



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR
KURT BRADBURN
MAYOR
MATTHEW HUISH
CHIEF ADMINISTRATIVE OFFICER

MEMORANDUM

May 21, 2020

To: Planning Commission
From: Community Development Department
Subject: Nelson Accessory Structure (Request for increased height) CUP-04-20-5841
2 Eaglewood Ln. Zoned PUD(1.62)
[Community #28- Pepper Dell]

HEARING NOTICE: This item has been noticed to property owners within 500 feet of the subject area.

Table with 2 columns: Case Number, Case Summary. Both cells contain 'None'.

DESCRIPTION OF REQUEST

The applicants, Dan and Julie Nelson, are requesting a Conditional Use Permit to allow for a total of 24 foot high accessory structure. (See Exhibit #1 – Application Materials) located at 2 Eaglewood Ln. The property is located on the northeast side of Eaglewood Ln.

The proposed structure will be 36 feet wide and 40 feet long (1,440 square feet) and located on the northwest corner of the property. The proposed use of the structure is for the storage of recreational vehicles. (See Exhibit #2– Site Plan and Construction Drawings)

The property is zoned PUD(1.62) and is part of the Pepperwood 7B subdivision. The property is approximately .06 acres (26,136) square feet. The properties in the surrounding area are all zoned PUD(1.62). Access to the garage will be via an expansion of the existing driveway on the northwest side of the property.

NOTICE

Neighbors within a 500-foot radius of the property were notified of a neighborhood meeting, which was held on May 13, 2020. One neighbor attended the meeting and had no concerns. In addition, staff also received a phone call from a neighbor concerned

about the setback of the structure. When notified of the increased setback due to the height of the structure the neighbor was okay with the project. Notices were mailed to property owners within a 500-foot radius of the subject parcel in advance of the Planning Commission meeting.

ANALYSIS

Section 21-11-2.(a)(2)(a) of the Sandy City Development Code states that the combined square footage of all accessory structures in the rear yard of a lot 20,000- 39,000 square feet or shall not exceed 1,500 square feet or 25% whichever is the lesser measurement. The proposed structure being 1,440 square feet does not exceed the maximum size and the applicant has not requested an increase in size.

Section 21-11-2-(a)(3)(c) of the Sandy City Development Code states that an accessory structure may be built taller, up to the maximum building height for a permitted dwelling within the zone in which it is located, upon receipt of a Conditional Use Permit from the Sandy City Planning Commission. The Planning Commission shall consider the scale of the building in relation to the immediate surroundings, the nature of the zone and land uses in the immediate vicinity, architectural design, landscaping access, proposed use, impact upon adjacent properties, in addition to other criteria normally considered during the Conditional Use Permit process. The Planning Commission may require additional setback from side and rear property lines as a condition of approval.

Additional Setback Requirement. Detached structures exceeding 15 feet in height shall increase the minimum setback one foot for each foot of additional height up to the minimum setback for the primary dwelling (Section 21-11-2-(a)(3)(b)). A setback of 11 feet from both the side and rear yard property lines would be required for the requested height. The applicant is proposing an 11 foot setback in both the side and rear yards meeting the additional setback requirement.

Ancillary to Main Dwelling. Accessory buildings are only allowed on properties where a main dwelling or building exists. According to the Sandy City Land Development Code an ancillary use is defined as a use conducted on the same lot as the primary use of the structure to which it is related; a use which is clearly incidental to and customarily found in connection with such primary use (Section 21-37-2(20)). The main dwelling unit is approximately 6,063 square feet while the proposed structure is 1,440 square feet. The proposed structure sits well within the rear yard and is clearly subordinate to the main dwelling unit.

Architectural Guidelines Generally, accessory structures and buildings shall be designed and constructed as to be compatible with the architectural components of the main dwelling or building.

The proposed front of the garage will be stone while the sides will be stucco and brick and match the colors and materials of the existing home.

