



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

KURT BRADBURN
MAYOR

MATTHEW HUISH
CHIEF ADMINISTRATIVE OFFICER

MEMORANDUM

September 16, 2021

To: Planning Commission
From: Community Development Department
Subject: The Summit Two @ the Cairn's Mixed Use Development Master Plan and Phase Two Preliminary Site Plan Review.
10281 S. Monroe St.
[Community #9 – South Towne]

SPR-08-03-2021
-006124
7.89 Acres
CBD-O and CBD-P
Zones

HEARING NOTICE: *This item has been noticed to property owners within 500 feet of the subject area.*

PROPERTY CASE HISTORY	
CASE NUMBER	CASE SUMMARY
SPR# 85-05	South Towne Mall Master Plan, a portion of the site. 1985.
SPR# 92-16	South Towne Mall Expansion, Phase II, a portion of the site. 1992
SPR# 05-19	Sandy Promenade Wetland Center. 2005. Sandy City Parks Department's plan for the physical development of a 1.77 acre portion of the Centennial Parkway Promenade.

REQUEST

The applicants, Mr. Ron Raddon, representing Raddon Development, and the Sandy City Redevelopment Agency are requesting the Sandy City Planning Commission to consider a **Master Site Plan** for an approximate 7.89 acre property, and **Preliminary Commercial Site Plan Review** for the proposed 6.02 acre portion titled **Summit Two @ the Cairn's Mixed Use Development** project. A Mixed Use Development requires a Conditional Use approval in both the CBD-O and the CBD-P zoning districts, and the Conditional Use review will be considered in a separate agenda item and in a separate staff report on this same agenda. The Planning Commission is the approval body for these actions as specified in the Sandy City Development Code.

BACKGROUND

This project site consists of three property parcels located at approximately 10281 South and between I-15 and the northbound segment of Centennial Parkway (170 West Street). The **Master Site Plan** area will include both a vertical mixed use and a horizontal mixed use development to be constructed in two phases. The first phase will include two restaurants, hotel,

and a convention hall in the vertical mixed use building to be located on the east side of Monroe Street. An apartment building with ground floor flex commercial spaces will replace the former “Wetlands Education Pond” and be located on the west side of the northbound lanes of Centennial Parkway. A large 3 level parking garage will be constructed between the hotel and apartment building, which will be attached to the hotel building and serve as a podium for the apartment building. The second phase will be a stand-alone office structure which will be added to the project on the west side of Monroe Street in a future phase, when the market recovers for office building space. (Before the Pandemic, the office building was to be the first phase of the project. Hence the project designation of “Summit Two” for the hotel and apartment mixed use phase, for which its title has not been changed since the design development process began several years ago.)

(Please see the attached plan sheet P100 for the Master Site Plan illustration.)

Preliminary Commercial Site Plan Review for a new Mixed-Use Development Project

Description. This 6.02 acre property is located within the Central Business District-Office (CBD-O) and the Central Business District-Parkway (CBD-P) Zoning districts, and the site is currently vacant. This proposed Mixed-Use commercial project will include (1) a 14 story, 211 foot tall, 265,000 square foot mixed use commercial building containing ground and top floor restaurants, a 218 room hotel, a ten thousand square foot convention space, with 26 units of luxury residential condominiums, located on the western portion of the property, fronting Monroe Street. (2) A 6 story, 75 foot tall, 321,000 square foot, 297 unit apartment building (including 16,000 square feet of “Flex-Commercial Space” at the ground level on the eastern portion of the site fronting the eastern portion of Centennial Parkway and 10200 South Street). And (3) a 3-level, approximately 1,060 parking stall, 463,000 square foot concrete parking structure, spanning under and between the two main buildings. This project is proposed to replace the current northbound portion of Centennial Parkway (street) (between 10200 South Street and the north Mall Ring Road) and the defunct wetland pond (which is being replaced and relocated to the Riverside Golf Course property). It is also part of the South Village Area in the Cairns Master Plan and is subject to the Cairns Design Standards.

NOTICE

Notices were mailed to property owners within a 500-foot radius of the subject parcel to notify them of the Planning Commission meeting. A neighborhood meeting was not held for this project as there are no residents within a 500-foot radius of the proposal.

CITY DEPARTMENTAL REVIEWS OF THE PRELIMINARY SITE PLAN

All reviewing city departments have been engaged in the design and development process of this project since March of 2021 through the Development Review Team meetings and the CityWorks Site Plan Review process. All City departments recommend that the preliminary site plan review be approved by the Planning Commission as now configured. Final details will be worked out at the staff level in the final review process.

ANALYSIS

CBD-O and CBD-P Zoning Review.

Important design issues or considerations on this proposed development in the **CBD-O and CBD-P Zones** that will need to be reviewed by the Planning Commission include: mix of uses, building

heights, lot coverage, building design and materials, building articulation, street level building entries, setbacks and streetscape profiles.

This project is also subject to the recently adopted **Cairns Design Standards**. These have requirements that involve virtually all aspects of the built environment including: park strips, design priority (pedestrian/vehicular/shared), traffic calming, building frontages, building massing, architectural design elements, landscaping, public realm furnishings, and other site design elements.

Access:

The Summit Two phase of this project will create a large 6.02 acre city block bounded by the existing Monroe Street on the west, the existing 10200 South Street on the north, the existing northbound portion of Centennial Parkway (170 West) on the east and the Dry Creek open space corridor on the south. The mixed use buildings will appear as one large building structure with three elements (hotel tower on the west, facing Monroe Street, connecting parking structure, and the apartment building on the east, facing the Centennial Parkway promenade and the remaining Centennial Parkway street). Vehicle access will be from three driveways into the parking structure. One from Monroe Street located at the south side of the hotel structure.

A second and main access for the hotel valet services is on the north side of the building from 10200 South Street. A third driveway will enter the south side of the parking structure from the north Mall Ring Road, near to where the existing southbound portion of Centennial Parkway is located. There will also be a screened loading dock area on the north side of the hotel building, accessed from 10200 South Street. On Monroe Street, the hotel will have a large porta cochere extending between the front of the hotel building and Monroe Street. Entry into the porta cochere will be from a south driveway, one way northbound and exiting from the northern driveway back onto Monroe Street. The hotel will primarily use a system of valet parking services between the porta cochere area and the parking structure for guest and visitors.

The developers and the City Engineer have worked extensively on the access plan, on-site circulation, turning movements, driveway widths and locations, street profiles and right of way needs to arrive at this current layout. In addition, side treatments of parkstrips, sidewalks, and urban furnishings will be added to all streets that will improve pedestrian mobility and comfort to the area in the first phase of development. Each building will be primarily oriented to the street and encourage pedestrian activity. The proposal shows each of the three public streets will have buildings that face onto it. The proposed street improvements are designed to implement the Cairns Design Standards.

Parking:

The Summit Two phase of this project includes a three level parking structure which will abutt the hotel building on its east side and extend east to the northbound portion of Centennial Parkway where it will function as a podium under the apartment building. The final design of the interior of the parking structure is still under design review. However, this structure will provide up to 1,060 parking stalls. Based upon the City's parking stall requirements by the mix of uses in the project, the project will require at least 1,004 stalls. If all 1060 stalls are realized within the structure, this would result in an excess of 56 stalls or an increase of 5.58 percent above the City requirement.

The Sandy City Code allows the Community Development Director to approve up to 10 percent more stalls when the need is established by either a Parking Demand Study or a Market Demand Study, performed by a consulting Transportation Engineer or a licensed real estate professional experienced in parking demand estimates. Such studies have not yet been submitted by the developers, but will be as part of final site plan review with staff. The Community Development Director has indicated that he will approve up to the 10 percent increase in parking within the proposed parking structure if needed and if justified by the parking study.

Lot Coverage and Density of Development:

Total lot coverage with buildings and the parking structure will approach the 90 percent limit imposed by the CBD zoning. However the site will be enhanced by the streetscape design and the open space plazas. Also, the apartment building will include an interior open space recreation and activity center for use of the apartment residents. Thus the goal of reserving 10 percent of the site for landscaping will be achieved in this Cairn's design driven project. The overall residential density of the project is to be reviewed and approved by the Planning Commission. The Summit Two project includes 218 hotel units, 26 condominium units and 297 apartment units (six units of which will be initially finished as residential units within the 16,000 square feet of ground floor "Flex-Commercial Space" located along Centennial Parkway), totalling 541 residential units on 6.02 acres or 90 units per gross acre for the project. There is no density limit for the CBD zoning districts as long as the site complies with all other development requirements. The Planning Commission is to approve the proposed density if it determines that it is appropriate for the development and the location.

Architectural Design & Materials:

All buildings in Summit Two phase were reviewed by the Sandy City Architectural Design Review Committee (ARC) at its meeting held on July 28, 2021, and received a positive recommendation (see ARC minutes) on the proposed building design, with the determination that the proposed design, building materials and colors will achieve a "mountain meets urban" design ethos with the mix and placement of materials consistent with Cairns Master Plan. (Please see plan sheets for building elevations, floor plans and renderings of the buildings. Plan sheets P202 and P203 illustrate the "mountain meets urban" design concepts reflected in the building architecture.)

Landscaping Design and Materials:

The CBD-O and CBD-P zones require site landscaping and specify tree and shrub species, etc., which will be overridden by the Cairn's Design standards, as reflected in the proposed preliminary plans, which will meet the Cairn's requirements.

Building Frontages:

The developers are asking the Planning Commission to allow the transfer of the primary and secondary street frontage designation for the hotel building in reverse of what would be required by the street type classifications. This plan has the primary frontage for the hotel building to be located on Monroe Street rather than on 10200 South Street due to traffic capacity on Monroe Street and building exposure to the freeway. Enhancements in site development are offered to compensate for this switch as detailed in the "Appendix D" document. The secondary frontage designation for the hotel is also requested to be shifted from Monroe Street to 10200 South Street to better accommodate the major parking structure access driveway and the loading/garbage collection accesses.

For the apartment building all building frontages and entrances are oriented to the lesser type 2 street classification, consistent with the Cairn's requirements.

Building Setbacks:

The CBD-O and CBD-P zoning districts require buildings to be built up to the street at a zero (0 foot) lot line setback, after the approved streetscape design, and that primary building entrances be oriented to the street. The code also stresses variations for building articulation and activation of the pedestrian areas with courtyards, outside dining areas, etc. Streetscapes and building setbacks are dictated by street type classifications and vary according to the Cairn's Design Requirements and override the base zone specific requirements.

The Cairns Design Standards call for a ten foot (10') building setback from the public walkway along **Centennial Parkway** and **10200 South Street**, and an eight foot (8') setback along **Monroe Street**. These setbacks are after an eight foot (8') sidewalk and eight foot (8') parkstrip behind the curb and gutter. These standards call for the parkstrip and sidewalk areas to be dedicated as part of the public right-of-way and the building setback area to remain under private ownership, but still be part of the pedestrian realm. The applicant is seeking reductions in places along the **Centennial Parkway** and the **10200 South Street** frontages to as little as 5 and 6 feet of building setback from the streetscape improvements/street right of way dedications. On **Monroe Street** the main hotel building and the convention area are set back more than 20 feet from the street right of way, but the large, glass-roofed porta cochere will overhang the front setback area and come within feet of the right of way with steel support posts. This design feature is considered to be an enhancement to the functionality of the porta cochere and the hotel reception area and will visually move the lower level of the hotel building closer to the street in support of the "mountains meets urban" design goals.

Building Heights:

The CBD-O and CBD-P zoning districts limit building heights to 140 feet, but allow the Planning Commission to approve taller buildings not to exceed 20 stories. The hotel building is proposed at 211 feet high and 14 stories, and is thus approvable by the planning Commission and is appropriate in the Cairn's downtown development district. The CBD-P zone limits building heights along the Centennial Parkway frontage to one to three stories for the first 30 foot horizontal depth of the building, and then allow the 140 feet of height. The CBD-P zone does allow the Planning Commission to approve higher building heights within this 30 foot depth area, up to the maximum building height, based upon architectural design, main street theme, etc. The proposed building height of the apartment building is 75 feet above the street level, composed of 6 stories, with the ground floor level being flex commercial space as allowed by the Cairn's Design standards.

The building height of the connecting parking structure is being limited to three levels, but only two levels visible above finished grade. This lower level portion of the overall building project will be screened on the south by the existing landscaping the City has installed along the Dry Creek Open Space Corridor, and enhanced landscaping along the south side of the structure to be installed by the developer according to the landscaping plans proposed. The north side of the parking structure portion of the overall building project will be enhanced with two outdoor open space and activity areas, including a landscape planted "green wall".

Future Subdivision and street dedications required:

All right-of-way dedications mentioned above would occur with the recording of a subdivision plat that will be required before final approval can be granted for this phase. None of the existing streets within the Centennial Parkway and promenade area have ever been dedicated as public streets. The City, through the Redevelopment Agency owns these streets and the landscaped open spaces in the promenade. Appropriate street dedications to Sandy City for and in behalf of the public will be finalized through the subdivision platting process.

Landscaping & Open Space:

The applicant has submitted a full landscape plan for the site. Staff has found that it generally meets the requirements specific to the Cairns Design Standards, the CBD-O and the CBD-P Zones and those of Chapter 21-25 entitled Landscaping Standards. The plans reflect a variety of deciduous and coniferous trees, shrubs, and perennial flowers. This plan shows urban amenities such as meandering 8 foot wide sidewalks, street furniture, benches, trash receptacles, bike racks, and raised planter areas along these street corridors. They are beneficial to the project design and enhance the pedestrian experience. All residential units are within ¼ mile walking distance to a publicly accessible open space (the Promenade).

Cairns Design Standards Review.

Exceptions:

The developer is seeking exceptions from several areas of the Cairns Design Standards. These exceptions are detailed in the attached Cairn's Design Standards, Appendix "D" document. The Planning Commission can approve these exceptions so long as the applicant demonstrates the following:

- The intent of the applicable regulations; and
- The intent of the Master Plan; and
- The same or better quality design as determined by the Planning Commission

If these criteria are not met, the Planning Commission may require additional development enhancements.

The requested exceptions have been discussed with the Planning Staff and seem reasonable when balancing all of the competing regulations, standards, design parameters and functionalities of the proposed development.

The following is a list of requested exception considerations by category as detailed in the attached "Appendix D" document submitted by the developer's architect:

- 2.6 Building Frontages, page 4.
- 3.0 Streetscape Designs, pages 7 and 8.
- 5.1.2 Commercial Requirements, page 10.
- 6.2.2 Structured Parking, page 16.
- 6.3.1 Parking Entrances, Page 17.
- 11.1.2 Trash and Waste, page 28.

Appendix D also details the proposed justifications for the requested exceptions and the site amenities, design details, and development enhancements offered in response to the requested exceptions, listed on pages 25 and 26, for the Commission's review and determination as to adequacy.

Staff finds that the intent of the regulations and master plan are mostly met with the proposed design. Staff is comfortable recommending approval of the exceptions based on the development enhancements they are proposing.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission **accept the proposed Master Site Plan**, with two phases **and find that the preliminary site plan review is complete for Phase 1, Summit Two @ the Cairns Mixed Use Development** located at approximately 10281 S. Monroe Street, based upon this staff report, the following four findings and the thirteen conditions:

Findings:

- A. That the proposed first phase development project will effectively implement the goals and purposes of the base zoning, CBD-O and CBD-P, and the Cairns Design Standards for Sandy's downtown district and incorporates the "Mountain Meets Urban" design theme elements.
- B. That the "Wetlands Education Pond" property is better used for incorporation into this mixed use project than to continue in its current state. Relocation of the wetland habitat and educational functions to the new and larger site at the golf course, will be an improvement.
- C. That the reconfiguring of the Centennial Parkway street system as proposed and as approved by the City Engineer and City Transportation Engineer, will better serve the transportation needs and long term development of Sandy's downtown area.
- D. That the addition of the convention facility to the hotel project is highly desired by Sandy City Administration and City Council to further the long range economic goals of the City.

Conditions:

1. That street improvements be carried out according to Plan and Profiles approved by the Sandy City Engineer as to Monroe Street, 10200 South Street, and the northbound portion of Centennial Parkway as proposed.
2. That a future subdivision be approved by the City and recorded with the Salt Lake County Recorder, which reflects the final parcel configuration, required street and easement dedications, on-street parking and lane configurations as approved by the City Engineer and allows for the approved streetscape designs of the three street which front the property.
3. That the related Conditional Use application for a Mixed Use development be approved by the Planning Commission.
4. That the developer proceeds through the final site plan review process with staff prior to any vertical construction. The Final Site Plan shall be in compliance with all Development Code requirements and those modifications required by the Planning Commission.
5. That the development complies with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.

6. That the developer be responsible to meet all provisions of the CDB-O and CBD-P Zones and Cairns Design Standards as modified by the Planning Commission.
7. That the **exceptions** to the Cairns Design Standards addressed in the staff report and as detailed in the "Appendix D" document, **be approved** as the design meets the intent of the regulations, Master Plan, and achieves a similar quality design.
8. All utility boxes (i.e., transformers, switch gear, telephone, cable tv, etc.) shall be shown on the site plan and shall be placed underground or moved behind the front setback of the buildings and screened from view. Each box shall be shown in its exact location and shall be noted with its exact height, width, and length. Building utility meters shall be mounted to the side or rear elevation or screened with a wing wall if fronting a public street.
9. That the developer be responsible for the placement of a temporary 6 foot high chain link fence around the perimeter of the project during the construction phase of the project for security. Said fence shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the Community Development Department during Site Plan Review.
10. That the applicant **complies with all department requirements** as noted in all Preliminary Review letters prior to submittal for final site plan review with staff.
11. That the **architectural materials and colors** be approved as per the drawings presented. That all roof mounted mechanical equipment be fully screened.
12. That the **amenities** illustrated on the preliminary site plan be a requirement of this development.
13. That project signs be allowed upon receiving a **detailed sign package** that complies with the Sandy City Sign Ordinance. Signs will need to be reviewed by separate applications by Planning Staff.

Planner:



Douglas L. Wheelwright
Development Services Manager

Reviewed by:



Acknowledging the technical and design assistance of Mike Wilcox, Sandy City Zoning Administrator, in the review of this project.

**Architectural Review Committee Meeting
July 28, 2021**

Members Present:

Steve Burt
Cheryl Bottorff
Scott Westra
Kris Nicholl
Daniel Schoenfeld

Staff Present:

James Sorensen
Jared Gerber
Doug Wheelwright
Mike Wilcox
Brynn Bohlender
Jennifer Gillen

Attendees:

Lyle Beecher – Abstained from vote
Ron Raddon – Raddon Development
Jesse Raddon – Raddon Development
Anthony Lyman – Beecher Walker Architects
Jory Walker – Beecher Walker Architects

Those Absent:

Brian McCuiston

4:00 p.m. Summit at the Cairn's (10200 South Monroe Street) Ron and Jesse Raddon – Raddon Development/Jory Walker and Anthony Lyman - Beecher Walker Architects

Ron made introductions and explained how they have been meeting every Tuesday with Sandy City staff for the past two months going over this project.

Anthony explained where the project would be located and talked about the hotel and apartments. Highlights of both included:

Radisson Blu Hotel will be 15 stories high with approximately 330-340 hotel rooms on nine levels of the building. Amenities will include private condos on the top 4 levels, roof-top bar (inside/outside), lounge, spa, gym, swimming pool, and a convention center that is 10,000 sq. ft. Surrounding the hotel will be office, retail, restaurant, entertainment, and residential units. There will be on-street parking (10200 South) with an enclosed loading dock and a pocket park next to it. There will be a wood looking metal wing shaped accent structure that goes up the side of the hotel where the Radisson sign will be.

The apartments will have six levels, one below the top level of the parking structure, and will extend almost all the way under the apartments. The interior of the apartment plaza will have hot tubs, pools, BBQ area, making it feel like a resort, surrounded by apartment units.

Anthony explained that the materials being used for the Hotel and the apartments are similar in materials but will have some differences as well. They will be using thin brick, architectural metals, glazing, and fiber-cement panels. The porte-cochere will have an inch to an inch and a half thickness of frosted glass as the roof. The apartments will use the same brick as the hotel but in a different color. The apartments will also use another wood look in an aluminum plank material, but in a grayish color.

Scott asked about the parking structure that joins with the apartments and the hotel. Anthony explained that there is a five-foot gap between the garage and the hotel. Due to the size of the hotel and the size of the footings for a building of this magnitude, they had to separate them because there is no real physical attachment except for the few spots to get into the structure. The apartments sit on and wrap around the parking structure.

Ron said there is a parking and traffic demand study in progress.

Steve asked if there was a chiller plant for either of the buildings.

Ron said that they have chillers for the residential units, BRFs for all the hotel rooms and condos, a big chiller for all the common areas: a chiller in the back of house for the convention center, and then there will be regular mechanical units on the very top house for the restaurant/pool that will be recessed into a well on the top roof. They are meeting with Robert DeKorver to go over all of this.

Doug asked about the pocket park.

Anthony said they had about a 40-foot depth pocket park that will be landscaped with sculptures, trees, raised planter boxes, and benches.

Steve asked if staff had any concerns.

Doug said that they would still be working through the Cairns documents before they go to Planning Commission, which deals with the site and infrastructure improvements. Staff will also look at the Appendix D process, which will analyze all the Cairns factors and see if it meets those standards.

Kris asked about the glass that would be used on the hotel. She was concerned about it looking like the Mountain America Credit Union's building, because they have received so many complaints about the reflectivity glare and from people using the freeway.

Jory said that the glass would be a grayish warm glass that will help with the heat and the cold. It will have a coating on it which will reflect the mountains (not mirrored).

Motion to Vote:

Scott Westra made a favorable recommendation to have the Planning Commission approve the architectural design, building materials and colors as presented. Cheryl Bottorff seconded. All in favor of the motion.



September 7, 2021

Sandy City Planning Commission
1000 Centennial Parkway
Sandy, Utah 84070

RE: September 16th Planning Commission Meeting
SUBJECT: Summit II @ The Cairns

Dear Planning Commission Members Dave Bromley, Michael Christopherson, Monica Collard, Cameron Duncan, Jeff Lovell, Ron Mortimer, Daniel Schoenfeld, and Jamie Tsandes:

With regard to the above-referenced subject matter, the applicant, Raddon Summit Hotel, LLC, submits to the Planning Commission a (14-floor, 264,942 square foot building consisting of a 235 room Radisson Blu Hotel with four floors of condominiums; a 6-story, 290-unit apartment community east of the hotel, along with a 1,100 stall parking structure) Mixed Use Development for your consideration. This exceptional development is ideally situated within The Cairns 1,000-acre master plan which will capitalize on the existing trail system and natural beauty of Dry Creek. The development team and its architects and engineers have worked diligently with Sandy City Staff to propose plans consistent with The Cairns Design Standards of "Mountain Meets Urban" in both the exterior site improvements and architectural design.

Conditional Use

The proposed mixed use development is a conditional use application under the prevailing Central Business District-Office Subdistrict/Central Business District-Parkway Subdistrict zoning districts. Hotel uses are permitted within the zone. The proposed Summit II Apartment Community will bring residents within walking distance of many of the adjacent businesses, restaurants and retail uses adjacent to the site area. This sense of community added by the occupants of this community will bring a sense of community to an otherwise vacant area during late afternoon and evening hours. Occupants will eat, shop, and work in areas in close proximity. For those commuting to work, they will have the availability of parking for their vehicles in the adjacent parking structure. Traffic is often a concern of the public for developments similar to this project. A full traffic impact analysis has been submitted for City Staff consideration and a summary of findings is provided below.

Radisson Blu Hotel

The Radisson Blu will welcome its guests with exceptional accommodations along with its stunning rooftop bar, lounge and swimming pool which will be open to the public. The upper four floors of the building will house 28 +/- luxury condominiums. The hotel will offer its guests and the surrounding trade area much needed banquet, wedding, meeting and event space together with culinary offerings at the highly acclaimed Fire Lake Grill House & Cocktail Bar.

The building will be owned by the developer and managed by Radisson Blu. Operating hours have not yet been determined but will be typical of an upper-class hotel.

Site access off Monroe Street will be restricted by the installation of raised median islands within the center median of Monroe Street. Valet parking service with one way access to the main entrance will channel patrons to the main lobby for ease of accommodation. Patrons not wishing to utilize valet services may self-park and enter the Hotel through Level 1 of the Parking Structure.

Summit II Apartments

The Summit II Apartment Community will consist of 290 units, Class-A quality construction with 6-stories above grade, a parking garage at ground level, along with additional covered parking below grade and adjacent to the apartment building.

