milton O. Gold Inter Vivos Revocable Trust Agreement dated 11-24-75
Grantee: James G. Bay and Carol S. Bay, husband and wife, as joint tenants Recorded: March 2, 1986, Entry No.: 4592087, (Parcel 2)
- Warranty Deed
Grantor: James G. Bay and Carol S. Bay, individually AND James G. Bay and Carol S. Bay, Trustees of The James and Carol Bay Revocable Trust, dated the 24th day of February, 2023
Grantee: James G. Bay and Carol S. Bay, husband and wife, as joint tenants Recorded: February 28, 2023, Entry No.: 14076967

- TABLE A**
- All monuments used and set are shown on survey;
 - Subject parcel address is 10175 Dimple Dell road
 - Parcel is located in Flood Zone X, per FEMA FIRM map 4903C0405G, effective 9/25/2009
 - Subject parcel contains 105,780 square feet or 1.88 acres.
 - 2 foot contours are shown on survey.
 - Exterior dimensions of buildings are shown on survey.
 - Substantial features are shown on survey.
 - Utilities are shown on survey.
 - Adjacent owners are shown on survey.
 - No evidence of recent earth moving work observed at time of survey.
 - No changes in street right of way lines observed at time of survey.
 - All plottable easements are shown on survey.
 - All insurance liability minimums have been met.

ENSIGN
THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
CLIENT
ALYSSA HOLBROOK
4995 S. HOLLADAY FARM LN, HOLLADAY UT
CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

BAY PROPERTY
ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY
10175 DIMPLE DELL ROAD
SANDY UTAH

PROFESSIONAL LAND SURVEYOR
12/9/24
No. 246882
PATRICK M. HARRIS
SALT LAKE COUNTY, UTAH

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

PROJECT NUMBER: 13520
PRINT DATE: 12/9/24
DRAWN BY: PRG
CHECKED BY: BDH
PROJECT MANAGER: PMH

1 OF 1

SILVER SAGE ESTATES

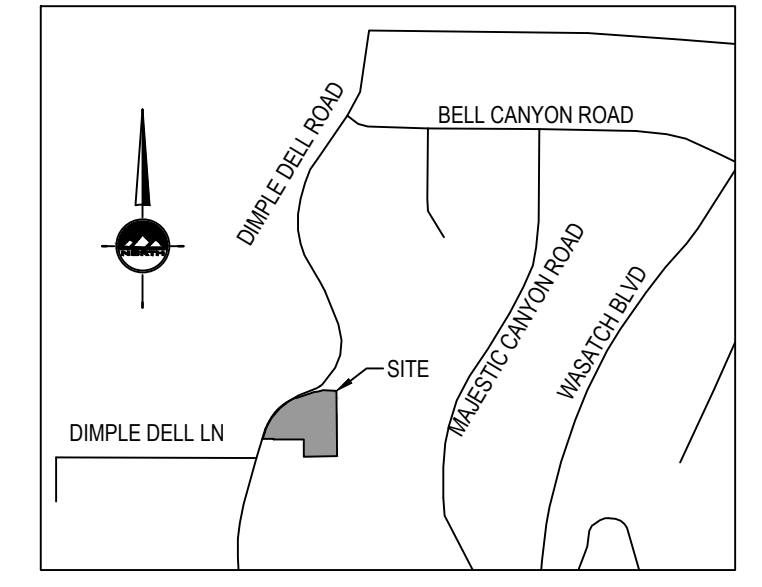
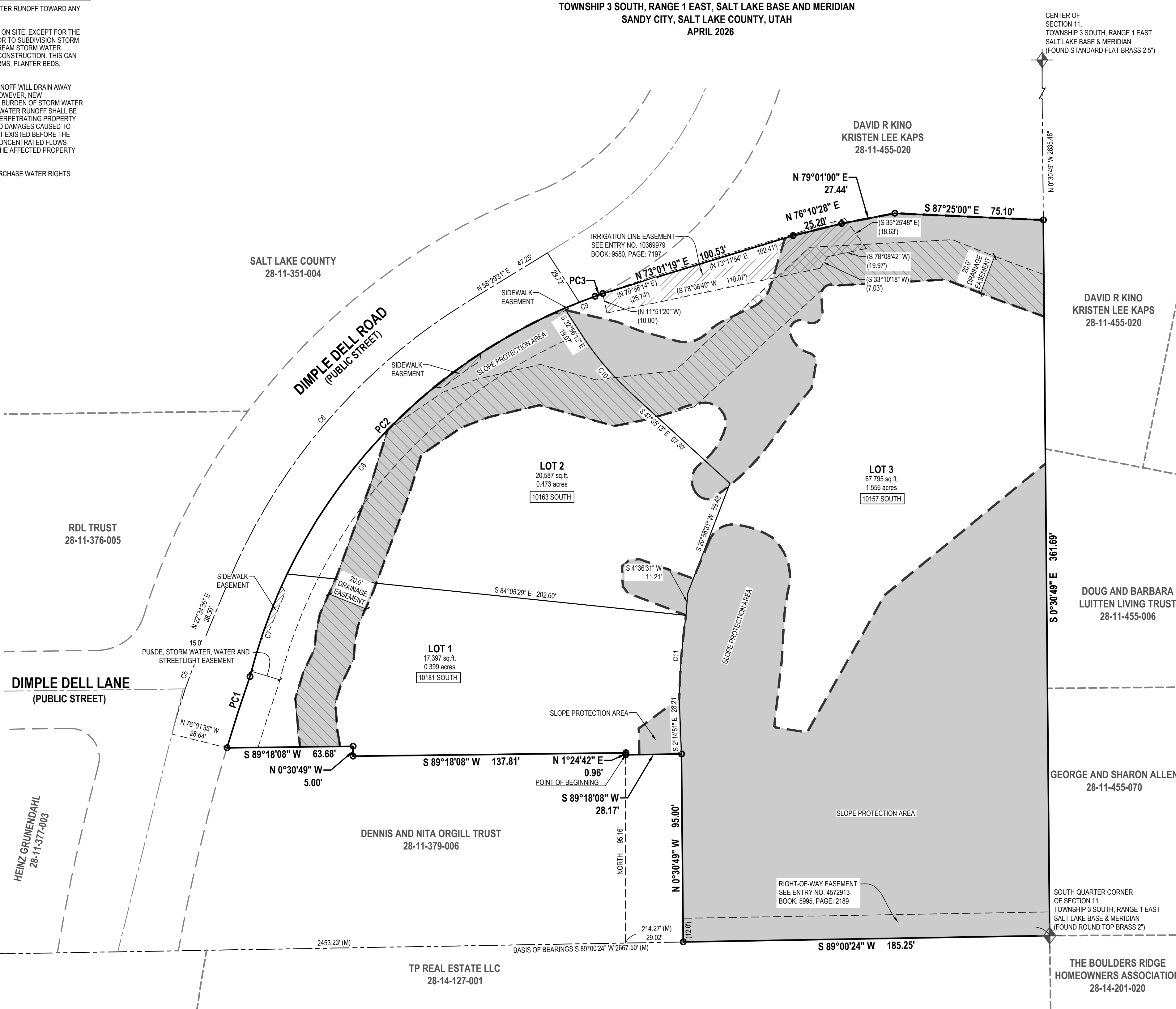
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11,
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH
APRIL 2026

SANDY CITY GENERAL PLAT NOTES

- NO DRIVEWAY SHALL BE CONSTRUCTED TO CONVEY STORM WATER RUNOFF TOWARD ANY BUILDING.
- EACH RESIDENTIAL LOT IS REQUIRED TO RETAIN STORM WATER ON SITE, EXCEPT FOR THE PORTION OF THE LOT THAT DRAINS TOWARD THE STREET AND/OR TO SUBDIVISION STORM WATER FLOW CONTROL FEATURES; AS LONG AS THE DOWNSTREAM STORM WATER SYSTEM CAN ACCOMMODATE THE FLOWS, DURING AND AFTER CONSTRUCTION. THIS CAN BE ACCOMPLISHED BY USE OF SWALES, RETENTION AREAS, BERMS, PLANTER BEDS, UNDERGROUND INFILTRATION, ETC.
- PROPERTIES ARE TO BE GRADED SUCH THAT STORM WATER RUNOFF WILL DRAIN AWAY FROM STRUCTURES AND TOWARDS PROPERTY BOUNDARIES. HOWEVER, NEW DEVELOPMENT OR REDEVELOPMENT SHALL NOT INCREASE THE BURDEN OF STORM WATER ON NEIGHBORING AND/OR DOWNSTREAM PROPERTIES. STORM WATER RUNOFF SHALL BE ENTIRELY CONTROLLED WITHIN THE LIMITS OF PROJECT SITE. PERPETUATING PROPERTY OWNERS MAY BE LIABLE FOR DAMAGES IN CIVIL COURTS DUE TO DAMAGES CAUSED TO ADJACENT PROPERTIES FROM RUNOFF (INCLUDING FLOWS THAT EXISTED BEFORE THE NEW DEVELOPMENTS OR REDEVELOPMENT OCCURRED). ANY CONCENTRATED FLOWS LEAVING A SITE SHALL HAVE AN AGREEMENT/EASEMENT WITH THE AFFECTED PROPERTY OWNERS.
- THE CITY SHALL BE GIVEN THE FIRST RIGHT OF REFUSAL TO PURCHASE WATER RIGHTS ACCOMPANYING THE PROPERTY IN THIS DEVELOPMENT.

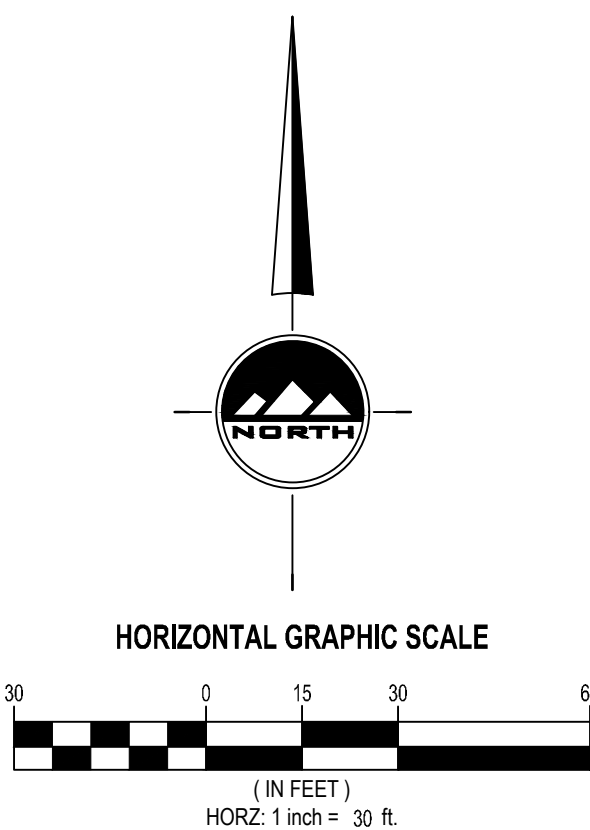
| PROPERTY CURVE TABLE | | | | | |
|----------------------|---------|---------|-----------|-------------|---------|
| CURVE | RADIUS | LENGTH | DELTA | BEARING | CHORD |
| PC1 | 925.37' | 37.83' | 2°20'31" | N17°55'40"E | 37.82' |
| PC2 | 275.94' | 270.11' | 56°05'04" | N42°13'03"E | 268.45' |
| PC3 | 275.94' | 4.16' | 0°51'48" | N70°41'29"E | 4.16' |

| CURVE TABLE | | | | | |
|-------------|---------|---------|-----------|-------------|---------|
| CURVE | RADIUS | LENGTH | DELTA | BEARING | CHORD |
| C5 | 300.00' | 20.15' | 3°50'52" | N20°39'10"E | 20.14' |
| C6 | 301.44' | 188.95' | 35°54'54" | N40°32'03"E | 185.88' |
| C7 | 275.94' | 55.22' | 11°27'58" | N19°54'30"E | 55.13' |
| C8 | 275.94' | 198.34' | 41°11'00" | N46°13'59"E | 194.10' |
| C9 | 275.94' | 16.54' | 3°26'06" | S68°32'32"W | 16.54' |
| C10 | 156.00' | 35.87' | 13°10'32" | S40°59'57"E | 35.79' |
| C11 | 340.07' | 42.10' | 7°05'33" | S4°36'32"W | 42.07' |



LEGEND

- SECTION CORNER
- PROPOSED STREET MONUMENT PER SALT LAKE CO. SURVEYOR PERMIT
- EXISTING STREET MONUMENT
- SET 5/8" X 24" REBAR WITH YELLOW PLASTIC CAP OR NAIL STAMPED "ENSGN ENG. & LAND SURV."
- SECTION LINE
- SECTION TIE LINE
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- ADJACENT ROAD CENTERLINE
- RIGHT OF WAY
- ADJACENT RIGHT OF WAY
- LOT LINE
- ADJACENT LOT LINE
- EASEMENT
- 30% SLOPE PROTECTION LINE
- IRRIGATION LINE EASEMENT SEE ENTRY NO. 10369979 BOOK: 9580, PAGE: 7197
- 20' DRAINAGE EASEMENT SEE EXHIBIT A SHEET 2
- CROSS ACCESS EASEMENT SEE EXHIBIT B SHEET 2
- SLOPE PROTECTION AREA SEE EXHIBIT C SHEET 3
- SIDEWALK EASEMENT SEE EXHIBIT A SHEET 2



SURVEYOR'S CERTIFICATE

I, **TRENT R. WILLIAMS**, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. **8034679** in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyor's Act; I further certify that by authority of the Owners, I have completed a survey of the property described on this subdivision plat in accordance with Section 17-73-504 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to accurately establish the lateral boundaries of the herein described tract of real property, and has been drawn correctly to the designated scale and is a true and correct representation of the herein described lands included in said subdivision, based upon data compiled from records of the county recorders office. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION

Beginning at a point which is South 89°00'24" West 214.27 feet along the section line, and North 95.16 feet from the South Corner of Section 11, Township 3 South, Range 1 East said point being the POINT OF BEGINNING;

thence North 01°24'42" East 0.96 feet;

thence South 89°18'08" West 137.81 feet;

thence North 00°30'49" West 5.00 feet;

thence South 89°18'08" West 63.68 feet, to the easterly right of way line of Dimple Dell Road;

thence along the Easterly right of way line of Dimple Dell Road the following 2 calls:

- Northerly 37.83 feet along the arc of a 925.37 foot radius curve to the right (center bears South 73°14'35" East and the chord bears North 17°55'40" East 37.82 feet with a central angle of 02°20'31");
- thence Northeasterly 270.11 feet along the arc of a 275.94 foot radius curve to the right (center bears South 75°49'29" East and the chord bears North 42°13'03" East 259.45 feet with a central angle of 56°05'04");

thence Easterly 4.16 feet along the arc of a 275.94 foot radius curve to the right (center bears South 19°44'29" East and the chord bears North 70°41'29" East 4.16 feet with a central angle of 00°51'48");

thence North 73°01'19" East 100.53 feet;

thence North 76°10'28" East 25.20 feet;

thence North 79°01'00" East 27.44 feet;

thence South 87°25'00" East 75.10 feet, to the section line;

thence South 00°30'49" East 361.69 feet, along the section line to the South Quarter Corner of Section 11;

thence South 89°00'24" West 185.25 feet, along the section line;

thence North 00°30'49" West 95.00 feet;

thence South 89°18'08" West 28.17 feet to the point of beginning.

Contains: 105,779 square feet or approximately 2.428 acres

DATE: _____ TRENT R. WILLIAMS
LICENSE NO. 8034679

OWNER'S DEDICATION

Know all men by these presents that the undersigned is/are the owner(s) (hereinafter, "the undersigned Owner") of the above-described tract of land and the undersigned Owner do hereby cause the same to be divided into lots, parcels, and streets, together with easements, as set forth, to be hereafter known as

SILVER SAGE ESTATES

and that the undersigned Owners do hereby dedicate to Sandy City, for perpetual use, all streets and other areas shown on this plat as intended for public uses. The undersigned Owners also do hereby dedicate to the owners of lots 3 and 4, for perpetual use, all privately-owned lanes as non-exclusive vehicular and pedestrian access easements for the use of lots 3 and 4 owners and their invitees. The undersigned Owners also do hereby dedicate to the owners of the following-named facilities, for perpetual use, all privately-owned streets, lanes, alley, and driveways as non-exclusive water, sanitary sewer, storm sewer, public utility, streetlight, and drainage easements, the same to be used for the installation, maintenance and operation of those facilities. The undersigned Owners also hereby convey to any and all public utility companies, a perpetual, non-exclusive easement over the public utility easements shown on this plat, the same to be used for the installation, maintenance and operation of utility lines and facilities. The undersigned Owners also do hereby convey any other easements, as shown on this plat, to the parties indicated by those easements, the same to be used for the installation, maintenance and operation of the facilities, or for other typical purposes, indicated for those easements, as shown hereon.

In witness whereof I/we have hereunto set our hand (s) this _____ day of _____, A.D. 20____

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH
County of Salt Lake
J.S.S.
On the _____ day of _____, A.D. 20____, personally appeared before me _____, the signer of the foregoing instrument, who duly acknowledged to me that he/she is a _____, a Utah limited liability company, and is authorized to execute the foregoing Agreement in its behalf and that he/she executed it in such capacity.

MY COMMISSION EXPIRES: _____
RESIDING IN _____ COUNTY.

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH
County of Salt Lake
J.S.S.
On the _____ day of _____, A.D. 20____, personally appeared before me _____, the signer of the foregoing instrument, who duly acknowledged to me that he/she is a _____, a Utah limited liability company, and is authorized to execute the foregoing Agreement in its behalf and that he/she executed it in such capacity.

MY COMMISSION EXPIRES: _____
RESIDING IN _____ COUNTY.

ENBRIDGE GAS UTAH APPROVAL

ENBRIDGE GAS UTAH - NOTE
QUESTAR GAS COMPANY, DBA ENBRIDGE GAS UTAH ("ENBRIDGE"), APPROVES THIS PLAT SOLELY TO CONFIRM THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. THIS APPROVAL DOES NOT (A) AFFECT ANY RIGHT ENBRIDGE HAS UNDER TITLE 54, CHAPTER 8A, A RECORDED EASEMENT OR RIGHT-OF-WAY, PRESCRIPTIVE RIGHTS, OR ANY PROVISION OF LAW, (B) CONSTITUTE ACCEPTANCE OF ANY TERMS CONTAINED IN ANY PORTION OF THE PLAT; AND (C) GUARANTEE ANY TERMS OR WAIVE ENBRIDGE'S RIGHT TO REQUIRE ADDITIONAL EASEMENTS FOR GAS SERVICE.

APPROVED THIS _____ DAY OF _____, 20____.

BY: _____

TITLE: _____

ROCKY MOUNTAIN POWER APPROVAL

ROCKY MOUNTAIN POWER NOTES:
1. PURSUANT TO UTAH CODE ANN. § 64-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. § 17-27A-603(4)(C)(II) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
2.1. A RECORDED EASEMENT OR RIGHT-OF-WAY
2.2. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
2.3. TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
2.4. ANY OTHER PROVISION OF LAW.

APPROVED THIS _____ DAY OF _____, 20____.

BY: _____

EASEMENT APPROVAL

| | |
|----------------------|------|
| CENTURYLINK | DATE |
| ROCKY MOUNTAIN POWER | DATE |
| ENBRIDGE GAS UTAH | DATE |
| COMCAST | DATE |

SALT LAKE COUNTY HEALTH DEPARTMENT APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____
BY THE SALT LAKE COUNTY HEALTH DEPARTMENT.

SALT LAKE COUNTY HEALTH DEPARTMENT

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____
BY THE SANDY CITY PLANNING COMMISSION

CHAIR, SANDY CITY PLANNING COMMISSION

COTTONWOOD IMPROVEMENT DISTRICT

APPROVED THIS _____ DAY OF _____, A.D. 20____
BY THE COTTONWOOD IMPROVEMENT DISTRICT

COTTONWOOD IMPROVEMENT DISTRICT

CITY ENGINEER APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____
BY THE SANDY CITY ENGINEER.

SANDY CITY ENGINEER

PUBLIC UTILITIES DEPARTMENT APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____
BY THE SANDY CITY PUBLIC UTILITIES DEPARTMENT

SANDY CITY PUBLIC UTILITIES DEPARTMENT, ENGINEERING MANAGER

SANDY CITY MAYOR APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____
BY THE SANDY CITY MAYOR.

MAYOR ATTEST: CLERK

SHEET 1 OF 3

PROJECT NUMBER: 13520
MANAGER: K.SIMMONS
DRAWN BY: A.SHELBY
CHECKED BY: T.WILLIAMS
DATE: 2026-04-08

CITY PARKS & RECREATION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____
BY THE SANDY CITY PARKS & RECREATION DIRECTOR

SANDY CITY PARKS & RECREATION DIRECTOR

CITY ATTORNEY'S APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____
BY THE SANDY CITY ATTORNEY.