COMPLIANCE WITH SECTION 21-33-04

Staff response in *italics*.

Conditions.

In order to achieve compliance with the standards set forth herein, the City may impose conditions that address standards 21-33-04 "1" to "15", as contained in the Sandy City Development Code. This proposed conditional use meets or satisfies all of Conditions "1" through "15", except the following conditions that merit discussion or additional consideration by the Planning Commission:

1. Size, configuration and location of the site and the proposed site plan layout.

The accessory structure will be located on the northwest side of the rear yard.

2. Proposed site ingress and egress to existing and proposed roads and streets;

The garage will be accessed from a new concrete driveway on the northwest side of the home.

13. Identifying a time for regular review and monitoring, as determined necessary, to ensure the use continues to operate in compliance with all conditions and requirements of approval;

Compliance with conditions is reviewed during the building permit process.

14. Measures to ensure compliance with all conditions and requirements of approval including but not limited to bonds, letters of credit, improvement agreements, agreements to conditions, road maintenance funds, restrictive covenants;

To be reviewed upon legitimate complaint.

15. Such other conditions determined reasonable and necessary by the City to allow the operation of the proposed conditional use, at the proposed location in compliance with the requirements of this Code.

That the applicant complies with all applicable Building & Safety, and Fire & Life Codes.

CONCERNS

Staffs has no concerns.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission approve a Conditional Use Permit for Dan and Julie Nelson for the property located at 2 Eaglewood Ln. to allow for an accessory structure as described in the application materials based on the finding and subject to the following conditions.

Finding

1. Generally, Staff finds that the proposed structure meets the intent of section 21-11-2 provided the applicant complies with the following conditions:

Conditions

1. That the proposed structure comply with all applicable Building & Safety, and Fire & Life Codes.
2. That the applicant be responsible for meeting all provisions of the Sandy City Development Code, and all conditions of approval imposed by the Planning Commission.
3. That this Conditional Use Permit be reviewed upon legitimate complaint.

Planner: Claire Hague Reviewed by: FM
Claire Hague, Planner
S:\USERS\PLN\STAFFRPT\2020\CUP-04-20-5841 Nelson Accessory Structure

Exhibit #1 – Application Materials

Sandy City

April 24, 2020

Planning Commissioners

10000 Centennial Parkway

Sandy, Utah 84070

Re: Garage build 2 Eaglewood Lane

To Whom It May Concern:

We are requesting a conditional use permit for an increase in height to 24'. Our hope is to build a carriage garage in the backyard of our home (see site plan). We have a motor home that would fit inside the garage but required that we have a 13'4" tall door. This pushed the height to 23' 10" to allow for the door and make the pitch of the roof closer to the pitch on our existing home. The front elevation will look similar to the existing home including matching rock, brick, design, and colors (see plan). The color palette will match the existing home with earthy tones.

There are several carriage garages in the neighborhood. Pepperwood HOA have approved the plans for the side yard and rear yard setbacks shown on the site plan matching the zoning requirements for the height drawn for this garage.

Thank you for your consideration of this project.

DAN AND JULIE NELSON

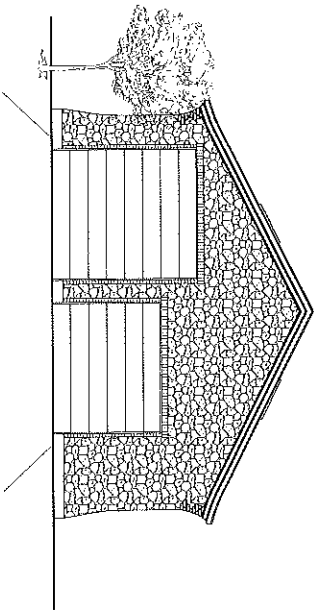
Dan and Julie Nelson

Exhibit #2 – Site Plan and Construction Drawing

A Detached Garage for Building Dynamics

756, Pepperwood - Plat 7B

2, Eaglewood Lane - Sandy, Utah 84092 - Salt Lake County



BUILDING SKETCH

INTENT OF PLANS:

IT IS THE INTENT OF THESE DRAWINGS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS TO DESCRIBE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE THE WORK CALLED FOR, INDICATED OR REASONABLY IMPLIED BY THEM, INCLUDING PARTITIONING, MECHANICAL AND ELECTRICAL WORK, AIR CONDITIONING AND ALL OTHER ITEMS DESCRIBED. FAILURE TO SHOW DETAILS OR REPEAT ON ANY DRAWINGS THAT FIGURES, NOTES OR DETAILS GIVEN ON ANOTHER DRAWING SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WORK (AT NO ADDITIONAL COST) AS IF SHOWN ON EACH AND EVERY DRAWING.

ALL WORK SHALL BE IN A FIRST CLASS WORKMANSHIP MANNER, NEAT AND COMPLETE IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS AND THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC), THE STATE ENERGY EFFICIENCY CODES, AND ALL APPLICABLE LOCAL JURISDICTIONS. CONTRACTOR SHALL ENDEAVOR TO PROTECT THE OWNER'S AND ADJACENT OWNER'S PROPERTY FROM DAMAGE DUE TO THE CONSTRUCTION PROCESS AT ALL TIMES AND REPAIR AT NO COST TO THE OWNER ANY DAMAGE THAT DOES OCCUR.

CONTRACTOR SHALL ARRANGE FOR INSPECTIONS AND TESTS SPECIFIED OR REQUIRED BY THE CITY/COUNTY BUILDING DEPARTMENT AND SHALL PAY ALL FEES AND COSTS FOR THE SAME. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SECURE AND PAY FOR ALL PERMITS AND UPON COMPLETION OF THE WORK (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFIED CERTIFICATE OF OCCUPANCY FROM THE CITY/COUNTY BUILDING AND ZONING DEPARTMENT.

CONTRACTOR SHALL BE REQUIRED TO CARRY COMPREHENSIVE LIABILITY INSURANCE AT HIS OWN EXPENSE.

DESIGN CRITERIA

GOVERNING CODE:	2015 IRC
SOIL	
BEARING PRESSURE:	1,500 PSF (PRESUMPTIVE)
FROST DEPTH:	30 INCHES
WIND (ASCE 7-10 CRITERIA)	
3 SECOND GUST:	115 MPH
EXPOSURE:	B
SEISMIC	
DESIGN CATEGORY:	D2
IMPORTANCE FACTOR:	1.0
ROOF LOADS	
DEAD LOAD:	15 PSF
SNOW LOAD:	30 PSF
TRUSS	
TOP CHORD DEAD:	10 PSF
BOTTOM CHORD DEAD:	5 PSF
FLOOR LOADS	
DEAD LOAD:	12 PSF
LIVE LOAD:	40 PSF
DEFLECTION CRITERIA	
FLOOR: L/360 TOTAL, L/480 LIVE	
ROOF: L/240 TOTAL, L/360 LIVE	

SQUARE FOOTAGES

GARAGE: 798 SQ. FT.

INDEX OF DRAWINGS

T1.0	PROJECT COVER SHEET
AS1.0	SITE PLAN
A1.0	MAIN AND UPPER LEVEL FLOOR PLANS
A2.0	EXTERIOR ELEVATIONS
E1.0	ELECTRICAL PLANS
S1.0	GENERAL NOTES / SECTION / FOUNDATION PLAN
S1.1	SHEAR WALL AND HOLDOWN PLANS
S1.2	FLOOR AND ROOF FRAMING PLANS

DRAFTSMAN:

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www.wastatchcustomdesign.com