These residential units are designed with long-term tenants in mind, utilizing high-quality material and construction. The units are well laid out with open living areas, generous balconies, and ample storage space.

Community space is proposed center court with a swimming pool, children's play area, fitness center, and on-leash pet space. Ground floor street units will be constructed with convertible commercial accommodations in anticipation of future commercial use following the initial residential occupancies.

Location

The subject apartment project has been analyzed for the site and has been determined feasible based on the project's proximity to major employers, transportation, and transportation arteries. The developer has also determined that the project meets feasibility requirements based upon the forecasted demand in the housing market in the immediate trade area.

Traffic Impacts:

Traffic impacts for the subject project have been studied with traffic projections being applied at the intersection of Monroe and 10200 South Street, Centennial Northbound from 10200 South to the Mall Ring Road (10280 South) and 10600 South and Auto Mall Drive. The study results provided in the Radisson Blu Traffic Impact Analyses show that the impact of the development is not significant to the intersections along Monroe Street, 10200 South, the Mall Ring Road and Centennial Northbound. Due to the proposed vacation of Centennial Southbound from 10200 South to the Mall Ring Road, it is proposed that Centennial Northbound from the Mall Ring Road to 10200 South be converted to two-way traffic with center left turn lanes for northbound and southbound lefts at 10200 South and the Mall Ring Road. Space for the turn lanes is provided by eliminating east side on-street parking and relocating the west side curb. The analysis also concluded that the vacation of Centennial Southbound and redistribution of traffic did not significantly impact the intersections studied. The 10600 South and Auto Mall Drive signal currently has southbound congestion/queuing that is mainly due to the short segment on Auto Mall Drive between the signal and the Auto Mall intersection. Sandy City is currently considering a Monroe Street reconfiguration that would alleviate this problem. The traffic analysis completed for this development determined that this Monroe Street reconfiguration would greatly improve the queuing available, but that, if possible, a southbound thru lane should be added to the signal. The study discussed how UDOT Ramp metering for the northbound I-15 On-Ramp also affects congestion at this intersection. While the proposed development adds traffic to this intersection, it was found that it mostly

Sandy City Planning Commission
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September 7, 2021

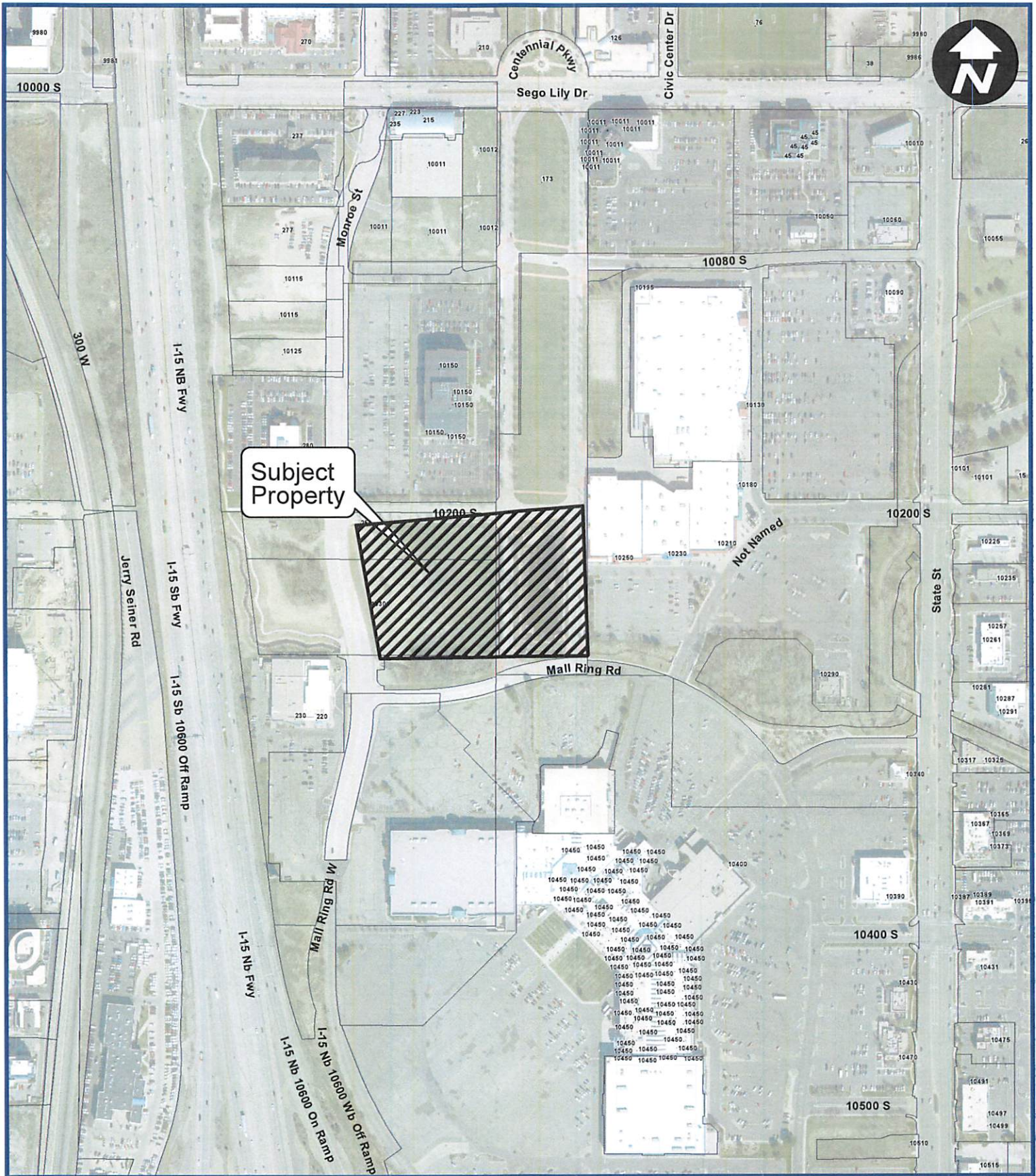
affected queuing during a short period of the PM Peak Hour and that the Monroe reconfiguration could accommodate more queuing.

Thank you for your time and consideration of Summit II @ The Cairns.

Best regards,

A handwritten signature in blue ink, appearing to read "Lesa Bridge", with a long, sweeping horizontal line extending to the right.

Lesa Bridge
Real Estate Manager
Raddon Summit Hotel, LLC



CUPO9072021-006145/SPR08022021-006116
Summit Two at the Cairns
10300 S. Monroe Street

0 105 210 420 630 840 1,050 Feet

PRODUCED BY BRYNN BOHLENDER
 THE COMMUNITY DEVELOPMENT DEPARTMENT

Revised

APPENDIX D

SUMMIT AT THE CAIRNS

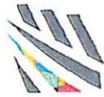


RADDON COMPANIES



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2.2 PARKSTRIPS

FORMAL PARKSTRIPS - 10200 SOUTH AND CENTENNIAL PARKWAY

- There shall be a minimum of one street tree for every 35 feet of frontage.
[See Landscape Concept Keynote 34 and Exhibit depicting 35 foot minimum tree spacing, see sheet L1.1.](#)
 - Trees shall have a two-inch caliper at the time of planting.
[See Landscape Concept Keynote 34 and Exhibit depicting intent to install 2" Caliper trees, see sheet L1.1.](#)
- Trees shall be selected from the plant list in the appendix of this document or be approved by the Parks and Recreation Department.
[Two differing tree varieties have been selected as outlined per this Section.](#)

INFORMAL PARKSTRIPS - MONROE STREET

- Parkstrips shall include softscape treatment for at least 40% of lot frontage.
[Parkstrips include softscape treatment area of a minimum of 40% of lot frontage..](#)
- Softscape areas shall be a minimum of 70% plant material.
[Of the specified softscape treatment areas, a minimum of 70% of the softscape areas are shown with plant material.](#)
- Parkstrips shall include at least three different trees species (from the plant list in this document or as approved by the Parks and Recreation Department).
[Three differing tree varieties shall be selected as outlined per this Section.](#)
- Trees shall have a two-inch caliper at the time of planting.
[See Landscape Concept Keynote 18 and Exhibit depicting intent to install 2" Caliper trees, see sheet L1.1.](#)

COMBINATION PARKSTRIPS

[Not applicable.](#)



2.3 DESIGN PRIORITY

PEDESTRIAN - 10200 SOUTH AND CENTENNIAL PARKWAY

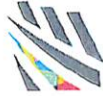
- Crosswalks shall be a minimum of 6 feet wide and shall include stamped or colored concrete.
Proposed crosswalks traverse drive access locations and shall be constructed with colored concrete.
- Where a driveway crosses a sidewalk, the driveway shall be raised to match the adjacent sidewalk.
The project meets this requirement.
- Pedestrian islands shall be required for crossings over 38 feet.
EXCEPTION (HARDSHIP) - On 10200 South the pedestrian crossing is 41 feet, but is unable to utilize a pedestrian island due to the specific cross section proposed by city engineering for that street. No crosswalk will be provided across Monroe at this time as there is nothing to connect it to, but will be added when the west development adjacent the freeway is completed. See section 10.2 for development enhancement to offset this exception.
- Bulb-outs shall be implemented where there is on-street parking.
Bulb outs are provided in areas of on-street parking.

SHARED - MONROE STREET

- Crosswalks shall be a minimum of 8 feet wide and shall include stamped or colored concrete.
Proposed crosswalks traverse drive access locations and shall be constructed with colored concrete. Existing public street crossings are not proposed to be modified.
- Where a driveway crosses a sidewalk, the driveway shall be raised to match the adjacent sidewalk.
The project meets this requirement.
- Pedestrian islands shall be required for crossings over 38 feet.
The crossing to the west across Monroe has been designed with a pedestrian island.
- Bulb-outs shall be implemented where there is on-street parking.
EXCEPTION (HARDSHIP) - No on-street parking is being provided on Monroe at the request of engineering due to the vehicle speeds on the street. This enables the development to also have a larger porte cochere area and bring the porte cochere further out to the street. See section 10.2 for development enhancement to offset this exception.

VEHICULAR

Not applicable.



2.4 TRAFFIC CALMING

CROSSWALKS

- Crosswalks shall have a defined edge according to street code requirements. Borders may be added to designs as needed.
Crosswalks have a defined edge and meet this requirement.
- In locations where a building is present at the corner, there shall be a specialty paver plaza of 500 square feet or more in size (see figure 218).
At the intersection of Monroe and 10200 South the plaza exceeds 500 square feet and the intersection of 10200 South and Centennial the plaza is 200 square feet with a monument.
- In locations with a monument at the corner, there shall be a specialty paver plaza of 200 square feet or more in size (see figure 217).
At the intersection of 10200 South and Centennial there is a Cairns Monument proposed where building is present with bench seating and 200 square foot plaza.
- Crosswalks shall offer a route from the intersection to either the building entrance or a point of interest.
The proposed design accommodates this requirement and the points of interest are indicated on the landscape plan.

2.6 BUILDING FRONTAGES

- All buildings in The Cairns shall have frontage on at least one public or private ROW or mew.
The proposed complies with this requirement.

PRIMARY FRONTAGE - MONROE (HOTEL) AND CENTENNIAL (APARTMENT)

- The primary frontage shall be the frontage of a building on the smallest numbered streetscape design-type, types 2-4, where two or more frontages exist.
EXCEPTION (HARDSHIP) - This would place the primary frontage for the hotel on 10200 South. We are considering Monroe to be the primary frontage for the hotel project due to the traffic volume on Monroe and the building exposure to the freeway. The below comments are responses as though Monroe is being considered as the primary frontage for the hotel. See section 10.2 for development enhancement to offset this exception.

For the apartment building the primary frontage faces Centennial Parkway which is the smallest streetscape design-type.

- The primary frontage shall be the frontage that satisfies the ground floor commercial requirement (see Chapter 3).
The west facade of the hotel facing Monroe is planned to have a restaurant at the main level and the north end has 10,000 square feet of convention space.
EXCEPTION (NON-HARDSHIP) - The apartments are not planned to have retail currently due to not being able to support it with parking, but will be able to be converted in the future if the need arises. See section 10.2 for development enhancement to offset this exception.

- The primary frontage shall include the primary entrance to the building for streetscape design-types 2 and 3.
The primary frontage for the hotel includes the primary entrance at the porte cochere along Monroe which is a type 3.

The primary frontage for the apartment includes the primary entrance along Centennial Parkway which is a type 2.

- At least 70% of either the facade of the building or a community gathering space (see Chapter 9) shall be built within five feet of the minimum setback for the applicable streetscape design-type.
For the hotel there is outdoor seating at the restaurant and the porte cochere has been extended out to the sidewalk that are within the minimum setback required for both Monroe which meets the 70% minimum requirement. The porte cochere is being considered as an extension of the building due to its size and a community gathering space as it extends out to the sidewalk and will have benches and other amenities for the public.

For the apartment building the entire front facade is built within five feet of the minimum setback.

SECONDARY FRONTAGE - 10200 SOUTH (HOTEL AND APARTMENT)

- The secondary frontage shall be the frontage of a building on the largest numbered streetscape design-type where two or more frontages exist.
EXCEPTION (HARDSHIP) - This would place the secondary frontage for the hotel on Monroe. We are considering 10200 South to be the secondary frontage for the hotel project. The below comment is as though 10200 South is being considered as the secondary frontage. See section 10.2 for development enhancement to offset this exception.

This would place the secondary frontage for the apartment along 10200 South and complies with the requirement.

- At least 70% of the facade of the building or a community gathering space (see Chapter 9) shall be built at or closer than the maximum setback for the applicable streetscape design-type.
Considering 10200 South as the secondary frontage for the hotel and apartments the entire north facade is within the maximum setback of the streetscape.



2.7 COMMERCIAL SPACE PROVISIONS

When it is not economically viable to build commercial space consistent with the requirements of this document, commercial space may be designed as flex-commercial space.

FLEX COMMERCIAL SPACE

- Flex-Commercial Space shall be minimally designed with all of the following elements:
 - All necessary venting, electrical, and plumbing for a standard restaurant user.
The necessary venting, electrical and plumbing will be provided for a future restaurant user in one of the spaces.
 - Minimum ten-foot ceilings.
10+ foot ceilings have been provided.
 - Street entrances for pedestrians.
Each future commercial space has been provided with its own entrance from the public realm.

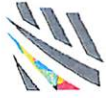
TRANSFER OF COMMERCIAL SPACE

As a second option for relief from minimum commercial requirement required commercial space may be transferred to another building or project on the same street or within 300 feet of the building. Transfer of commercial space shall require all of the following:

- Commercial space shall be transferred on at least a 1:1 square foot ratio
- Commercial space shall be transferred to another building or project on the same street (up to 1,000 feet away) or to another building within 300 feet as long as the new project is in The Cairns
- The transferred commercial space shall not be built as flex-commercial space
- The transferred commercial space shall be constructed simultaneously with the proposed project
- Commercial space shall not be transferred away from any streetscape design-type 2 street but may be transferred to a streetscape design-type 2 street
Not applicable.

2.8 DRIVE-THRUS AND WALK-UP

- Where permitted, drive thru windows and lanes shall be behind buildings or heavily screened to eliminate or minimize the view from the public realm
[Not applicable.](#)
- No more than one drive thru lane shall be allowed for any one business
[Not applicable](#)



3 STREETSCAPE DESIGNS

TYPE 2 - 10200 SOUTH AND CENTENNIAL PARKWAY

- Design priority shall be pedestrian.
The proposed complies with this requirement.
- Parkstrip treatments shall be formal.
The proposed complies with this requirement.
- Sidewalks shall maintain a minimum 8 foot clear walkway.
The proposed complies with this requirement.
- The minimum building setback shall be 10 feet.
EXCEPTION (NON-HARDSHIP) - The hotel convention space is closer than the 10 foot minimum. See section 10.2 for development enhancement to offset this exception.

EXCEPTION (NON-HARDSHIP) - The apartments are closer than the 10 foot minimum, but the parking structure meets the requirement. See section 10.2 for development enhancement to offset this exception.
- The maximum building setback for a primary frontage shall be 15 feet and for a secondary, 20 feet.
EXCEPTION (NON-HARDSHIP) - Parking structure setback on 10200 South exceeds 15 feet. Enhanced plantings, gathering areas, and points of interest are provided to fill and enhance this space. See section 10.2 for development enhancement to offset this exception.
- Interruptions shall be every 50 feet.
The project exceeds this requirement with paving colors, site furnishings, raised planters and plantings along all of the three streets in question.
- There shall be a minimum of 4 pedestrian entrances for every 200 feet of building frontage.
EXCEPTION (NON-HARDSHIP) - There The hotel convention space has four doors along the north face that will function primarily as exits for the convention space, but will still visually comply with the requirement to have openings. See section 10.2 for development enhancement to offset this exception.

The level 1 of the apartment project has multiple pedestrian entrances, both into the future commercial spaces, the stair towers and the level 1 apartments.
- The maximum block length shall be 400 feet.
EXCEPTION (NON-HARDSHIP) - The hotel, parking structure and apartments on 10200 South exceed this requirement, but a community gathering space has been added at the north side of the parking structure complying with section 9.1.6. See section 10.2 for development enhancement to offset this exception.

The apartments on Centennial Parkway are under the 400 foot block length limit.
- Drive-thrus shall be prohibited.
None are planned for this project.
- On-street parking shall be required.
EXCEPTION (NON-HARDSHIP) - On street parking has been provided on 10200 South. Future redevelopment will address adding or moving the on-street parking on Centennial as the city engineer will not allow Centennial to jog by moving the parking to the west side of the street. See section 10.2 for development enhancement to offset this exception.



3 STREETSCAPE DESIGNS

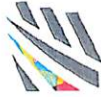
- There shall be a minimum of 30 % ground floor commercial or flex commercial and commercial or flex commercial on all block corners.

EXCEPTION (NON-HARDSHIP) - The apartments are not planned to have retail currently due to not being able to support it with parking. There are a few spaces that can be converted to retail or commercial in the future. A grease trap, minimum ceiling heights and entrances will be placed at this point to allow for future conversion. See section 10.2 for development enhancement to offset this exception.

- The maximum retail space for any one use shall be 8,000 sq ft.
The future commercial spaces are small enough that none of them will exceed this limitation.

TYPE 3 - MONROE STREET

- Design priority shall be shared.
The current design has provided for a shared vehicular and pedestrian access and has colored concrete crosswalks.
- Parkstrip treatments shall be informal.
Parkstrip treatments are informal as shown.
- Sidewalks shall maintain a minimum 8-foot clear walkway.
The proposed complies with this requirement.
- The minimum building setback shall be 8 feet.
The proposed complies with this requirement, with the porte cochere extending out to the sidewalk.
- The maximum building setback for a primary frontage shall be 16 feet and for a secondary, 25 feet.
The large porte cochere extends out to the sidewalk, a large plaza has been designed to the west of the convention area and another near the south parking structure entrance for the restaurant there is a large outdoor dining area.
- Interruptions shall be every 75 feet.
Monroe meets this requirement with the outdoor dining, porte cochere area.
- There shall be a minimum of 3 pedestrian entrances for every 200 feet of building frontage.
Along Monroe there are several entrances from the street to the building, parking structure and the convention space.
- The maximum block length shall be 400 feet.
Monroe complies with this requirement.
- Drive-thrus shall be limited.
No drive-thrus are planned in this development.
- On-street parking shall be required.
EXCEPTION (HARDSHIP) - There is no on-street parking at the request of the city engineer. See section 10.2 for development enhancement to offset this exception.
- There shall be a minimum of 15% ground floor commercial or flex commercial and commercial or flex commercial on half of all block corners.
The main level of the hotel has a large restaurant space and convention space exceeding this requirement.
- The maximum retail space for any one use shall be 10,000 sq ft.
No retail space exceeds this requirement.



4.2 BUILDING MASSING

- Each building facade shall have at least one horizontal break. Horizontal breaks shall be offset at least 3 feet from the building face. (See figure 408).

Each of the hotel building facades have a few horizontal breaks, including the guestroom balconies, architectural projections or where the building facade steps back at levels two and 14. See the halftoned architectural elevations that address this requirement.

The apartments use the balconies as the horizontal break so that unit layouts may stack vertically. The balconies extend several feet from the building creating 'canyons' and 'crevices'. See the halftoned architectural elevations that address this requirement.
- All buildings shall have a distinguishable base, middle, and top as defined in this document.

The hotel has a base at level 1, middle at levels 2-13 and the top at level 14. Each change between base, middle and top occurs at a building horizontal break. See the halftoned architectural elevations that address this requirement.

The apartment building has a base at the street level units and commercial spaces, middle at the levels 2-6 units and a top above the units where the roof has large overhangs and vertical extensions above the main roof. See the halftoned architectural elevations that address this requirement.
- Residential, office, and hospitality use building heights in The Cairns shall be regulated by figure 409.

The overall project meets this intent.
- All specialty uses shall go to the Planning Commission for review and approval. These uses may not be held to the same massing or building height standards as other uses. Specialty use buildings shall follow an additional review and approval process, and will be given more flexibility in their design.

There are no specialty uses within the project boundary.

5.1.2 COMMERCIAL REQUIREMENTS

- Full brick veneer, quarried stone, architectural metals, glass, or pre-cast architectural concrete, or other high-quality material as recommended by The Cairns Architectural Review Committee (CARC), shall be used on at least 80% of building bases and 50% of building middles for all building frontages visible from public streets.
The entire hotel building is designed to use architectural metals and brick veneer and has large expanses of glazing which exceeds the 80% and 50% requirements.
The apartment base is designed to use brick veneer with the middle using wood-look aluminum planks, aluminum composite panels and fiber cement exceeding the 50% requirement.
- Uninterrupted horizontal expanses of 50 feet in length of any opaque material, including opaque glass, shall be prohibited on building frontages visible from public streets.
EXCEPTION (NON-HARDSHIP) - The only locations on the hotel that exceeds this requirement are some of the banding at the floor levels, the conference area at the north and the roof top amenity area that is stepped back from the main facade. The large glass curtainwall below it will have extended depth mullions as the development enhancement for the parapet walls exceeding the 50 foot length. See section 10.2 for development enhancement to offset this exception.
EXCEPTION (NON-HARDSHIP) - The apartment building only exceeds the requirement at the level 1 commercial spaces as the residential units use the balconies to break up the facade. See section 10.2 for development enhancement to offset this exception.
- Fully transparent, clear glass shall be required on the bottom two stories or 20 feet of any building for visibility at least three feet into the building.
The specified glazing for both projects will comply with the above requirement.
- Mirrored or highly reflective glass is prohibited. Opaque glass is prohibited from occupiable spaces.
No mirrored or highly reflective glass will be used on these projects.

FENESTRATION

BUILDING BASE:

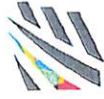
- 70% minimum fenestration shall be required for bottom story along building frontages facing the street.
The hotel building as designed meets the 70% minimum requirement.
EXCEPTION (NON-HARDSHIP) - Due to having apartment units at level 1 and the window sizes being smaller, the requirement is not met at 36%. See section 10.2 for development enhancement to offset this exception.
- 50% minimum fenestration shall be required for 2nd story along building frontages facing the street.
The hotel building as designed exceeds the 50% minimum fenestration requirement.
EXCEPTION (NON-HARDSHIP) - The apartment units only achieve 35% fenestration at level 2. See section 10.2 for development enhancement to offset this exception.

BUILDING MIDDLE AND TOP:

- Middle and top sections shall have between 50% and 80% glass window treatments for all facades.
EXCEPTION (NON-HARDSHIP) - The hotel exceeds 80% glazing. See section 10.2 for development enhancement to offset this exception.
EXCEPTION (NON-HARDSHIP) - The apartment building does not achieve 50% glazing at the middle and top sections. See section 10.2 for development enhancement to offset this exception.

ENTRIES

- All retail or restaurant entries to a building shall include a material change or different articulation of the same material in and around the entry.
The currently planned restaurant and rooftop bar in the hotel are accessed through the hotel and its main entrance.



5.1.2 COMMERCIAL REQUIREMENTS

The commercial spaces beneath the apartment building will have their own designated and clearly visible entries with large glass windows and a canopy over the entrance.

Each entry to a building shall be articulated with at least one of the following:

- A horizontal shift in the facade of the building (at least two feet in or out) where the door is located.

The entry to the hotel has a shift in toward the interior of the building in excess of 24".