SANDY CITY ATTORNEY

SILVER SAGE ESTATES

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11,
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH

SALT LAKE COUNTY RECORDER

RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
REQUEST OF: _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FEES _____ DEPUTY SALT LAKE COUNTY RECORDER

ENSGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801-547-1100
WWW.ENSGNENG.COM

SANDY
Phone: 801-255-0529
TOOLE
Phone: 435-843-3800
CENAR CITY
Phone: 435-865-1453
RICHFIELD
Phone: 435-896-2883

DEVELOPER
ALYSSA HOLBROOK
4595 S. HOLLADAY FARM LN
HOLLADAY, UT 84117
385-315-0289

EXHIBIT "A"

SILVER SAGE ESTATES
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11,
 TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
 SANDY CITY, SALT LAKE COUNTY, UTAH
 APRIL 2026

SALT LAKE COUNTY
 28-11-351-004

DAVID R KINO
 KRISTEN LEE KAPS
 28-11-455-020

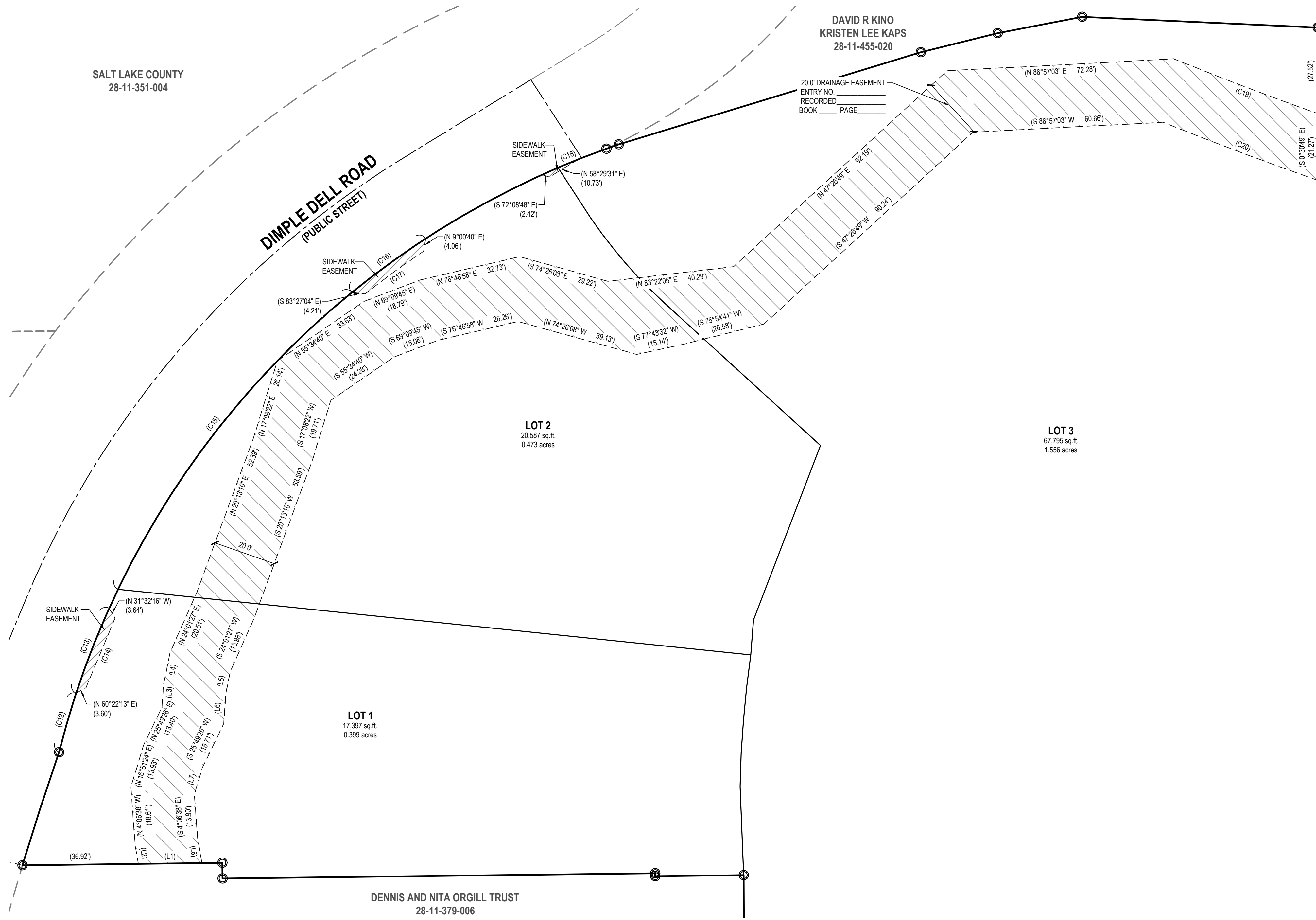
20' DRAINAGE EASEMENT
 ENTRY NO. _____
 RECORDED _____
 BOOK _____ PAGE _____

DAVID R KINO
 KRISTEN LEE KAPS
 28-11-455-020

DOUG AND BARBARA
 LUITTEN LIVING TRUST
 28-11-455-006

GEORGE AND SHARON ALLEN
 28-11-455-070

DENNIS AND NITA ORGILL TRUST
 28-11-379-006



LEGEND

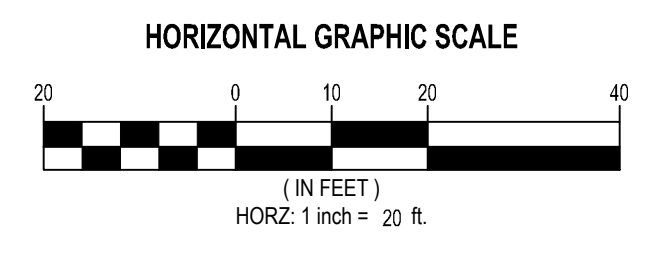
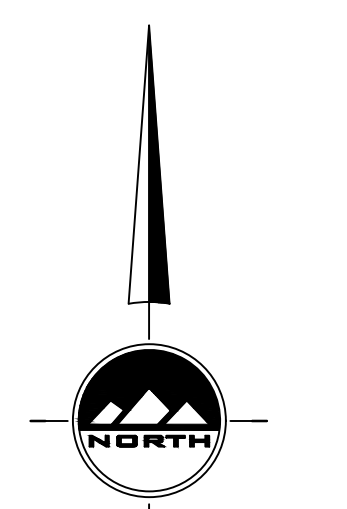
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- ADJACENT ROAD CENTERLINE
- RIGHT OF WAY
- ADJACENT RIGHT OF WAY
- LOT LINE
- ADJACENT LOT LINE
- EASEMENT
- 30% SLOPE PROTECTION LINE
- IRRIGATION LINE EASEMENT
SEE ENTRY NO. 10385979
BOOK 9580, PAGE 7197
- 20' DRAINAGE EASEMENT
SEE EXHIBIT A SHEET 2
- CROSS ACCESS EASEMENT
SEE EXHIBIT B SHEET 2
- SLOPE PROTECTION AREA
SEE EXHIBIT C SHEET 3
- SIDEWALK EASEMENT
SEE EXHIBIT A SHEET 2

CURVE TABLE

| CURVE | RADIUS | LENGTH | DELTA | BEARING | CHORD |
|-------|----------|---------|-----------|-------------|---------|
| C12 | 275.94' | 19.54' | 4°03'26" | N16°12'14"E | 19.54' |
| C13 | 275.94' | 29.05' | 6°01'53" | N21°14'54"E | 29.03' |
| C14 | 2198.24' | 24.05' | 0°37'37" | N22°44'01"E | 24.05' |
| C15 | 275.94' | 121.36' | 25°11'57" | N38°14'27"E | 120.39' |
| C16 | 275.94' | 29.09' | 6°02'22" | N63°51'37"E | 29.07' |
| C17 | 272.94' | 23.10' | 4°50'58" | N53°52'59"E | 23.09' |
| C18 | 275.94' | 12.45' | 2°35'03" | N66°58'02"E | 12.44' |
| C19 | 1145.54' | 49.38' | 2°28'12" | S69°09'46"E | 49.38' |
| C20 | 1165.54' | 53.09' | 2°36'35" | N69°27'09"W | 53.08' |

LINE TABLE

| LINE | BEARING | LENGTH |
|------|-------------|--------|
| (L1) | S89°18'08"W | 20.26' |
| (L2) | N9°53'42"W | 5.99' |
| (L3) | N3°52'52"E | 7.09' |
| (L4) | N11°28'29"E | 10.55' |
| (L5) | S11°28'29"W | 7.02' |
| (L6) | S3°52'52"W | 9.64' |
| (L7) | S16°51'24"W | 8.66' |
| (L8) | S9°53'42"E | 8.22' |



| | | |
|--|--|--|
| <p>DEVELOPER ALYSSA HOLBROOK 4595 S. HOLLADAY FARM LN HOLLADAY, UT 84117 385-315-0289</p> | <p>SHEET 2 OF 3</p> | <p>SILVER SAGE ESTATES</p> |
| | <p>PROJECT NUMBER: 13520 MANAGER: K.SIMMONS DRAWN BY: A.SHELBY CHECKED BY: T.WILLIAMS DATE: 2026-04-08</p> | <p>LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN SANDY CITY, SALT LAKE COUNTY, UTAH</p> |
| <p>ENSIGN THE STANDARD IN ENGINEERING</p> | <p>LAYTON 919 North 400 West Layton, UT 84041 Phone: 801.547.1100 WWW.ENSGNENG.COM</p> | <p>SANDY Phone: 801.255.9529 TOOLE Phone: 435.543.3990 CEDAR CITY Phone: 435.865.1453 RICHFIELD Phone: 435.891.2983</p> |
| <p>RECORDED # _____ STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: _____ DATE: _____ TIME: _____ BOOK: _____ PAGE: _____</p> | | <p>SALT LAKE COUNTY RECORDER FEES _____ DEPUTY SALT LAKE COUNTY RECORDER</p> |

SILVER SAGE ESTATES

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11,
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH
APRIL 2026

EXHIBIT "C"

SALT LAKE COUNTY
28-11-351-004

DIMPLE DELL ROAD
(PUBLIC STREET)

DAVID R KINO
KRISTEN LEE KAPS
28-11-455-020

DAVID R KINO
KRISTEN LEE KAPS
28-11-455-020

DOUG AND BARBARA
LUITTEN LIVING TRUST
28-11-455-006

GEORGE AND SHARON ALLEN
28-11-455-070

DENNIS AND NITA ORGILL TRUST
28-11-379-006

LOT 2
20,587 sq. ft.
0.473 acres

LOT 3
67,795 sq. ft.
1.556 acres

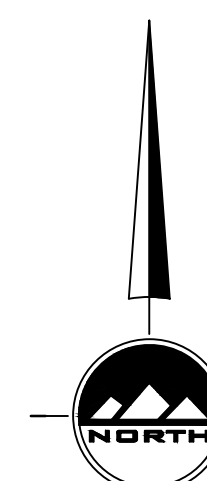
LOT 1
17,397 sq. ft.
0.399 acres

| CURVE TABLE | | | | | |
|-------------|----------|---------|------------|-------------|---------|
| CURVE | RADIUS | LENGTH | DELTA | BEARING | CHORD |
| C21 | 276.17' | 107.99' | 22°24'12" | N55°21'16"E | 107.30' |
| C22 | 15.50' | 17.01' | 62°51'59" | N74°54'20"E | 16.17' |
| C23 | 34.95' | 12.86' | 21°05'05" | N55°54'02"E | 12.79' |
| C24 | 17.57' | 16.76' | 54°40'38" | N39°54'16"E | 16.14' |
| C25 | 1165.54' | 53.09' | 2°36'35" | S69°27'09"E | 53.08' |
| C26 | 5.40' | 12.26' | 130°03'30" | N50°59'25"E | 9.79' |
| C27 | 5.48' | 12.27' | 128°23'04" | N54°03'44"E | 9.86' |
| C28 | 5.42' | 13.69' | 144°42'36" | N51°49'26"E | 10.33' |
| C29 | 14.05' | 14.50' | 59°08'46" | N46°40'25"W | 13.87' |
| C30 | 5.18' | 7.77' | 86°00'26" | N20°56'00"W | 7.06' |
| C31 | 276.01' | 32.72' | 6°47'31" | N37°12'50"E | 32.70' |
| C32 | 112.11' | 43.02' | 21°59'18" | N45°59'15"E | 42.76' |
| C33 | 7.26' | 6.82' | 53°49'57" | S75°27'00"E | 6.57' |
| C34 | 10.32' | 18.05' | 100°10'26" | N2°39'46"E | 15.84' |
| C35 | 34.54' | 23.36' | 38°45'15" | N34°37'19"E | 22.92' |
| C36 | 10.50' | 22.11' | 120°42'04" | N50°56'02"W | 18.24' |
| C37 | 24.11' | 12.10' | 28°45'46" | S72°30'39"W | 11.98' |
| C38 | 204.50' | 31.71' | 8°53'05" | S76°22'44"W | 31.68' |
| C39 | 340.07' | 42.10' | 7°05'33" | N4°36'32"E | 42.07' |
| C40 | 12.91' | 15.82' | 70°11'41" | N59°45'09"E | 14.85' |
| C41 | 45.58' | 19.94' | 25°04'05" | S70°46'27"E | 19.78' |
| C42 | 27.43' | 25.30' | 52°51'15" | S21°22'40"E | 24.42' |
| C43 | 113.68' | 16.85' | 8°29'32" | S9°24'57"W | 16.83' |
| C44 | 1940.93' | 34.54' | 1°01'11" | S6°28'24"W | 34.54' |

| LINE TABLE | | |
|------------|-------------|--------|
| LINE | BEARING | LENGTH |
| (L9) | N3°52'52"E | 7.09' |
| (L10) | N11°28'29"E | 10.55' |

LEGEND

- SECTION CORNER
- PROPOSED STREET MONUMENT PER SALT LAKE CO. SURVEYOR PERMIT
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- RIGHT OF WAY
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- EASEMENT
- 30% SLOPE PROTECTION LINE
- IRRIGATION LINE EASEMENT
SEE ENTRY NO. 10369979
BOOK: 9680, PAGE: 7197
- 20' DRAINAGE EASEMENT
SEE EXHIBIT A SHEET 2
- CROSS ACCESS EASEMENT
SEE EXHIBIT B SHEET 2
- SLOPE PROTECTION AREA
SEE EXHIBIT C SHEET 3
- SIDEWALK EASEMENT
SEE EXHIBIT A SHEET 2



HORIZONTAL GRAPHIC SCALE



DEVELOPER
ALYSSA HOLBROOK
4595 S. HOLLADAY FARM LN
HOLLADAY, UT 84117
385-315-0289

SHEET 3 OF 3
PROJECT NUMBER: 13520
MANAGER: K.SIMMONS
DRAWN BY: A.SHELBY
CHECKED BY: T.WILLIAMS
DATE: 2026-04-08

SILVER SAGE ESTATES

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11,
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH

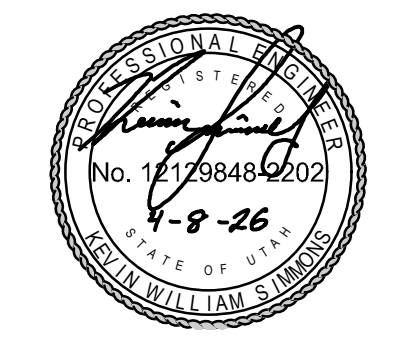
SALT LAKE COUNTY RECORDER

RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
REQUEST OF: _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FEES _____ DEPUTY SALT LAKE COUNTY RECORDER



LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100
WWW.ENSGNENG.COM

SANDY
Phone: 801.255.0529
TOOELE
Phone: 435.343.3980
CEDAR CITY
Phone: 435.865.1453
RICHFIELD
Phone: 435.391.2963



| | | |
|-----|------|-------------------|
| NO. | DATE | REASON FOR REVIEW |
|-----|------|-------------------|

GENERAL NOTES

| | |
|------------------------------|--------------------------|
| PROJECT NUMBER 13520 | PRINT DATE 2026-04-08 |
| PROJECT MANAGER K.SIMMONS | DESIGNED BY M.ELMER |

GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (CURRENT EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND/OR UTILITY MAPPING PROVIDED TO THE ENGINEER, AND THEREFORE UTILITIES MAY NOT BE LOCATED CORRECTLY, EITHER HORIZONTALLY OR VERTICALLY, AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR IS REQUIRED TO FOLLOW THE PROCEDURE OUTLINED BELOW.
 - CONTRACTOR IS REQUIRED TO LOCATE AND POT-HOLE ALL EXISTING UTILITY LINES (BOTH HORIZONTALLY AND VERTICALLY) THAT AFFECT THE PROJECT CONSTRUCTION, EITHER ON-SITE OR OFF-SITE, AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE DESIGN OF THE SITE AS SHOWN ON THE APPROVED PLANS PRIOR TO ANY CONSTRUCTION. IF IT IS DETERMINED THAT CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) THE ENGINEER MUST BE NOTIFIED IMMEDIATELY TO CORRECT THE CONFLICTS BEFORE ANY WORK CAN BEGIN. IF THE CONTRACTOR FAILS TO FOLLOW THIS ABSOLUTE REQUIREMENT AND CONFLICTS ARISE DURING CONSTRUCTION THE CONTRACTOR WILL BEAR THE SOLE RESPONSIBILITY TO FIX THE CONFLICTS.
 - CONTRACTOR IS REQUIRED TO VERIFY THAT PROPER COVER AND PROTECTION OF EXISTING UTILITY LINES IS MAINTAINED OR ATTAINED WITHIN THE DESIGN ONCE VERIFICATION OF THE EXISTING UTILITIES IS COMPLETED AS OUTLINED IN 16.1 ABOVE.
 - IN ADDITION TO 16.1 AND 16.2 ABOVE THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY "POT-HOLING" A MINIMUM OF 300 FEET AHEAD OF PROPOSED PIPELINE CONSTRUCTION TO AVOID POTENTIAL CONFLICTS WITH DESIGNED PIPELINE ALIGNMENT AND GRADE AND EXISTING UTILITIES.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) AS DETERMINED UNDER 16.1, 16.2 OR 16.3 THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO IDENTIFY AND/OR "POT-HOLE" EXISTING UTILITIES AS REQUIRED IN 16.1, 16.2 AND 16.3 ABOVE, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
- ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE GOVERNING AGENCY PRIOR TO THE PLACEMENT.
- CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

UTILITY NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-862-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS (CURRENT EDITION), SECTION 215.05 (2) - BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS DETERMINED BY THE GEOTECHNICAL RECOMMENDATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
- THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
- ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (CURRENT EDITION) STANDARDS AND INSPECTOR REQUIREMENT. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET; EDGE TO EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CANNOT BE MAINTAINED, CONSTRUCT PER GOVERNING AGENCY'S MINIMUM SEPARATION STANDARDS.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

TRAFFIC CONTROL AND SAFETY NOTES

- TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE GOVERNING AGENCY FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE GOVERNING AGENCY.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
- ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAYING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
- THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM HIS OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

GRADING AND DRAINAGE NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
- THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
- ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
- THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
- THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
- THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

ABBREVIATIONS

| | |
|---------|--|
| APWA | AMERICAN PUBLIC WORKS ASSOCIATION |
| AR | ACCESSIBLE ROUTE |
| ASTM | AMERICAN SOCIETY FOR TESTING AND MATERIALS |
| AWWA | AMERICAN WATER WORKS ASSOCIATION |
| BOS | BOTTOM OF STEP |
| BVC | BEGIN VERTICAL CURVE |
| C | CURVE |
| CB | CATCH BASIN |
| CF | CURB FACE OR CUBIC FEET |
| CL | CENTER LINE |
| CO | CLEAN OUT |
| COMM | COMMUNICATION |
| CONC | CONCRETE |
| CONT | CONTINUOUS |
| DIA | DIAMETER |
| DIP | DUCTILE IRON PIPE |
| ELEC | ELECTRICAL |
| ELEV | ELEVATION |
| EOA | EDGE OF ASPHALT |
| EVC | END OF VERTICAL CURVE |
| EW | EACH WAY |
| EXIST | EXISTING |
| FF | FINISH FLOOR |
| FG | FINISH GRADE |
| FI | FIRE HYDRANT |
| FL | FLOW LINE OR FLANGE |
| GB | GRADE BREAK |
| GF | GARAGE FLOOR |
| GV | GATE VALVE |
| HC | HANDICAP |
| HP | HIGH POINT |
| IRR | IRRIGATION |
| K | RATE OF VERTICAL CURVATURE |
| LD | LAND DRAIN |
| LF | LINEAR FEET |
| LP | LOW POINT |
| MEX | MATCH EXISTING |
| MH | MANHOLE |
| MJ | MECHANICAL JOINT |
| NG | NATURAL GROUND |
| NIC | NOT IN CONTRACT |
| NO | NUMBER |
| OC | ON CENTER |
| OCEW | ON CENTER EACH WAY |
| OHP | OVERHEAD POWER |
| P | POINT OF CURVATURE OR PRESSURE CLASS |
| PCC | POINT OF COMPOUND CURVATURE |
| PI | POINT OF INTERSECTION |
| PVI | POST INDICATOR VALVE |
| PL | PROPERTY LINE |
| PRC | POINT OF REVERSE CURVATURE |
| PRO | PROPOSED |
| PT | POINT OF TANGENCY |
| PVC | POINT OF VERTICAL CURVATURE |
| PVI | POINT OF VERTICAL INTERSECTION |
| PVT | POINT OF VERTICAL TANGENCY |
| R | RADIUS |
| RD | ROOF DRAIN |
| ROW | RIGHT OF WAY |
| S | SLOPE |
| SAN SWR | SANITARY SEWER |
| SD | STORM DRAIN |
| SEC | SECONDARY |
| SS | SANITARY SEWER |
| STA | STATION |
| SW | SECONDARY WATER LINE |
| TBC | TOP BACK OF CURB |
| TOG | TOP OF GRATE |
| TOA | TOP OF ASPHALT |
| TOC | TOP OF CONCRETE |
| TOP | TOP OF FOUNDATION |
| TOW | TOP OF WALL |
| TOS | TOP OF STEP |
| TRB | TOP OF ROAD BASE |
| TPY | TYPICAL |
| VC | VERTICAL CURVE |
| WV | WALL INDICATOR VALVE |
| W | WATER LINE |

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

| | | | |
|--|-------------------------------------|--|--------------------------------------|
| | SECTION CORNER | | EXISTING EDGE OF ASPHALT |
| | EXISTING MONUMENT | | PROPOSED EDGE OF ASPHALT |
| | PROPOSED MONUMENT | | EXISTING STRIPING |
| | EXISTING REBAR AND CAP | | PROPOSED STRIPING |
| | SET ENSIGN REBAR AND CAP | | EXISTING FENCE |
| | EXISTING WATER METER | | PROPOSED FENCE |
| | PROPOSED WATER METER | | EXISTING FLOW LINE |
| | EXISTING WATER MANHOLE | | PROPOSED FLOW LINE |
| | PROPOSED WATER MANHOLE | | GRADE BREAK |
| | EXISTING WATER BOX | | EXISTING STORM DRAIN LINE |
| | EXISTING WATER VALVE | | PROPOSED STORM DRAIN LINE |
| | PROPOSED WATER VALVE | | ROOF DRAIN LINE |
| | EXISTING FIRE HYDRANT | | CATCHMENTS |
| | PROPOSED FIRE HYDRANT | | HIGHWATER LINE |
| | PROPOSED FIRE DEPARTMENT CONNECTION | | EXISTING SANITARY SEWER |
| | EXISTING SECONDARY WATER VALVE | | PROPOSED SANITARY SEWER LINE |
| | PROPOSED SECONDARY WATER VALVE | | PROPOSED SAN. SWR. SERVICE LINE |
| | EXISTING IRRIGATION BOX | | EXISTING LAND DRAIN LINE |
| | EXISTING IRRIGATION VALVE | | PROPOSED LAND DRAIN LINE |
| | PROPOSED IRRIGATION VALVE | | PROPOSED LAND DRAIN SERVICE LINE |
| | EXISTING SANITARY SEWER MANHOLE | | EXISTING CULINARY WATER LINE |
| | PROPOSED SANITARY SEWER MANHOLE | | PROPOSED CULINARY WATER LINE |
| | EXISTING SANITARY CLEAN OUT | | PROPOSED CULINARY WATER SERVICE LINE |
| | EXISTING STORM DRAIN CLEAN OUT BOX | | EXISTING STORM DRAIN WATER LINE |
| | PROPOSED STORM DRAIN CLEAN OUT BOX | | PROPOSED SECONDARY WATER LINE |
| | EXISTING STORM DRAIN INLET BOX | | PROPOSED SEC. WATER SERVICE LINE |
| | EXISTING STORM DRAIN CATCH BASIN | | EXISTING IRRIGATION LINE |
| | PROPOSED STORM DRAIN CATCH BASIN | | PROPOSED IRRIGATION LINE |
| | EXISTING STORM DRAIN COMBO BOX | | EXISTING OVERHEAD POWER LINE |
| | PROPOSED STORM DRAIN COMBO BOX | | EXISTING ELECTRICAL LINE |
| | EXISTING STORM DRAIN CLEAN OUT | | EXISTING GAS LINE |
| | EXISTING STORM DRAIN CULVERT | | EXISTING TELEPHONE LINE |
| | PROPOSED STORM DRAIN CULVERT | | ACCESSIBLE ROUTE |
| | TEMPORARY SAG INLET PROTECTION | | SAW CUT LINE |
| | TEMPORARY IN-LINE INLET PROTECTION | | STRAW WATTLE |
| | ROOF DRAIN | | TEMPORARY BERM |
| | EXISTING ELECTRICAL MANHOLE | | TEMPORARY SILT FENCE |
| | EXISTING ELECTRICAL BOX | | LIMITS OF DISTURBANCE |
| | EXISTING TRANSFORMER | | EXISTING WALL |
| | EXISTING UTILITY POLE | | PROPOSED WALL |
| | EXISTING LIGHT | | EXISTING CONTOURS |
| | PROPOSED LIGHT | | PROPOSED CONTOURS |
| | EXISTING GAS METER | | BUILDABLE AREA WITHIN SETBACKS |
| | EXISTING GAS MANHOLE | | PUBLIC DRAINAGE EASEMENT |
| | EXISTING GAS VALVE | | EXISTING ASPHALT TO BE REMOVED |
| | EXISTING TELEPHONE MANHOLE | | PROPOSED ASPHALT |
| | EXISTING TELEPHONE BOX | | EXISTING CURB AND GUTTER |
| | EXISTING TRAFFIC SIGNAL BOX | | PROPOSED CURB AND GUTTER |
| | EXISTING CABLE BOX | | PROPOSED REVERSE PAN CURB AND GUTTER |
| | EXISTING BOLLARD | | TRANSITION TO REVERSE PAN CURB |
| | PROPOSED BOLLARD | | CONCRETE TO BE REMOVED |
| | EXISTING SIGN | | EXISTING CONCRETE |
| | | | |