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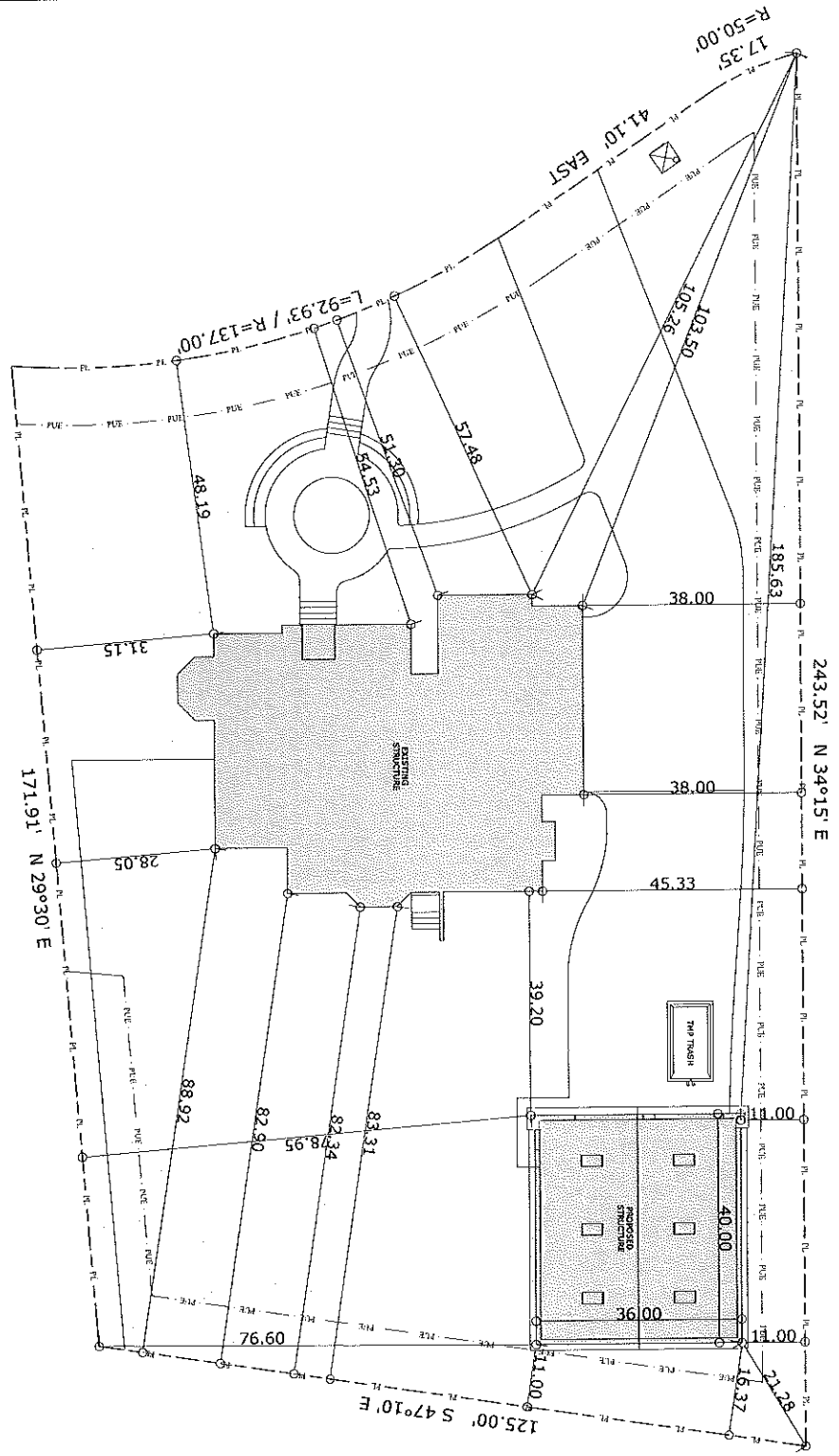
756, Pepperwood - Plat 7B
2, Eaglewood Lane
Sandy, Utah 84092
03/18/20

BUILDING DYNAMICS
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T1.0
756, Pepperwood
Plat 7B