The apartment entries shift toward the exterior of the building in excess of 24" at each entry.

- A distinguishable architectural change which clearly defines the entry.

Each of the entries not only provides a hardscape walkway bounded by landscaping, the requisite door(s), but also includes a covered parapet roof structure or porte cochere. Each of these entrances are designated by a vertical architectural element that shifts from the facade in or out further than adjacent surfaces and may include a raised roof plane element.

- A canopy, overhang, or arch above the entrance.

Each of the entrances for both projects are provided with a covered roof parapet structure.

- Peaked roof or raised parapet structure over the door.

Each of the entrances for both projects are provided with a covered roof parapet structure.

ARTICULATIONS

- Buildings shall include a clearly defined base, middle, and top.

As previously shown there is a defined base, middle and top to the buildings as currently designed.

- At block corners, buildings shall include enhanced articulation that minimally includes a building protrusion or recessed treatment.

For the hotel the facade steps back similarly to figures 404 and 405 in the Cairns Design Standards.

The apartment building has angled roof elements and chamfered corners with balcony recesses.

BUILDING BASE:

- (Streetscape Design-Types 1, 2, 3) Horizontal building articulations for street facing walls shall be required at least every 50 feet to break up facades and create a human-scale.

The hotel's fenestrations are recessed toward the interior of the building to provide depth, balconies at each of the guestrooms and condominiums and various architectural ribbon elements around the building create the required articulations.

The apartment building balcony recesses and vertical stair tower/entries create the required articulations.

- Vertical articulations shall minimally extend to the full height of the ground floor.

There are multiple vertical articulations that extend to the first floor or higher for both buildings.

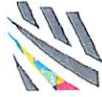
BUILDING MIDDLE AND TOP:

- Vertical and horizontal divisions shall be required to the extent that a variety of physical and material breaks exist in the facade.

There are multiple vertical and horizontal division provided in the metal panels, glass and brick not only materially, but physically for both projects.

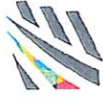
- Building facades shall include a sequence of articulations to provide architectural relief and shadowing.

As previously stated, each of the fenestrations along the entire level 1 are recessed into the face and recessed balconies on each facade provide for a number of locations to create relief and shadowing. The proposed architectural elevations will show the shadows to illustrate these conditions which occurs in both projects.



5.2 SITE GRADE

- The foundation of a commercial building shall not extend above four feet from the grade of the adjacent sidewalk.
The foundations will not extend more than 48" above adjacent grade and where it is exposed will be screened with landscaping. Where the building is set back from the sidewalk with grading in between the exposed foundation, if any, will meet the intent of this section.
- The foundation of a residential building shall not extend above six feet from the grade of the adjacent sidewalk.
No foundations on the apartment building will extend above six feet above adjacent grade.
- Retaining walls shall not exceed five feet tall measured from the footing. Walls that are stepped shall have a 10-foot separation between retaining walls.
All retaining walls are less than 60" in height.



5.3 ROOF TREATMENTS

- All roof top mechanical or utility equipment shall be screened (see figure 521 - 523).
All rooftop equipment is screened via a parapet wall or screen wall.
- Roof treatments shall be designed to architecturally cap the building (see figure 523).
The top of the building is capped via a stepped back enclosed area for the amenity deck and a large sloped shed roof element. This roof element extends far enough away from the building to visually provide a large building cap.

Similar to the hotel the apartment has vertically projecting elements with large planar roofs that extend from the facade to create the building cap.

5.4 LIGHTING

- Public and private street lights and parking lot lights shall be configured in a manner that minimizes the amount of light pollution or light trespass onto adjacent properties (see figure 526).
[All public and private street light will minimize the light pollution as directed by the noted figure in the Cairns Design Standards, see electrical drawings for light details.](#)
- Public street lights within the Cairns District shall be installed as per Sandy City.
[The public street lights will be installed per city codes.](#)
- Parking lots and other private outdoor spaces shall be lit with lighting that is shielded so it can only project downward (see figure 526).
[All private street light will be shielded to minimize the light pollution as directed by the noted figure in the Cairns Design Standards, see electrical drawings for light details.](#)

6.1.2 SURFACE PARKING

- Where surface parking lots are allowed between a building and the street (Public Realm), at least 50% of the street frontage shall be fronted with buildings.
[No surface parking lots are proposed between a building and the street \(public realm\).](#)
- Where decorative screening is required, it shall minimally include a four foot decorative wall and/or hedge.
[Not applicable.](#)
- Landscape island tree spacing may be adjusted up or down, based on the type of tree.
[Not applicable.](#)
- Landscape island trees shall be a fruitless variety tree.
[Not applicable.](#)
- Surface parking shall comply with chart 601.
[Parking in front of the hotel is provided for valet parking service operations. All other proposed on premise parking is within a parking structure.](#)



6.2.2 STRUCTURED PARKING

- Structured parking shall comply with chart 602.
EXCEPTION (NON-HARDSHIP) - 10200 South is a Streetscape Design-Type 2 which the structure complies with the following:
 - The structure is located to the side/adjacent the building.
 - The north elevation includes walls along the entire facade except for the entrance to screen the structure and the openings for ventilation.
 - The structure does not exceed the height of the primary building.
 - The structure itself does not contain a commercial space.
 - The structure will have architectural grade concrete with climbing vines. The added vines over the architectural concrete walls provide a green element to screen the structure.
 - The structure exceeds the minimum setback requirement.
 - See section 10.2 for development enhancement to offset this exception.
- Community gathering plaza proposed to screen and buffer the parking structure facade from 10200 South. Dry Creek Channel enhancements are proposed to beautify the area between 10280 South and the south exposure of the parking structure facade.
- On the south elevation of the parking structure there is a required LID swale with grasses. The developer will coordinate with the city on screening the south side of the structure in the DryCreek and wetlands areas.
- Where shown on chart 602, parking structures should only be allowed along secondary frontages.
EXCEPTION (NON-HARDSHIP) - 10200 South is proposed to be accepted as secondary frontages with the former section request to be considered secondary frontages with proposed enhancements previously described and shown in the Concept Landscape Exhibit. See section 10.2 for development enhancement to offset this exception.
- Four-sided screening shall shade vehicles and visually screen structures from adjacent uses and streets.
 The north elevation of the parking structure facing 10200 South, except for the entrance/exit, will have architectural concrete walls with vertical planting to cover the concrete walls.
- Leasable ground floor commercial space or flex-commercial space in parking structures is encouraged.
EXCEPTION (NON-HARDSHIP) - No commercial space is currently planned in front of or inside of the parking structure. Centennial Parkway on-street parking is limited. Additional commercial space has been added in the hotel. See section 10.2 for development enhancement to offset this exception.
- Architectural screening shall minimally follow two of the articulation requirements for its associated use as outlined in Chapter 5.
EXCEPTION (NON-HARDSHIP) - The north elevation of the parking structure facing 10200 South will have added vines over the architectural concrete walls to provide a green element to screen the structure adjacent to the pocket park. See section 10.2 for development enhancement to offset this exception.
- Architectural screening shall include full brick veneer, quarried stone, architectural metals, glass, or pre-cast architectural concrete, or other high-quality material as recommended by The Cairns Architectural Review Committee (CARC).
 The screening shall include architectural grade concrete to screen the parking structure.



6.3.1 PARKING ENTRANCES

- Parking ingress and egress for a double-lane entrance shall be a maximum of 24 feet wide.
EXCEPTION (HARDSHIP) - All parking structure access entrances are proposed to be 26 feet in width at this time to allow fire truck access as close as possible to the structures. See section 10.2 for development enhancement to offset this exception.
- Parking ingress and egress for single-lane entrances shall be a maximum of 14 feet wide.
Not applicable.
- Parking ingresses and egresses shall be at least 60 feet from block corners for single lane entrance.
The current design meets this requirement, see civil site plans.
- Parking ingresses and egresses shall be at least 80 feet from block corners for double lane entrance.
The current design meets this requirement, see civil site plans.
- The number of entrances should be limited to a single ingress and egress per street frontage, per parking facility.
Hotel parking ingress/egress is from 10200 South, Hotel condominium parking ingress/egress is from Monroe Street and Apartment parking ingress/egress is from 10280 South Street.

7.1.1 PUBLIC REALM FURNITURE

TREE GRATES, MANHOLE COVERS AND SIDEWALK MEDALLIONS

- Manhole covers (with the exception of sewer district manhole covers) shall be Cairns branded and have an additional identifying marker indicating storm water, sewer, etc..
Utility Plans will note compliance with this requirement. If there are foundries that have been used for this requirement please let us know.
- Tree grates shall provide at least 16 square feet of permeable surface.
No tree grates are being used.
- Tree grates, manhole covers, and sidewalk medallions shall be crafted using high quality materials from the pre-approved list, or as per Sandy City Standard Specifications.
The project will comply with the above requirements.

TRASH RECEPTACLES

- Privately maintained trash receptacles should be placed in the building space close to entrances but no less than one every 200 feet.
The project will comply with the above requirement.
- Recycling receptacles should be paired with at least 1/2 of all trash receptacles (also to be placed in the building zone and privately maintained).
100% of the trash receptacles will include recycling receptacles (See Keynoted locations).
- Trash receptacles shall be crafted using high-quality materials or come from the pre-approved list in Appendix B of this document.
The project will comply with the above requirements.

BIKE RACKS

- Each project shall have one bike rack that can accommodate a minimum of 4 bicycles.
Several bike racks have been provided along with the private bicycle storage inside the building. See the civil drawings for locations.
- Bike racks should be on the primary frontage of a project in the building zone.
See the civil site plan for proposed locations.
- Bike racks shall be crafted using high-quality materials or come from the pre-approved list in Appendix B of this document.
The project will comply with the above requirements.

BENCHES

- Benches should be provided at a minimum of one for every 200 or 300 feet of linear frontage withing the building space.
Bench locations are proposed in the Concept Landscape Exhibit to comply with this requirement, see sheet L1.1.
- Benches should be placed near transit, public open spaces, and shopping and dining opportunities.
Bench locations are proposed in the Concept Landscape Exhibit to comply with this requirement, see sheet L1.1.
- Benches shall be crafted using high-quality materials or come from the pre-approved list in Appendix B of this document.
The project will comply with the above requirements.

FENCING

- Fencing in the public realm shall not be more than 80% opaque.
Not applicable.

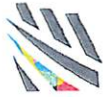


7.1.1 PUBLIC REALM FURNITURE

- Fencing shall be crafted using high-quality materials. Vinyl fencing is discouraged and chain-link fencing shall not be permitted.
Not applicable.
- Fencing in the public realm shall not be taller than 40 inches.
Not applicable.

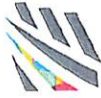
BOLLARDS

- Bollards in the public realm shall not be taller than 40 inches.
No bollards are being used. Step lights in the face of the benches to provide plaza lighting and to also stay out of the fire department access on the plaza.
- Decorative and lighted bollards should be crafted using high-quality materials such as wood, stone, and prefabricated plastics.
Not applicable.



7.2.1 LANDSCAPING

- Shrubs, bushes, and grasses shall cover no less than 40% of all softscape areas.
The proposed Concept Landscape Plan is designed to comply with this requirement, see sheet L1.1.
- There shall be a minimum of one tree planted for every 400 square feet of landscaping.
The proposed Concept Landscape Plan is designed to comply with this requirement, see sheet L1.1.
- Plant materials and landscape design shall be designed to reflect the mountain elements and themes outlined in Chapter 1 of this document.
The proposed Concept Landscape Plan is designed to comply with this requirement. Boulders will be used from Browns Canyon and the trees have been selected from Appendix C.
- Each site shall be designed with a variety of trees, shrubs, bushes, and grasses. No fewer than three species of trees and three species of shrubs, bushes, and grasses.
The proposed Concept Landscape Plan is designed to comply with this requirement, see sheet L1.1.
- Up to 50% of the landscaping may be transferred to a green wall so long as the wall starts at the ground floor and is in view of the public right-of-way.
Noted, and a green wall has been added to the north elevation of the parking structure.
- All landscaping shall meet LID requirements.
Noted.
- Up to 60% of the required landscaping may be transferred to a rooftop garden and still meet the intent of these requirements.
Not applicable, but roof top plantings will be placed at the outdoor restaurant and bar up to approximately 10% of the space.
- Plants shall come from the approved plant list in Appendix C of this document.
Developer/Owner intends to seek approval for specific evergreen plantings to enhance the look of the final landscape design.



8.2.1 SECONDARY MONUMENT

- Secondary gateway monuments should be at least 10 feet tall.
The secondary gateway monument as designed is 10 feet tall, is materially constructed of granite and provides for the Cairns sign in dark bronze/stainless. This will be located at the middle of the three Cairns sculptures near the 10200 South parking structure entrance, see keynote 35 on the landscape and civil sheets.

Secondary gateway monuments shall use granite veneer (figure 820), lighting (figure 821), and no less than 2 elements from the following list:

- Evergreen trees (see figure 814 and appendix)
The secondary gateway monument will include ornamental grasses around the base. Conceptually the monument will be very similar to figure 818 in the Cairns Design Standards.
- Medium height shrubs (see figure 815 and appendix)
- Ornamental grasses (see figure 816 and appendix)
- Granite rubble (see figure 819)
- Corten/dark bronze (see figure 822)
The Cairns signage will be constructed of a dark bronze metal.
- Secondary gateway monuments shall be branded with The Cairns logo.
The Cairns logo has been included in the secondary monument design.

8.3.1 SIGNAGE

- Pedestrian wayfinding signage should be at least 8 feet tall.
[Not applicable.](#)
- Vehicular wayfinding signage should be at least 10 feet tall.
[Not applicable.](#)
- Print shall be easily visible on all wayfinding signage (this can be done in several ways, see images 826-828).
[Not applicable.](#)
- All wayfinding signage shall be constructed with high-quality materials such as granite, bronze, and stainless steel.
[Not applicable.](#)
- All wayfinding signage shall be branded with The Cairns logo.
[Not applicable.](#)



9.1 OPEN SPACES

- All residential units in the Cairns shall be within 1/4 mile (1320 feet) walking distance to a publicly accessible open space from the front or primary entrance of a unit.
The apartments are directly south of the Sandy and South Towne Promenades.
- All uses in the Cairns shall be within 1/2 mile (2640 feet) walking distance from a publicly accessible open space of any type.
Both the hotel and the apartments are directly south of the promenades.
- In the case where open space is proposed and installed by a developer, a development and maintenance plan for the open space shall be submitted to the city.
The project will comply and the development and maintenance plan will be submitted.

9.1.4 PLAZAS

- Plazas shall have some point of emphasis or attraction (ie: fountains, sculptures, historic element, etc.)
 - Plazas should be used in more urban, active locations as a gathering or meeting place in commercial or more intensive residential locations.

A very large plaza is proposed adjacent to 10200 South adjacent to the parking structure facade. Cairns climbing structure with soft fall materials, seating areas and planter beds are proposed.

Two other plazas are proposed at the intersection of Monroe and 10200 South and Centennial and 10200 South.
 - Plazas should be mainly hardscape.

Noted, please see proposed Concept Landscape Plan, see sheet L1.1.
 - Plazas shall have some point of emphasis or attraction (ie: fountains, sculptures, historic element, etc.).

The plaza area between the truck dock access and the parking structure access on 10200 South is intended to provide an attractive feature to be accessed from the public walkway. The plaza east of the parking structure access provides Cairns climbing structure and other gathering area type landscaping and outdoor bench seating areas. Please see proposed Concept Landscape Plan, see sheet L1.1.



10.2 DEVELOPMENT ENHANCEMENTS

The proposed development enhancements listed below include the convention space in the north end of the hotel, a second restaurant on the roof of the hotel, two plazas (one at the north-east and south-west of the apartments) and associated site furniture and lighting, additional site elements (i.e. colored concrete walkways, secondary gateway monument, bike racks, etc...) that have quantities above and beyond what is required in the Cairns Design Standards.

There are other items, such as the electric vehicle chargers, wellness center, fire pits, rooftop pool and spas, outdoor dining an additional large plazas along 10200 South and adjacency to the Drycreek trail that add value and a positive environmental impact to the pedestrians and building occupants, that experience the site. These enhancements directly offset the exceptions (shall's) that are being sought.

Additional enhancements relating specifically to the building/site referencing LEED credits create not only a more environmentally efficient structure, but increase the internal and external occupant wellbeing by providing cleaner indoor air, reduced lighting impact, reduced noise impact due to more efficient HVAC equipment, proximity to public transportation and parks all while reducing the overall utility usage. It is proposed that the below enhancements more than offset the exceptions being sought.

DEVELOPMENT ENHANCEMENTS (SHALL'S):

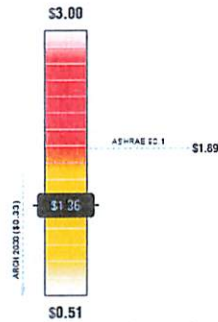
- Future capacity for a large quantity of electric vehicle chargers in the parking structure.
- Five plazas, one at the outdoor restaurant seating, at the porte cochere, at the intersection of Monroe and 10200 South, at the north side of the parking structure at 7,650 sf. and at the intersection of 10200 South and Centennial.
- Additional varied bench types throughout the site at the plazas.
- Exceeded the requirement for benches throughout the development.
- Exceeded the requirement for bike racks throughout the development.
- Construction of a secondary village gateway monument with integral Cairns sign in the large area north of the parking structure.
- Added colored concrete in several areas to maintain the hardscape design throughout the site above and beyond the minimum requirements/locations.
- Use of deeper curtainwall mullions as architecturally defined on the elevations.
- Addition of site lighting cast into the face of the concrete benches at the plazas to enhance the ambiance and lighting of the plaza in lieu of bollards.
- Addition of 12,000 sq. ft. (\$6 million+) convention space at the north side of hotel.
- Large restaurant at the main level in addition to the rooftop restaurant and bar.
- Green wall at north face of parking structure to screen the parking structure and provide a green element to that area and not using the green wall to offset the landscaping requirements.
- More entrances than required for the commercial spaces at the apartments and the convention space.
- Dry river bed at north of parking structure with three water elements, one of which is a secondary gateway monument.
- Provided more interruptions along Monroe, 10200 South and Centennial Parkway above the minimum required using raised planters, benches and colored concrete.
- Rooftop outdoor pool, spas, dining, raised plantings and fire pits with incredible views to the East and North.
- The developer will coordinate with Sandy City for the DryCreek and remaining wetland area along 10280 South to vastly improve the plantings and landscape and attempt to make the stream run year-round instead of intermittently and screen the parking structure.
- The loading area is screened from view by being entirely enclosed with walls and a roof which will have a printed graphic vinyl on the overhead doors to emulate the adjacent materials.

ADDITIONAL LEED/SUSTAINABLE DEVELOPMENT ENHANCEMENTS (SHOULD'S):

- The following LEED/sustainable design enhancements have been incorporated into the building and site design:
 - Approximate overall energy consumption savings of 20%+ better than ASHRAE 90.1 for the hotel.

10.2 DEVELOPMENT ENHANCEMENTS

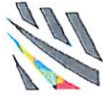
• Benchmark Comparison
USD / \$/yr



- Site is built on previously undeveloped land.
- Addition of a apartment amenities such as lounge areas, fire pits, a fitness room, pool/spa and game areas on the outdoor plaza.
- Addition of an interior secured bicycle storage room supporting 14+ bicycles with a bicycle repair station.
- White TPO roof membrane reducing the heat island effect.
- All exterior lighting is configured to reduce light pollution.
- Approximately 12% water use reduction through the use of low flow faucets, toilets, urinals and shower heads.
- Water efficient landscaping, compared to a mid-summer baseline, through minimizing grass areas and adding planter beds and paver areas.
- Increased energy efficiency through the use of tinted glazing and low-e coatings with gas filled insulated glazing units.
- Garbage and recycling containers spread throughout the project site above/beyond the design standard requirements.
- Construction waste management using separate waste and recycling containers to maximize the amount of recycled material.
- Daylight and views for more than 75% of the spaces available to the occupants.
- High efficiency condensing boiler.
- Premium efficiency air-cooled chiller.
- Energy efficient variable frequency drives on all large horsepower motors.
- Air side economizer for free cooling during cooler weather to reduce electrical usage.
- Use of a VRF mechanical system to efficiently distribute heating and cooling to specific areas.
- Use of ozone throughout the laundry process to reduce chemical use.

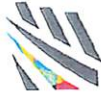
11.1 LOADING AREAS

- Loading areas shall be screened from view of the public realm with a minimum six foot decorative stone or masonry wall and vegetation.
The trash and waste collection is completely enclosed from view and enclosed with walls and a roof. The doors will have a printed vinyl material to emulate the adjacent wall materials to hide the doors.
- Loading areas should not be closer than 25 feet to the public realm.
The project meets this requirement.



11.1.2 TRASH AND WASTE

- Trash and waste dumpsters shall be placed on a concrete pad that is enclosed on three sides with a minimum six foot tall masonry wall.
The trash and waste dumpsters are placed in the loading dock area and will be screened with a wall and a overhead doors.
- Trash and waste dumpsters shall be screened from view of the public realm.
See comment above.
- Outdoor grease traps shall be located behind buildings.
EXCEPTION (NON-HARDSHIP) - There are no locations to place the grease traps behind the buildings. They will be placed in locations as far away from the public realm as possible. See civil sheets for locations. See section 10.2 for development enhancement to offset this exception.



11.2.1 UTILITY BOXES

- Mechanical and utility boxes shall be screened from view in a decorative manner from the public realm.
The mechanical and utility boxes that are visible in the public realm are screened via vegetation/plantings or a artistic vinyl wrap as required by the electrical utility.
- Mechanical and utility boxes shall not be located inside a dedicated ROW except when buried. (Exceptions may be granted by Staff for traffic light boxes).
Noted, no mechanical or utility boxes will be located as described. The project will comply with the above requirement.
- Mechanical boxes shall be located on rooftops, inside a building, or behind a building where they are not visible from the public realm.
Noted, the mechanical boxes located on the roof will be screened by a perimeter screen wall or parapet that will obscure their visibility.
- Commercial mechanical units that generate noise should not be allowed within 200 feet of any residential use unless noise can be dampened sufficient to limit noise area to a 50 foot radius from the mechanical unit.
There are no residential uses within 200 feet of the rooftop mechanical units.



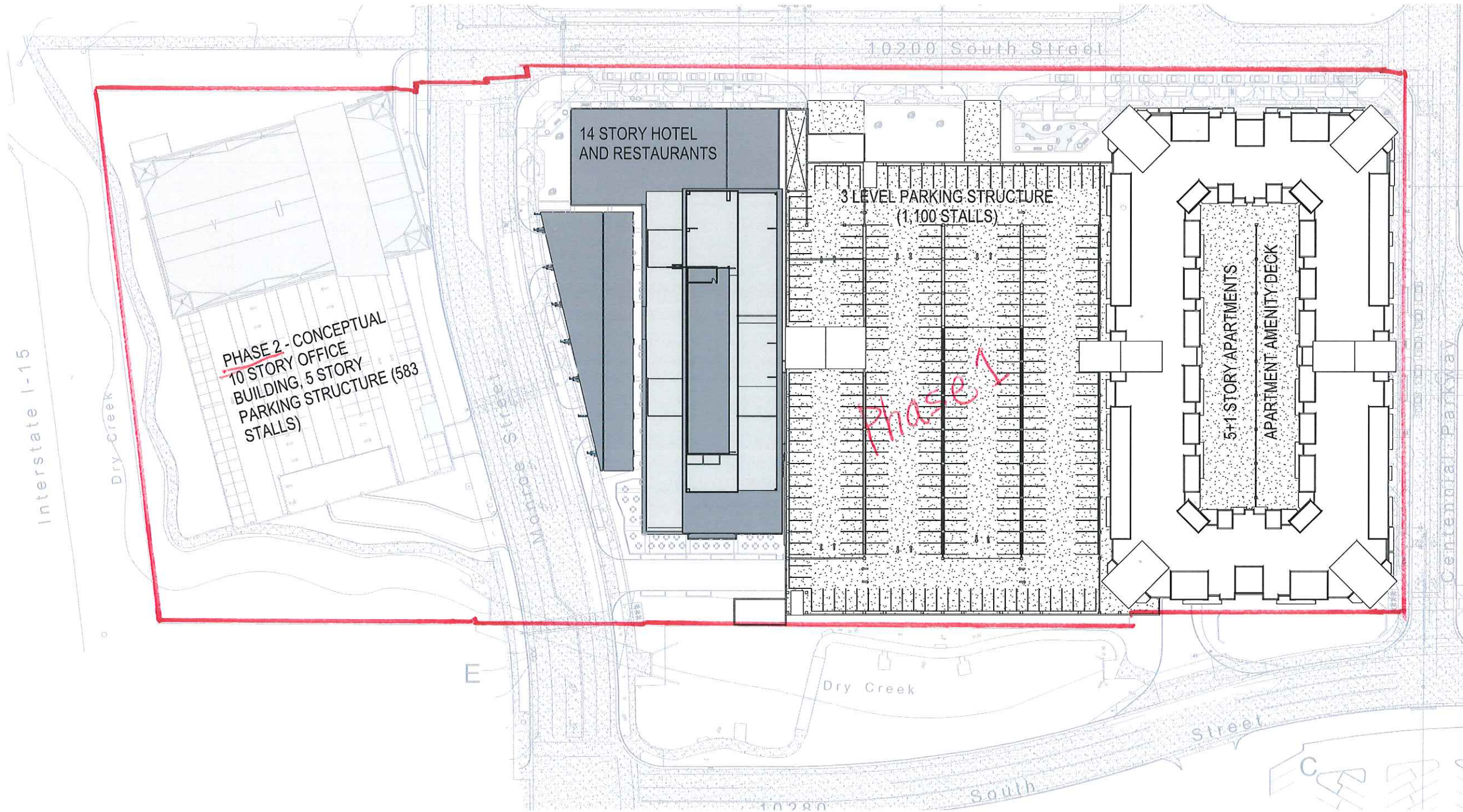
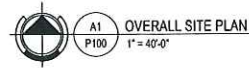
11.2.2 WALL MOUNTED EQUIPMENT

- Wall mounted equipment shall not be located on any primary or secondary building frontage.
There are no wall mounted items planned to be mounted on the building that are visible other than egress light fixtures as required by code and building signage. All electrical panels are located inside of the building. The meters have been placed per the utility authorities as accessible where the existing lines have been placed. The equipment is screened via landscape plantings as required.
- Wall mounted equipment shall be screened from view of the public realm in a decorative manner.
Utility meters are located and screened as required on the landscape, civil and electrical site plans, none of which are wall mounted.