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BENCHMARK
SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'

DANIEL R RINO
KRISTEN LEE KAPS (JT)
28-11-455-020

SALT LAKE COUNTY
28-11-351-004

RDL TRUST
28-11-376-005

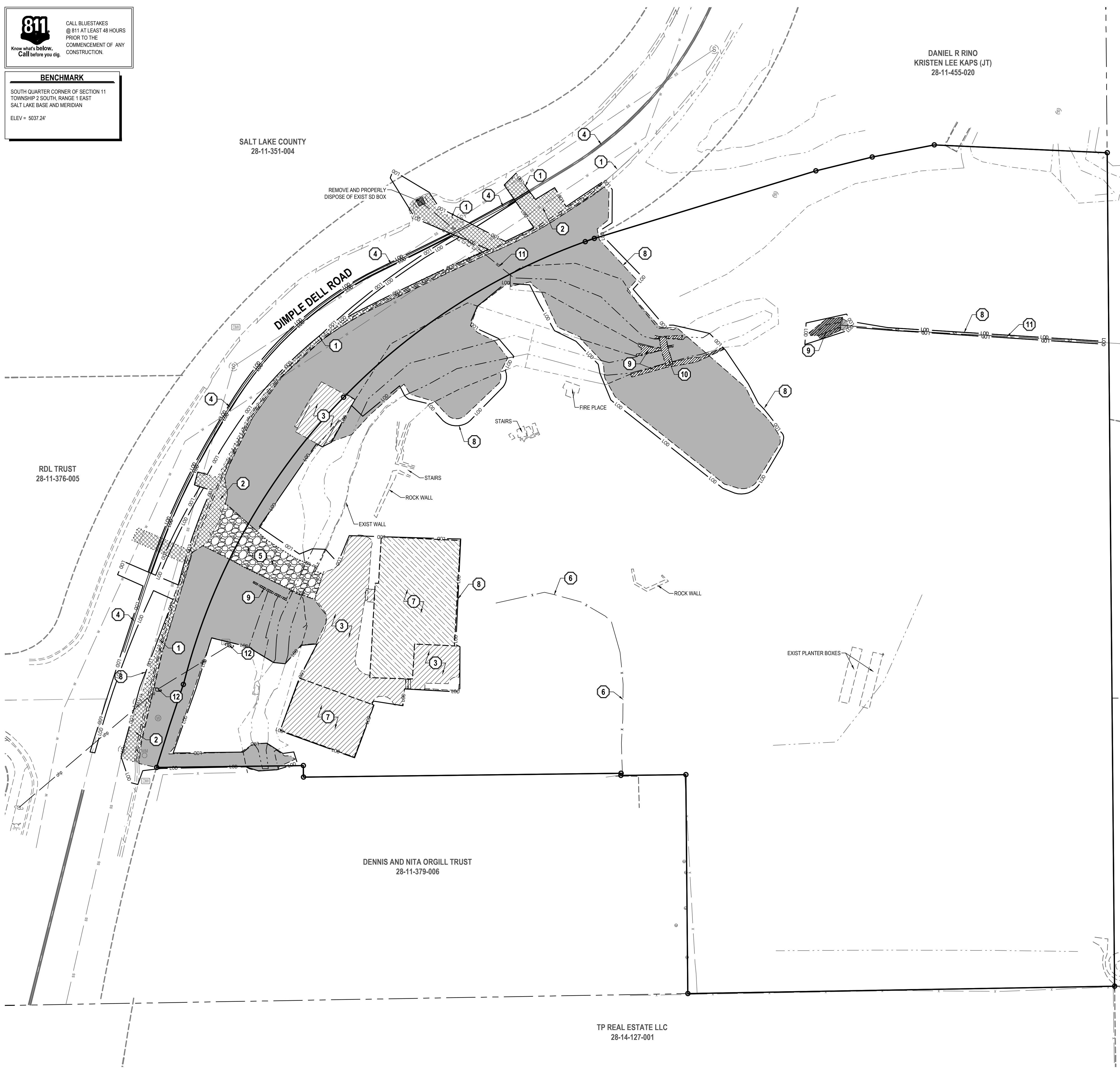
DENNIS AND NITA ORGILL TRUST
28-11-379-006

TP REAL ESTATE LLC
28-14-127-001

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28-11-455-006

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28-11-455-070

THE BOULDERS RIDGE
HOMEOWNERS ASSOCIATION
28-14-201-020



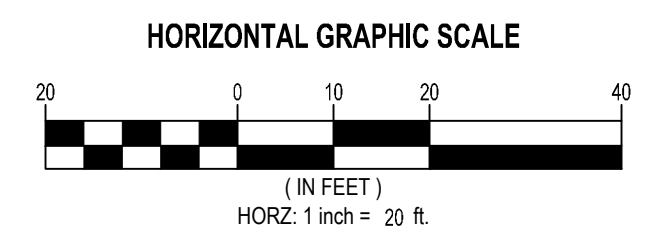
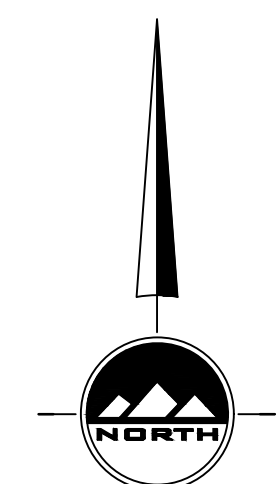
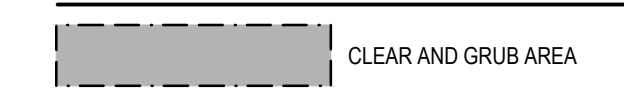
GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOIL, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
4. ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
5. SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
6. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
 - 2 REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT.
 - 3 REMOVE AND PROPERLY DISPOSE OF EXISTING CONCRETE
 - 4 REMOVE EXISTING PAVEMENT MARKINGS FROM EXISTING ASPHALT PAVEMENT BY GRINDING OR WATER BLASTING, OR APPROVED EQUAL, TO MINIMIZE SURFACE SCARRING.
 - 5 REMOVE AND PROPERLY DISPOSE OF EXISTING GRAVEL DRIVE.
 - 6 REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE.
 - 7 REMOVE AND PROPERLY DISPOSE OF EXISTING STRUCTURES, CONCRETE SLABS, STAIRS, ETC., INCLUDING ALL ELECTRICAL APPURTENANCES, IN THIS AREA WHETHER OR NOT IDENTIFIED ON PLANS. CONTRACTOR TO FILL IN ALL HOLES CREATED DURING DEMOLITION WITH STRUCTURAL FILL TO PROPER SUBGRADE ELEVATION.
 - 8 LIMIT OF DISTURBANCE.
 - 9 REMOVE AND PROPERLY DISPOSE OF EXISTING WALL
 - 10 REMOVE AND PROPERLY DISPOSE OF EXISTING DIVERSION STRUCTURE
 - 11 REMOVE AND PROPERLY DISPOSE OF EXIST SD PIPE
 - 12 OVERHEAD POWER POLE TO BE RELOCATED

LEGEND



ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
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SANDY
Phone: 801.255.0529

TOOELE
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CEDAR CITY
Phone: 435.865.1453

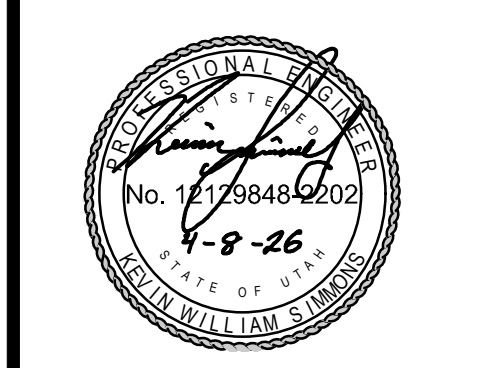
RICHFIELD
Phone: 435.896.2983

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FOR:
ALYSSA HOLBROOK
4565 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

**SILVER SAGE ESTATES
PRELIMINARY PLAT**
10143 DIMPLE DELL ROAD
SANDY, UTAH



NO. DATE REVISION FOR REVIEW

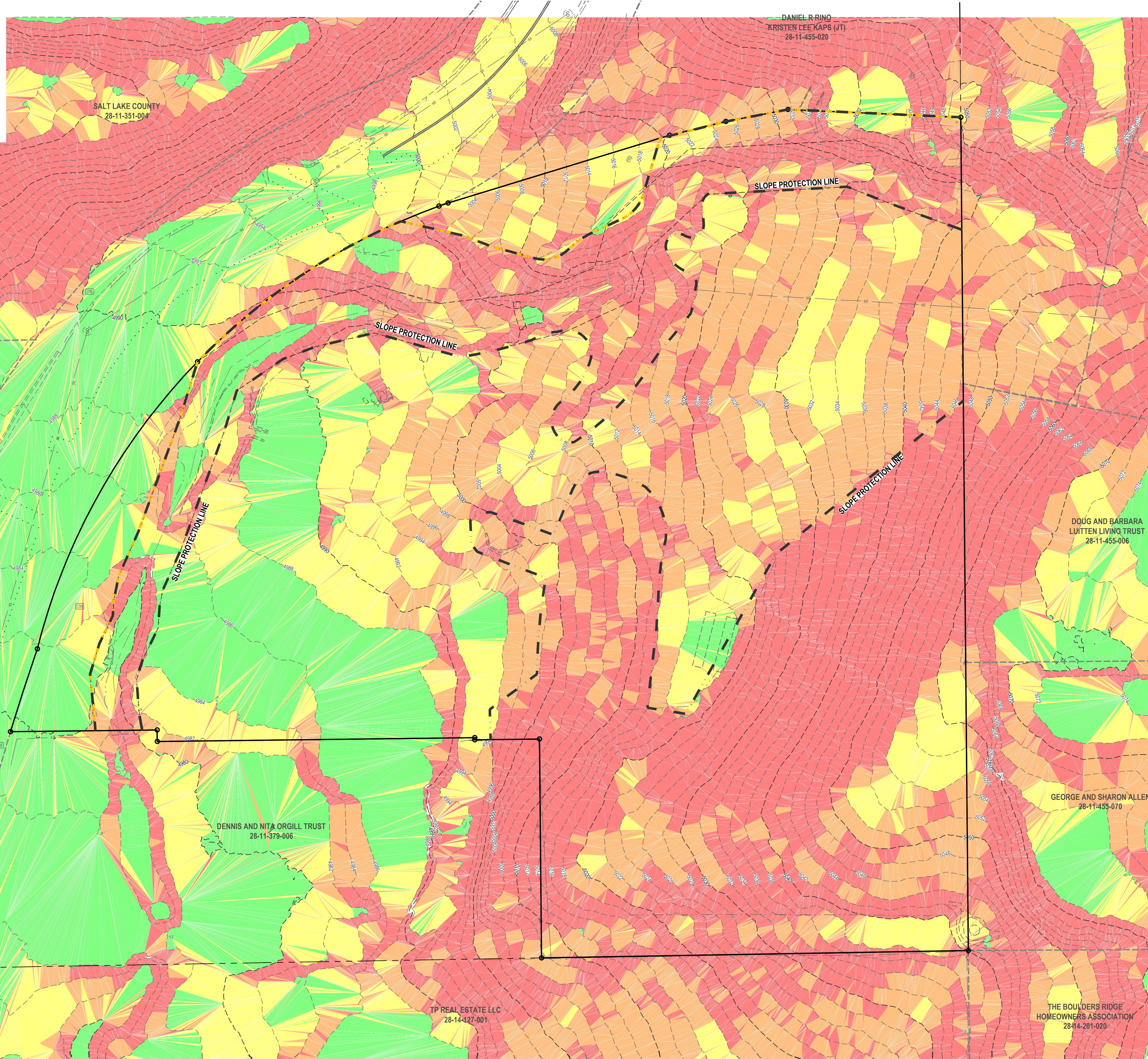
DEMOLITION PLAN

PROJECT NUMBER 13520 PRINT DATE 2026-04-08
PROJECT MANAGER K.SIMMONS DESIGNED BY M.ELMER

C-002

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TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'



DANIEL R RINO
KRISTEN LEE KAPS (JT)
28-11-455-020

SLOPES TABLE

| NUMBER | MINIMUM SLOPE | MAXIMUM SLOPE | COLOR |
|--------|---------------|---------------|--------|
| 1 | 0.00% | 10.00% | Green |
| 2 | 10.00% | 20.00% | Yellow |
| 3 | 20.00% | 30.00% | Orange |
| 4 | 30.00% | 200.00% | Red |

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Phone: 435.865.1453

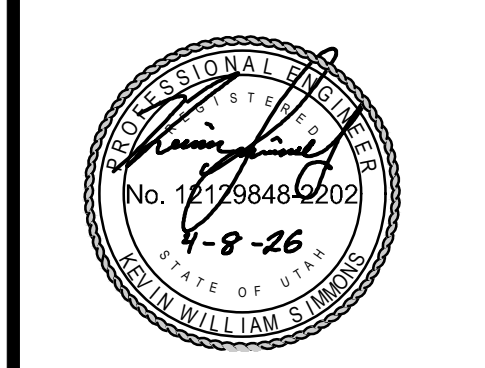
RICHFIELD
Phone: 435.896.2983

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FOR:
ALYSSA HOLBROOK
4585 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

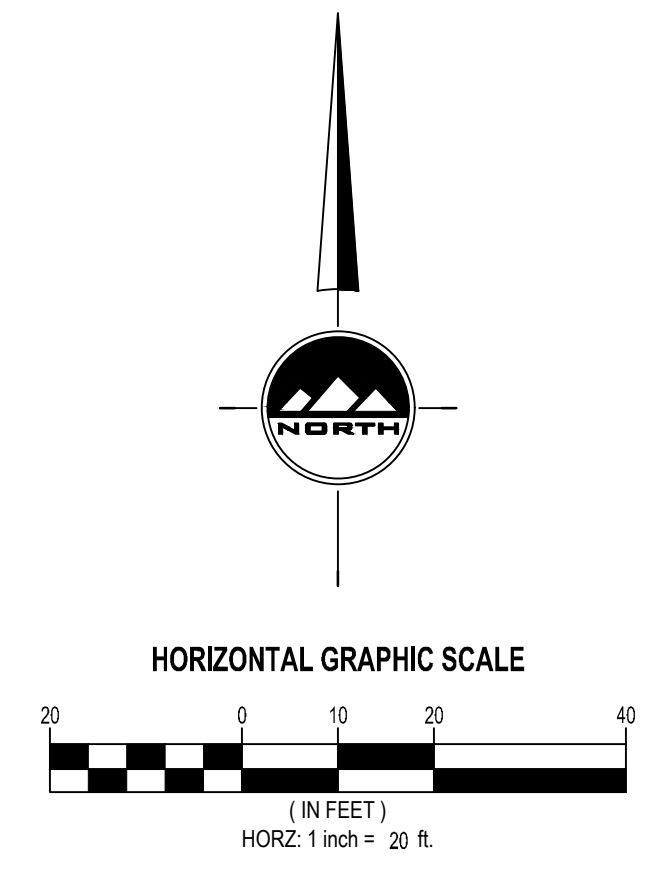
**SILVER SAGE ESTATES
PRELIMINARY PLAT**
10143 DIMPLE DELL ROAD
SANDY, UTAH



NO. DATE REASON FOR REVIEW

**SLOPE ANALYSIS
PER SANDY CITY TOPO**





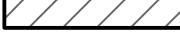
PROJECT NUMBER 13520 PRINT DATE 2026-04-08
PROJECT MANAGER K. SIMMONS DESIGNED BY M. ELMER



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DANIEL R RINO
KRISTEN LEE KAPS (JT)
28-11-455-020

- LEGEND**
-  PROTECTED HILLSIDE (30% OR GREATER NATURAL SLOPE) TO REMAIN IN ITS NATURAL CONDITION. NO GRADING, CUTTING, FILLING OR CONSTRUCTION OF ANY KIND IS ALLOWED, EXCEPT AS APPROVED BY THE SANDY CITY ENGINEER.
 -  MAN MADE 30% SLOPE OR GREATER SLOPE AREA NOT PROTECTED. GRADING, CUTTING, FILLING OR CONSTRUCTION IS ALLOWED IN THIS AREA, AS APPROVED BY THE SANDY CITY ENGINEER.
 -  ANOMALY 30% OR GREATER SLOPE AREA. GRADING, CUTTING, FILLING OR CONSTRUCTION IS ALLOWED IN THIS AREA, AS APPROVED BY THE SANDY CITY ENGINEER.
 -  BUILDABLE USABLE AREA
 -  PROTECTED DRAINAGE FEATURE
- NOTE: NO DEBRIS FLOW ZONES OR ROCK-FALL ZONES ARE LOCATED WITHIN THE SUBJECT PROPERTY

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THE STANDARD IN ENGINEERING

LAYTON
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Layton, UT 84041
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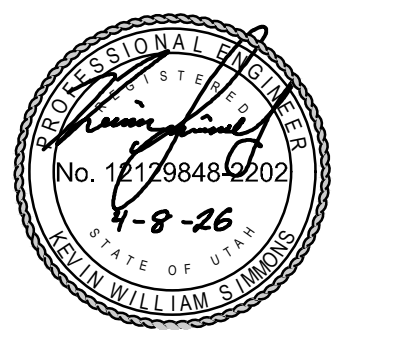
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FOR:
ALYSSA HOLBROOK
4585 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

**SILVER SAGE ESTATES
PRELIMINARY PLAT**
10143 DIMPLE DELL ROAD
SANDY, UTAH

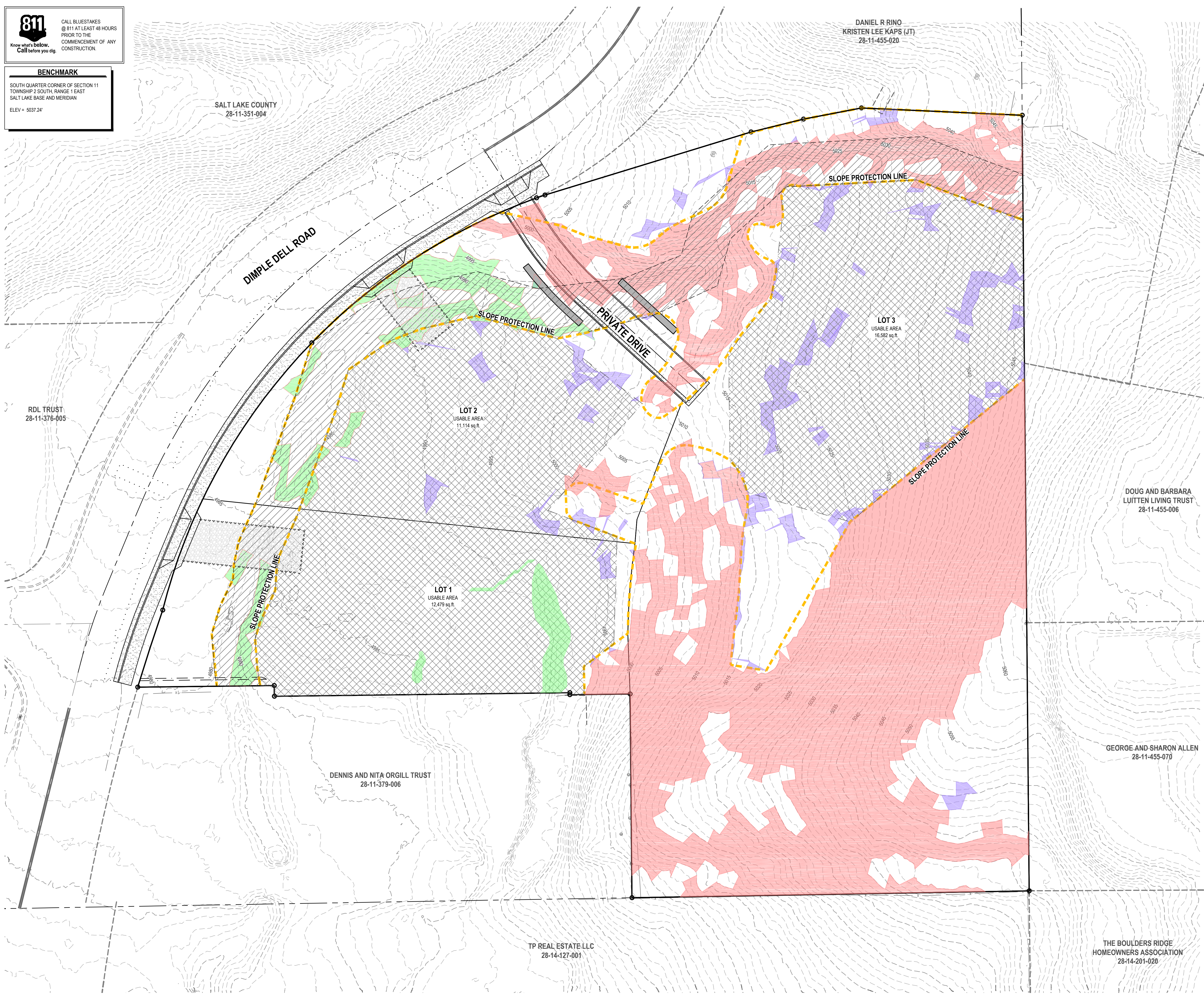


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**30% SLOPE EXHIBIT
PER SANDY CITY TOPO**

PROJECT NUMBER 13520 PRINT DATE 2026-04-08
PROJECT MANAGER K.SIMMONS DESIGNED BY M.ELMER

1 OF 1



SALT LAKE COUNTY
28-11-351-004

RDL TRUST
28-11-376-005

LOT 2
USABLE AREA
11,114 sq. ft.

LOT 3
USABLE AREA
16,582 sq. ft.

LOT 1
USABLE AREA
12,479 sq. ft.