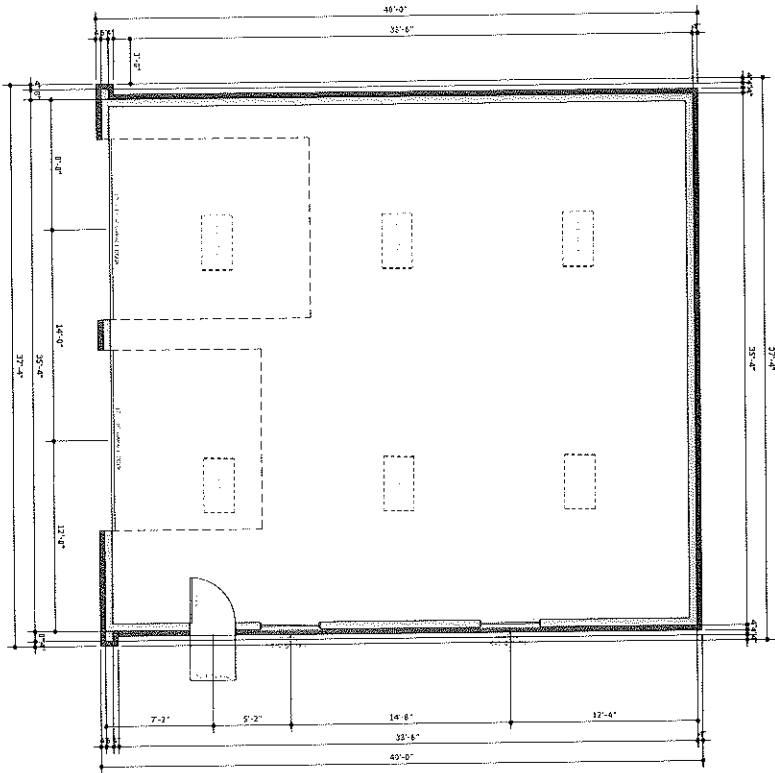


SITE PLAN NOTES

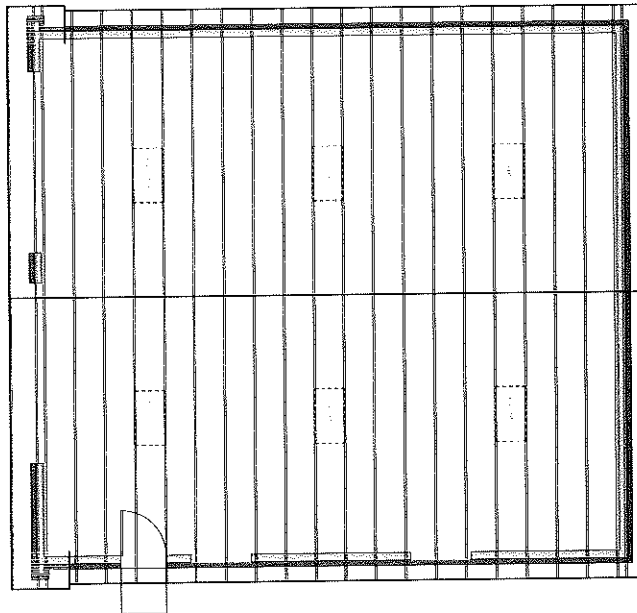
A PROFESSIONAL ENGINEER, CURRENTLY LICENSED IN UTAH, SHALL INSPECT AND APPROVE ANY RETAINING WALLS THAT ARE HIGHER THAN 4 FEET ONCE CONSTRUCTED. DUST, MUD, AND DEBRIS SHALL BE CONTROLLED BY MUD AND DEBRIS AT ALL TIMES. SHALL BE KEPT FREE OF INSTALL CORP. INSPECTION PORTALS TO ALL STREETS AND TRAILS FOR OWNERS / CONTRACTORS. ANY RETAINING WALLS OVER 3'-0" IN HEIGHT WILL REQUIRE A SEPARATE REVIEW AND PERMIT. RETAINING WALLS EXCEEDING 3'-0" SHALL BE REINFORCED AND SUBMITTED TO THE CITY FOR REVIEW. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET. REINFORCED CONCRETE SHALL BE USED FOR ALL FOUNDATIONS. FOUNDATIONS SHALL BE 18" MIN. OR 5" WITH THE FIRST 10". BUILDING OWNER SHALL SECURE AN EXCAVATION PERMIT FROM THE CITY BEFORE ANY EXCAVATION WORK. FOUNDATION WORK SHALL BE APPROVED BY THE CITY BEFORE ANY WORK IN THE CITY RIGHT-OF-WAY. (TRAFFIC SIGNAGE AND LIGHTS SHALL BE REQUIRED). BUILDING / OWNER TO MAINTAIN ANY EXISTING SIDEWALK OR CURB & GUTTER ALONG THE PORTAGE OF THIS PROJECT. LOCAL CITY INSPECTOR. ALL PUBLIC UTILITIES WITHIN THE CITY'S JURISDICTION SHALL BE CONDUCTED ACCORDING TO THE LOCAL CITY CODES AND ORDINANCES. A COPY MAY BE OBTAINED AT LOCAL CITY PUBLIC WORKS.