11.2.3 ROOF MOUNTED EQUIPMENT

- Roof mounted equipment shall be screened to eliminate the view of the equipment from any ground location within 350 feet.
All rooftop equipment will be fully screened from view via a parapet wall, a perimeter screen wall or with an equipment well on the roof.
- Any roof mounted equipment five feet or taller shall be screened using walls of a matching height constructed to match the finish materials of the building.
The above referenced screen wall will be clad with a material that matches the exterior finishes to keep the finishes of the building consistent.



[illegible]

SUMMIT - OVERALL SITE



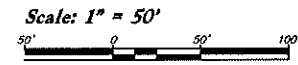
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PROJECT NUMBER	
DWN BY RY	CHKD BY JW
SCHEMATIC DESIGN	

SITE PLAN

DRAWING NUMBER

P100



Designed by:
Drafted by: TC, DH
Client Name:
Raddon Brothers Construction
18-183 presub

ANA
ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84115
BD1 521-3529 - AW@engineering.net

Proposed Parcel Consolidation

The Summit

The Summit
10200 South Centennial Parkway
Sandy City, Salt Lake County, Utah
A Part of the Northeast Quarter of Section 13, T3S, R1W, SLB6E

A Part of the Northeast Quarter of Section 13, T3S, R1W, SLB&M, U.S. Survey

Aug 13, 2021

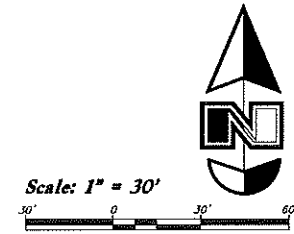
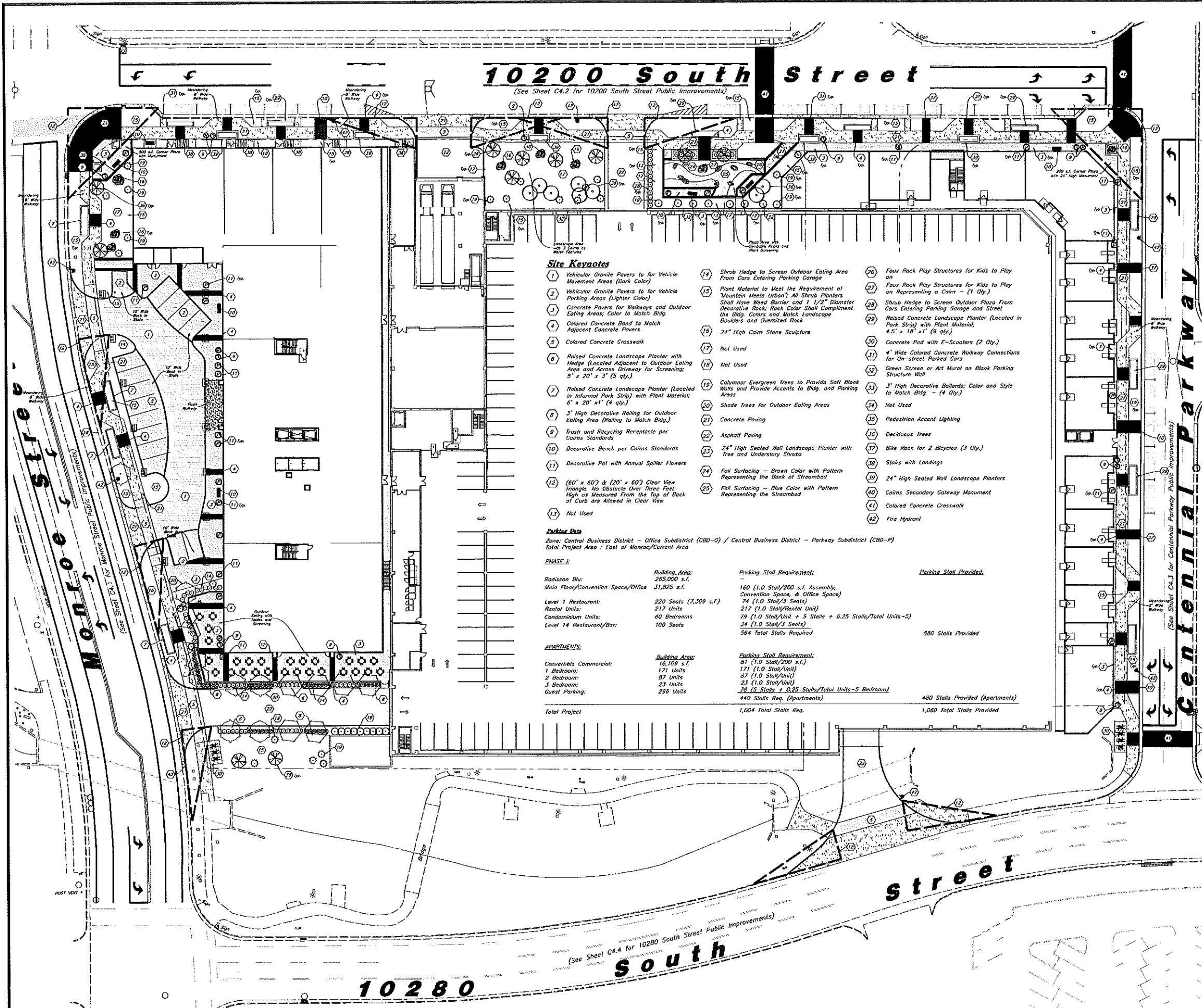
SHEET NO.
1

of 2

- 16 Items shown on the subdivision plat of Amended Lot 1, South Towne Center Mall, subdivision recorded August 5, 2005 as Entry No. 9461246 in Book 2005P at Page 250 of Official Records plat shows a waterline easement to the West of Parcel 3 with no dimensions or document reference, water line is shown hereon per City utility maps and appears to lie completely within the right-of-way of Centennial Parkway.
- 17 Any rights, interests or easements in favor of the State of Utah, the United States of America, or the public which exist or are claimed to exist in and over the waters, bed and banks of creek/ditch.
- 18 That portion of the property, if any, included within the description to be insured herein, which was acquired, or may hereafter be acquired by virtue of avulsion or the artificial alteration of the course of a stream or river, or lands that may have been lost by sudden artificial alteration in the course of a stream or river prior to the issue date of this document; and any adverse claim based on the assertion that the bed of a river or stream has changed location as a result of other than natural causes.
- 19 Items as disclosed by a survey prepared by McNail Group, Job No. 280406.A, dated November 11, 2003. Reveals nothing additional to plat.

* Exception No.s 1-10 & 20-22 are general and/or standard exceptions that are not matters of survey.

	Section Corner
	Centerline Monument
	Sel Rebar & Cop stamped AWA
	Sel Hail & Washer stamped AWA
	Sel scribe mark in concrete
	Manhole
	Catch Basin
	Fire Hydrant
	Water Valve
	Sanitary Sewer Line
	Culinary Water Line
	Storm Drain Line
	Overhead Power
	Power Pole
	Guy Wire
	Sign
	Fence Line
	Light Pole
	Electrical Box
	Power Meter
	Water Meter
	Irrigation Control Box
	Centerline
	Deciduous Tree
	Asphalt Concrete
	Property Line
	Easement Line
	Adjoiner Line



- Site Keynotes**
- 1 Vehicular Granite Pavers to for Vehicle Movement Areas (Dark Color)
 - 2 Vehicular Granite Pavers to for Vehicle Parking Areas (Lighter Color)
 - 3 Concrete Pavers for Walkways and Outdoor Eating Areas; Color to Match Bldg.
 - 4 Colored Concrete Band to Match Adjacent Concrete Pavers
 - 5 Colored Concrete Crosswalk
 - 6 Raised Concrete Landscape Planter with Hedge (Located Adjacent to Outdoor Eating Area and Across Driveway for Screening; 5' x 20' x 3' (5 qty.))
 - 7 Raised Concrete Landscape Planter (Located in Informal Park Strip) with Plant Material; 6' x 20' x 1' (4 qty.)
 - 8 3' High Decorative Railing for Outdoor Eating Area (Railing to Match Bldg.)
 - 9 Trash and Recycling Receptacle per Cairns Standards
 - 10 Decorative Bench per Cairns Standards
 - 11 Decorative Pot with Annual Spiller Flowers
 - 12 (60' x 60') & (20' x 60') Clear View Triangle. No Obstacle Over Three Feet High as Measured From the Top of Back of Curb are Allowed in Clear View
 - 13 Not Used
 - 14 Shrub Hedge to Screen Outdoor Eating Area From Cars Entering Parking Garage
 - 15 Plant Material to Meet the Requirement of Mountain Meads Urban's All Shrub Planters Shall Have Weed Barrier and 1 1/2" Diameter Decorative Rock; Rock Color Shall Complement the Bldg. Colors and Match Landscape Boulevards and Overlaid Rock
 - 16 24" High Cairn Stone Sculpture
 - 17 Not Used
 - 18 Not Used
 - 19 Columnar Evergreen Trees to Provide Soft Blank Walls and Provide Accents to Bldg. and Parking Areas
 - 20 Shade Trees for Outdoor Eating Areas
 - 21 Concrete Paving
 - 22 Asphalt Paving
 - 23 24" High Sealed Wall Landscape Planter with Tree and Understory Shrubs
 - 24 Foli Surfacing - Brown Color with Pattern Representing the Bank of Streambed
 - 25 Foli Surfacing - Blue Color with Pattern Representing the Streambed
 - 26 Faux Rock Play Structures for Kids to Play on
 - 27 Faux Rock Play Structures for Kids to Play on Representing a Cairn - (1 Qty.)
 - 28 Shrub Hedge to Screen Outdoor Plaza From Cars Entering Parking Garage and Street
 - 29 Raised Concrete Landscape Planter (Located in Park Strip) with Plant Material; 4.5' x 18' x 1' (9 qty.)
 - 30 Concrete Pad with E-Scooters (2 Qty.)
 - 31 4' Wide Colored Concrete Walkway Connections for On-street Parked Cars
 - 32 Green Screen or Art Mural on Blank Parking Structure Wall
 - 33 3' High Decorative Ballards; Color and Style to Match Bldg. - (4 Qty.)
 - 34 Not Used
 - 35 Pedestrian Accent Lighting
 - 36 Deciduous Trees
 - 37 Bike Rack for 2 Bicycles (3 Qty.)
 - 38 Stairs with Landings
 - 39 24" High Sealed Wall Landscape Planters
 - 40 Cairns Secondary Gateway Monument
 - 41 Colored Concrete Crosswalk
 - 42 Fire Hydrant

Parking Data

Zone: Central Business District - Office Subdistrict (CBD-O) / Central Business District - Parkway Subdistrict (CBD-P)
Total Project Area: East of Monroe/Current Area

PHASE I:

Radisson Blu:	Building Area: 265,000 s.f.	Main Floor/Convention Space/Office: 31,825 s.f.
Level 1 Restaurant:	220 Seats (7,309 s.f.)	
Rental Units:	217 Units	
Condominium Units:	60 Bedrooms	
Level 14 Restaurant/Bar:	100 Seats	

APARTMENTS:

Convertible Commercial:	Building Area: 16,109 s.f.	
1 Bedroom:	171 Units	
2 Bedroom:	87 Units	
3 Bedroom:	23 Units	
Guest Parking:	295 Units	

Parking Stall Requirement:

160 (1.0 Stall/200 s.f. Assembly, Convention Space, & Office Space)	
74 (1.0 Stall/3 Seats)	
217 (1.0 Stall/Rental Unit)	
79 (1.0 Stall/Unit + 5 Stalls + 0.25 Stalls/Total Units-5)	
34 (1.0 Stall/3 Seats)	
564 Total Stalls Required	

Parking Stall Provided:

580 Stalls Provided

Parking Stall Requirement:

81 (1.0 Stall/200 s.f.)	
171 (1.0 Stall/Unit)	
87 (1.0 Stall/Unit)	
23 (1.0 Stall/Unit)	
28 (5 Stalls + 0.25 Stalls/Total Units-5 Bedroom)	
440 Stalls Req. (Apartments)	
1,004 Total Stalls Req.	

Parking Stall Provided:

480 Stalls Provided (Apartments)
1,060 Total Stalls Provided

Site Data

Total Landscape Area = 16,518 s.f.

Site Tree Req. = 42 Trees (82 Trees Provided) *

Monroe Street Park Strip (Informal)

Street Trees Provided = 9 Trees **

Park Strip Area = 2,214 s.f.

Park Strip Softscape Area = 1,209 s.f. (63%)

Raised Planters = 467 s.f. (21%)

Hardscape = 538 s.f. (24%)

Plant Coverage = 850 s.f. (70%)

Benches Required = 3 (3 Provided)

Trash Receptacles Required = 3 (3 Provided)

Recycle Bins Required = 2 (2 Provided)

10200 South Street Park Strip (Formal)

Street Trees Provided = 11 Trees **

Park Strip Area = 4,722 s.f.

Park Strip Softscape Area = 2,980 s.f. (63%)

Raised Planters = 781 s.f. (16%)

Hardscape = 961 s.f. (21%)

Plant Coverage = 2,006 s.f. (70%)

Benches Required = 3 (3 Provided)

Trash Receptacles Required = 2 = (2 Provided)

Recycle Bins Required = 2 (2 Provided)

Bike Racks Provided = 1 Rack (2 Bikes)

Centennial Parkway Park Strip (Formal)

Street Trees Provided = 10 Trees **

Park Strip Area = 3,204 s.f.

Park Strip Softscape Area = 2,237 s.f. (70%)

Raised Planters = 467 s.f. (15%)

Hardscape = 500 s.f. (15%)

Plant Coverage = 1,506 s.f. (70%)

Benches Required = 2 (2 Provided)

Trash Receptacles Required = 3 (3 Provided)

Recycle Bins Required = 1.5 (2 Provided)

Bike Racks Provided = 2 Rack (4 Bikes)

* Quantity Doesn't Include Street Trees

** All Trees Shall be 2" in Caliper and be Selected From the Cairns Approved Plant List. All Trees Shall Adhere to Sight Triangle Requirements.

Fire Flow Data:

Based On:	Radisson Blu	Parking Structure	Apartments
Square Footage:	265,000	463,000	321,000
Average s.f. (Three Largest Floors):	63,134	N/A	N/A
Largest Area Between 4-hour Area Separation Walls:	N/A	N/A	N/A
Building Height:	212'	Under 35'	Under 75'
Number of Stories:	15	2	6
Type of Construction:	1-A	1-A	3-B
Occupancy:	M	M	M
Full Automatic Fire Sprinkler System:	Yes	Yes	Yes
(**Mitigation for Lack of 180' Exterior Access)			
Calculated Fire Flow (**75% Reduction for Fire Sprinklers)	*1,500 GPM	*1,500 GPM	*1,500 GPM

Anderson Wahlen & Associates

2010 North Redwood Road, Salt Lake City, Utah 84116

BO: 521-4829 - AWAengineering.net

Site Plan

SUMMIT TWO

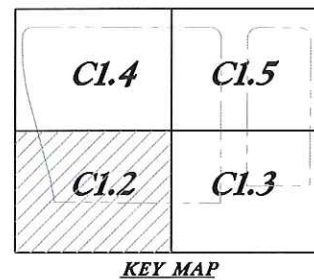
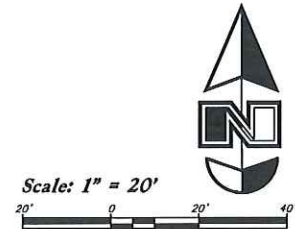
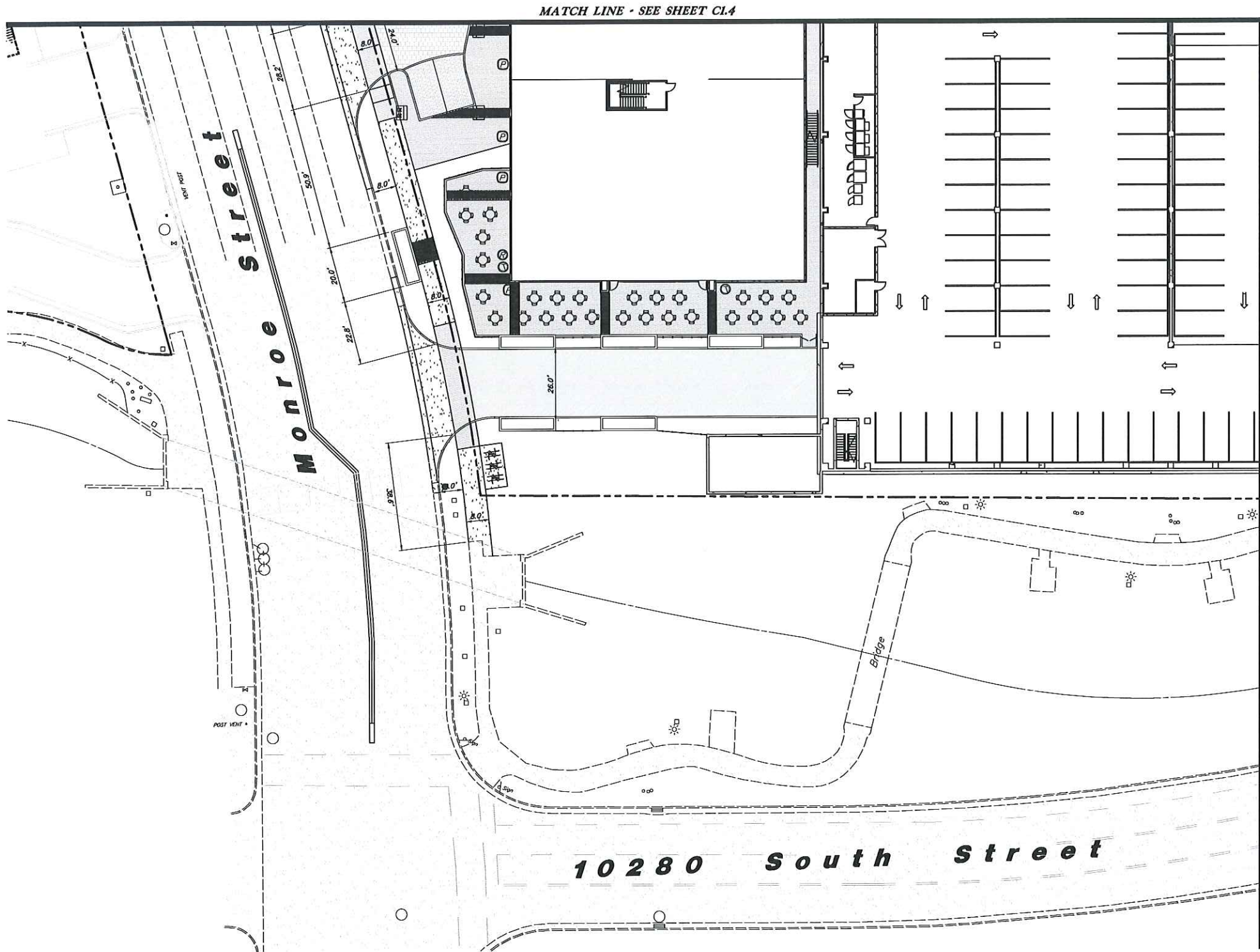
10200 South - 10280 South Monroe Street

Sandy, Utah 84070

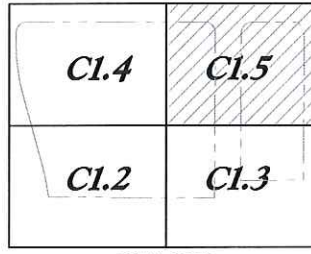
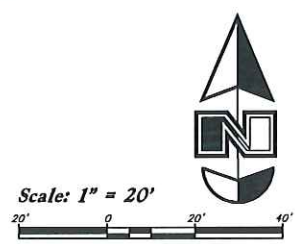
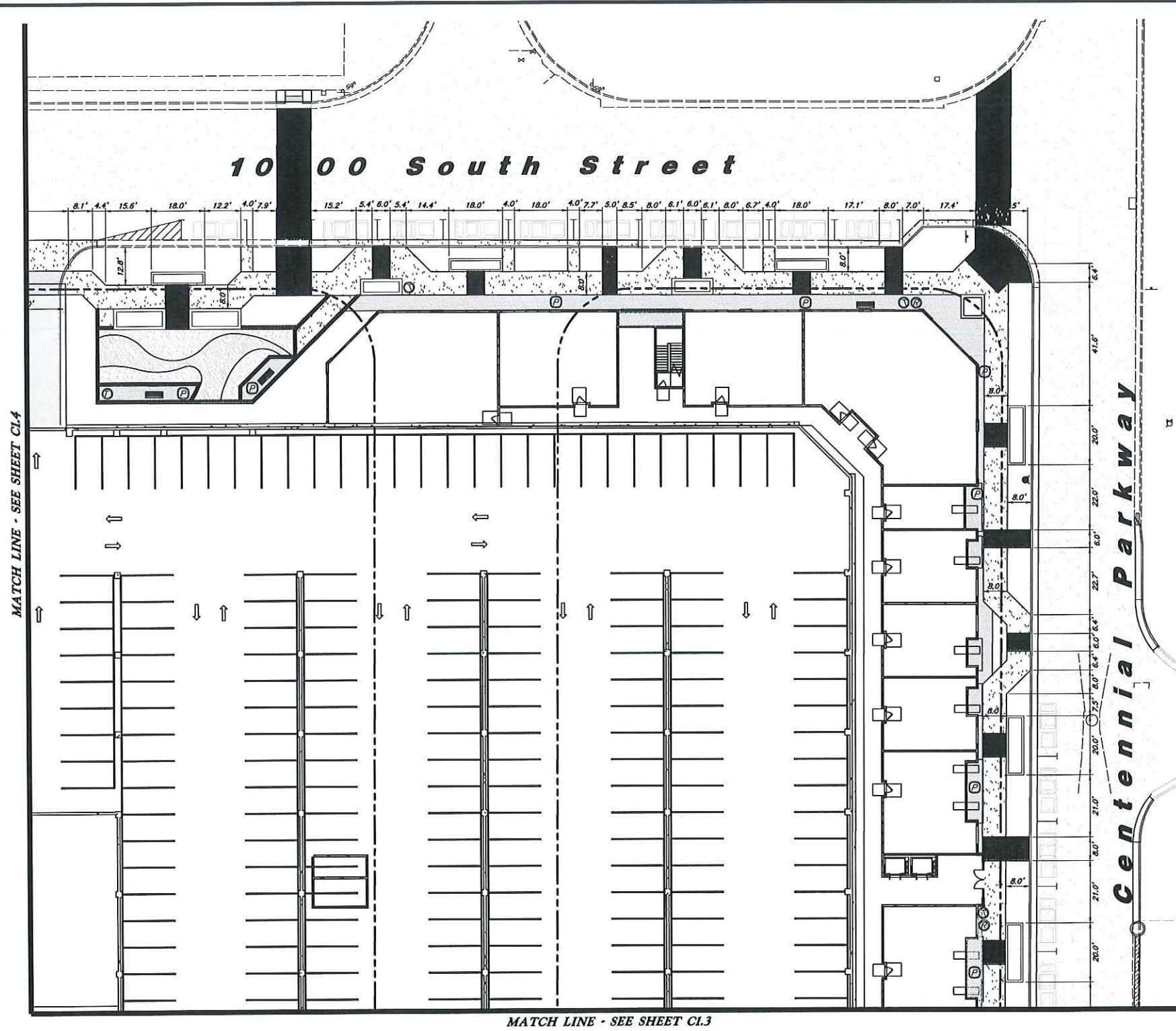
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C1.1