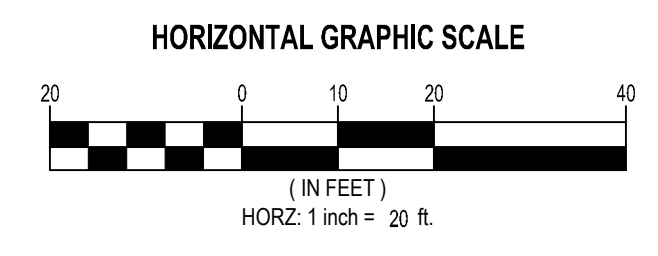
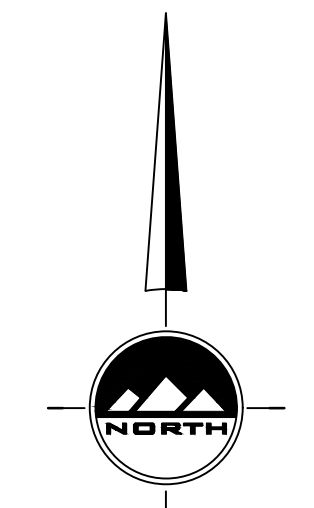
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28-11-455-006

DENNIS AND NITA ORGILL TRUST
28-11-379-006

GEORGE AND SHARON ALLEN
28-11-455-070

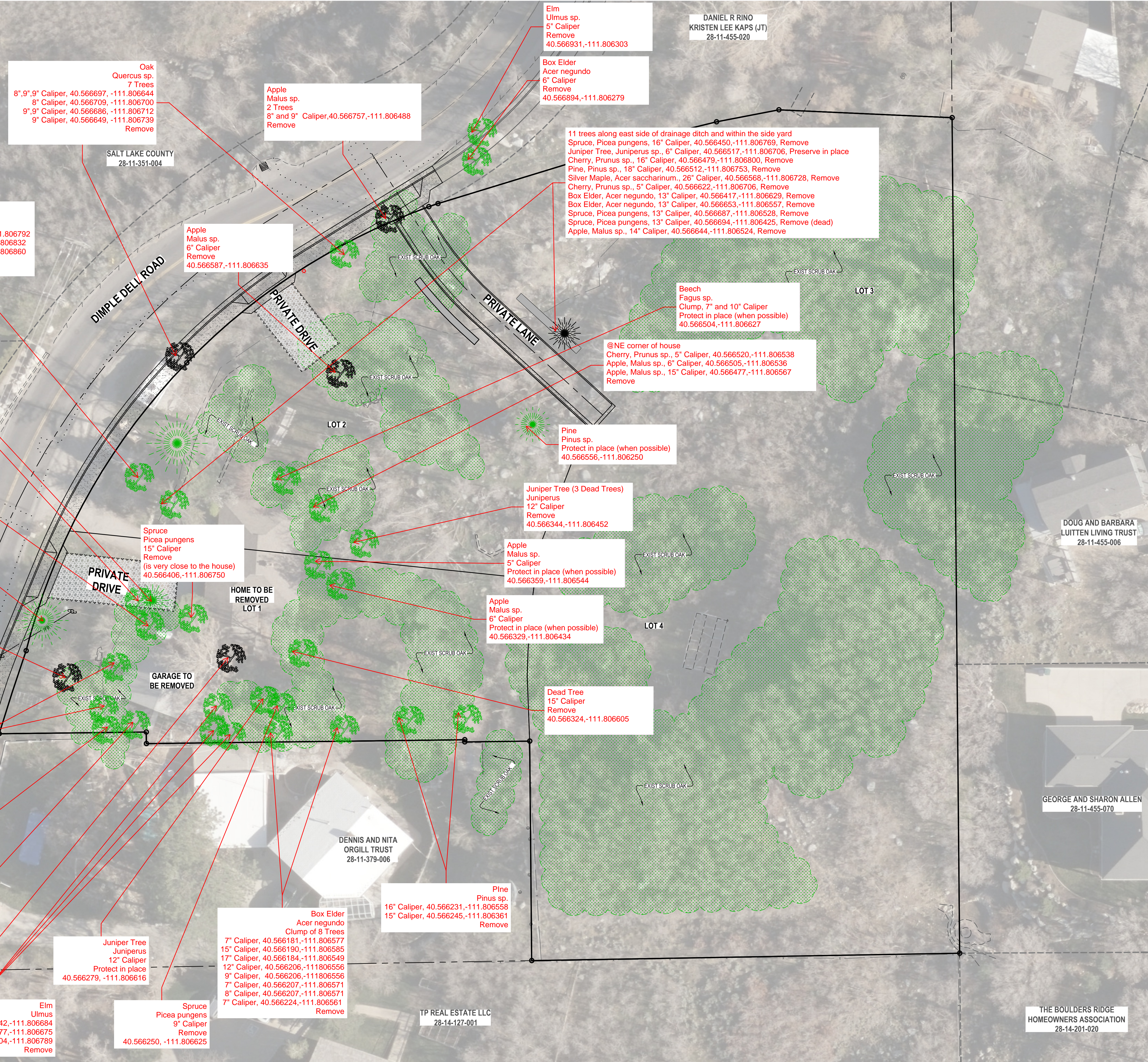
TP REAL ESTATE LLC
28-14-127-001

THE BOULDERS RIDGE
HOMEOWNERS ASSOCIATION
28-14-201-020



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BENCHMARK
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SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'



- NOTES**
1. VEGETATION SHALL BE REMOVED ONLY WHEN ABSOLUTELY NECESSARY FOR THE CONSTRUCTION OF BUILDINGS, ROADS AND FILLED AREAS.
 2. ALL AREAS ON DEVELOPMENT SITES CLEARED OF NATURAL VEGETATION IN THE COURSE OF CONSTRUCTION OF OFF-SITE IMPROVEMENTS SHALL BE REPLANTED WITH VEGETATION WITH GOOD EROSION CONTROL CHARACTERISTICS.
 3. NEW PLANTINGS SHALL BE PROTECTED WITH A MULCH MATERIAL AND FERTILIZED IN CONJUNCTION WITH THE PLANTING AND WATERING SCHEDULE.
 4. THE USE OF PERSONS OR FIRMS HAVING EXPERIENCE IN THE PRACTICE OF REVEGETATION SHALL SUPERVISE THE PLANTING AND INSTALLATION OF REVEGETATION COVER.
 5. AFTER COMPLETION OF OFF-SITE IMPROVEMENTS, VEGETATION SHOULD BE PLANTED IN ALL DISTURBED AREAS DURING THE FOLLOWING TIME PERIODS ONLY: MARCH 15 THROUGH MAY 15 AND SEPTEMBER 15 THROUGH OCTOBER 31. IF IRRIGATED, PLANTING MAY BE DONE DURING SUMMER MONTHS.
 6. GENERALLY, NO VEGETATION SHALL BE REMOVED ON A CONTINUOUS HILLSIDE, CREST (UPSLOPE OR DOWNSLOPE), WITH A SLOPE 30 PERCENT OR GREATER.
 7. TOPSOIL REMOVED DURING SITE CONSTRUCTION SHALL BE RESERVED FOR LATER USE ON AREAS REQUIRING VEGETATION OR LANDSCAPING SUCH AS CUT AND FILL SLOPES.
 8. ALL DISTURBED SOIL SURFACES SHALL BE STABILIZED OR COVERED PRIOR TO NOVEMBER 1. IF THE PLANNED IMPERVIOUS SURFACES CANNOT BE ESTABLISHED PRIOR TO NOVEMBER 1, A TEMPORARY TREATMENT ADEQUATE TO PREVENT EROSION SHALL BE INSTALLED ON THOSE SURFACES.
 9. THE PROPERTY OWNER AND/OR DEVELOPER SHALL BE FULLY RESPONSIBLE FOR ANY DESTRUCTION OR DAMAGE OF NATIVE OR APPLIED VEGETATION IDENTIFIED AS NECESSARY FOR SOIL RETENTION AND SHALL BE RESPONSIBLE TO REPLACE SUCH DESTROYED VEGETATION. THEY SHALL CARRY THE RESPONSIBILITY BOTH FOR EMPLOYEES AND SUBCONTRACTORS FROM THE FIRST DAY OF CONSTRUCTION UNTIL THE FINAL ACCEPTANCE OF IMPROVEMENTS. THE PROPERTY OWNER AND/OR DEVELOPER SHALL REPLACE ALL DESTROYED VEGETATION WITH VARIETIES OF VEGETATION APPROVED BY THE DIRECTOR.

LEGEND
EXISTING VEGETATION - SCRUB OAK-UNPROTECTED

- SANDY CITY NOTES**
- VEGETATION AND REVEGETATION NOTES**
1. VEGETATION SHALL BE REMOVED ONLY WHEN ABSOLUTELY NECESSARY FOR THE CONSTRUCTION OF BUILDINGS, ROADS, AND FILLED AREAS.
 2. ALL AREAS ON DEVELOPMENT SITES CLEARED OF NATURAL VEGETATION IN THE COURSE OF CONSTRUCTION OF OFF-SITE IMPROVEMENTS SHALL BE REPLANTED WITH VEGETATION WHICH HAS GOOD EROSION CONTROL CHARACTERISTICS.
 3. NEW PLANTINGS SHALL BE PROTECTED WITH A MULCH MATERIAL AND FERTILIZED IN CONJUNCTION WITH THE PLANTING AND WATERING SCHEDULE DESCRIBED IN SUBSECTION (b)(3)(E) OF THIS SECTION.
 4. THE USE OF PERSONS OR FIRMS HAVING EXPERTISE IN THE PRACTICE OF REVEGETATION (E.G., LICENSED LANDSCAPE ARCHITECTS OR CERTIFIED NURSERYMEN) SHALL SUPERVISE THE PLANTING AND INSTALLATION OF REVEGETATION COVER.
 5. AFTER THE COMPLETION OF OFF-SITE IMPROVEMENTS, VEGETATION SHOULD BE PLANTED IN ALL DISTURBED AREAS DURING THE FOLLOWING TIME PERIODS ONLY:
1. MARCH 15 THROUGH MAY 15 AND SEPTEMBER 15 THROUGH OCTOBER 31
 6. IF IRRIGATED, PLANTING MAY BE DONE DURING SUMMER MONTHS
 7. GENERALLY, NO VEGETATION SHALL BE REMOVED ON A CONTINUOUS HILLSIDE, CREST (UPSLOPE OR DOWNSLOPE), WITH A SLOPE 30 PERCENT OR GREATER. HOWEVER, FOR USES SUCH AS TRAILS AND OPEN SPACE IMPROVEMENTS, THE CITY ENGINEER MAY APPROVE DESIGNATED AREAS OF VEGETATION THAT CAN BE REMOVED OR DISTURBED IN CONJUNCTION WITH A REVEGETATION OR SLOPE STABILIZATION PLAN.
 8. TOPSOIL REMOVED DURING SITE CONSTRUCTION SHALL BE RESERVED FOR LATER USE ON AREAS REQUIRING VEGETATION OR LANDSCAPING SUCH AS CUT AND FILL SLOPES.
 9. ALL DISTURBED SOIL SURFACES SHALL BE STABILIZED OR COVERED PRIOR TO NOVEMBER 1. IF THE PLANNED IMPERVIOUS SURFACES (E.G., ROADS, DRIVEWAYS, ETC.) CANNOT BE ESTABLISHED PRIOR TO NOVEMBER 1, A TEMPORARY TREATMENT ADEQUATE TO PREVENT EROSION SHALL BE INSTALLED ON THOSE SURFACES.
 10. THE PROPERTY OWNER AND/OR DEVELOPER SHALL BE FULLY RESPONSIBLE FOR ANY DESTRUCTION OR DAMAGE OF NATIVE OR APPLIED VEGETATION IDENTIFIED AS NECESSARY FOR SOIL RETENTION AND SHALL BE RESPONSIBLE TO REPLACE SUCH DESTROYED VEGETATION. THEY SHALL CARRY THE RESPONSIBILITY BOTH FOR EMPLOYEES AND SUBCONTRACTORS FROM THE FIRST DAY OF CONSTRUCTION UNTIL THE FINAL ACCEPTANCE OF IMPROVEMENTS. THE PROPERTY OWNER AND DEVELOPER SHALL REPLACE ALL DESTROYED VEGETATION WITH VARIETIES OF VEGETATION APPROVED BY THE DIRECTOR.

ENSIGN
THE STANDARD IN ENGINEERING

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919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

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TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

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FOR:
ALYSSA HOLBROOK
4585 S. HOLLADAY FARM LN
HOLLADAY UT

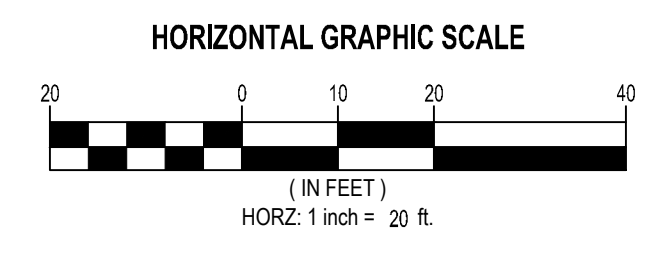
CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

**SILVER SAGE ESTATES
PRELIMINARY PLAT**
10143 DIMPLE DELL ROAD
SANDY, UTAH

NO. DATE REVISION FOR REVIEW

TREE SURVEY

PROJECT NUMBER 13520 PRINT DATE 2026-04-07
PROJECT MANAGER K.SIMMONS DESIGNED BY M.ELMER



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SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'

DANIEL R RINO
KRISTEN LEE KAPS (JT)
28-11-455-020

SALT LAKE COUNTY
28-11-351-004

GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
4. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
5. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
6. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

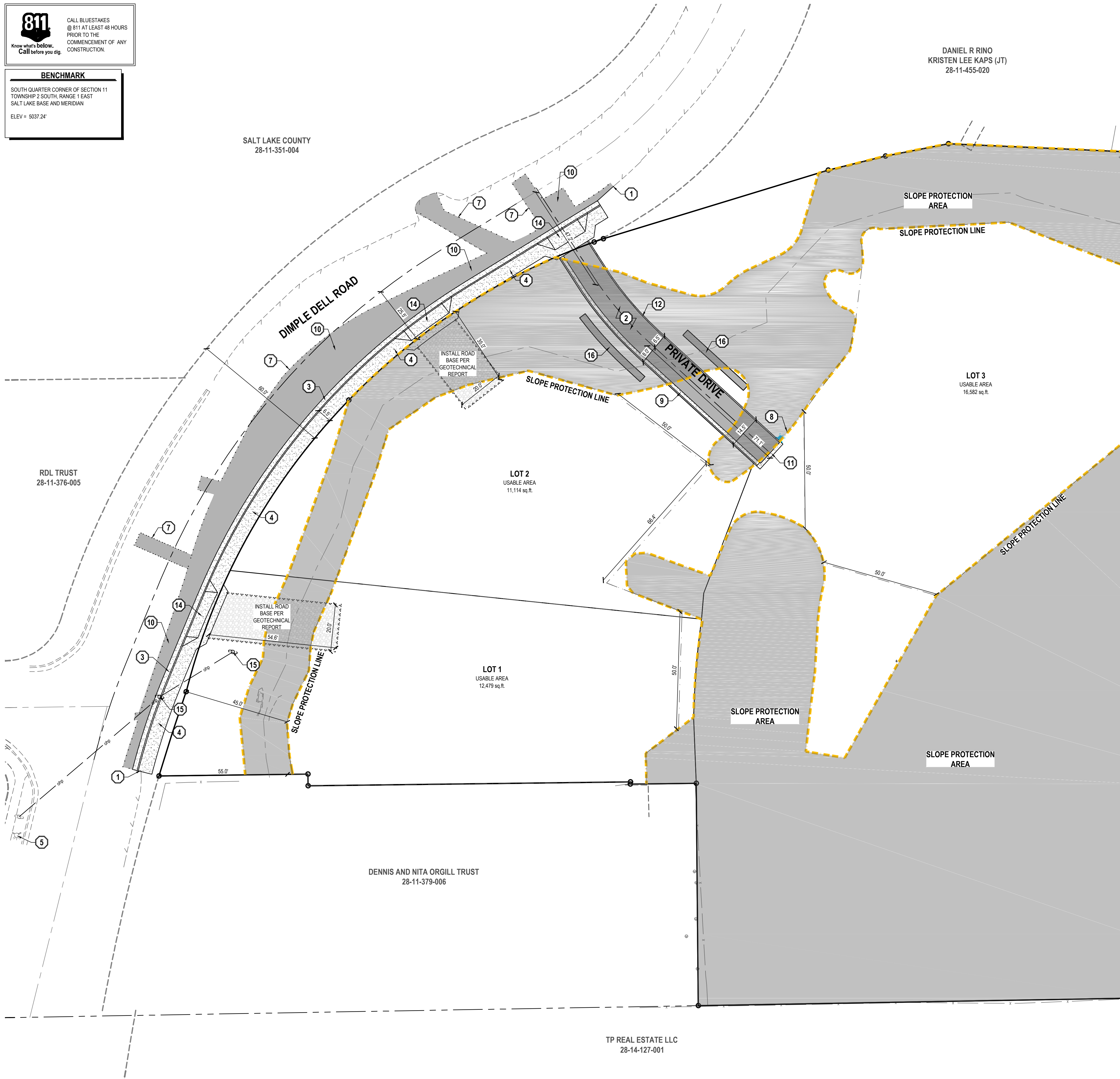
SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 MATCH EXISTING IMPROVEMENTS
- 2 INSTALL ASPHALT PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 11C-500
- 3 INSTALL 30" STANDARD HIGH BACK CURB AND GUTTER PER SANDY CITY STANDARD DETAIL CG-01 AND SPECIFICATIONS
- 4 INSTALL 4" THICK CONCRETE SIDEWALK PER SANDY CITY STANDARD DETAIL SW-03 AND SPECIFICATIONS
- 5 EXIST FIRE HYDRANT
- 6 NOT USED
- 7 SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT
- 8 INSTALL FIRE HYDRANT WITH GATE VALVE PER SANDY CITY STANDARD DETAIL WTR-01
- 9 INSTALL 24" STANDARD HIGH BACK CURB AND GUTTER PER DETAIL 10C-500
- 10 INSTALL ASPHALT PAVEMENT IN DIMPLE DELL ROAD PER GEOTECHNICAL REPORT AND DETAIL 12C-500
- 11 INSTALL 2" RIBBON CURB
- 12 INSTALL APWA TYPE P CURB
- 13 NOT USED
- 14 INSTALL DRIVE APPROACH PER SANDY CITY DETAIL DA-04
- 15 RELOCATE EXIST UTILITY POLE. COORDINATE WORK WITH ROCKY MOUNTAIN POWER
- 16 INSTALL MODULAR BLOCK RETAINING WALL - DESIGN BY OTHERS

LEGEND

SLOPE PROTECTION AREA



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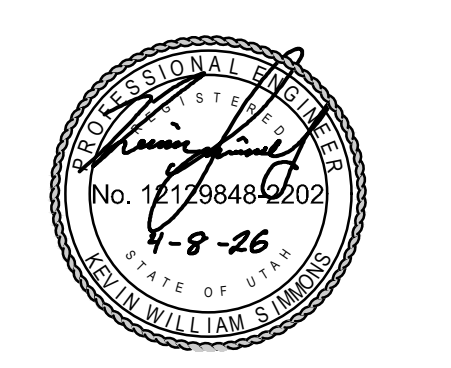
RICHFIELD
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FOR:
ALYSSA HOLBROOK
4565 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
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**SILVER SAGE ESTATES
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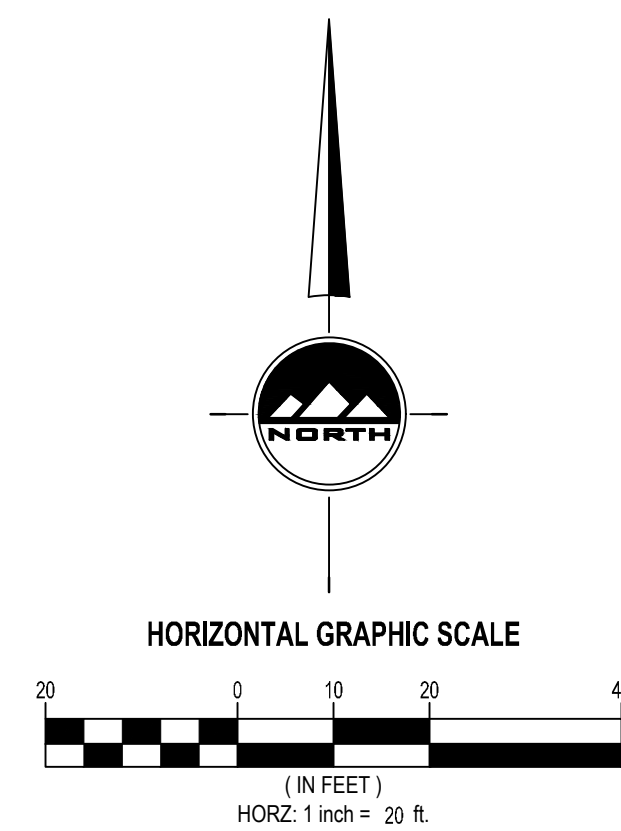


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**PRELIMINARY
SITE PLAN**

PROJECT NUMBER 13520 PRINT DATE 2026-04-08
PROJECT MANAGER K. SIMMONS DESIGNED BY M. ELMER

C-100

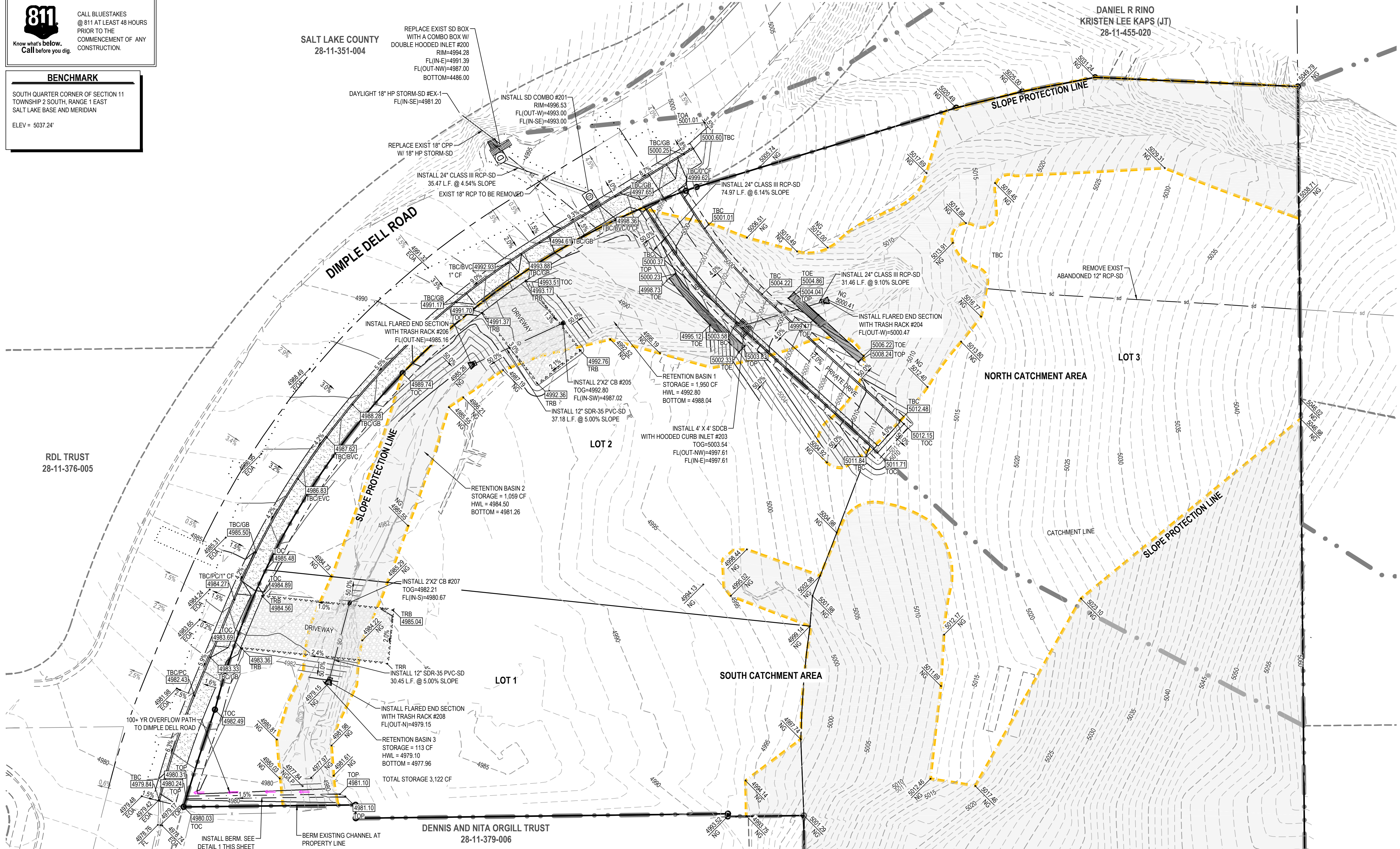


811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK
SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'