SITE PLAN
SCALE: 1" = 10'

<p>PROPOSED STRUCTURE</p>	<p>EXISTING STRUCTURE</p>
<p>PROPOSED LINE</p>	<p>EXISTING LINE</p>
<p>PROPOSED CONCRET AREA</p>	<p>EXISTING CONCRET AREA</p>
<p>TOILET</p>	<p>TRASH ENCLOSURE</p>



MAIN LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0" (11 X 17 PAPER) OR
 1/8" = 1'-0" (22 X 34 PAPER)
 1440 SQ. FT.



ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0" (11 X 17 PAPER) OR
 1/8" = 1'-0" (22 X 34 PAPER)


ABR ENGINEERING
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 801.891.2295
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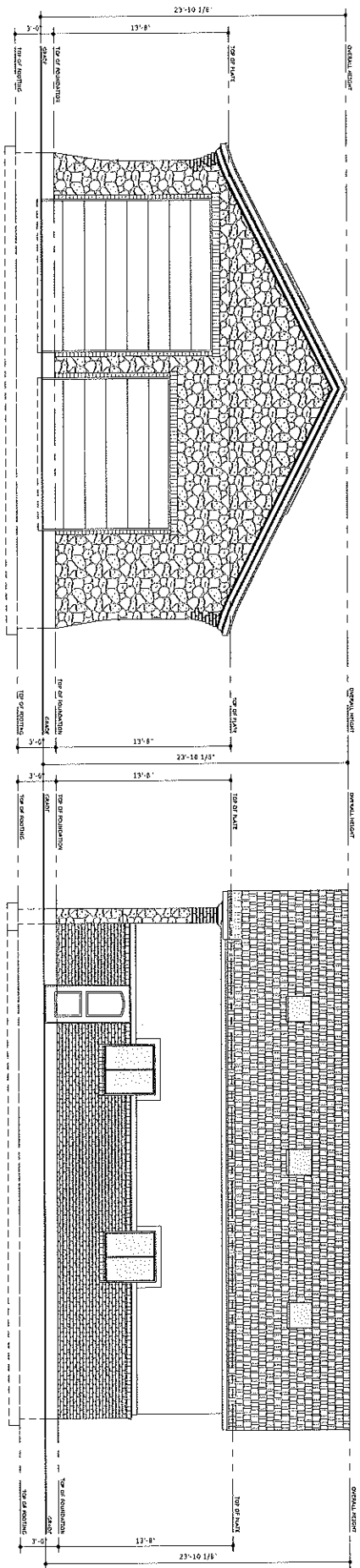
Project: 756, Pepperwood - Plat 7B
 Date: 03/18/20