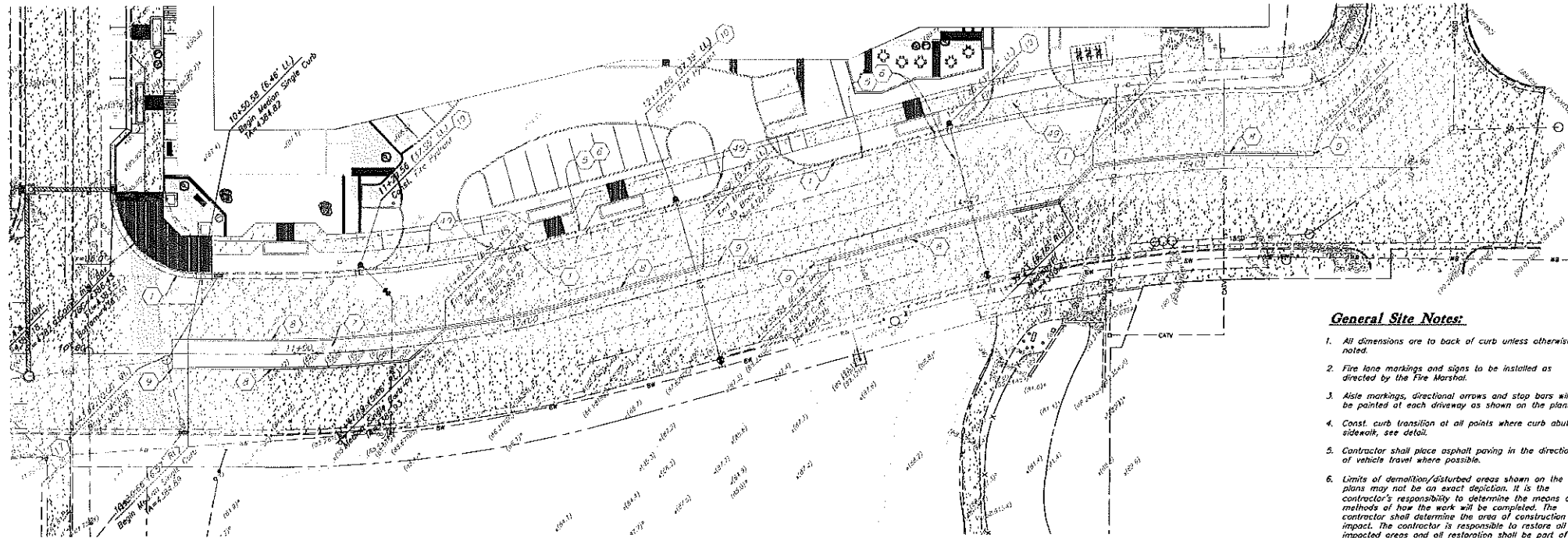
<p>Designed by: CA</p> <p>Drafted by: JW</p> <p>Client Name: Radson Brothers</p> <p>18-183SL</p>		<p>ANNA</p> <p>ANDERSON WAHLEN & ASSOCIATES</p> <p>2010 North Redwood Road, Salt Lake City, Utah 84116</p> <p>801 521-8525 - AWAengineering.net</p>
<p>Site Layout</p> <p>SUMMIT TWO</p> <p>10200 South - 10280 South Monroe Street</p> <p>Sandy, Utah 84070</p>		<p>August 31, 2021</p> <p>31 Aug, 2021</p> <p>SHEET NO.</p> <p>C1.2</p>



Designed by: CA Drafted by: JW Client Name: Radson Brothers 1B-1B3SL		REVISION DATE DESCRIPTION
<div style="display: flex; align-items: center;"> <div> ANDERSON WAHLEN & ASSOCIATES 2010 North Redwood Road, Salt Lake City, Utah 84116 801-521-5529 - awhengineering.net </div> </div>		
<div style="display: flex; justify-content: space-between;"> <div> Site Layout SUMMIT TWO 10200 South - 10280 South Monroe Street Sandy, Utah 84070 </div> <div style="text-align: right;"> August 31, 2021 31 Aug, 2021 SHEET NO. C1.5 </div> </div>		



Scale: 1" = 30'



General Site Notes:

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Site Construction Notes

1. Const. 30" Curb & Gutter
2. Const. Concrete Paving
3. Const. Conc. Sidewalk
4. Const. Thickened Edge Sidewalk
5. Sawcut, Provide Smooth Clean Edge
6. Conn. & Match Existing Improvements
7. Const. 7" Thick Conc. Flatwork w/ Expansion per Sandy City Public Works Standards
8. Const. UDOJ Standard BS Median Curb per Sandy City Public Works Std. Detail CO-02, Raised Median Details
9. Const. 20" Wide Placable End Section per Sandy City Public Works Std. Detail CO-02, Raised Median Details
10. Const. Fire Hydrant w/ Aux. Valve Complete per Sandy City Public Works Standard Detail WTR-01 Fire Hydrant Connection
11. Const. Combo Box Inlet per Sandy City Public Utilities Standard Detail SD-04
12. Const. 8" DI (FLxFL) Thru x 8" FL Branch w/ 8" DI Valve (FLxM) (Mueller/C10W) per Sandy City Public Utility Standards (3 Valves Total)
13. Const. 8" DI Sleeve PE + PE C900 DR18 Spool (Conn. to Exst. - West) per Sandy City Public Utility Standards
14. Const. 8" PE x PE C900 DR18 - 13.2 L.F. Spool
15. Const. 8" DI (FLxFL) Thru x 8" FL Branch w/ 8" DI Valve (FLxM) Fire Line Conn. per Sandy City Public Utility Standards (1 Valve Total)
16. Const. 8" PVC Fire Line (C900 DR18) per Sandy City Public Works Standards
17. Const. 8" DI Valve (FLxM) (Mueller/C10W) per Sandy City Public Utility Standards (Conn. to Exst. - East)
18. Const. 10" DI Blind Flange & Conc. Thrust Block on Exst. Tee Branch per Sandy City Public Works Detail WTR-08 Thrust Block Installation
19. Vehicular Granite Pavers for Vehicle Movement Areas (Dark Color)
20. Vehicular Granite Pavers for Vehicle Parking Areas (Lighter Color)
21. Concrete Pavers for Walkways and Outdoor Eating Areas; Color to Match Bldg.
22. Colored Concrete Band to Match Adjacent Concrete Pavers
23. Colored Concrete Curbwork
24. Raised Concrete Landscape Planter 5' x 20' x 3' Adjacent to Outdoor Seating (5 qty.)
25. Raised Concrete Landscape Planter 6' x 20' x 1' Located in Informal Park Strip; (4 qty.)
26. Raised Concrete Landscape Planter 4' x 18' x 1' Located in Formal Park Strips (9 qty.)
27. Trash Receptacle and Recycling Bin
28. Decorative Bench
29. Decorative Pot with Annual Plantings
30. Landscape Boulders - See Landscape Plan
31. Cairns Secondary Gateway Monument
32. Concrete Paving
33. Plant Material to Meet the Requirement of Mountain Meets Urban's All Shrub Planters Shall Have Weed Barrier and 1 1/2" Diameter Decorative Rock; Rock Color Shall Complement the Bldg. Colors and Match Landscape Boulders and Oversized Rock
34. Asphalt Paving
35. Decorative Oversize Rock (4-6" Diameter) Rock to Match Other Decorative Rock and Boulders; Adjacent to Park Strip Planters and in Drip Streambed Areas
36. 24" High Sealed Wall Landscape Planter with Tree and Understory Shrubs
37. Fall Surfacing - Brown Color with Pattern Representing the Bank of Streambed
38. Fall Surfacing - Blue Color with Pattern Representing the Streambed
39. Fake Rock Play Structures for Kids to Play on
40. Fake Rock Play Structures for Kids to Play on Representing a Cairn - (1 Qty.)
41. 3' High Decorative Rolling for Outdoor Eating Area (Rolling to Match Bldg.)
42. 4' Wide Colored Concrete Walkway Connections for On-street Parked Cars
43. Green Screen or Art Mural on Blank Parking Structure Wall
44. Pedestrian Accent Lighting
45. Bike Rack for 2 Bicycles (3 Qty.)
46. Stairs with Landings
47. 24" High Sealed Wall Landscape Planters
48. Concrete Pad with E-Scooter
49. Const. Radius Conc. Drive Approach (Commercial) per Sandy City Public Works Standard Detail DA-03
50. Match, Replace, and Restore Exst. Curb & Gutter, Keystone Wall, and Landscape Area
51. Const. 10" DI (FLxFL) Thru x 10" FL Branch w/ 10" DI Valve (FLxM) (Mueller/C10W) per Sandy City Public Utility Standards
52. Const. Valve Box Lid Marked "Fire"

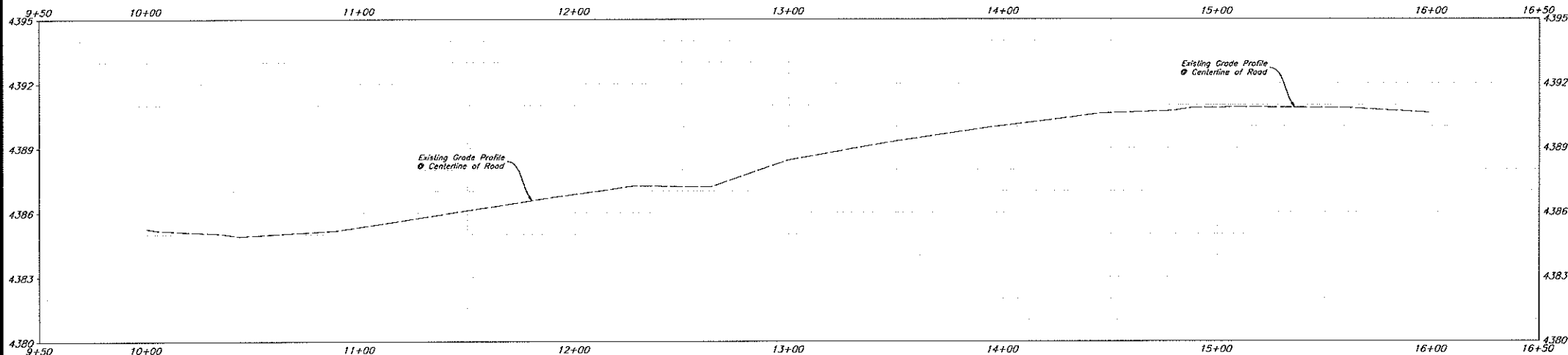
Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Survey or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or an electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or an electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Monroe Street



Monroe Street Improvement Plan & Profile

SUMMIT TWO

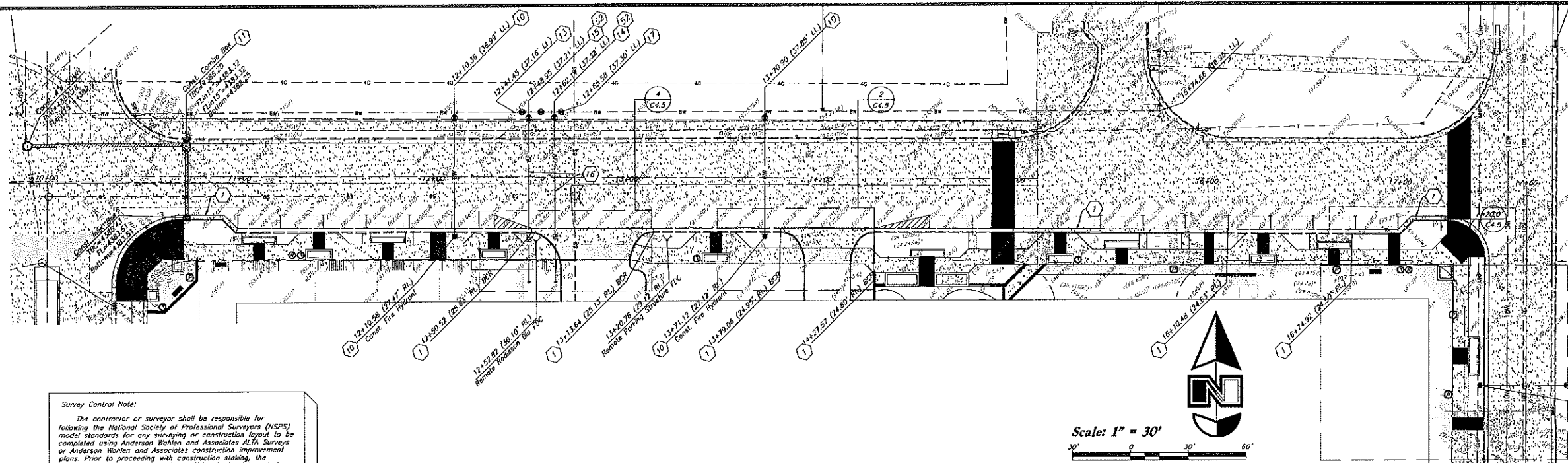
10200 South - 10280 South Monroe Street
Sandy, Utah 84070



31 Aug, 2021

SHEET NO.

C4.1



Survey Control Note:

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10200 South Street

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

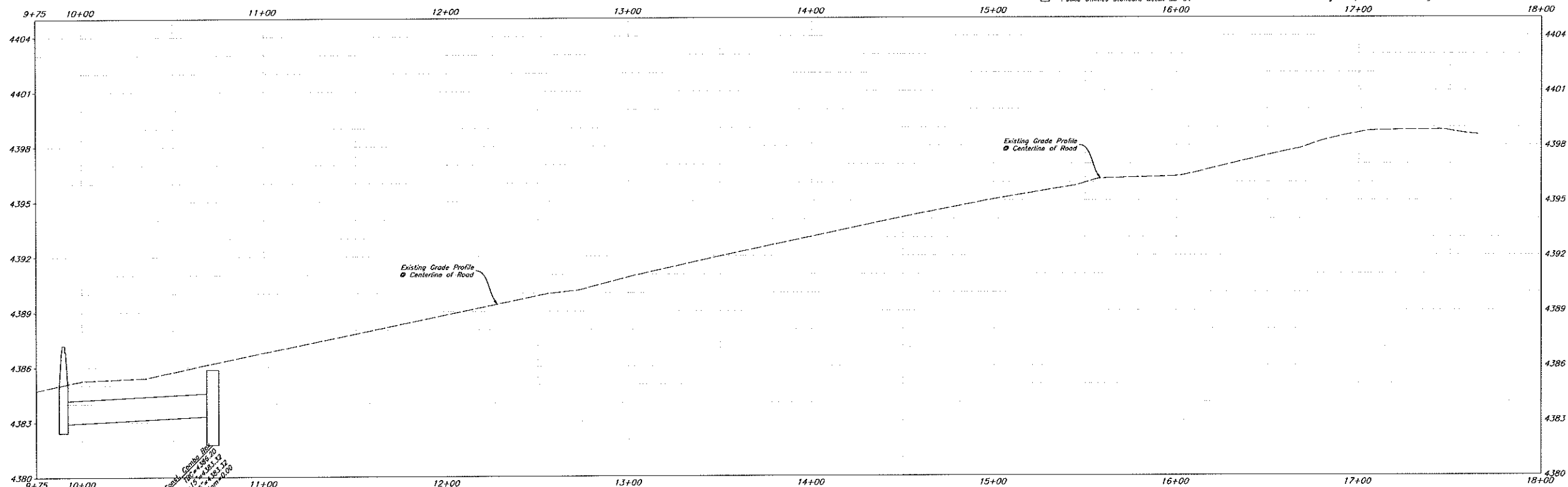
General Site Notes:

- All dimensions are to back of curb unless otherwise noted.
- Fire lane markings and signs to be installed as directed by the Fire Marshal.
- Asile markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- Const. curb transition at all points where curb abuts sidewalk, see detail.
- Contractor shall place asphalt paving in the direction of vehicle travel where possible.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Scale: 1" = 30'

Site Construction Notes

- Const. 30" Curb & Gutter
- Const. Concrete Paving
- Const. Conc. Sidewalk
- Const. Thickened Edge Sidewalk
- Seacut; Provide Smooth Clean Edge
- Conn. & Match Existing Improvements
- Const. 7" Thick Conc. Flatwork w/ Expansion per Sandy City Public Works Standards
- Const. UDOT Standard BS Median Curb per Sandy City Public Works Std. Detail CG-02, Raised Median Details
- Const. 20" Wide Flowable End Section per Sandy City Public Works Std. Detail CG-02, Raised Median Details
- Const. Fire Hydrant w/ Aux. Valve Complete per Sandy City Public Works Standard Detail WTR-01 Fire Hydrant Connection
- Const. Combo Box Inlet per Sandy City Public Utilities Standard Detail SD-04
- Const. 8" DI (FLxFL) Thru x 8" FL Branch w/ 8" DI Valve (FLxM) (Mueller/C10W) per Sandy City Public Utility Standards (3 Valves Total)
- Const. 8" DI Sleeve PE x PE C900 DR18 Spool (Conn. to Exist. - West) per Sandy City Public Utility Standards
- Const. 8" PE x PE C900 DR18 - 13.2 L.F. Spool
- Const. 8" DI (FLxFL) Thru x 8" FL Branch w/ 8" DI Valve (FLxM) Fire Line Conn. per Sandy City Public Utility Standards (4 Valves Total)
- Const. 8" PVE Fire Line (C900 DR18) per Sandy City Public Works Standards
- Const. 8" DI Valve (FLxM) (Mueller/C10W) per Sandy City Public Utility Standards (Conn. to Exist. - East)
- Const. 10" DI Blind Flange & Conc. Thrust Block on Exist. Fire Branch per Sandy City Public Works Detail WTR-08 Thrust Block Installation
- Vehicular Granite Pavers to for Vehicle Movement Areas (Dark Color)
- Vehicular Granite Pavers to for Vehicle Parking Areas (Lighter Color)
- Concrete Pavers for Walkways and Outdoor Eating Areas; Color to Match Bldg.
- Const. 8" DI (FLxFL) Thru x 10" FL Branch w/ 10" DI Valve (FLxM) (Mueller/C10W) per Sandy City Public Utility Standards
- Const. Valve Box Lid Marked "Fire"
- Colored Concrete Band to Match Adjacent Concrete Pavers
- Colored Concrete Crosswalk
- Raised Concrete Landscape Planter 5' x 20' x 3' Adjacent to Outdoor Seating (3 qty.)
- Raised Concrete Landscape Planter 6' x 20' x 1' Located in Informal Park Strip; (4 qty.)
- Raised Concrete Landscape Planter 4' x 18' x 1' Located in Formal Park Strips (9 qty.)
- Trash Receptacle and Recycling Bin
- Decorative Bench
- Decorative Pot with Annual Plantings
- Landscape Boulders - See Landscape Plan
- Coins Secondary Gateway Monument
- Concrete Paving
- Plant Material to Meet the Requirement of "Mountain Meets Urban"; All Shrub Planters Shall Have Wood Barrier and 1 1/2" Diameter Decorative Rock; Rock Color Shall Complement the Bldg. Colors and Match Landscape Boulders and Oversized Rock
- Asphalt Paving
- Decorative Oversize Rock (4-6" Diameter) Rock to Match Other Decorative Rock and Boulders Adjacent to Flank Strip Planters and in Drip Streambed Areas
- 24" High Sealed Wall Landscape Planter with Tree and Understory Shrubs
- Fall Surfacing - Brown Color with Pattern Representing the Bank of Streambed
- Fall Surfacing - Blue Color with Pattern Representing the Streambed
- Fake Rock Play Structures for Kids to Play on
- Fake Rock Play Structures for Kids to Play on Representing a Coin - (1 Qty.)
- 3' High Decorative Railing for Outdoor Eating Area (Railing to Match Bldg.)
- 4' Wide Colored Concrete Walkway Connections for On-street Parked Cars
- Green Screen or Art Mural on Blank Parking Structure Wall
- Pedestrian Accent Lighting
- Bike Rack for 2 Bicycles (3 Qty.)
- Stairs with Landings
- 24" High Sealed Wall Landscape Planters
- Concrete Pad with E-Scooter
- Const. Radius Conc. Drive Approach (Commercial) per Sandy City Public Works Standard Detail DA-03
- Match, Replace, and Restore Exist. Curb & Gutter, Keystone Wall, and Landscape Area
- Const. 10" DI (FLxFL) Thru x 10" FL Branch w/ 10" DI Valve (FLxM) (Mueller/C10W) per Sandy City Public Utility Standards



10200 South Street Improvement Plan & Profile

SUMMIT TWO

10200 South - 10280 South Monroe Street
Sandy, Utah 84070

31 Aug, 2021

SHEET NO.

C4.2

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801.521.4529 - awhengineering.net

Designed by: CA
Drafted by: JW
Client Name:
Radson Brothers
18-183PP

DESCRIPTION
DATE
REV

Site Construction Notes

1. Const. 30" Curb & Gutter
2. Const. Concrete Paving
3. Const. Conc. Sidewalk
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5. Sawcut; Provide Smooth Clean Edge
6. Conn. & Match Existing Improvements
7. Const. 7" Thick Conc. Flatwork w/ Expansion per Sandy City Public Works Standards
8. Const. UDOT Standard BS Median Curb per Sandy City Public Works Std. Detail CO-02, Raised Median Details
9. Const. 20" Wide Plowable End Section per Sandy City Public Works Std. Detail CO-02, Raised Median Details
10. Const. Fire Hydrant w/ Aux. Valve Complete per Sandy City Public Works Standard Detail WTR-01 Fire Hydrant Connection
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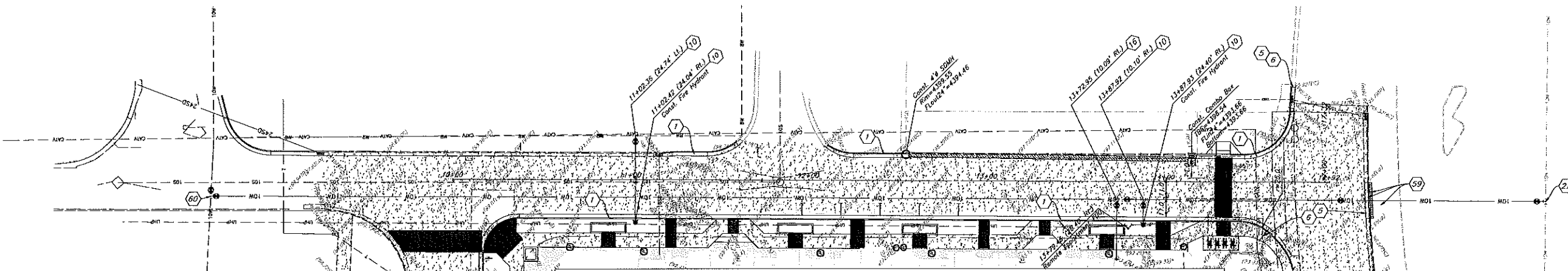
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25. Raised Concrete Landscape Planter 6' x 20' x 1' Located in Informal Park Strip; (4 qty.)
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29. Decorative Pot with Annual Plantings
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37. Fall Surfacing - Brown Color with Pattern Representing the Bank of Streambed
38. Fall Surfacing - Blue Color with Pattern Representing the Streambed
39. Fake Rock Play Structures for Kids to Play on
40. Fake Rock Play Structures for Kids to Play on Representing a Cairn - (1 Qty.)
41. 3' High Decorative Rolling for Outdoor Eating Area (Rolling to Match Bldg.)
42. 4' Wide Colored Concrete Walkway Connections for On-street Parked Cars
43. Green Screens or Art Mural on Blank Parking Structure Wall
44. Pedestrian Accent Lighting
45. Bike Rack for 2 Bicycles (3 Qty.)