SALT LAKE COUNTY
28-11-351-004

DANIEL R RINO
KRISTEN LEE KAPS (JT)
28-11-455-020



GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
- LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
- GEOTECHNICAL ENGINEERING STUDY: 6.1 GENERAL
ALL DELETERIOUS MATERIALS SHOULD BE STRIPPED FROM THE SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. THIS INCLUDES VEGETATION, TOPSOIL, LOOSE AND DISTURBED SOILS, ETC. BASED UPON THE CONDITIONS OBSERVED IN THE TEST PITS THERE IS TOPSOIL ON THE SURFACE OF THE SITE WHICH WE ESTIMATED TO BE ABOUT 6 INCHES UP TO 3 FEET IN THICKNESS. WHEN STRIPPING AND GRUBBING, TOPSOIL SHOULD BE DISTINGUISHED BY THE APPARENT ORGANIC CONTENT AND NOT SOLELY BY COLOR; THIS WE ESTIMATE THAT TOPSOIL STRIPPING WILL NEED TO INCLUDE THE UPPER 4 INCHES POSSIBLY UP TO 2+ FEET. HOWEVER, WHERE TREES OR LARGE SHRUBS ARE LOCATED, LARGE ROOTS AND/OR ROOT BALLS LIKELY EXTEND DEEPER AND MUST ALSO BE COMPLETELY REMOVED. BASED UPON OUR UNDERSTANDING OF SOME PAST GRADING ON LIMITED PORTIONS OF THE SITE, THERE IS FILL PRESENT ON THE SURFACE IN THOSE AREAS. SUB FILL IS CONSIDERED UNDOCUMENTED NON-ENGINEERED AND UNSUITABLE FOR SUPPORT OF FOOTINGS AND FLOOR SLABS. WE UNDERSTAND THAT PROPOSED GRADING IS INTENDED TO RETURN THESE AREAS OF THE SITE TO "ORIGINAL" CONDITIONS. ALL UNDOCUMENTED FILL SHALL BE REMOVED FROM BENEATH STRUCTURES, BUT MAY REMAIN BENEATH EXTERIOR FLATWORK AND PAVEMENTS, PROVIDED THEY ARE PROPERLY PREPARED AND THE OWNER UNDERSTANDS THAT EVEN WITH THE SURFICIAL PREPARATION RECOMMENDED, UNDOCUMENTED FILL SEQUENCES THICKER THAN THE RECOMMENDED PREPARATION DEPTH HAVE THE POTENTIAL TO SETTLE/CONSOLIDATE OVER TIME AND ADDITIONAL MAINTENANCE OF SURFACES CONSTRUCTED OVER THEM MAY BE REQUIRED. OUTSIDE OF BUILDING FOOTPRINTS, PROPER PREPARATION OF UNDOCUMENTED FILL AND DISTURBED SOILS SHALL CONSIST OF REMOVING THE UPPER 12 INCHES, SCARIFYING THE EXPOSED SURFACE TO A MINIMUM DEPTH OF 8 INCHES, MOISTURE CONDITIONING AS NEEDED, AND RECOMPACTING THE SCARIFIED SOILS IN PLACE TO THE REQUIREMENTS GIVEN IN SECTION 6.4. THE REMOVED 12 INCHES OF FILL, IF FREE OF DEBRIS, ORGANICS, OR OTHER DELETERIOUS MATERIALS, MAY THEN BE REPLACED IN SIMILARLY COMPACTED LIFTS. IN PAVEMENT AREAS THE SUBGRADE MUST THEN BE PROOFROLLED BY PASSING MODERATE-WEIGHT RUBBER TIRE MOUNTED CONSTRUCTION EQUIPMENT OVER THE SURFACE AT LEAST TWICE. IF EXCESSIVELY SOFT OR LOOSE SOILS ARE ENCOUNTERED, THEY MUST BE REMOVED (UP TO A MAXIMUM DEPTH OF 2 FEET) AND FOLLOWED WITH STRUCTURAL FILL. FOLLOWING CLEARING AND GRUBBING, AND PRIOR TO ANY SURFACE PREPARATIONS, THE SUBGRADE SHOULD BE OBSERVED BY A CMT GEOTECHNICAL ENGINEER TO ASSESS THAT SUITABLE SOILS HAVE BEEN EXPOSED AND ANY DELETERIOUS MATERIALS, LOOSE AND/OR DISTURBED SOILS HAVE BEEN REMOVED, PRIOR TO PLACE SITE GRADING FILL, FOOTINGS, SLABS, AND PAVEMENTS. FILL PLACED OVER LARGE AREAS TO RAISE OVERALL SITE GRADES CAN INDUCE SETTLEMENTS IN THE UNDERLYING NATURAL SOILS. IF MORE THAN 4 FEET OF SITE GRADING FILL IS ANTICIPATED OVER THE NATURAL GROUND SURFACE, WE SHOULD BE NOTIFIED TO ASSESS POTENTIAL SETTLEMENTS AND PROVIDE ADDITIONAL RECOMMENDATIONS AS NEEDED. THESE RECOMMENDATIONS MAY INCLUDE PLACEMENT OF THE SITE GRADING FILL FAR IN ADVANCE TO ALLOW POTENTIAL SETTLEMENTS TO OCCUR PRIOR TO CONSTRUCTION.

ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SANDY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
ALYSSA HOLBROOK
4555 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

**SILVER SAGE ESTATES
PRELIMINARY PLAT**
10143 DIMPLE DELL ROAD
SANDY, UTAH

RDL TRUST
28-11-376-005

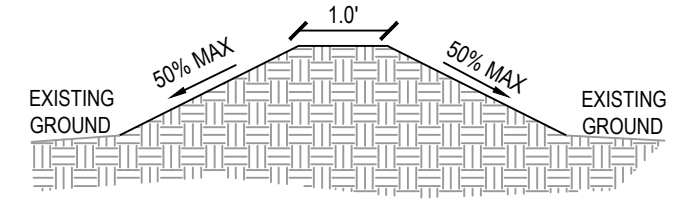
SANDY CITY NOTES

- STORMWATER NOTES**
- NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
 - A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
 - ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
 - SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, AND STRUCTURES (INLET BOXES, COMBO BOXES, AND JUNCTION BOXES). SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
 - CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
 - NON-SHRINK GROUT SHALL BE USED WHEREVER GROUT IS REQUIRED FOR THE STORM DRAIN FACILITIES.
 - CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE AND GROUT AT CONNECTION OF PIPE TO BOX TO A SMOOTH FINISH. ADDITIONALLY, ALL JAGGED OR SHARP EDGES AT PIPE CONNECTIONS ARE TO BE REMOVED AND GROUTED SMOOTH.
 - GROUT BETWEEN GRADE RINGS. FOR EACH INLET BOX THAT IS LOCATED NEXT TO A CURB, THE CURB AND GUTTER CONTRACTOR IS RESPONSIBLE TO REMOVE ALL PROTRUDING, JAGGED OR SHARP CONCRETE EDGES AND TO GROUT BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX. GROUT TO CREATE A SMOOTH, BEVELED TRANSITION AT ALL EDGES IN CLEAN OUT AND INLET BOXES. GROUT AROUND ALL EDGES OF THE RESTRICTIVE ORIFICE PLATE.
 - REMOVE SWAY TIES, WALLS, REBAR AND OTHER PROTRUSIONS FROM THE BOX OR PIPE INSIDE SURFACE, AS WELL AS ALL FORM WORK, PLASTIC AND CARDBOARD.
 - SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL INLET BOXES. COMBO BOXES, JUNCTION BOXES, AND PIPES, THE BOXES AND PIPES ARE TO BE MAINTAINED IN A CLEAN CONDITION UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
 - CLEAN OFF ALL MANHOLE LIDS AND INLET GRATES OF ASPHALT, CONCRETE, TAR OR OTHER ADHESIVES TO ALLOW ACCESS.
 - SUMPS ARE NOT ALLOWED.
 - SIGNS MUST BE POSTED NEAR EACH INLET BOX LOCATED IN A DRINKING

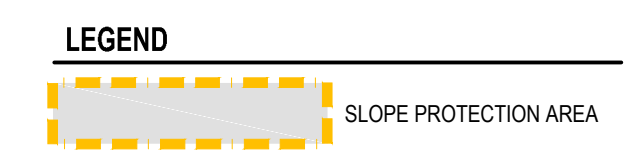
- WATER RECHARGE ZONE. WITH THE FOLLOWING WORDS "WARNING THIS IS A DRINKING WATER RECHARGE AREA. DISPOSAL OF ANY WASTE MATERIALS IN THE STORM WATER IS STRICTLY PROHIBITED."
- ALL INLET, COMBO AND JUNCTION BOXES SHALL BE PLACED ON 12-INCH MIN. COMPACTED STABILIZATION MATERIAL.
- A VIDEO OF ALL PIPES MUST BE COMPLETED BEFORE THE 80% OR 90% BOND RELEASE AND AGAIN BEFORE FINAL BOND RELEASE.
- A REPRESENTATIVE OF THE MANUFACTURER OR SUPPLIER SHALL BE ON SITE DURING INSTALLATION OF OIL/WATER SEPARATOR, MECHANICAL TREATMENT DEVICES, MEDIA FILTERS, AND UNDERGROUND DETENTION/RETENTION SYSTEMS. THE MANUFACTURER OR SUPPLIER SHALL PROVIDE A LETTER STATING THAT THE SYSTEM WAS INSTALLED PER MANUFACTURER'S SPECIFICATIONS. IF IT IS UNKNOWN WHETHER A REPRESENTATIVE IS REQUIRED TO BE PRESENT DURING INSTALLATION, CONTACT THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
- A STAMPED "LETTER OF CONFORMANCE" FROM THE DESIGN ENGINEER IS REQUIRED TO BE SUBMITTED TO SANDY CITY PUBLIC UTILITIES DEPARTMENT. PRIOR TO 90% BOND RELEASE. STATING THAT STORM WATER FLOW CONTROL ELEMENTS AND STORM WATER TREATMENT FACILITIES (E.G. DETENTION, RETENTION, LID BEST MANAGEMENT PRACTICES, OIL-WATER SEPARATORS, SUMPS, ETC.) WERE CONSTRUCTED ACCORDING TO THE APPROVED PLANS.

- GRADING, CUTS AND FILLS NOTES**
- EXPOSED UNSTABLE SURFACES OF A CUT OR FILL SHALL NOT BE STEEPER THAN ON VERTICAL TO TWO HORIZONTAL.
 - ALL PERMANENT FILL SHALL BE STABILIZED AND FINISHED TO REDUCE RISK ASSOCIATED WITH SETTLING, SLIDING OR EROSION.
 - THE TOP AND BOTTOM EDGES OF SLOPES CAUSED BY AN EXCAVATION OR FILL UP TO TEN VERTICAL FEET SHALL BE AT A MINIMUM OF THREE HORIZONTAL FEET FROM THE PROPERTY LINE OR PUBLIC RIGHT-OF-WAY LINES.
 - THE MAXIMUM VERTICAL HEIGHT OF ALL CUTS OR FILLS SHALL BE TEN FEET. UNDER EXCEPTIONAL CIRCUMSTANCES, THE PLANNING COMMISSION MAY APPROVE CUTS OR FILLS IN EXCESS OF TEN FEET WITH A RECOMMENDATION FROM THE CITY ENGINEER. CUTS OR FILLS SHALL BE MEASURED FROM NATURAL GRADE TO FINISHED GRADE. THE BURDEN OF DEMONSTRATING EXCEPTIONAL CIRCUMSTANCES SHALL BE ON THE DEVELOPER OF THE PROPERTY, BUT MAY INCLUDE:
 - CUTTING OR FILLING OF AREAS DESIGNATED AS ANOMALIES.
 - CUTTING TO ALLOW FOR REQUIRED SITE TRIANGLES.
 - AREAS PREVIOUSLY MODIFIED, ALTERED OR DISTURBED.
 - CUTS OR FILLS AS REQUIRED BY THE CITY ENGINEER TO MITIGATE UNSAFE CONDITION, SUCH AS SLOPES EXCEEDING 50 PERCENT.

- UNUSUAL TOPOGRAPHIC FEATURES, SUCH AS BOWLS OR RISES THAT DON'T EXCEED SLOPE LIMITATIONS BUT MAY INHIBIT SOUND CONSTRUCTION.
- OTHER CONDITIONS AS APPROVED BY THE PLANNING COMMISSION.
- ALL STRUCTURES, EXCEPT RETAINING WALLS OR SOIL STABILIZATION IMPROVEMENTS, SHALL HAVE A SETBACK FROM THE CREST OF THE FILL OR BASE OF THE CUT OF A MINIMUM DISTANCE EQUAL TO THE DEPTH OF THE FILL OR THE HEIGHT OF THE CUT, UNLESS A STRUCTURALLY SOUND RETAINING WALL IS BUILT FOR THE CUT OR FILL SLOPE. RETAINING WALLS 4' OR TALLER, MEASURED FROM BOTTOM OF FOUNDATION TO TOP OF WALL, MUST BE DESIGNED BY A GEOTECH ENGINEER AND REVIEWED BY THE CITY.
- NO GRADING, CUTS, FILLS, OR TERRACING WILL BE ALLOWED ON A CONTINUOUS HILLSIDE OF 30 PERCENT OR GREATER SLOPE. CREST (UP-SLOPE OR DOWN-SLOPE) UNLESS OTHERWISE DETERMINED BY THE PLANNING COMMISSION UPON RECOMMENDATION OF THE DIRECTOR AND CITY ENGINEER.



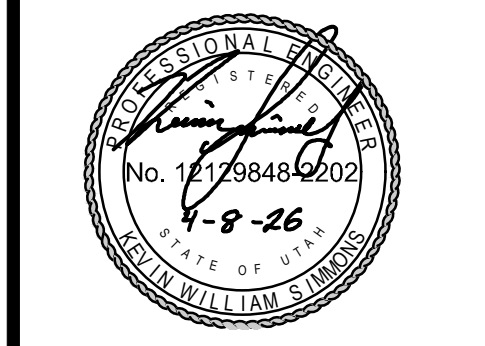
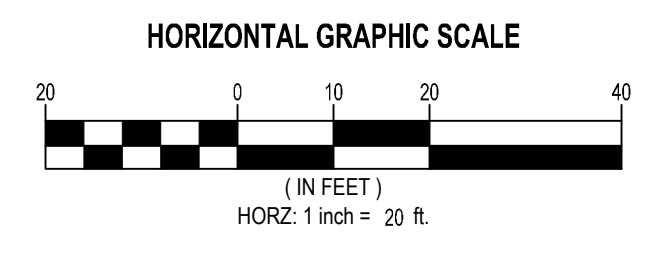
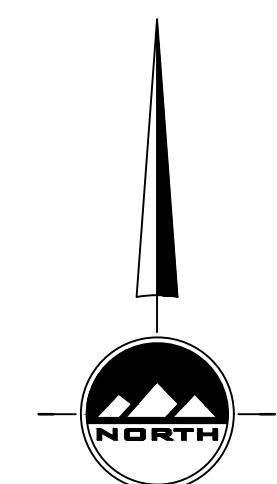
BERM DETAIL
SCALE: NONE



GEORGE AND SHARON ALLEN
28-11-455-070

TP REAL ESTATE LLC
28-14-127-001

THE BOULDERS RIDGE
HOMEOWNERS ASSOCIATION
28-14-201-020



**PRELIMINARY
GRADING AND
DRAINAGE PLAN**

PROJECT NUMBER: 13520
PRINT DATE: 2026-04-08
PROJECT MANAGER: K. SIMMONS
DESIGNED BY: M. ELMER

C-200

811
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BENCHMARK
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LEGEND
SLOPE PROTECTION AREA

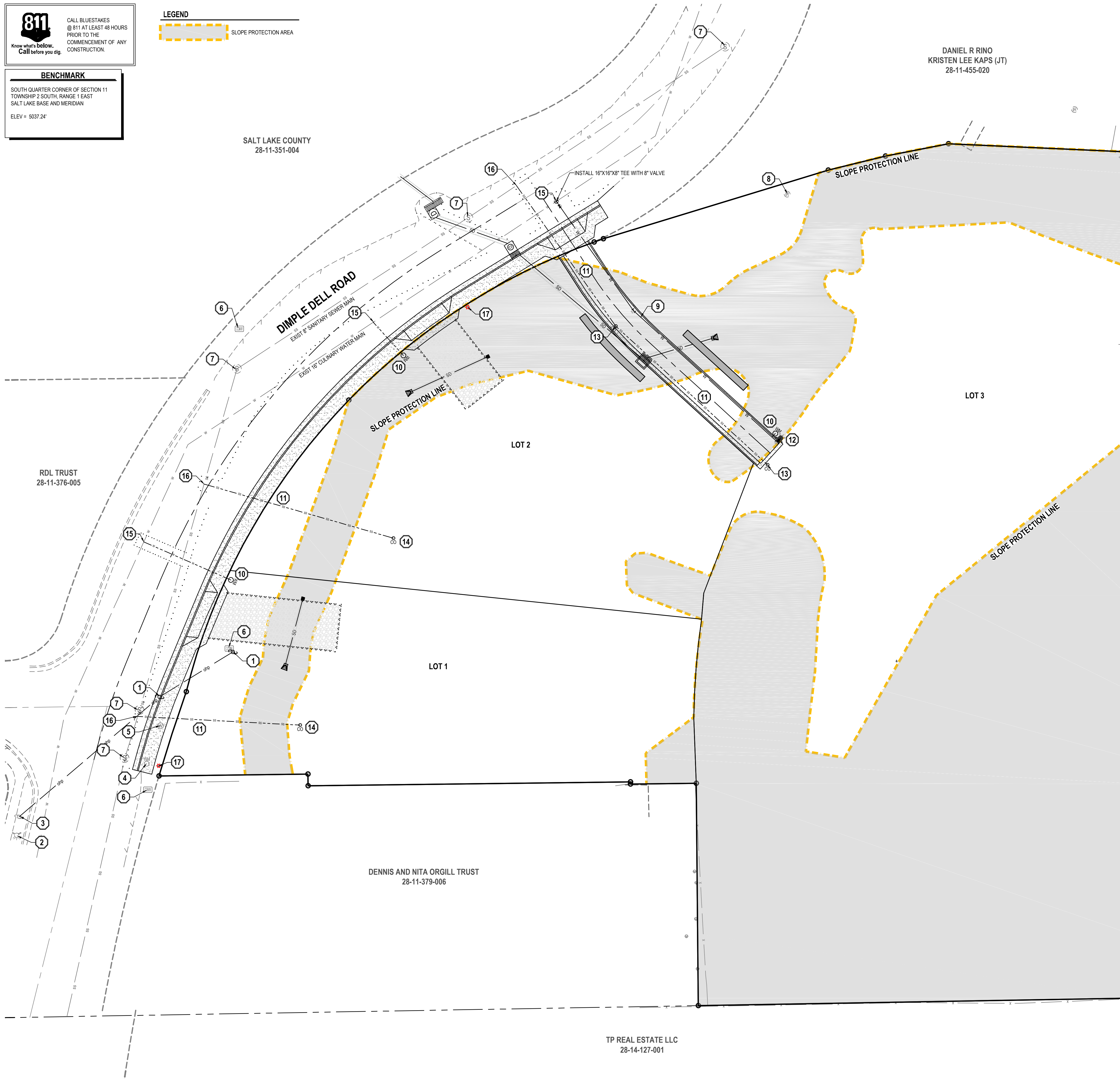
SALT LAKE COUNTY
28-11-351-004

RDL TRUST
28-11-376-005

DENNIS AND NITA ORGILL TRUST
28-11-379-006

TP REAL ESTATE LLC
28-14-127-001

DANIEL R RINO
KRISTEN LEE KAPS (JT)
28-11-455-020



GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3. ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
4. ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
6. DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
7. PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
8. THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
9. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
10. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
11. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SANDY CITY NOTES

- WATER NOTES**
1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR ROY THACKER OR WILLIS BILBREY, 801-568-7280, AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING ANY CONSTRUCTION.
 2. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
 3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
 4. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, METERS, BOXES, VAULTS, VALVES, FIRE HYDRANTS, BLOWOFFS, VAULTS, ETC. RELATING TO THE WATER SYSTEM. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
 5. CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
 6. WATER LINES SHALL BE INSTALLED 4-FEET OFF LIP OF GUTTER ON THE NORTH AND/OR EAST SIDE OF ROADWAY. WATER LINES SHALL NOT BE INSTALLED WITHIN OR THROUGH PARKING STALLS OR UNDER CONCRETE PAVEMENT, UNLESS WATER LINE IS TO BE MAINTAINED BY PRIVATE PROPERTY OWNER.
 7. A MINIMUM OF 48-INCHES AND A MAXIMUM 60-INCHES OF COVER FROM THE TOP OF THE PIPE TO THE FINISH GRADE IS REQUIRED.
 8. FOR CONSTRUCTION EAST OF THE UTAH TRANSIT AUTHORITY'S TRAX LINE, USE DUCTILE IRON PIPE, USE THICKNESS CLASS 52 OR BETTER.
 9. FOR CONSTRUCTION WEST OF UTAH TRANSIT AUTHORITY'S TRAX LINE, USE POLYVINYL CHLORIDE (PVC) PIPE, USE CLASS DR-14 OR BETTER. 10 GAUGE WIRE SHALL BE PLACED ON TOP OF THE PIPE PER SANDY CITY SPECIFICATIONS FOR FUTURE RELOCATION, NO DEFLECTION IN PIPE JOINTS WILL BE ALLOWED.
 10. ALL MECHANICAL JOINTS MUST BE RESTRAINED USING MEGA LUGS FOR DIP AND ROMAC GRIP RINGS FOR PVC OR APPROVED EQUAL. MEGA LUGS SHALL NOT BE ALLOWED ON PVC PIPE.
 11. USE 6 INCH COMPRESSION TYPE HYDRANT BY MUELLER CENTURION OR CLOW MEDALLION. EXISTING HYDRANTS REQUIRED FOR FIRE PROTECTION THAT DO NOT MEET CURRENT STANDARDS SHALL BE UPGRADED TO MEET CURRENT SANDY CITY STANDARDS AND SPECIFICATIONS.
 12. WHEN THE DISTANCE FROM THE WATER MAIN TO THE FIRE HYDRANT IS GREATER THAN 6-FEET, AN ADDITIONAL AUXILIARY VALVE SHALL BE FLANGED TO THE FIRE HYDRANT.
 13. ALL DEAD ENDS SHALL BE PLUGGED WITH A 2-INCH WASHOUT OR END WITH A FIRE HYDRANT.
 14. ALL DUCTILE IRON WATER LINES, FITTINGS AND VALVES SHALL BE POLY-BAGGED IN ACCORDANCE WITH SANDY CITY STANDARDS AND SPECIFICATIONS.
 15. ALL WATER LINES SHALL BE BEDDED WITH SAND (6-INCHES MINIMUM BELOW AND 12-INCHES MINIMUM ON EACH SIDE AND ON TOP OF THE PIPE).