756, Pepperwood - Plat 7B
 2, Eaglewood Lane
 Sandy, Utah 84092
 03/18/20


BUILDING DYNAMICS
 8703 S. Sandy Parkway
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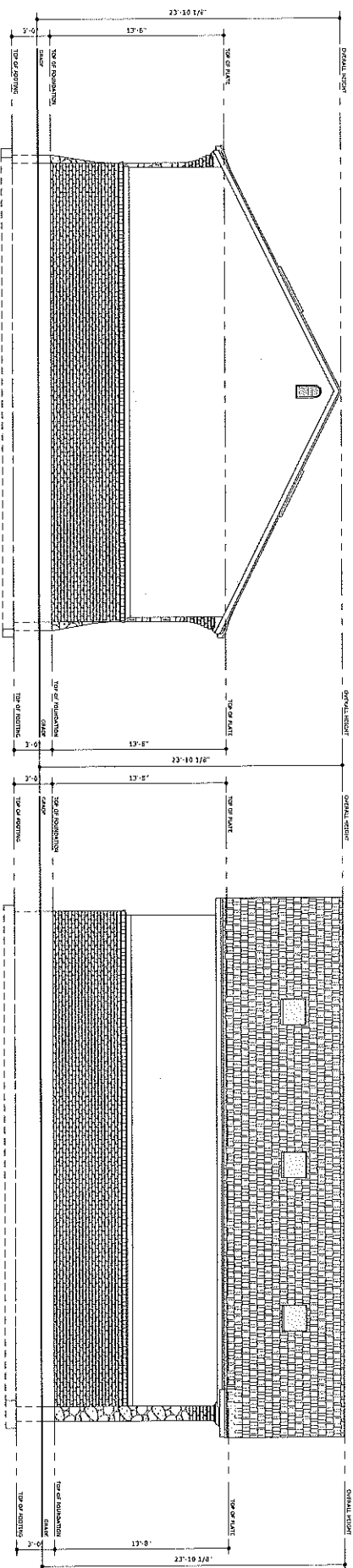
FRONT ELEVATION
 SCALE: 1/8" = 1'-0" (13 X 17 PAPER) OR
 1/4" = 1'-0" (24 X 36 PAPER)

344,122 SQ. FT. OVERALL VOLUME
 284,122 SQ. FT. MASONRY VOLUME = 82.58 %
 60,000 SQ. FT. STUCCO VOLUME = 17.42 %

3977,808 SQ. FT. OVERALL VOLUME
 1001,422 SQ. FT. MASONRY VOLUME = 25.18 %
 2976,386 SQ. FT. STUCCO VOLUME = 74.82 %

RIGHT ELEVATION
 SCALE: 1/8" = 1'-0" (13 X 17 PAPER) OR
 1/4" = 1'-0" (24 X 36 PAPER)