46. Stairs with Landings
47. 24" High Sealed Wall Landscape Planters
48. Concrete Pad with E-Scooter
49. Const. Radius Conc. Drive Approach (Commercial) per Sandy City Public Works Standard Detail DA-03
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51. Const. 10" DI (FLxFL) Thru x 10" FL Branch w/ 10" DI Valve (FLxM) (Mueller/C10W) per Sandy City Public Utility Standards
52. Const. Valve Box Lid Marked "Fire"

Scale: 1" = 30'



Centennial Parkway

General Site Notes:

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be on exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Construction Survey Note:

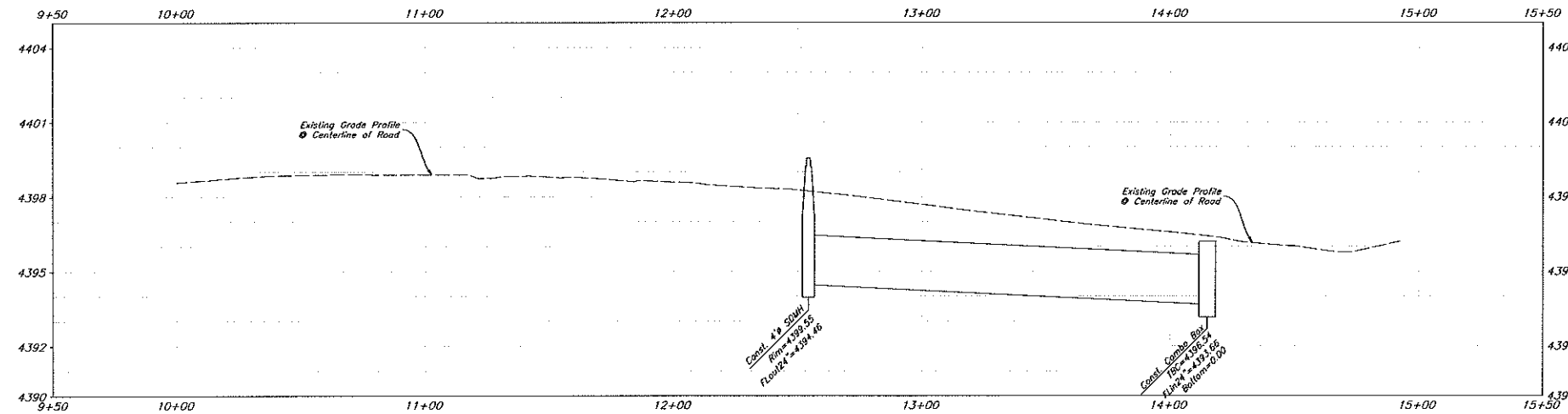
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ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801-521-8828 - info@andersonwahlen.com

Centennial Parkway Improvement Plan & Profile

SUMMIT TWO

10200 South - 10200 South Monroe Street
Sandy, Utah 84070

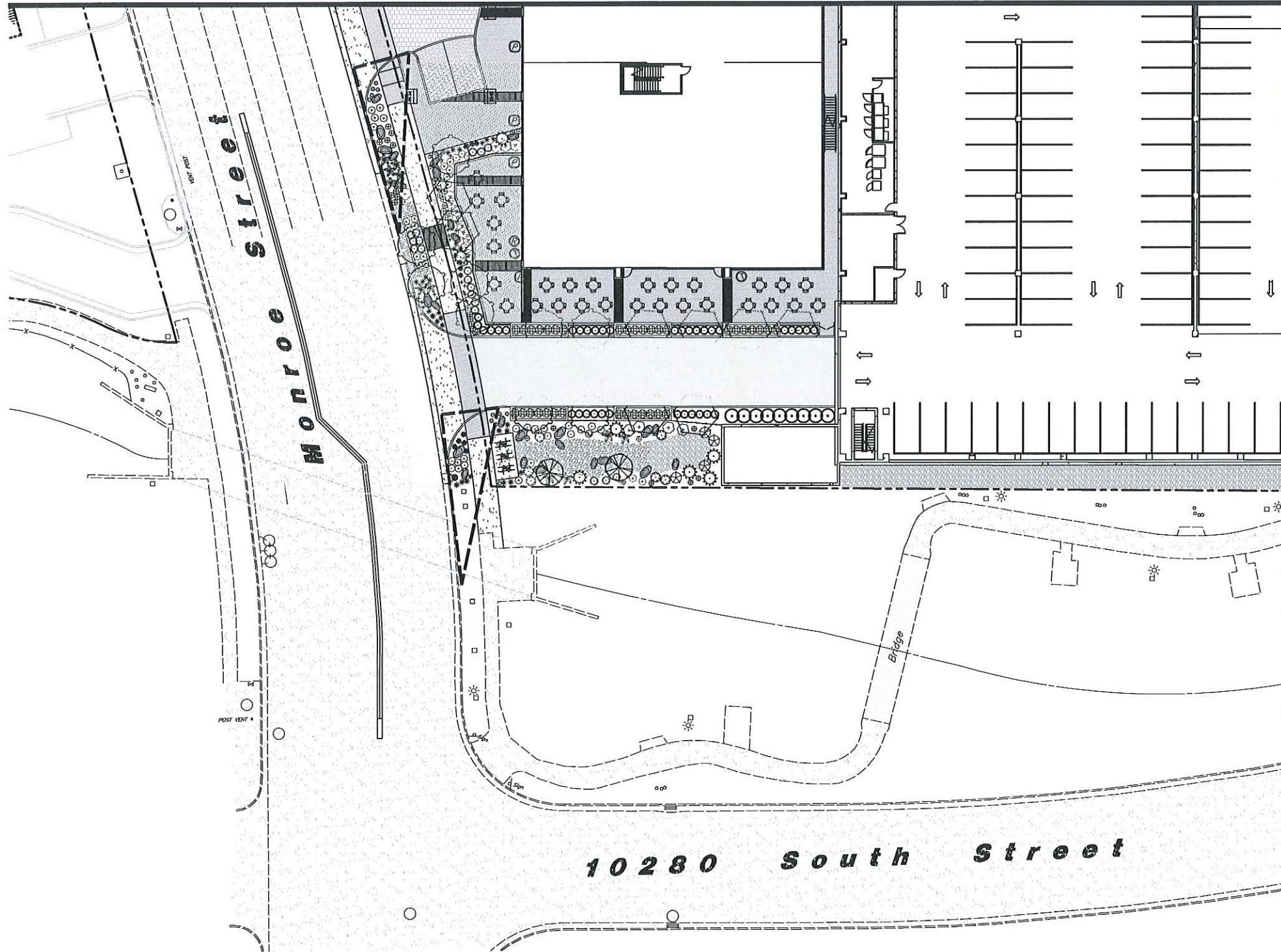


31 Aug, 2021

SHEET NO.

C4.3

MATCH LINE - SEE SHEET L1.3



Landscape Design Note:

1. All Softscape Areas in Parkstrips Shall Have a Minimum of 70% Plant Coverage.
2. All Proposed Trees will be Fruitless Species.
3. 1 Tree Shall be Planted for every 400 s.f. of Landscape.
4. All Landscape Design Will Reflect the Theme "Where Mountain Meets Urban" Outlined in the Cairns Requirements.
5. Landscape Will Meet all LID Requirements.
6. All Plants Shall Come From the Cairns Approved Plant List.
7. All Landscape Shall be Watered by an Automatic Irrigation System.
8. All Existing Trees Along 10280 South Shall be Removed to Accommodate New Site Improvements. Coordination Shall be Done with Urban Forester.

Scale: 1" = 20'

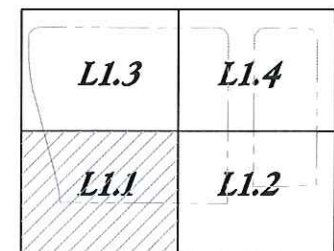


PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	11	Acer glabrum / Rocky Mountain Maple	2" Cal. / 6-8' Ht.
	11	Acer laticarum 'Garknn' / Hot Wings Tatarian Maple	2" Cal. / 6-8' Ht.
	9	Cercis canadensis 'Forest Pansy' / Forest Pansy Eastern Redbud	2" Cal. / 6-8' Ht.
	10	Koelreuteria paniculata / Golden Rain Tree	2" Cal. / 6-8' Ht.
	23	Picea glauca pendula / Weeping White Spruce	6-8' Ht.
	17	Picea pungens glauca / Columnar Spruce	6-8' Ht.
	8	Prunus virginiana 'Shubert' / Canada Red Cherry	2" Cal. / 6-8' Ht.
	5	Ulmus parvifolia 'Dynasty' / Dynasty Lacebark Elm	2" Cal. / 6-8' Ht.
	11	Zelkova serrata 'JFS-KW1' / City Sprite Zelkova	2" Cal. / 6-8' Ht.
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	65	Corypteria x clandonensis 'Blue Mist' / Blue Mist Shrub	5 gal
	41	Cornus sericea 'Ivory Halo' / Variegated Redtwig Dogwood	5 gal
	25	Cornus sericea 'Kelsey' / Kelsey Dogwood	5 gal
	65	Juniperus squamata 'Blue Star' / Blue Star Juniper	5 gal
	23	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	5 gal
	151	Pinus mugo 'Stamound' / Mugo Pine	5 gal
	81	Potentilla fruticosa 'Goldfinger' / Goldfinger Potentilla	5 gal
	36	Prunus x cistena / Purple Leaf Sand Cherry	5 gal
	59	Rhus aromatica 'Gra-Low' / Gra-Low Fragrant Sumac	5 gal
	113	Ribes alpinum 'Green Mound' / Green Mound Alpine Currant	5 gal
ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE
	129	Helictotrichon sempervirens 'Sapphire' / Blue Oat Grass	1 gal
	60	Panicum virgatum 'Shenendoah' / Burgundy Switch Grass	1 gal
	222	Pennisetum alopecuroides 'Hameln' / Hameln Fountain Grass	1 gal
PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE
	39	Nepeta x foassenii 'Dropmore' / Catmint	1 gal
	77	Pentstemon eatonii / Firecracker Pentstemon	1 gal
	15	Perovskia atriplicifolia / Russian Sage	5 gal
	89	Rudbeckia fulgida 'Goldstrum' / Black Eyed Susan	1 gal
	76	Salvia x superba 'May Night' / May Night Salvia	1 gal

Legend

- Vehicular Granite Pavers for Vehicle Movement Areas (Dark Color)
- Vehicular Granite Pavers for Vehicle Parking Areas (Lighter Color)
- Concrete Pavers for Walkways and Outdoor Eating Areas; Color to Match Bldg.
- Colored Concrete Band to Match Adjacent Concrete Pavers
- Colored Concrete Crosswalk (TBD by Owner)
- Decorative Oversize Rock (4-6" Diameter) Rock, Color Shall Complement Building
- Concrete Paving
- Asphalt Paving
- Fall Surfacing - Brown Color
- Fall Surfacing - Blue Color
- 2-5" Diameter Landscape Boulder; Color to Complement Building
- Trash Receptacle per Cairns Standard
- Recycle Bin per Cairns Standard
- Moveable Pot with Annual Plantings (Pots Vary in Size and Color and will Complement the Building)
- Decorative Bench per Cairns Standards
- Bike Rack per Cairns Standards and Concrete Pad with E-Scooters
- All Landscape Areas Shall Receive Topsoil and Soil Conditioner Mixed into Planting Pits; Mounding Shall be Incorporated into Shrub Areas Where Possible to Provide Provide Interest in Flat Areas; All Shrub Areas Shall Receive Wood Barrier and Decorative Stone of Different Sizes; Stone Colors Shall Complement Building Color



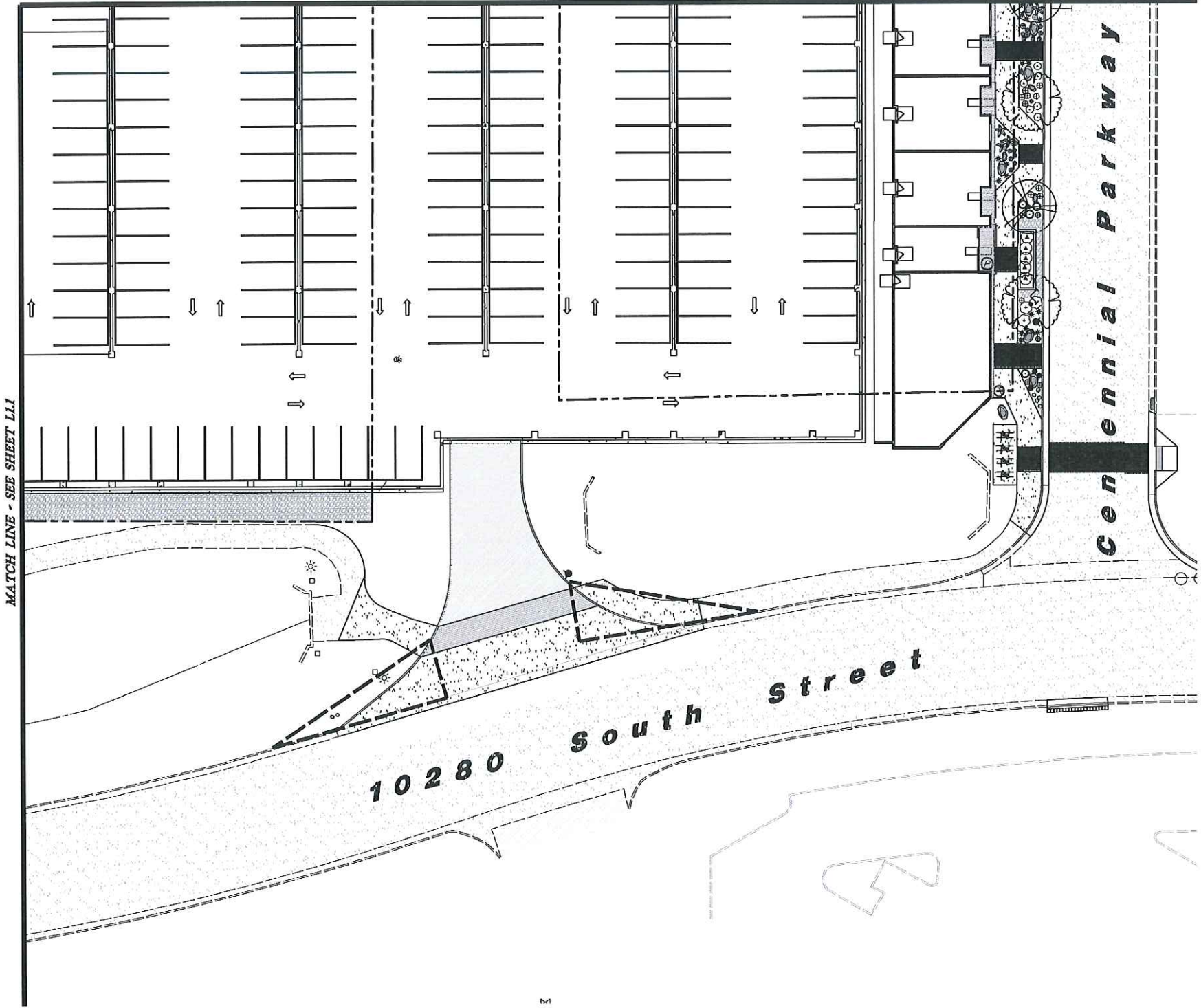
ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801.321.8223 - alw@andersonwahl.com

LANDSCAPE PLAN
SUMMIT TWO
10200 South - 10280 South Monroe Street
Sandy, Utah 84070

Jared R. Mansell
Jared R. Mansell
No. 7702428-3301
08/31/2021
Qualified Landscape Architect

31 Aug, 2021
SHEET NO.
L1.1

MATCH LINE - SEE SHEET L1.4



MATCH LINE - SEE SHEET L1.1

Legend

- Vehicular Granite Pavers for Vehicle Movement Areas (Dark Color)
- Vehicular Granite Pavers for Vehicle Parking Areas (Lighter Color)
- Concrete Pavers for Walkways and Outdoor Eating Areas; Color to Match Bldg.
- Colored Concrete Band to Match Adjacent Concrete Pavers
- Colored Concrete Crosswalk (TBD by Owner)
- Decorative Oversize Rock (4'-6" Diameter) Rock Color Shall Complement Building
- Concrete Paving
- Asphalt Paving
- Fall Surfacing - Brown Color
- Fall Surfacing - Blue Color
- 2'-5' Diameter Landscape Boulders; Color to Complement Building
- Trash Receptacle per Coims Standard
- Recycle Bin per Coims Standard
- Moveable Pot with Annual Plantings (Pots Vary in Size and Color and will Complement the Building)
- Decorative Bench per Coims Standards
- Bike Rack per Coims Standards and Concrete Pad with E-Scooters

All Landscape Areas Shall Receive Topsoil and Soil Conditioner Mixed into Planting Pits; Hauling Shall be Incorporated into Shrub Areas Where Possible to Provide Provide Interest in Flat Areas; All Shrub Areas Shall Receive Wood Barrier and Decorative Stone of Different Sizes; Stone Colors Shall Complement Building Color

Landscape Design Note:

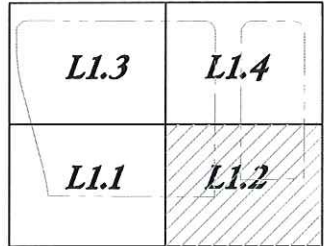
- All Softscape Areas in Parkstrips Shall Have a Minimum of 70% Plant Coverage.
- All Proposed Trees will be Fruitless Species.
- 1 Tree Shall be Planted for every 400 s.f. of Landscape.
- All Landscape Design Will Reflect the Theme "Where Mountain Meets Urban" Outlined in the Coims Requirements.
- Landscape Will Meet all LID Requirements.
- All Plants Shall Come From the Coims Approved Plant List.
- All Landscape Shall be Watered by an Automatic Irrigation System.
- All Existing Trees Along 10200 South Shall be Removed to Accommodate New Site Improvements. Coordination Shall be Done with Urban Forester.

Scale: 1" = 20'



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	11	Acer glabrum / Rocky Mountain Maple	2" Cal. / 6-8' Ht.
	11	Acer tataricum 'Gorkan' / Hot Wings Tatarian Maple	2" Cal. / 6-8' Ht.
	9	Cercis canadensis 'Forest Pansy' / Forest Pansy Eastern Redbud	2" Cal. / 6-8' Ht.
	10	Koeleria paniculata / Golden Rain Tree	2" Cal. / 6-8' Ht.
	23	Picea glauca pendula / Weeping White Spruce	6-8' Ht.
	17	Picea pungens glauca / Columnar Spruce	6-8' Ht.
	8	Prunus virginiana 'Shubert' / Canada Red Cherry	2" Cal. / 6-8' Ht.
	5	Ulmus parvifolia 'Dynasty' / Dynasty Lacebark Elm	2" Cal. / 6-8' Ht.
	11	Zelkova serrata 'JFS-KWI' / City Sprite Zelkova	2" Cal. / 6-8' Ht.
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	65	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	5 gal
	41	Cornus sericea 'Ivory Halo' / Variegated Redtwig Dogwood	5 gal
	25	Cornus sericea 'Kelsey' / Kelsey Dogwood	5 gal
	65	Juniperus squamata 'Blue Star' / Blue Star Juniper	5 gal
	23	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	5 gal
	151	Pinus mugo 'Slowmound' / Mugo Pine	5 gal
	81	Potentilla fruticosa 'Goldfinger' / Goldfinger Potentilla	5 gal
	36	Prunus x cistena / Purple Leaf Sand Cherry	5 gal
	59	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal
	113	Ribes alpinum 'Green Mound' / Green Mound Alpine Currant	5 gal
ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE
	129	Helictotrichon sempervirens 'Sapphire' / Blue Owl Grass	1 gal
	60	Panicum virgatum 'Shenandoah' / Burgundy Switch Grass	1 gal
	222	Pennisetum alopecuroides 'Hornet' / Hornet Fountain Grass	1 gal
PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE
	39	Nepeta x faassenii 'Dropmore' / Catmint	1 gal
	77	Penstemon eatonii / Firecracker Penstemon	1 gal
	15	Perovskia atriplicifolia / Russian Sage	5 gal
	89	Rudbeckia fulgida 'Goldstrum' / Black Eyed Susan	1 gal
	76	Salvia x superba 'May Night' / May Night Salvia	1 gal

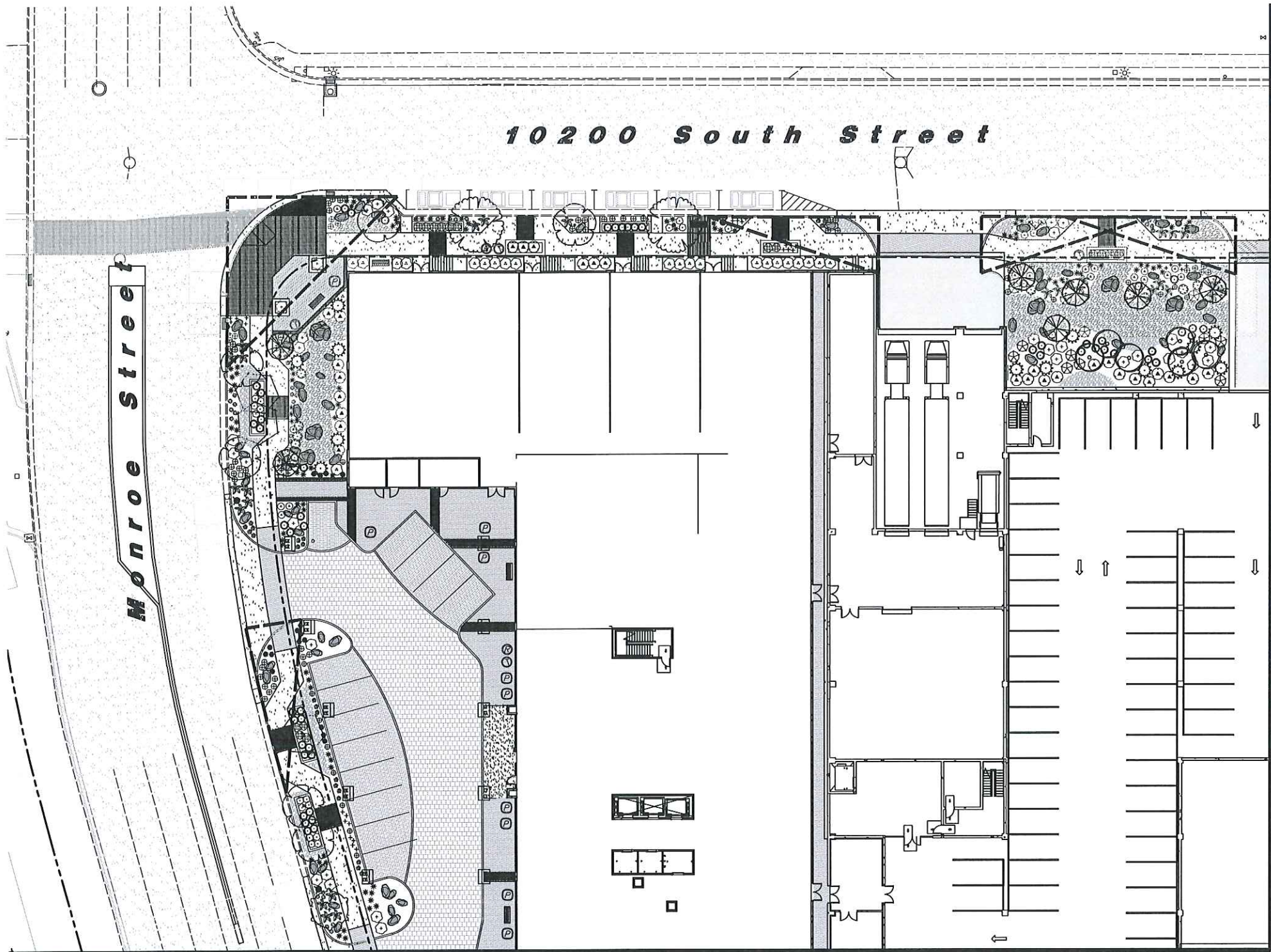


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801-521-8529 - AWAengineering.net