STREETLIGHT NOTES

1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR ROY THACKER OR WILLIS BILBREY, 801-568-7280, AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING ANY CONSTRUCTION.
2. ALL MATERIALS AND WORK DONE ON STREETLIGHTS SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION. SPECIFICATIONS AND DETAILS CAN BE OBTAINED AT [HTTP://SANDY.UTAH.GOV/GOVERNMENT/PUBLIC-WORKS/STANDARD-SPECIFICATIONS.HTML](http://sandy.utah.gov/government/public-works/standard-specifications.html) OR FROM SANDY CITY PUBLIC WORKS DEPARTMENT (998-2999).
3. INSTALLATIONS SHALL BE LOCATED AS INDICATED ON THE APPROVED DRAWING FOR THE PROJECT. FIELD MODIFICATIONS MUST BE APPROVED BY THE SANDY PUBLIC UTILITIES INSPECTOR.
4. STREET LIGHT POLES SHALL NOT BE INSTALLED IN A MANNER THAT WILL HINDER THE OPERATION OF FIRE HYDRANTS, UNDERGROUND WATER SYSTEM ISOLATION VALVES, AND OTHER UTILITIES.
5. INSTALLATIONS WITHIN CLOSE PROXIMITY TO TREES SHALL BE AVOIDED UNLESS APPROVED BY SANDY PUBLIC UTILITIES INSPECTOR.

SANDY SUBURBAN IMPROVEMENT DISTRICT NOTES:

1. ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH SANDY SUBURBAN IMPROVEMENT DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.

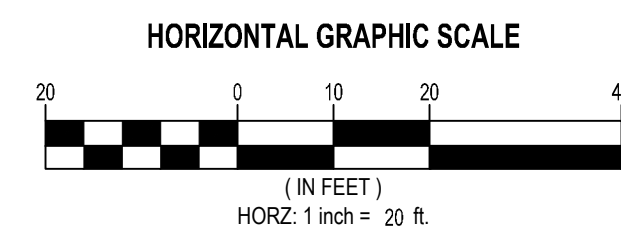
SEWER CONSTRUCTION NOTES

1. SEWER IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH SANDY SUBURBAN IMPROVEMENT DISTRICT (SSID) DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS. COPIES OF THE DISTRICT STANDARDS ARE AVAILABLE AT THE DISTRICT OFFICE, 8655 SOUTH 700 WEST, SANDY, UTAH 84070
2. VIDEO INSPECTION, AIR TESTS, VACUUM TESTS OF MANHOLES AND DEFLECTION TESTS SHALL BE PERFORMED ON ALL INSTALLED SEWER IMPROVEMENTS PRIOR TO FINAL ACCEPTANCE. ADDITIONAL TESTS MAY BE REQUIRED BY THE DISTRICT ENGINEER OR INSPECTOR. DEFECTS DESIGNATED BY THE DISTRICT ENGINEER OR INSPECTOR SHALL BE REPAIRED AT NO COST TO THE DISTRICT PRIOR TO ACCEPTANCE OF THE SEWER IMPROVEMENTS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- 1 RELOCATE EXIST UTILITY POLE, COORDINATE WORK WITH ROCKY MOUNTAIN POWER
- 2 EXIST FIRE HYDRANT
- 3 EXIST UTILITY POLE
- 4 EXIST WATER METER TO BE REMOVED, DISCONNECT AT MAIN PER SANDY CITY STANDARDS AND SPECIFICATIONS.
- 5 EXIST WATER MH TO BE REMOVED, DISCONNECT AT MAIN PER SANDY CITY STANDARDS AND SPECIFICATIONS.
- 6 EXIST COMMS BOX
- 7 EXIST SSMH - PROTECT IN PLACE
- 8 EXIST IRR MH, PROTECT IN PLACE
- 9 INSTALL 8" POLYWRAPPED DUCTILE IRON (OR BETTER) WATER LINE, INCLUDING ALL THRUST BLOCKING AND FITTINGS, PER SANDY CITY STANDARDS AND SPECIFICATIONS
- 10 INSTALL 1" METER WITH 1" TYPE K RIGID COPPER PIPE FROM MAIN TO METER PER SANDY CITY DETAIL WTR-09, CONTINUE 1" TYPE POLY PIPE FOR 12" PAST METER.
- 11 INSTALL 4" SDR-35 PVC SANITARY SEWER LATERAL, INCLUDING CLEANOUTS AT MAXIMUM 100-FOOT SPACING, INSTALLATION AND TRENCHING PER SANDY SUBURBAN IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS @ 2.0% MIN SLOPE
- 12 INSTALL FIRE HYDRANT ASSEMBLY COMPLETE PER SANDY CITY DETAIL WTR-01
- 13 INSTALL 4" SANITARY SEWER CLEANOUT PER SANDY SUBURBAN IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS WITH TRAFFIC RATED COVER
- 14 INSTALL 4" SANITARY SEWER CLEANOUT PER SANDY SUBURBAN IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS
- 15 FIELD LOCATE AND CONNECT TO EXIST CULINARY WATERLINE
- 16 FIELD LOCATE AND CONNECT TO EXIST SANITARY SEWER
- 17 INSTALL 89 WATT RESIDENTIAL STREET LIGHT PER SANDY CITY STANDARD DETAILS SL-01, SL-02 AND SL-03



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LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

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Phone: 801.255.0529

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Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
ALYSSA HOLBROOK
4555 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

**SILVER SAGE ESTATES
PRELIMINARY PLAT**

10143 DIMPLE DELL ROAD
SANDY, UTAH

PRELIMINARY
UTILITY PLAN

PROJECT NUMBER: 13520
PRINT DATE: 2026-04-08

PROJECT MANAGER: K. SIMMONS
DESIGNED BY: M. ELMER

C-300

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BENCHMARK
SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'

SALT LAKE COUNTY
28-11-351-004

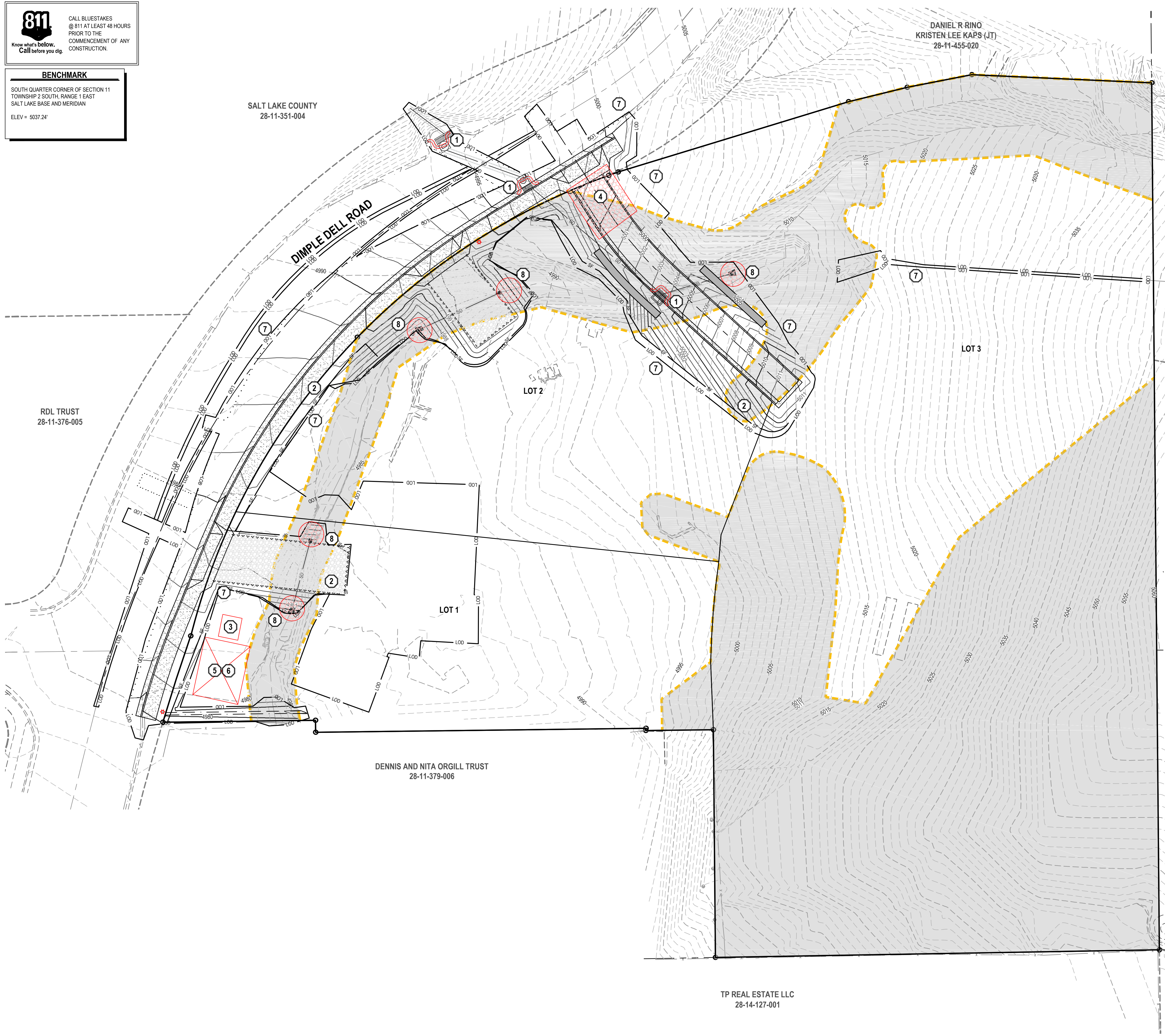
RDL TRUST
28-11-376-005

DENNIS AND NITA ORGILL TRUST
28-11-379-006

TP REAL ESTATE LLC
28-14-127-001

THE BOULDERS RIDGE
HOMEOWNERS ASSOCIATION
28-14-201-020

DANIEL R RINO
KRISTEN LEE KAPS (JT)
28-11-455-020



GENERAL NOTES

- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY. MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
- DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
- DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
- VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
- NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.
- CONTRACTOR TO REVEGETATE ALL DISTURB SLOPES WITH EROSION CONTROL, BLANKET AND NATIVE SEED MIX.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

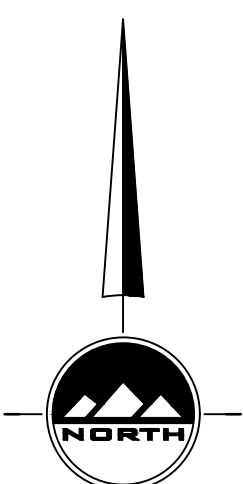
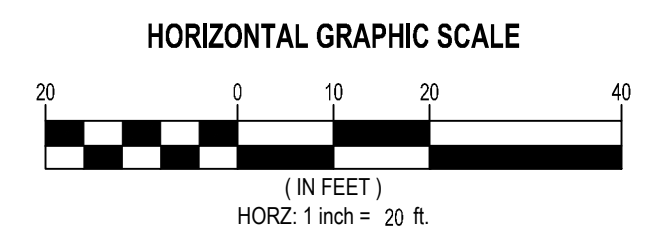
- INLET PROTECTION PER DETAIL 3/C-600.
- SILT FENCE PER DETAIL 5/C-600.
- PORTABLE TOILET PER DETAIL 4/C-600.
- VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 2/C-600.
- SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
- SUGGESTED STOCKPILE AREA.
- LIMITS OF DISTURBANCE.
- INSTALL OUTLET PROTECTION PER DETAIL 3/C-600.

| REVISION SCHEDULE | | | |
|-------------------|------|--------|----------------------------------|
| NUMBER | DATE | AUTHOR | COMPANY REPRESENTATIVE SIGNATURE |
| 1 | | | |
| 2 | | | |
| 3 | | | |
| 4 | | | |
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| 7 | | | |
| 8 | | | |
| 9 | | | |
| 10 | | | |
| 11 | | | |
| 12 | | | |

LEGEND



GEORGE AND SHARON ALLEN
28-11-455-070



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THE STANDARD IN ENGINEERING

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Layton, UT 84041
Phone: 801.547.1100

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Phone: 801.255.0529

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Phone: 435.843.3590

CEDAR CITY
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RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
ALYSSA HOLBROOK
4555 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

**SILVER SAGE ESTATES
PRELIMINARY PLAT
10143 DIMPLE DELL ROAD
SANDY, UTAH**

NO. DATE REVISION FOR REVIEW

**PRELIMINARY
EROSION CONTROL
PLAN**

PROJECT NUMBER 13520 PRINT DATE 2026-04-08
PROJECT MANAGER K. SIMMONS DESIGNED BY M. ELMER

C-400

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BENCHMARK
SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'

LEGEND
SLOPE PROTECTION AREA

DANIEL R RINO
KRISTEN LEE KAPS (JT)
28-11-455-020

SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- 1 RE-VEGETATE DISTURBED GROUND PER SANDY CITY STANDARDS AND SPECIFICATIONS AND NOTES ON THIS SHEET (TYP)

SANDY CITY NOTES

- VEGETATION AND REVEGETATION NOTES**
- VEGETATION SHALL BE REMOVED ONLY WHEN ABSOLUTELY NECESSARY FOR THE CONSTRUCTION OF BUILDINGS, ROADS, AND FILLED AREAS
 - ALL AREAS ON DEVELOPMENT SITES CLEARED OF NATURAL VEGETATION IN THE COURSE OF CONSTRUCTION OF OFF-SITE IMPROVEMENTS SHALL BE REPLANTED WITH VEGETATION WHICH HAS GOOD EROSION CONTROL CHARACTERISTICS.
 - NEW PLANTINGS SHALL BE PROTECTED WITH A MULCH MATERIAL AND FERTILIZED IN CONJUNCTION WITH THE PLANTING AND WATERING SCHEDULE DESCRIBED IN SUBSECTION 80(3)(E) OF THIS SECTION.
 - THE USE OF PERSONS OR FIRMS HAVING EXPERTISE IN THE PRACTICE OF REVEGETATION (E.G., LICENSED LANDSCAPE ARCHITECTS OR CERTIFIED NURSERYMEN) SHALL SUPERVISE THE PLANTING AND INSTALLATION OF REVEGETATION COVER.
 - AFTER THE COMPLETION OF OFF-SITE IMPROVEMENTS, VEGETATION SHOULD BE PLANTED IN ALL DISTURBED AREAS DURING THE FOLLOWING TIME PERIODS ONLY:
 - MARCH 15 THROUGH MAY 15 AND SEPTEMBER 15 THROUGH OCTOBER 31
 - IF IRRIGATED, PLANTING MAY BE DONE DURING SUMMER MONTHS
 - GENERALLY, NO VEGETATION SHALL BE REMOVED ON A CONTINUOUS HILLSIDE, CREST (UPSLOPE OR DOWNSLOPE), WITH A SLOPE 30 PERCENT OR GREATER. HOWEVER, FOR USES SUCH AS TRAILS AND OPEN SPACE IMPROVEMENTS, THE CITY ENGINEER MAY APPROVE DESIGNATED AREAS OF VEGETATION THAT CAN BE REMOVED OR DISTURBED IN CONJUNCTION WITH A REVEGETATION OR SLOPE STABILIZATION PLAN.
 - TOPSOIL REMOVED DURING SITE CONSTRUCTION SHALL BE RESERVED FOR LATER USE ON AREAS REQUIRING VEGETATION OR LANDSCAPING SUCH AS CUT AND FILL SLOPES.
 - ALL DISTURBED SOIL SURFACES SHALL BE STABILIZED OR COVERED PRIOR TO NOVEMBER 1. IF THE PLANNED IMPERVIOUS SURFACES (E.G., ROADS, DRIVEWAYS, ETC.) CANNOT BE ESTABLISHED PRIOR TO NOVEMBER 1, A TEMPORARY TREATMENT ADEQUATE TO PREVENT EROSION SHALL BE INSTALLED ON THOSE SURFACES.
 - THE PROPERTY OWNER AND/OR DEVELOPER SHALL BE FULLY RESPONSIBLE FOR ANY DESTRUCTION OR DAMAGE OF NATIVE OR APPLIED VEGETATION IDENTIFIED AS NECESSARY FOR SOIL RETENTION AND SHALL BE RESPONSIBLE TO REPLACE SUCH DESTROYED VEGETATION. THEY SHALL CARRY THE RESPONSIBILITY BOTH FOR EMPLOYEES AND SUBCONTRACTORS FROM THE FIRST DAY OF CONSTRUCTION UNTIL THE FINAL ACCEPTANCE OF IMPROVEMENTS. THE PROPERTY OWNER AND DEVELOPER SHALL REPLACE ALL DESTROYED VEGETATION WITH VARIETIES OF VEGETATION APPROVED BY THE DIRECTOR.

ENSIGN
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LAYTON
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SANDY
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Phone: 435.843.3590

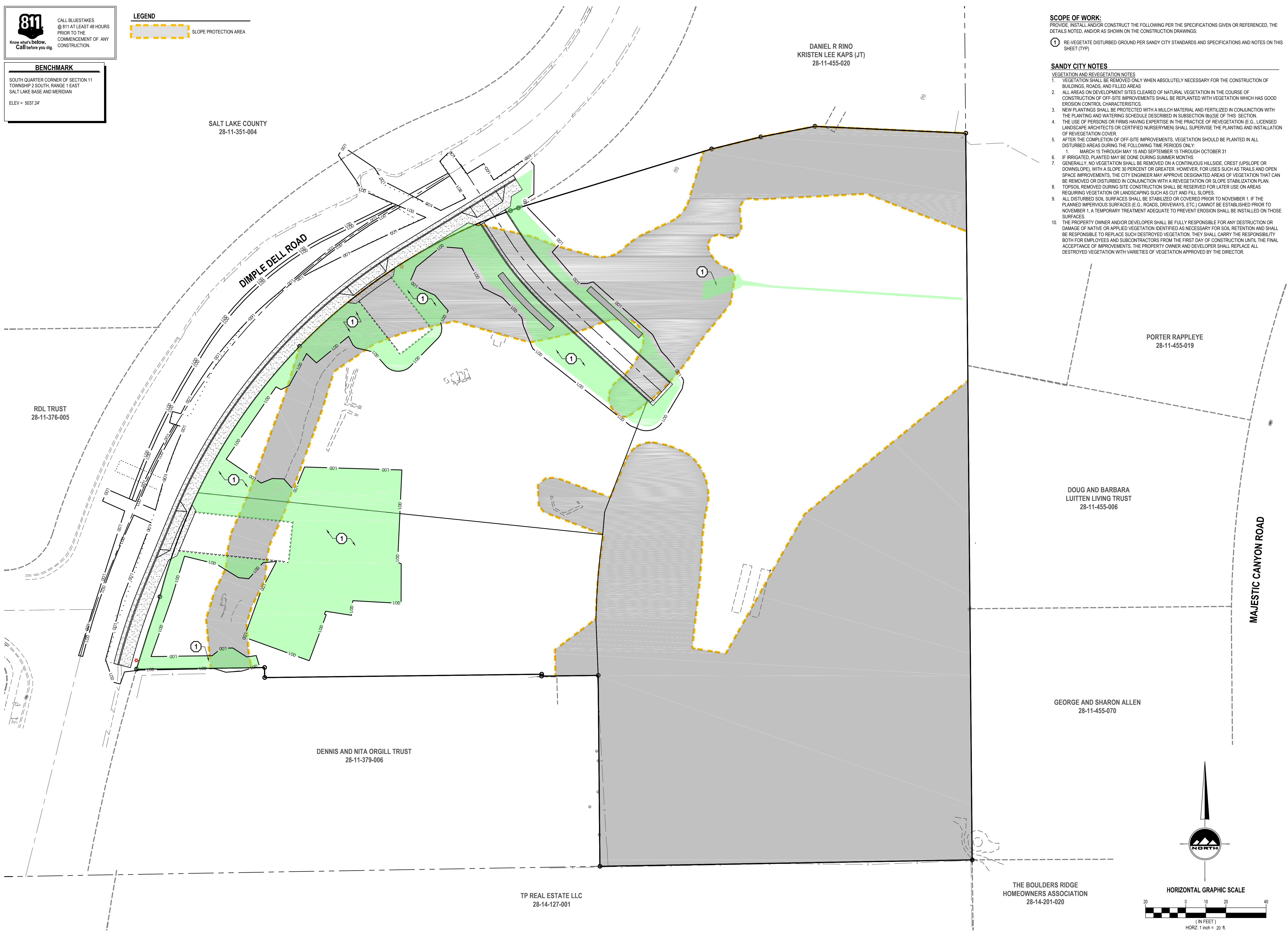
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Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

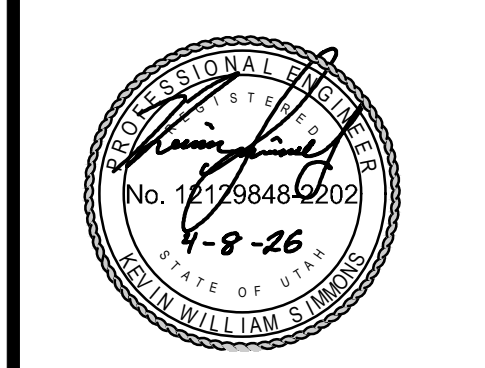
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FOR:
ALYSSA HOLBROOK
4555 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289



**SILVER SAGE ESTATES
PRELIMINARY PLAT**
10143 DIMPLE DELL ROAD
SANDY, UTAH



| NO. | DATE | REVISION FOR REVIEW |
|-----|------|---------------------|
| | | |

**PRELIMINARY
RE-VEGETATION PLAN**

PROJECT NUMBER: 13520
PRINT DATE: 2026-04-08
PROJECT MANAGER: K. SIMMONS
DESIGNED BY: M. ELMER

C-401

NORTH

HORIZONTAL GRAPHIC SCALE
(IN FEET)
HORZ: 1 inch = 20 ft.