850,076 SQ. FT. OVERALL VOLUME
 288,210 SQ. FT. MASONRY VOLUME = 33.91 %
 561,866 SQ. FT. STUCCO VOLUME = 66.09 %



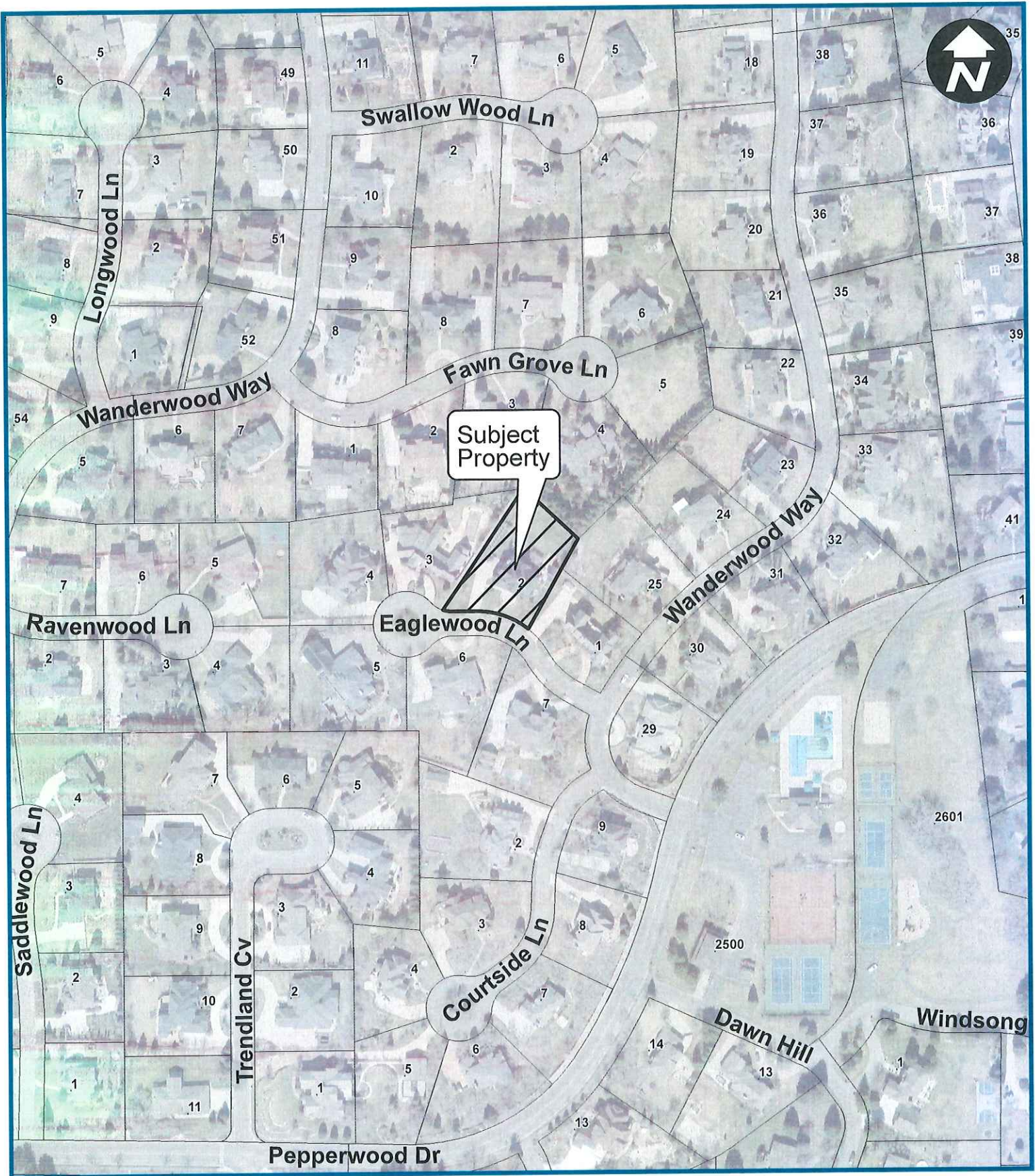
REAR ELEVATION
 SCALE: 1/8" = 1'-0" (13 X 17 PAPER) OR
 1/4" = 1'-0" (24 X 36 PAPER)

634,092 SQ. FT. OVERALL VOLUME
 183,011 SQ. FT. MASONRY VOLUME = 28.86 %
 451,081 SQ. FT. STUCCO VOLUME = 71.14 %

RIGHT ELEVATION
 SCALE: 1/8" = 1'-0" (13 X 17 PAPER) OR
 1/4" = 1'-0" (24 X 36 PAPER)

504,286 SQ. FT. OVERALL VOLUME
 226,123 SQ. FT. MASONRY VOLUME = 44.84 %
 278,163 SQ. FT. STUCCO VOLUME = 55.16 %

Exhibit #3 – Vicinity Map



CUP-04-20-5841
Nelson Accessory Structure
2 Eaglewood Ln.