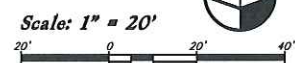
Landscape Plan
SUMMIT TWO
10200 South - 10280 South Monroe Street
Sandy, Utah 84070

State of Utah
Landscape Architect
K. R. Mansch
No. 7740426-5301
03/31/2021

31 Aug, 2021
SHEET NO.
L1.2



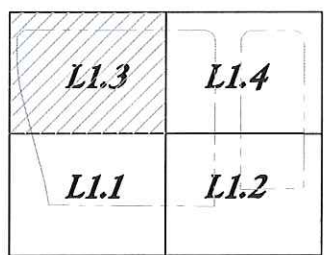
- Landscape Design Note:**
1. All Softscape Areas in Parkstrips Shall Have a Minimum of 70% Plant Coverage.
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PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	11	Acer glabrum / Rocky Mountain Maple	2" Cal. / 6-8' Ht.
	11	Acer tataricum 'Gorkan' / Hot Wings Tatarian Maple	2" Cal. / 6-8' Ht.
	9	Cercis canadensis 'Forest Pansy' / Forest Pansy Eastern Redbud	2" Cal. / 6-8' Ht.
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	17	Picea pungens glauca / Columnar Spruce	6-8' Ht.
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	5	Ulmus parvifolia 'Dynasty' / Dynasty Lacebark Elm	2" Cal. / 6-8' Ht.
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SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	65	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	5 gal
	41	Cornus sericea 'Ivory Halo' / Variegated Redtwig Dogwood	5 gal
	25	Cornus sericea 'Kelsey' / Kelsey Dogwood	5 gal
	65	Juniperus squamata 'Blue Star' / Blue Star Juniper	5 gal
	23	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	5 gal
	151	Pinus mugo 'Slowmound' / Mugo Pine	5 gal
	81	Potentilla fruticosa 'Goldfinger' / Goldfinger Potentilla	5 gal
	38	Prunus x cistena / Purple Leaf Sand Cherry	5 gal
	59	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal
	113	Ribes alpinum 'Green Mound' / Green Mound Alpine Currant	5 gal
ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE
	129	Helictotrichon sempervirens 'Sapphire' / Blue Oat Grass	1 gal
	60	Panicum virgatum 'Shenandoah' / Burgundy Switch Grass	1 gal
	222	Pennisetum alopecuroides 'Hamel' / Hameln Fountain Grass	1 gal
PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE
	39	Nepeta x faassenii 'Dropmore' / Catmint	1 gal
	77	Penstemon eatonii / Firecracker Penstemon	1 gal
	15	Perovskia atriplicifolia / Russian Sage	5 gal
	89	Rudbeckia fulgida 'Goldstrum' / Black Eyed Susan	1 gal
	76	Salvia x superba 'May Night' / May Night Salvia	1 gal

- Legend**
- Vehicular Granite Pavers for Vehicle Movement Areas (Dark Color)
 - Vehicular Granite Pavers for Vehicle Parking Areas (Lighter Color)
 - Concrete Pavers for Walkways and Outdoor Eating Areas; Color to Match Bldg.
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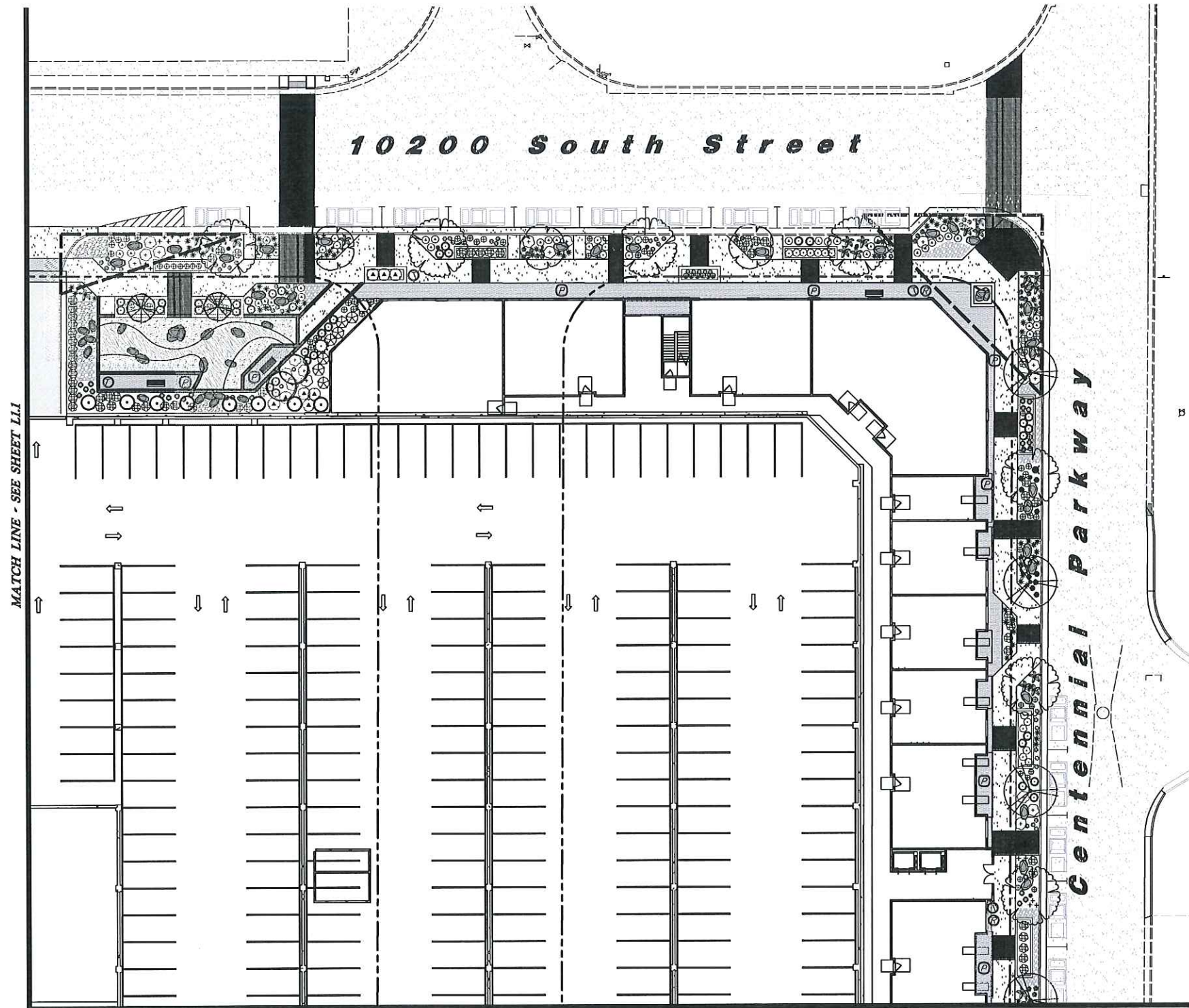
Designed by: CA
Drafted by: JW
Client Name:
Radon Brothers
18-183LS

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
BO1 521-8523 - AWEngineering.net

Landscape Plan
SUMMIT TWO
10200 South - 10280 South Monroe Street
Sandy, Utah 84070



31 Aug, 2021
SHEET NO.
L1.3



Landscape Design Note:

1. All Softscape Areas in Parkways Shall Have a Minimum of 70% Plant Coverage.
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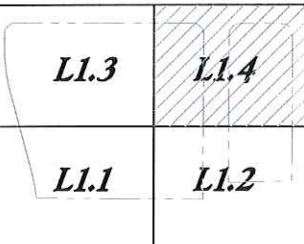
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2010 North Redwood Road, Salt Lake City, Utah 84116
801-521-8529 - awhengineering.net

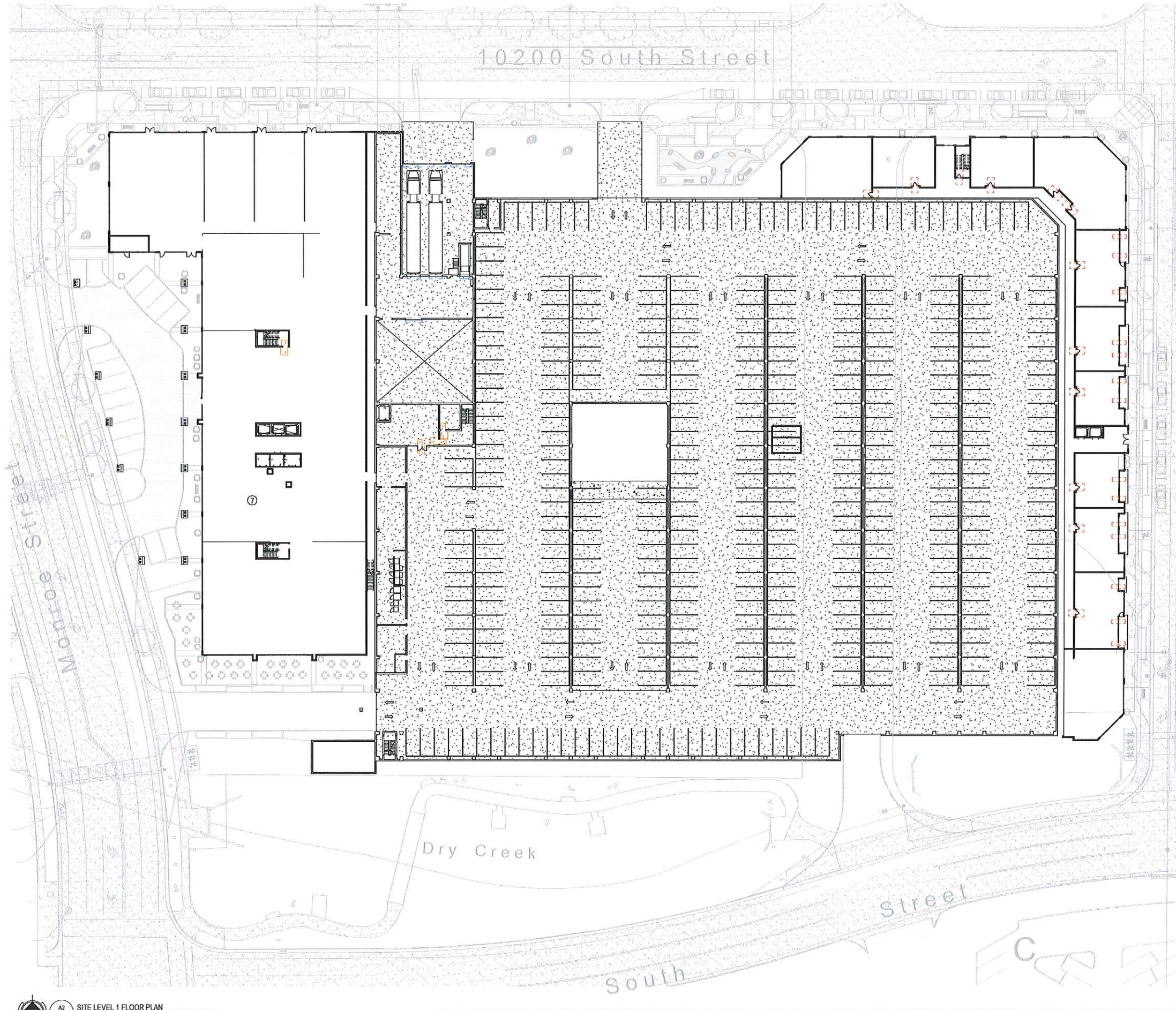
Landscape Plan
SUMMIT TWO
10200 South - 10280 South Monroe Street
Sandy, Utah 84070



31 Aug, 2021
SHEET NO.

L1.4



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MARK	ISSUE DESCRIPTION	ISS. DATE	REV. DESCRIPTION	REV. DATE
0	VERSION	04.02.2020		

SUMMIT TWO - HOTEL
10220 S. MONROE STREET
SANDY, UTAH



beecherwalker
Architecture/interiors
o. 801.438.9500 3115 EAST LION LANE #200
f. 801.438.9501 HOLLADAY, UTAH 84121
BEECHERWALKER.COM

PROJECT NUMBER 212.8005	
DWYN BY Author	CHKD BY Checker
SCHEMATIC	
RENDERING	
DRAWING NUMBER P904	



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6	VERSION	04.02.2020		

SUMMIT TWO - HOTEL
10220 S. MONROE STREET
SANDY, UTAH

beeherwalker
Architecture/Interiors
3115 EAST LON LANE, #200
HOLLADAY, UTAH 84121
o. 801.438.9500
f. 801.438.9501
BEECHERWALKER.COM

PROJECT NUMBER	212.8005
OWN BY	CHKD BY
Author	Checker

SCHEMATIC

RENDERING

DRAWING NUMBER
P905

P102

SUMMIT - OVERALL SITE

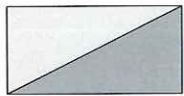
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HOTEL EXTERIOR MATERIALS



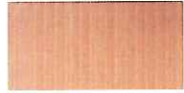
GLAZING/SPANDREL GLASS WITH
CLEAR ANODIZED FRAME



ALPOLIC BONE WHITE ALUMINUM
COMPOSITE MATERIAL



ALPOLIC MATTE BLACK
ALUMINUM COMPOSITE MATERIAL



LONGBOARD LIGHT CHERRY
WOOD-LOOK ALUMINUM PLANK



KING KLINKER OBSIDIAN SHADOW
IMPERIAL THIN BRICK

EXTERIOR MATERIALS MOUNTAIN MEETS URBAN:
THE EXTERIOR MATERIALS HAVE BEEN SELECTED WITH THE MOUNTAIN MEETS URBAN THEME. ALL OF THE MATERIALS HIGHLIGHT THE BASES OF BOTH BUILDINGS, ACTIVATE THE PUBLIC REALM USING A VERY LONG LINEAR BRICK AND WOOD-LOOK MATERIALS.

ALL OF THE MATERIALS ARE HIGH-QUALITY AS RECOMMENDED BY THE ARC, USING BRICK VENEER, A WOOD-LOOK ALUMINUM PLANKS AND COMPOSITE METALS TO BRING WARMTH AND A MOUNTAIN FEEL TO THE SITE. THE WOOD-LOOK MATERIAL EXTENDS VERTICALLY ON BOTH STRUCTURES.

THE GLASS ON BOTH BUILDINGS ARE TRANSPARENT WHILE MEETING ENERGY CODE REQUIREMENTS.

THE HOTEL'S PORTE COCHERE USES TIMBER-LIKE STEEL ELEMENTS TO CREATE THE FRAMEWORK AND FURTHER BRING MOUNTAIN ELEMENTS TO THIS URBAN PROJECT.

THE APARTMENTS ACCENTUATE THE MOUNTAIN THEME BY UTILIZING VARIOUS TYPES OF LAP SIDING.

APARTMENT EXTERIOR MATERIALS



GLAZING/SPANDREL GLASS WITH
CLEAR ANODIZED FRAME



FIBER CEMENT PANELS PURE
WHITE



ALPOLIC MICA ANODIC CLEAR
ALUMINUM COMPOSITE MATERIAL



FIBER CEMENT PEARL GREY LAP
SIDING



LONGBOARD WEATHERED GREY
WOOD-LOOK ALUMINUM PLANK



KING KLINKER OBSIDIAN SHADOW
IMPERIAL THIN BRICK

1
P201
MONROE STREET ELEVATION
3/64" = 1'-0"

2
P201
CENTENNIAL STREET ELEVATION
3/64" = 1'-0"

MARK	ISSUE DESCRIPTION	ISS. DATE	REV. DESCRIPTION	REV. DATE
D				
C				
B				
A				

SUMMIT - OVERALL SITE

beecherwalker
Architecture/Interiors
3115 EAST LION LANE, #200
HOLLADAY, UTAH 84121
P. 801.438.9500
F. 801.438.9501
BEECHERWALKER.COM

PROJECT NUMBER
DWN BY
Author
CHKD BY
Checker
SCHEMATIC DESIGN

EXTERIOR STREET
ELEVATIONS

DRAWING NUMBER
P201

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C

B

A

1

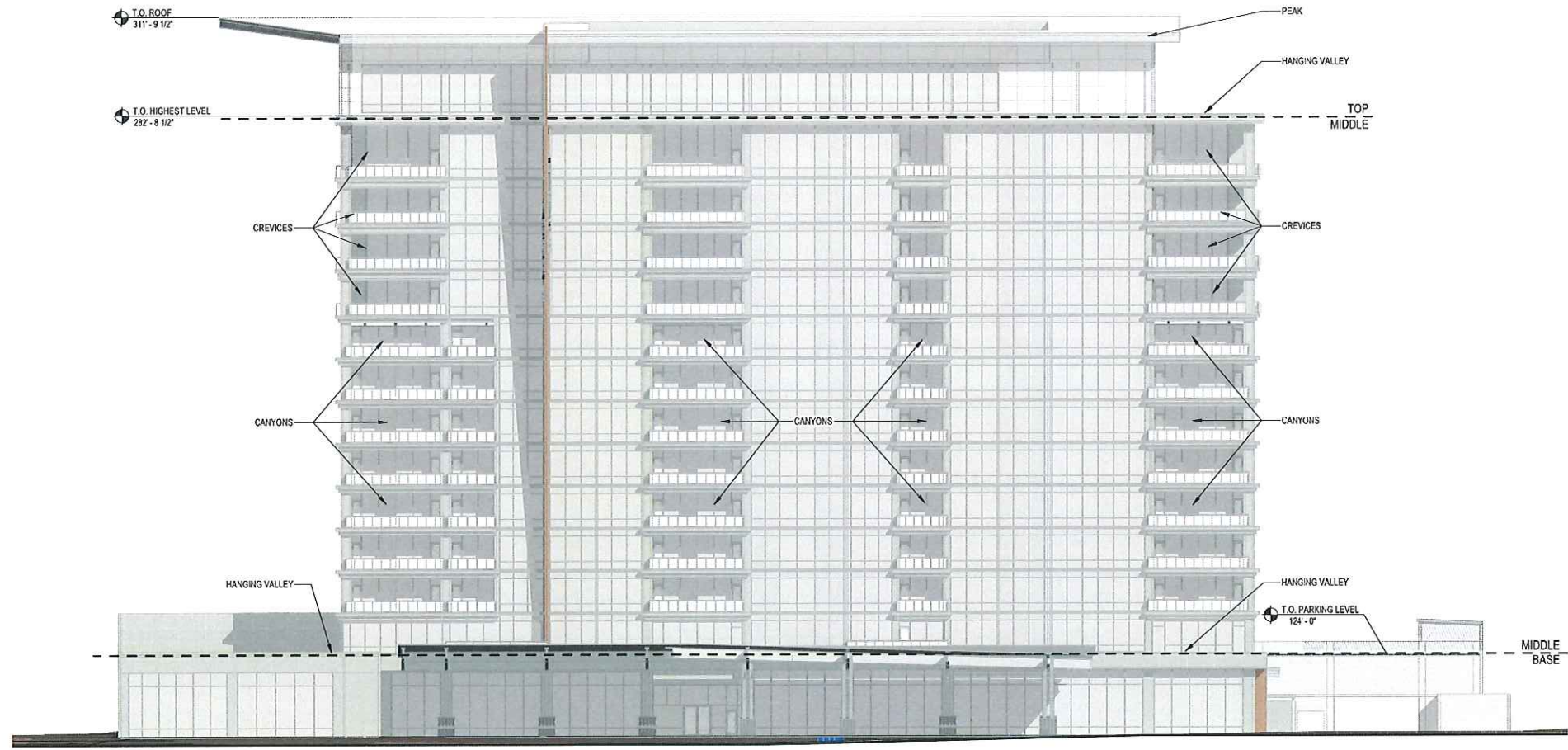
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3

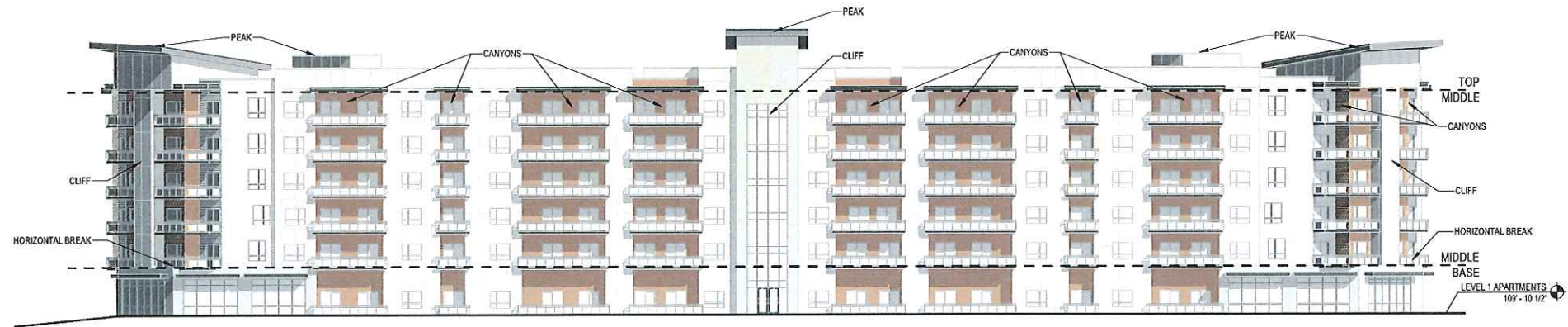
4

5

6



1 MONROE STREET ELEVATION - MMUA
3/64" = 1'-0"



2 CENTENNIAL STREET ELEVATION - MMUA
3/64" = 1'-0"

MARK	ISSUE DESCRIPTION	ISS DATE	#	REV. DESCRIPTION	REV. DATE
D					

C
SUMMIT - OVERALL SITE

B

beecherwalker
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3115 EAST LON LANE, #200
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P: 801.438.9500
F: 801.438.9501
BEECHERWALKER.COM

PROJECT NUMBER
DWN BY
CHKD BY
A SCHEMATIC DESIGN
MOUNTAIN MEETS
URBAN ARCHITECTURE
DRAWING NUMBER
P203

1

2

3

4

5

6

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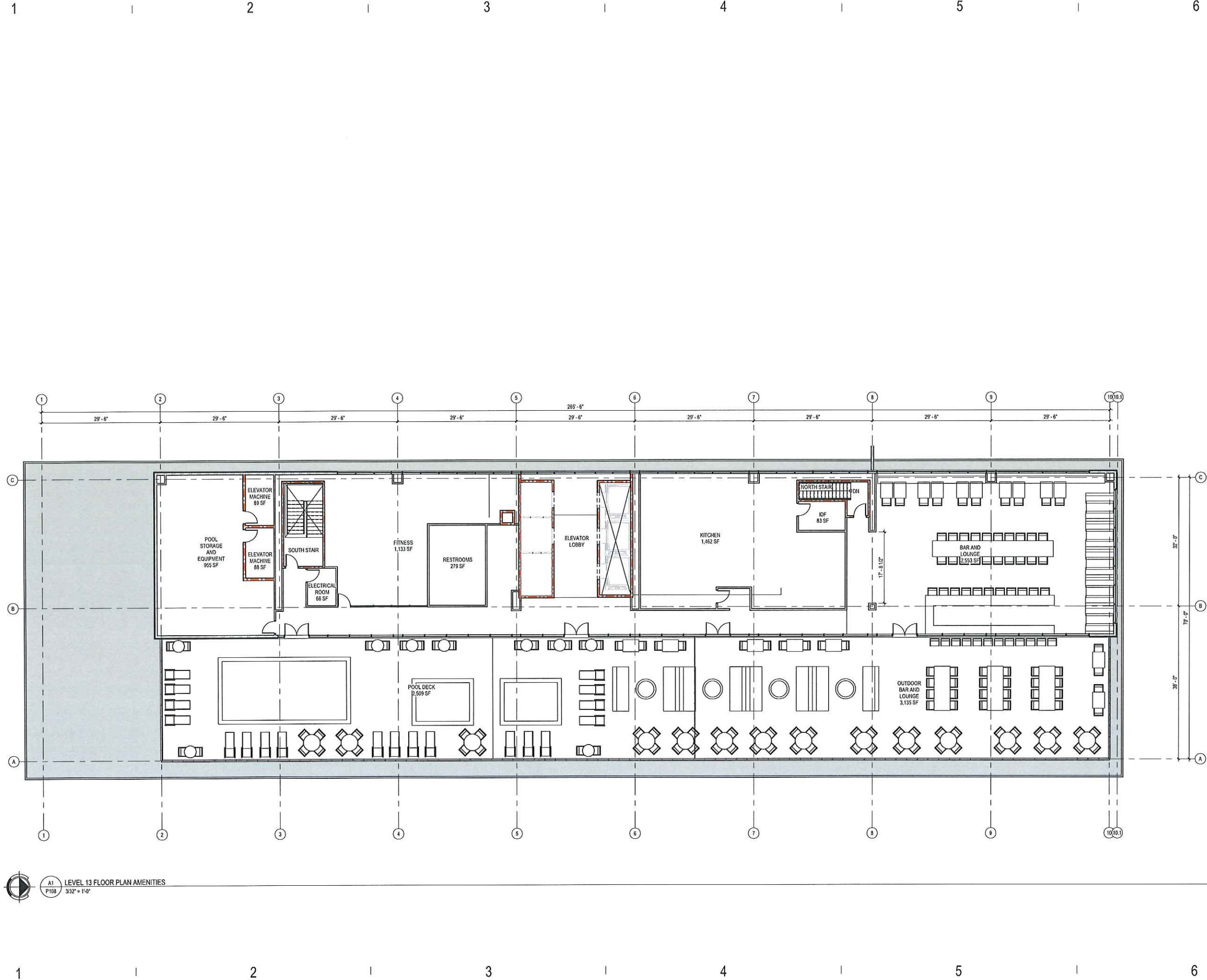
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C