TP REAL ESTATE LLC
28-14-127-001

THE BOULDERS RIDGE
HOMEOWNERS ASSOCIATION
28-14-201-020



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BENCHMARK

SOUTH QUARTER CORNER OF SECTION 11
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SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'

SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE
DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 RELOCATE EXIST UTILITY POLE, COORDINATE WORK WITH ROCKY MOUNTAIN POWER
- 2 EXIST FIRE HYDRANT
- 3 EXIST UTILITY POLE
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- 5 EXIST WATER MH TO BE REMOVED. DISCONNECT AT MAIN PER SANDY CITY STANDARDS AND SPECIFICATIONS.
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- 7 EXIST SSMH
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LEGEND

SLOPE PROTECTION AREA



LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SANDY
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TOOELE
Phone: 435.843.3590

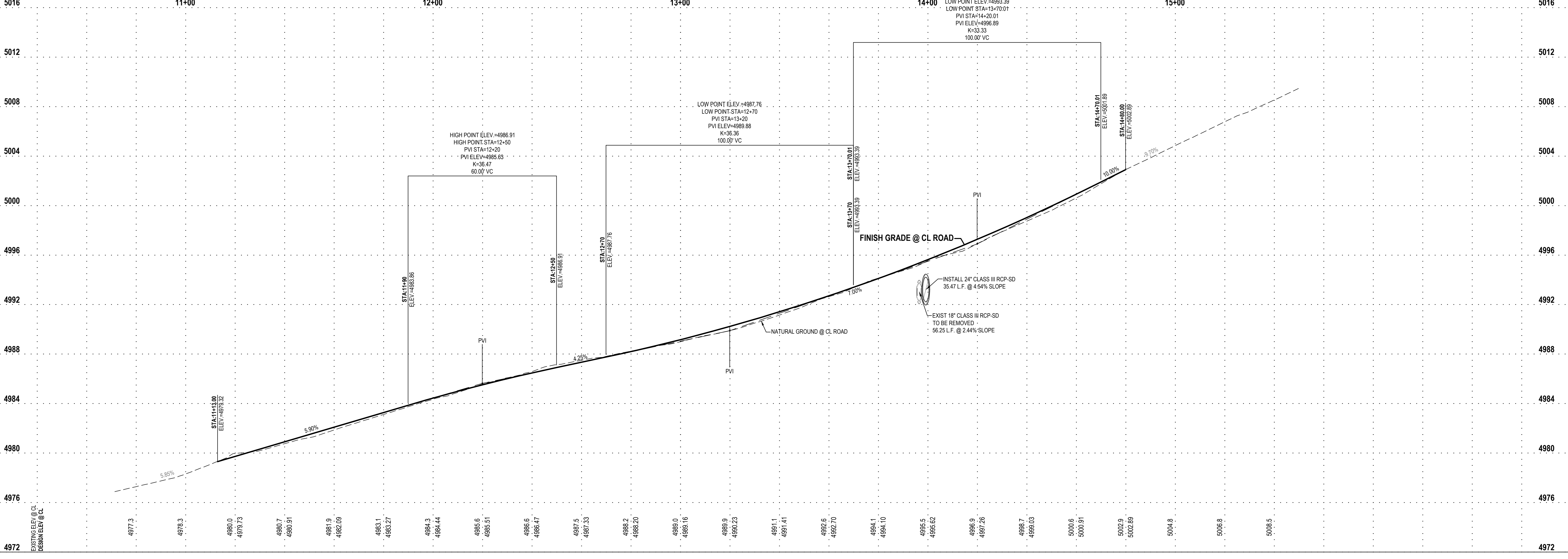
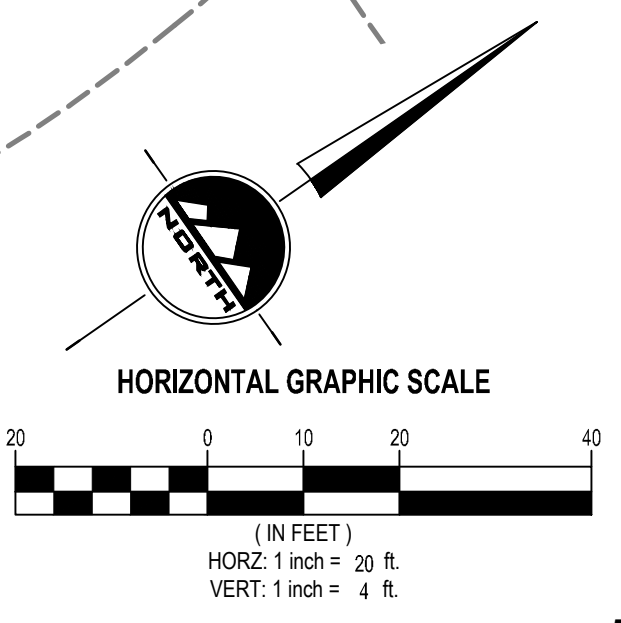
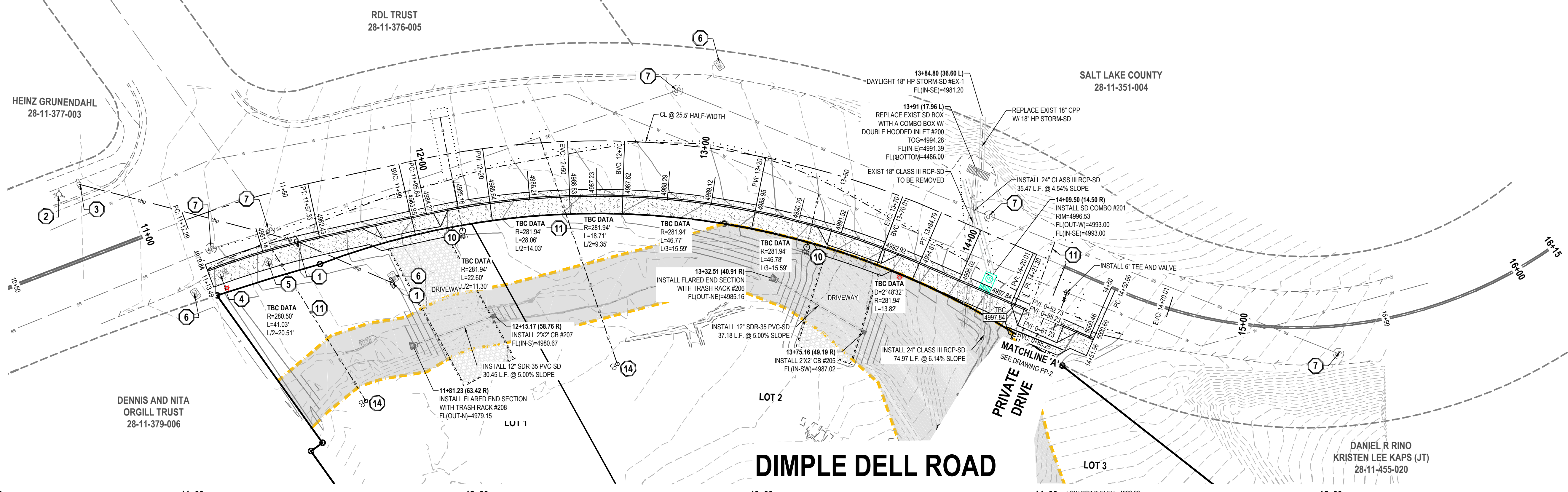
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Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

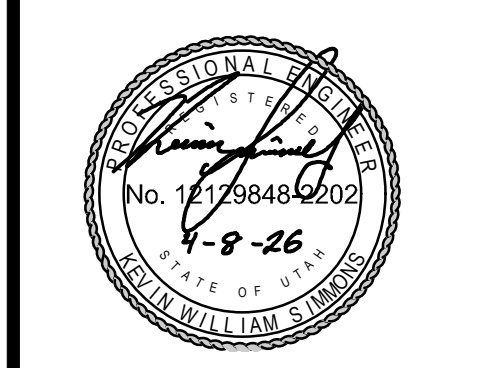
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FOR:
ALYSSA HOLBROOK
4555 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289



**SILVER SAGE ESTATES
PRELIMINARY PLAT**
10143 DIMPLE DELL ROAD
SANDY, UTAH



| NO. | DATE | REVISION |
|-----|------|----------|
| | | |

**DIMPLE DELL ROAD
PLAN AND PROFILE**

PROJECT NUMBER: 13520
PRINT DATE: 2026-04-08
PROJECT MANAGER: K. SIMMONS
DESIGNED BY: M. ELMER



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LEGEND



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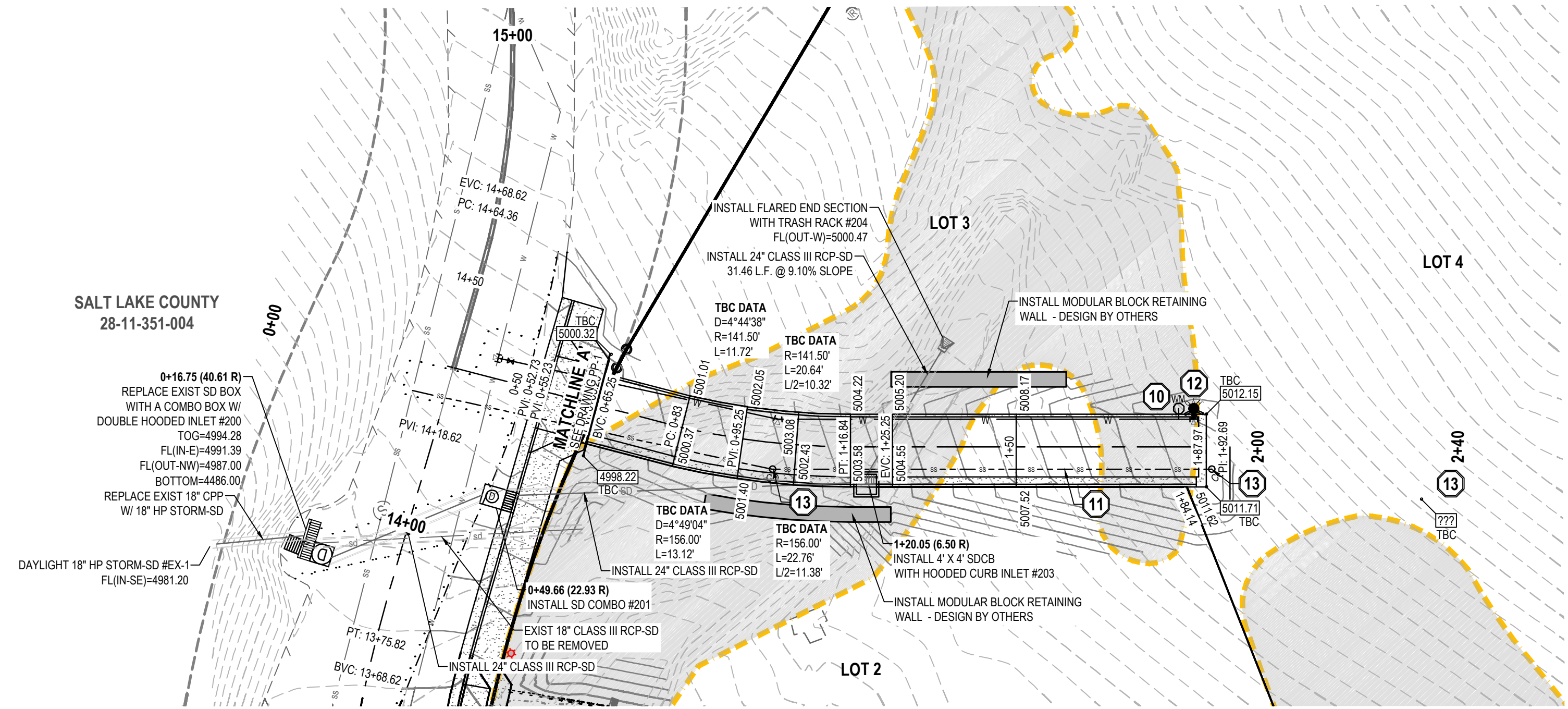
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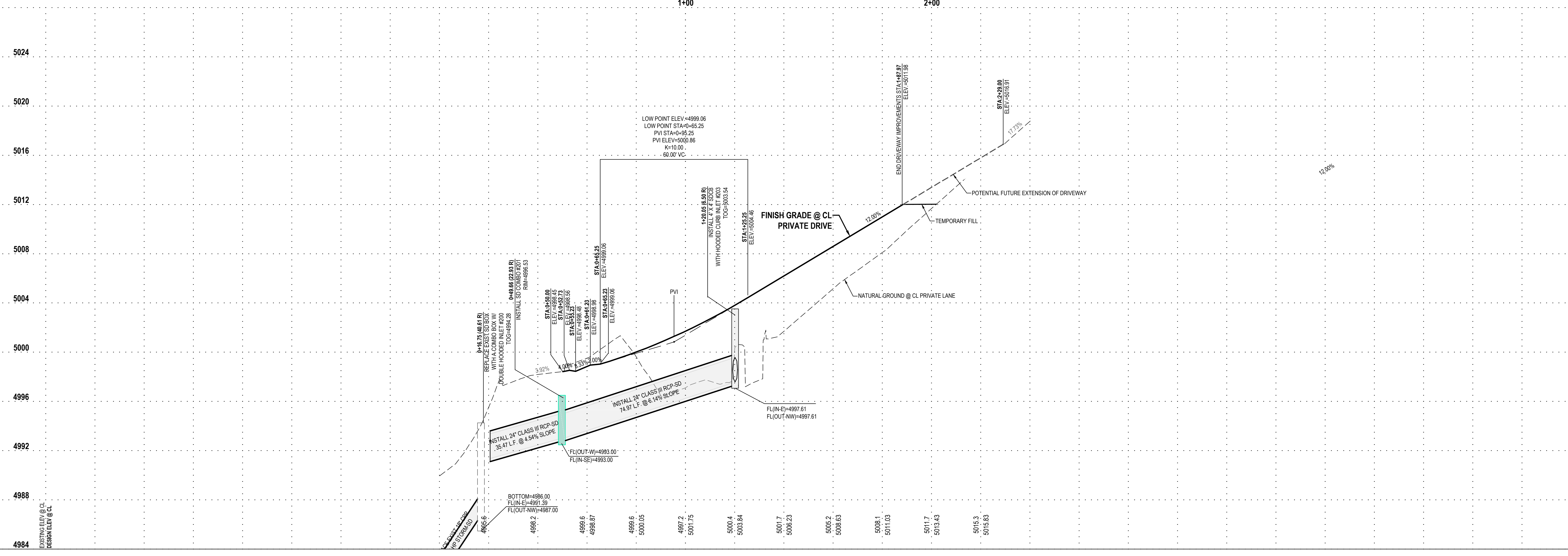
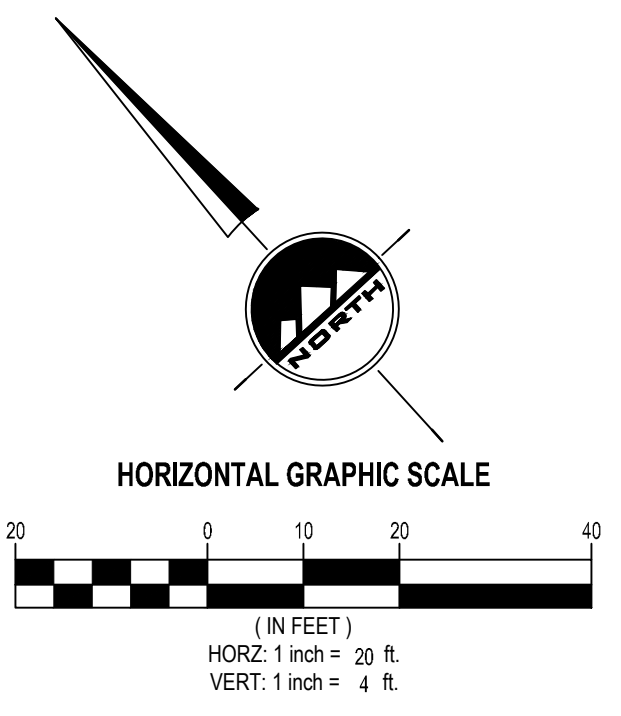
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FOR:
ALYSSA HOLBROOK
4595 S. HOLLADAY FARM LN
HOLLADAY UT

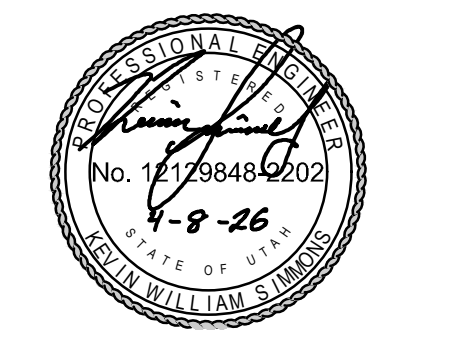
CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289



PRIVATE DRIVE



SILVER SAGE ESTATES
PRELIMINARY PLAT
10143 DIMPLE DELL ROAD
SANDY, UTAH



NO. DATE REVISION FOR REVIEW

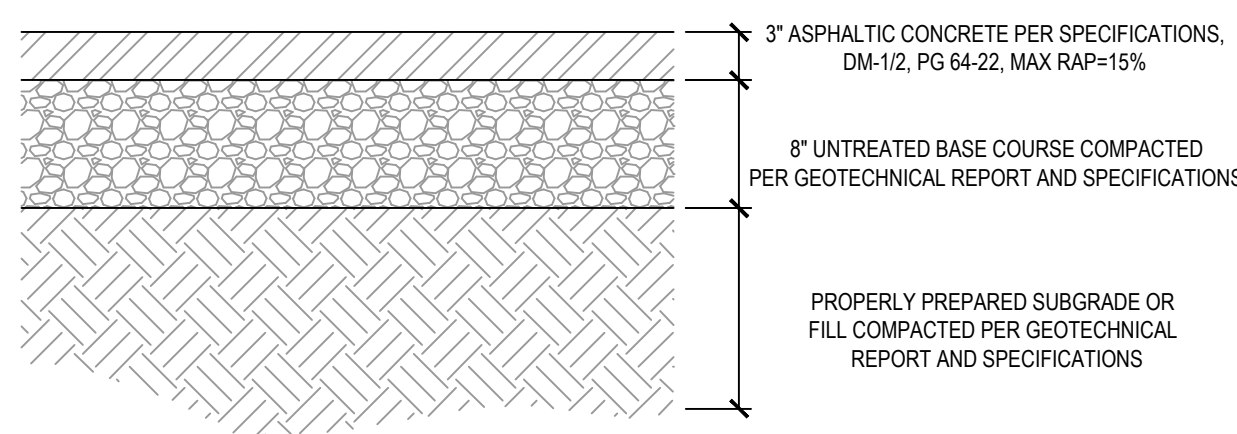
PRIVATE DRIVE PLAN AND PROFILE

PROJECT NUMBER: 13520
PRINT DATE: 2026-04-08
PROJECT MANAGER: K. SIMMONS
DESIGNED BY: M. ELMER

PP-2

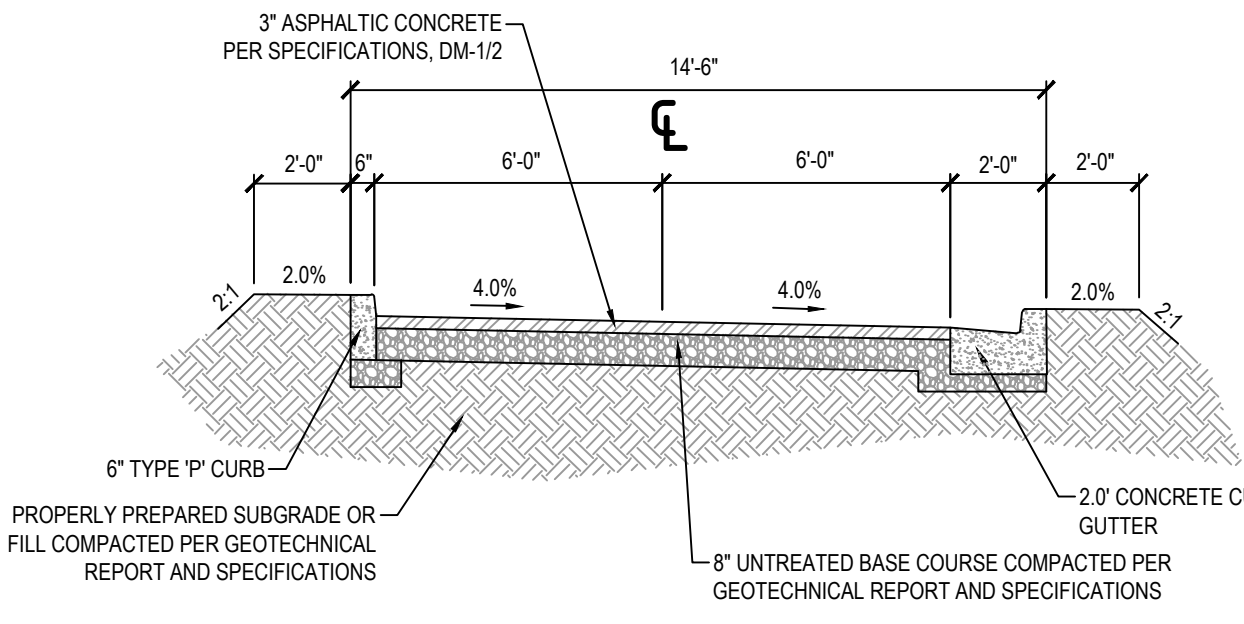
ASPHALT NOTES

- ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
- ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-180 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
- REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



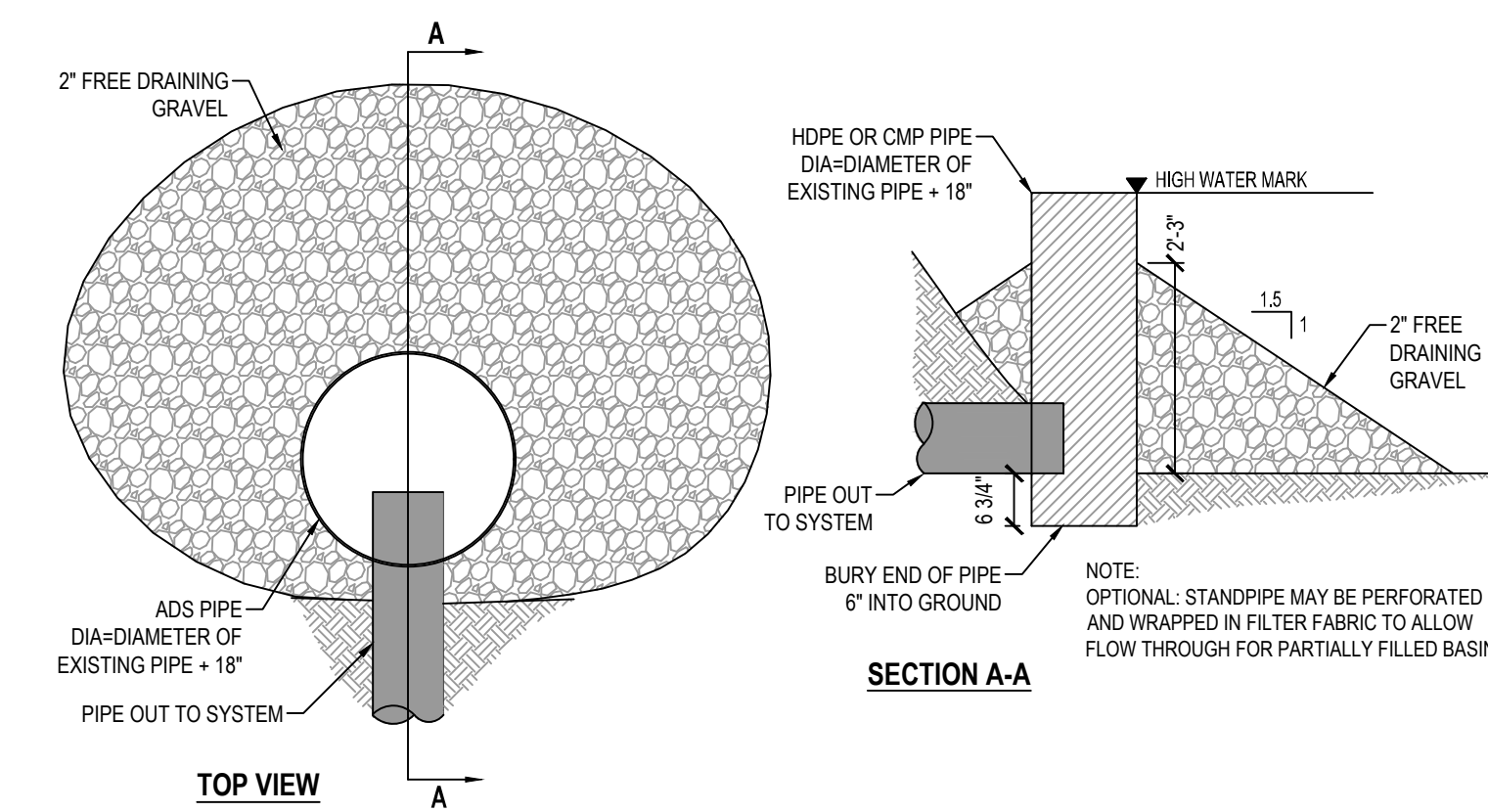
1 PRIVATE DRIVE ASPHALT SECTION

SCALE: NONE



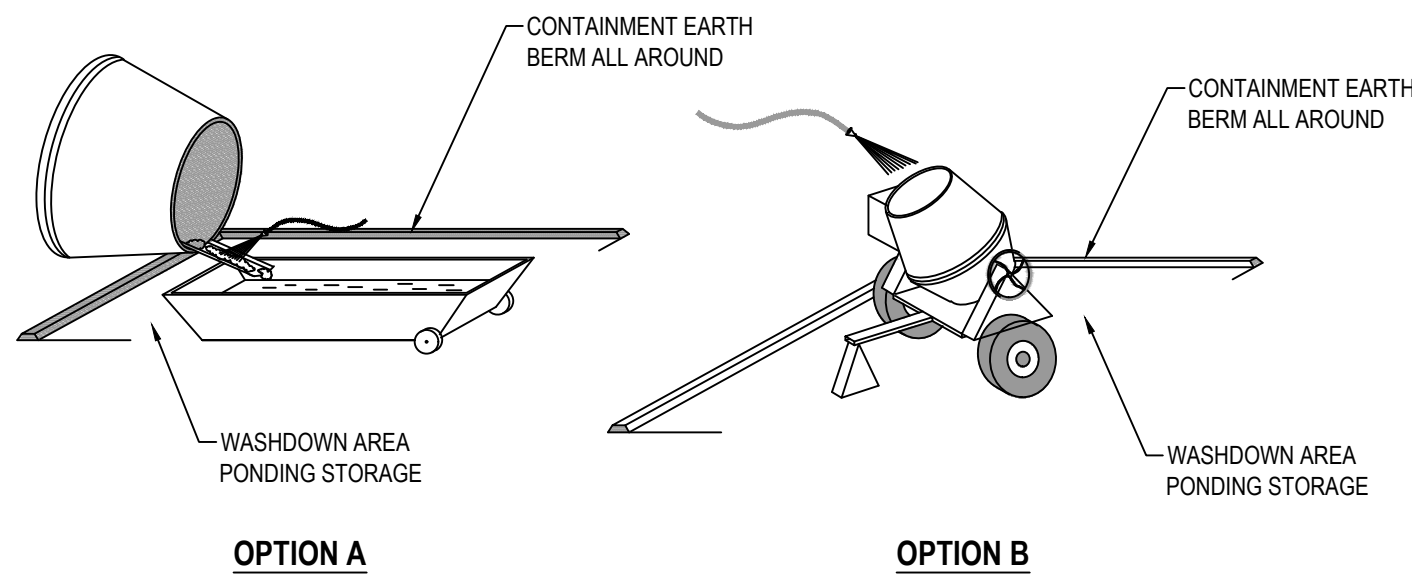
2 14'-6" PRIVATE LANE CROSS SECTION

SCALE: NONE



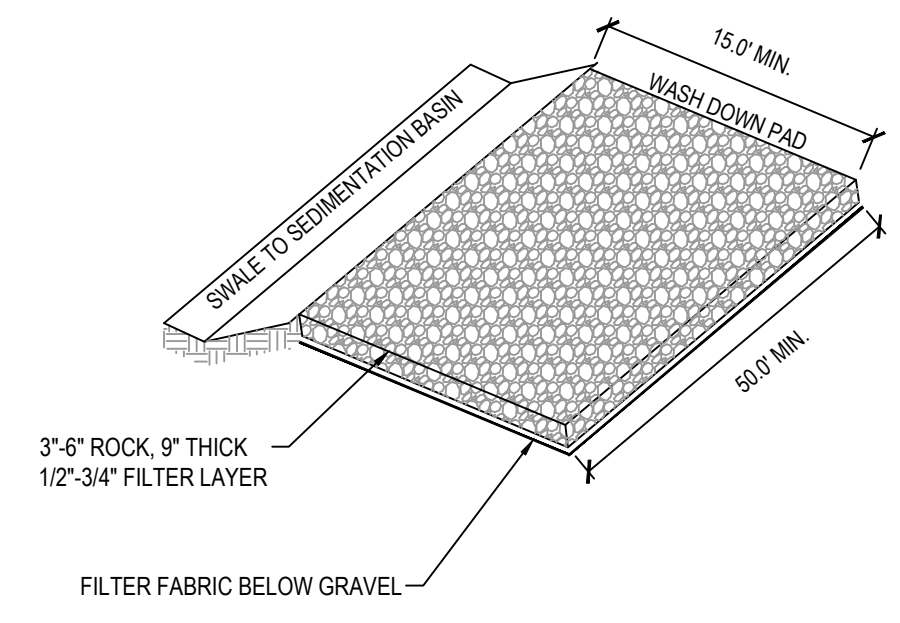
3 TEMPORARY BASIN OUTLET PROTECTION

SCALE: NONE



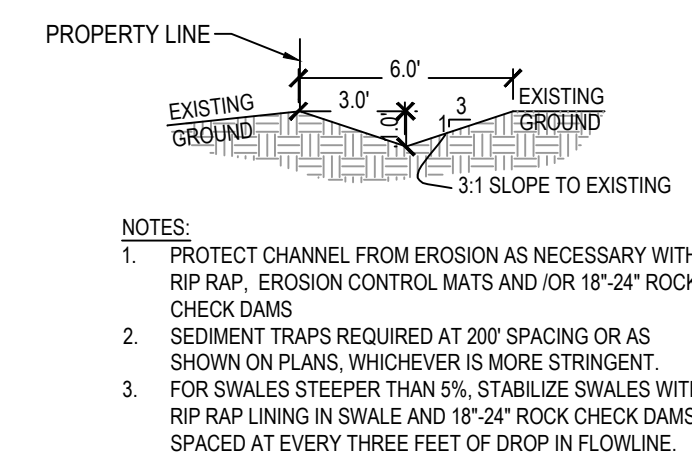
4 CONCRETE WASTE MANAGEMENT

SCALE: NONE



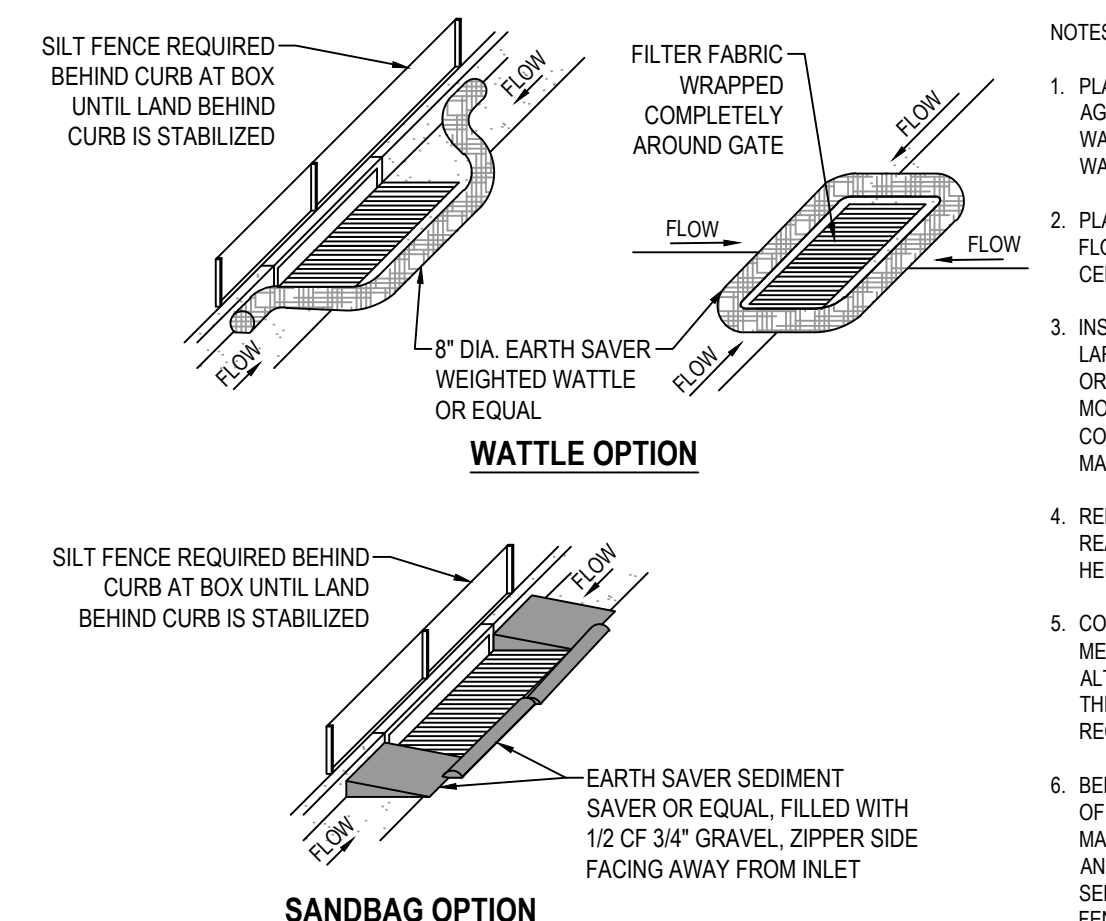
5 STABILIZED CONSTRUCTION ENTRANCE

SCALE: NONE



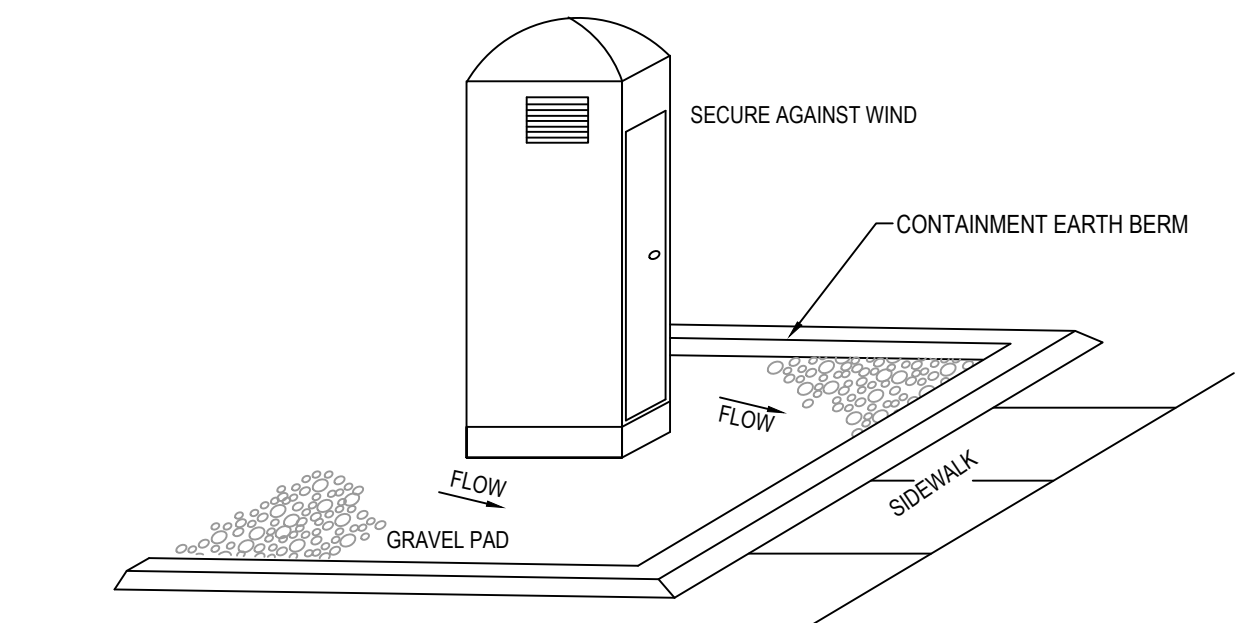
6 DRAINAGE SWALE

SCALE: NONE



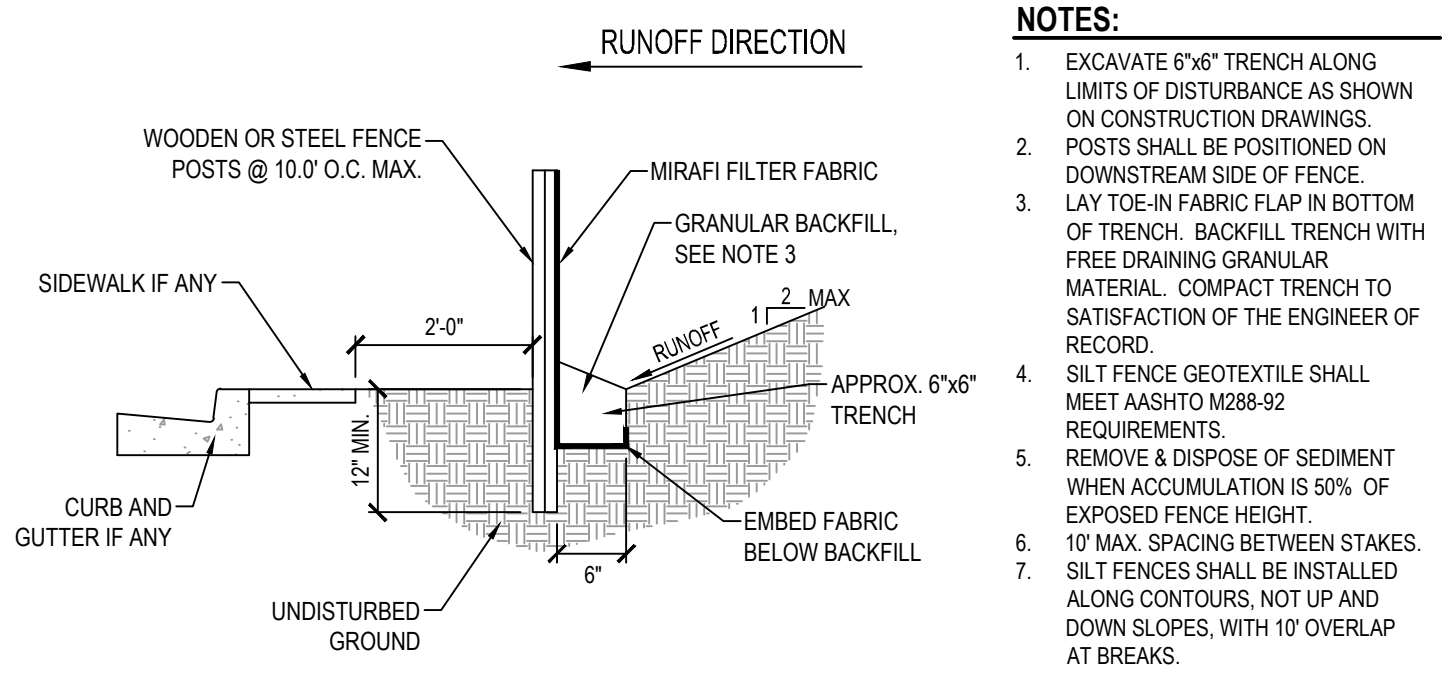
7 SAG INLET PROTECTION

SCALE: NONE



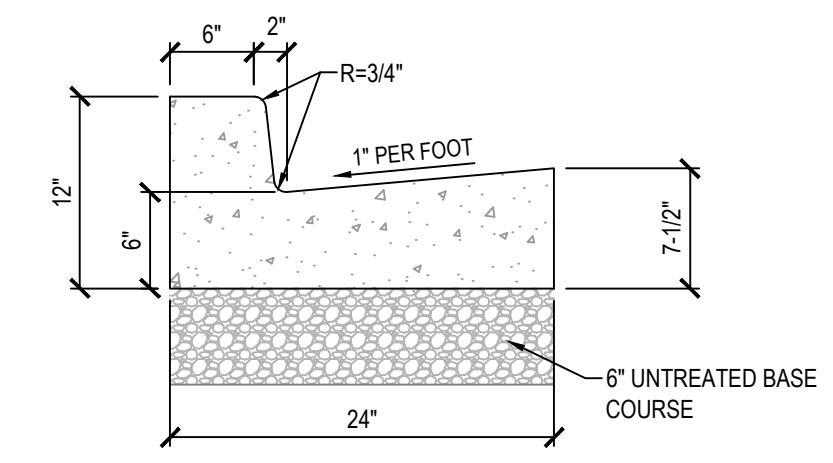
8 PORTABLE TOILET

SCALE: NONE



9 TEMPORARY SILT FENCE

SCALE: NONE



10 24" COLLECTION CURB AND GUTTER

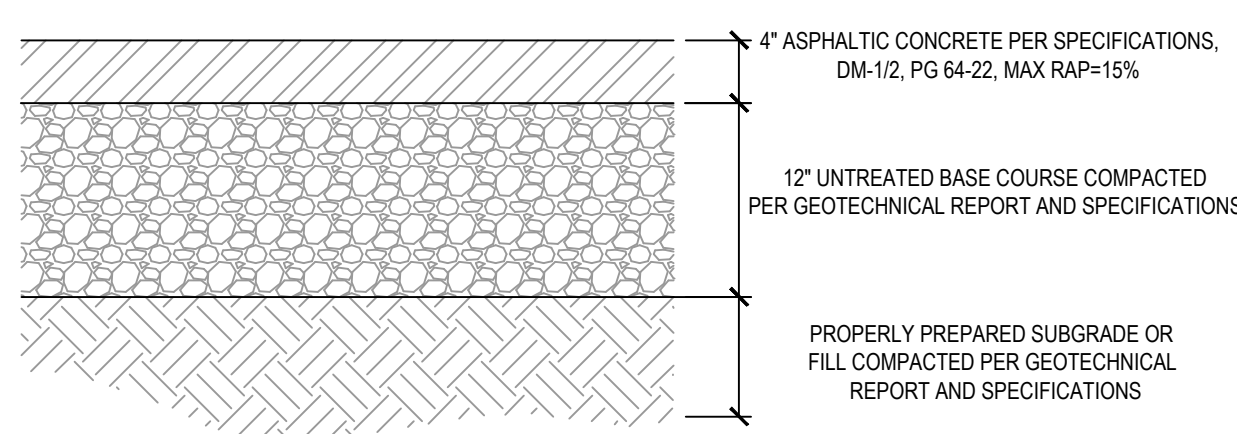
SCALE: NONE

11 NOT USED

SCALE: NONE

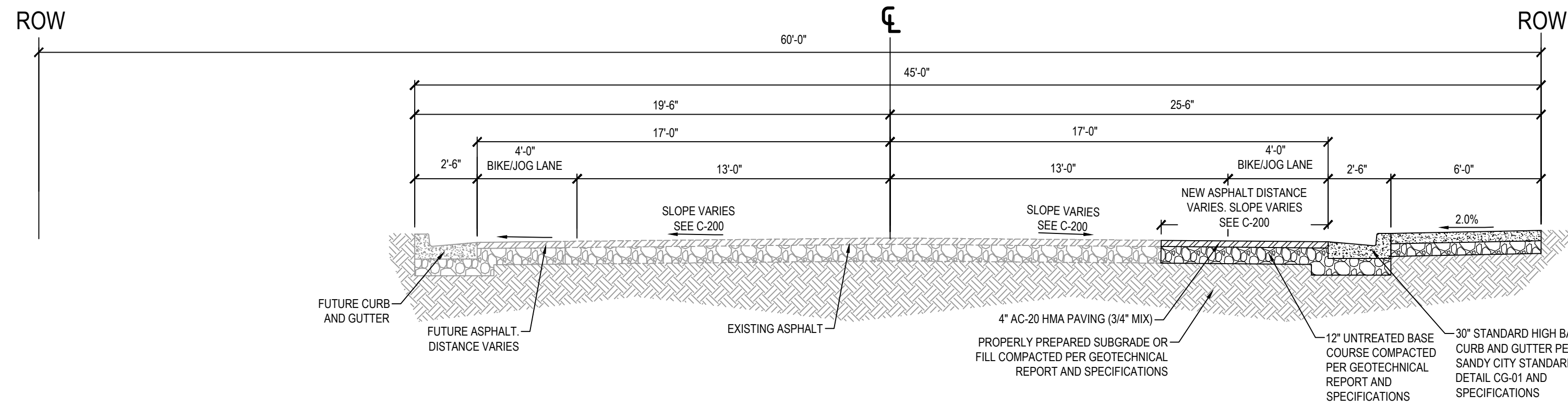
ASPHALT NOTES

- ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
- ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-180 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
- REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



12 DIMPLE DELL ROAD PAVEMENT SECTION

SCALE: NONE



13 DIMPLE DELL ROAD CROSS SECTION

SCALE: NONE

ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SANDY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
ALYSSA HOLBROOK
4595 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

SILVER SAGE ESTATES
PRELIMINARY PLAT
10143 DIMPLE DELL ROAD
SANDY, UTAH

NO. DATE REVIEW FOR REVIEW

DETAILS

PROJECT NUMBER: 13520 PRINT DATE: 2026-04-08
PROJECT MANAGER: K. SIMMONS DESIGNED BY: M. ELMER

C-500