B

A



A1 LEVEL 13 FLOOR PLAN AMENITIES
P108 3/32" = 1'-0"

MARK	ISSUE DESCRIPTION	ISS. DATE	REV. DESCRIPTION	REV. DATE
6	VERSION	04-02-2020		

SUMMIT TWO - HOTEL
10220 S. MONROE STREET
SANDY, UTAH

beecherwalker
Architecture/Interiors
BEECHERWALKER.COM
o. 801.438.9500 3115 EAST LION LANE, #200
f. 801.438.9501 HOLLADAY, UTAH 84121

PROJECT NUMBER
212.8005
DWN BY
Author
CHKD BY
Checker
SCHEMATIC

LEVEL 14 FLOOR PLAN
AMENITIES

DRAWING NUMBER
P108

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B

A

C

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CONCEPTUAL ROOFTOP IMAGES

B

A

C

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5	VERSION	04.02.2021		

SUMMIT TWO - HOTEL
10220 S. MONROE STREET
SANDY, UTAH

beecherwalker
Architecture/Interiors
o. 801.438.9500 3115 EAST LION LANE, #200 BEECHERWALKER.COM
f. 801.438.9501 HOLLADAY, UTAH 84121

PROJECT NUMBER	212.8005
DRAWN BY	CHKD BY
Author	Checker

SCHEMATIC

CONCEPTUAL ROOFTOP
IMAGES

DRAWING NUMBER

P902



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1	ISSUE DESCRIPTION	ISS. DATE	REV. DATE
2	VERSION	04.02.2020	
3			
4			
5			
6			

SUMMIT TWO - HOTEL
10220 S. MONROE STREET
SANDY, UTAH

beecherwalker
Architecture/Interiors
o. 801.438.9500 3115 EAST LION LANE, #200 BEECHERWALKER.COM
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PROJECT NUMBER
212.8005

DWY BY
Author

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Checker

SCHEMATIC

RENDERING

DRAWING NUMBER

P901

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Architecture/Interiors
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f. 801.438.9501 HOLLADAY, UTAH 84121

PROJECT NUMBER
212.8005
DWN BY
Author
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SCHEMATIC

PERSPECTIVE VIEW

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P412

MARK	ISSUE DESCRIPTION	ISS. DATE	REV. DESCRIPTION	REV. DATE
D	6	04/02/2021		

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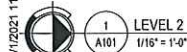
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PERSPECTIVE VIEW

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P413

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8	VERSION	04-02-2020			



Common Area Schedule Level 2		
Number	Name	Net Sq. ft.
00	FOYER	3,407 SF
00A	ELEV.	119 SF
0000	STAIR #1	181 SF
07	FUTURE RETAIL 1	2,035 SF
09	FUTURE RETAIL 3	2,069 SF
11	LEASING AND MAIL	1,254 SF
13	GYM	1,254 SF
15	FUTURE RETAIL 2	2,668 SF
LEVEL 2: 8		12,988 SF

TYPE	COUNT
BEDROOM	23
JUNIOR 1 BEDROOM IC	41
LUXURY 2 BEDROOM	23
LUXURY 2 BEDROOM OC	41
EATING AREA	1
STANDARD 1 BEDROOM	118
STANDARD 2 BEDROOM	23
TUDIO	27
	297

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SUMMIT TWO - APARTMENTS
SANDY, UTAH



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LEVEL 2 FLOOR PLAN

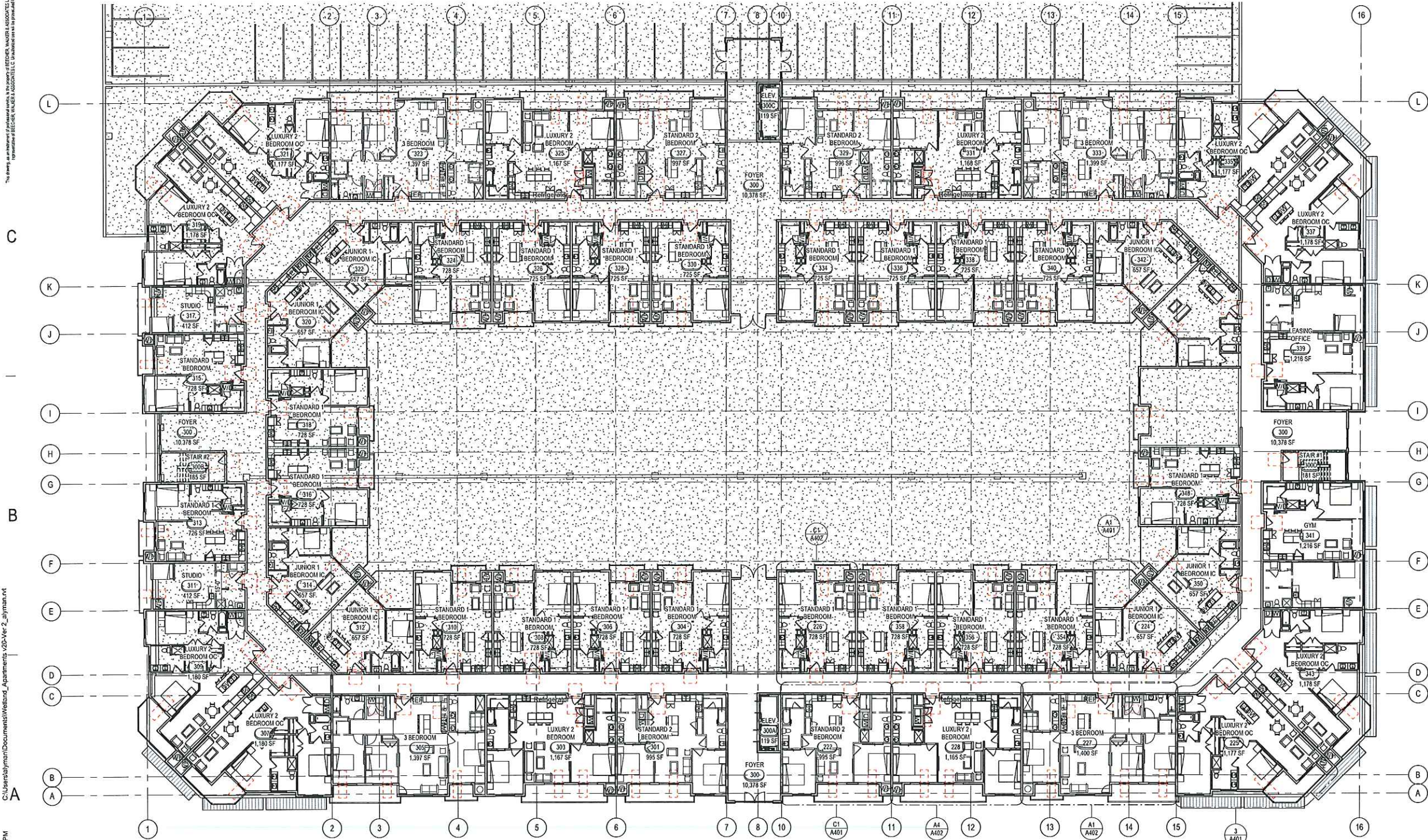
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Room Schedule Level 3		
Name	Net Sq. ft.	Count
3 BEDROOM	5,594 SF	4
JUNIOR 1 BEDROOM IC	4,601 SF	7
LUXURY 2 BEDROOM	4,666 SF	4
LUXURY 2 BEDROOM OC	9,424 SF	8
STANDARD 1 BEDROOM	15,295 SF	21
STANDARD 2 BEDROOM	3,993 SF	4
STUDIO	824 SF	2
LEVEL 3: 50	44,358 SF	50

Common Area Schedule Level 3		
Number	Name	Net Sq. ft.
300	FOYER	10,378 SF
300A	ELEV.	119 SF
300B	STAIR #2	185 SF
300C	ELEV.	119 SF
300D	STAIR #1	181 SF
339	LEASING OFFICE	1,216 SF
341	GYM	1,216 SF
LEVEL 3: 7		13,414 SF

ROOM SCHEDULE TOTALS	
TYPE	COUNT
3 BEDROOM	23
JUNIOR 1 BEDROOM IC	41
LUXURY 2 BEDROOM	23
LUXURY 2 BEDROOM OC	41
SEATING AREA	1
STANDARD 1 BEDROOM	118
STANDARD 2 BEDROOM	23
STUDIO	27
	297

REV. DATE	REV. DESCRIPTION	ISS. DATE	MARK

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SANDY, UTAH

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LEVEL 3 FLOOR PLANS

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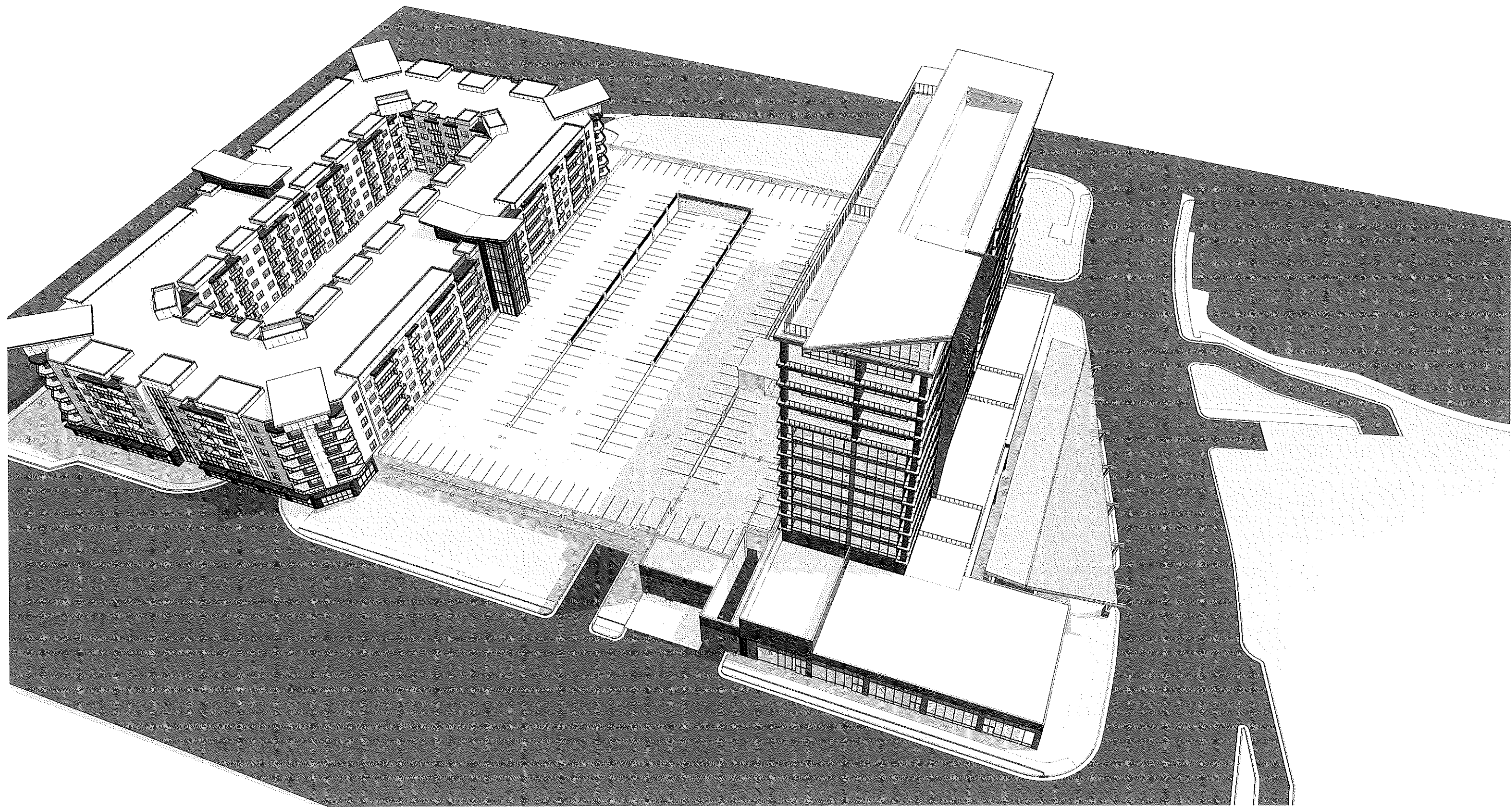
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SANDY, UTAH

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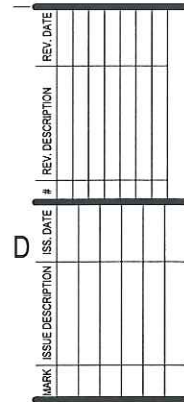


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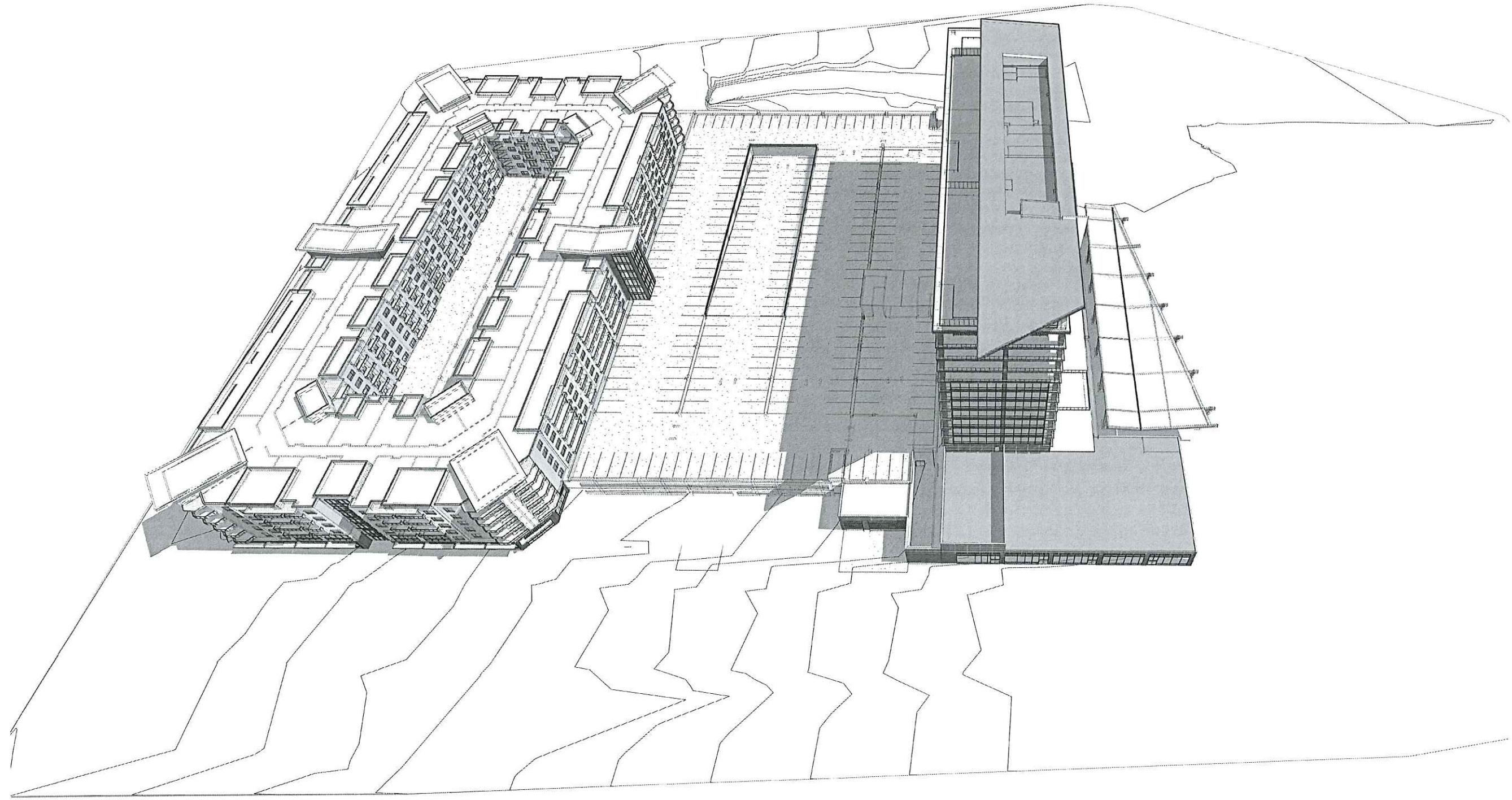
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SUMMIT TWO - APARTMENTS
SANDY, UTAH

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SUMMIT - OVERALL SITE



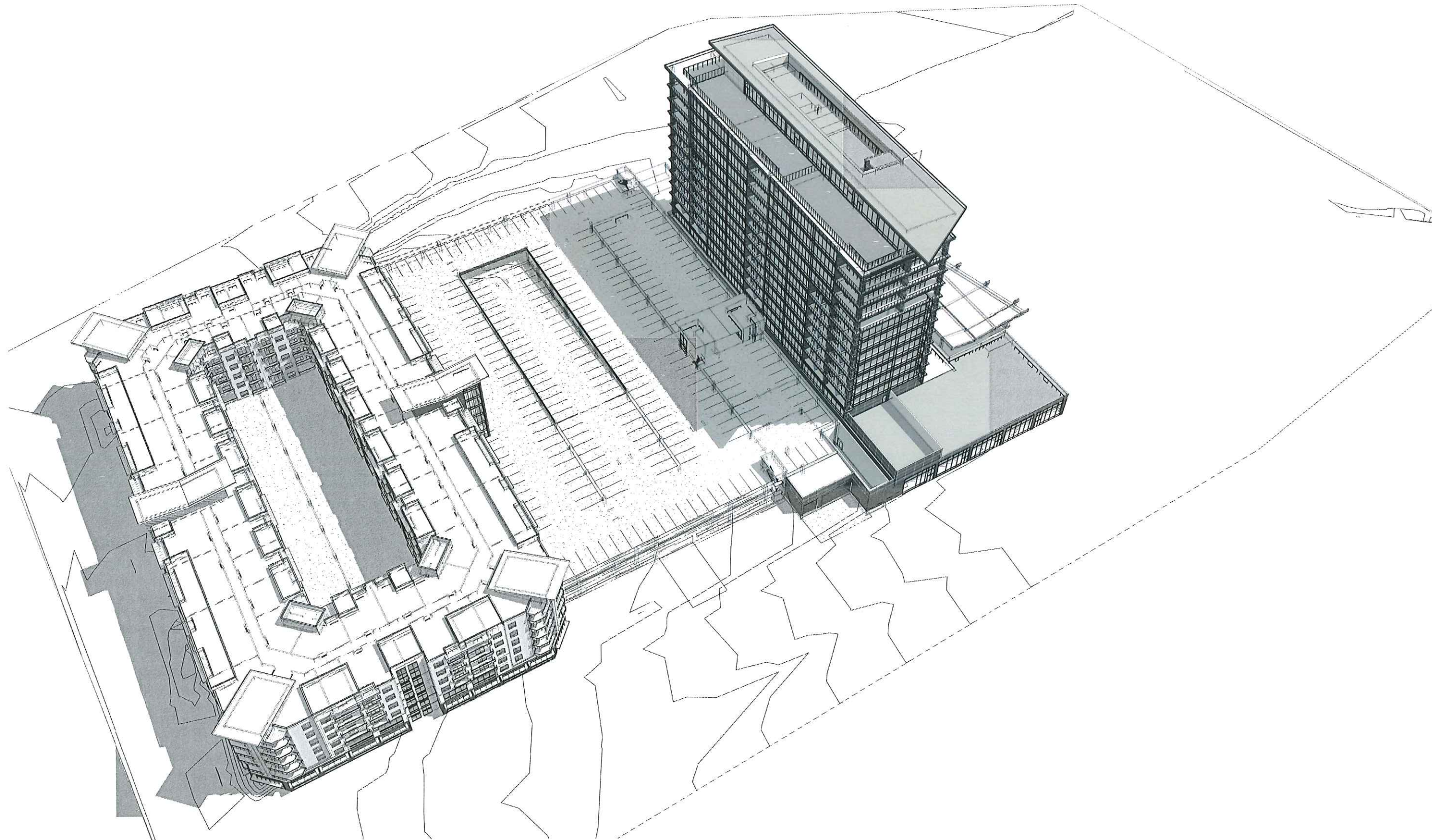
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PERSPECTIVE VIEW

DRAWING NUMBER

P900

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SUMMIT - OVERALL SITE



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PERSPECTIVE VIEW

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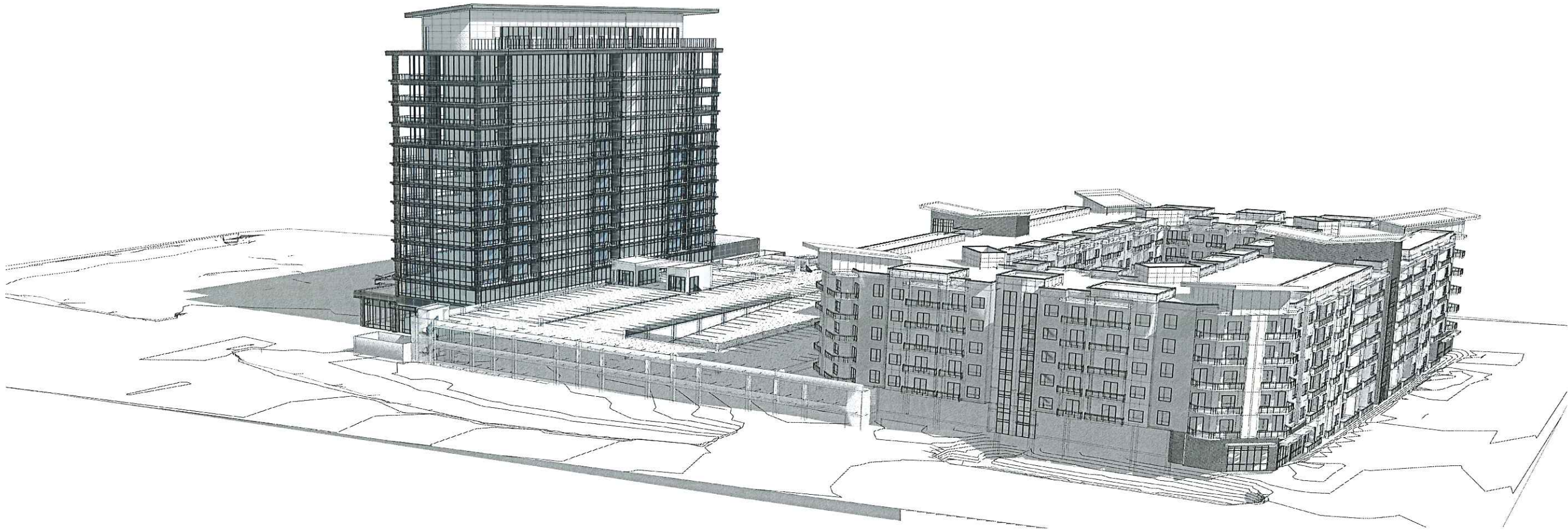
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SUMMIT - OVERALL SITE

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PERSPECTIVE VIEW

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