



Community Development
10000 Centennial Parkway
Sandy, Utah 84070
Telephone # (801) 568-7250
Facsimile # (801) 568-7278

Board of Adjustment Application

Revised November 2008

For staff use only

File/Case Number: _____ Date Filed: _____
Fee: _____ Receipt#: _____ Assigned Planner: _____

Type of Request (mark all that apply)

Use Account Code #1-51-314515 unless otherwise noted.

<input checked="" type="checkbox"/> Variance	<input type="checkbox"/> Alleged Error
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Please give a brief summary of the action requested: This property was legally subdivided into a residential lot in Salt Lake County.

The property is now subject to Sandy City development regulations, including the Sensitive Area Overlay (SAO) Zone, primarily because the slope of the lot is approximately 30 percent. We are seeking a variance from the Board of Adjustment with the goal of constructing a residence on the lot.

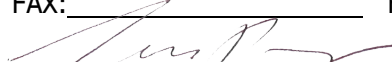
Project Information

Name of Proposed Project: 3802 Catamount Ridge
Address of Proposed Project: 3802 Catamount Ridge Way, Sandy, UT 84092 (Lot 8, Little Cottonwood View Estates Sub. 7548-2494)
Parcel Tax I.D. Number(s) (if available): 28-12-327-030-0000
Current Condition (i.e. undeveloped, current zone, etc): 911 - Vacant Residential Lot
Proposed Development/Action (i.e., subdivision, retail bldg, new zone): Build residence

Applicant Information

Applicant's Name: Yuri Rozenfeld Company: _____
Address: 125 W. Redman Ave. City, State, Zip: Haddonfield, NJ 08033
Phone #: Office: _____ FAX: _____ Home/Cell: 212-810-9324
Email: yuri@westredman.com Signature:  Date: Dec. 17, 2022

Property Owner Information (if different than applicant)

Owner's Name: YING LI PENG
Address: _____ City, State, Zip: _____
Phone #: Office: _____ FAX: _____ Home/Cell: 801-915-9871
Email: yingpeng77@yahoo.com Signature:  Date: 1-18-2022

Note: The Board of Adjustment normally meets on the second Thursday of the month. Applicants will be notified of changes in meetings and meeting times. The Planning Division will not officially accept a submittal until the conditions and necessary parts of each application procedure are completed. The Board of Adjustment will not review any submittal made less than fourteen (14) days prior to the scheduled meeting.

Yuri Rozenfeld
125 W. Redman Ave.
Haddonfield NJ 08033

January 17, 2022

The Board of Adjustments
c/o Mike Wilcox
Zoning Administrator
Sandy City
Community Development
10000 Centennial Parkway
Sandy, Utah 84070

Re: Variance Application
3802 E. Catamount Ridge Way, Sandy, UT 84092

Dear Members of the Board:

I write to apply for a variance with the intent of constructing a residence on the above-referenced lot.

The subject lot is located at 3802 E. Catamount Ridge Way, Sandy, UT 84092. Parcel Number 28-12-327-030-0000. The parcel is also known as Lot 8, of the Little Cottonwood View Estates Subdivision.

I am under contract to purchase the property from Mr. Ying Li Peng. The due diligence period under the contract continues through February. I look forward to receiving consideration and a variance decision from this Board before I am legally committed to purchase the property.

I appreciate your consideration.

This property was legally subdivided in Salt Lake County in 1998.

The property is now subject to Sandy City development regulations, including the Sensitive Area Overlay (SAO) Zone Sec. 21-15-1. et seq, primarily because the slope of the lot is approximately 30 percent (Sec. 21-15-2).

It is also true that property is covered by the special exemption set forth in Sandy City Code, Sec. 21-15-5. - Special Exceptions, Subsection (a) - Previously Platted Lots.

Accordingly, I have been informed by Sandy City that this is a buildable lot subject to obtaining a variance from this Board as required under the SAO regulations.

Yuri Rozenfeld
125 W. Redman Ave.
Haddonfield NJ 08033

Further:

- Absent a variance from this Board, the property may not be used to construct a residence. This would be inconsistent with the initial provisions of the Little Cottonwood View Estates Subdivision, which anticipate that a residence would be built on the property.
- Generally, the property is similar to all other properties located in the Little Cottonwood View Estates Subdivision.
- Owners of other properties in the Little Cottonwood View Estates Subdivision have constructed residences.
- The variance will not deviate from the general purposes of the Sandy City Development Code. Rather, the variance will permit the construction of a modest residence in already developed Little Cottonwood View Estates Subdivision.
- A variance for the property would be consistent with the overall intent of the zoning laws and it is therefore fair that the variance be granted. Specially, the variance is consistent with the requirements of special exemption set forth in Sandy City Code, Sec. 21-15-5. - Special Exceptions, Subsection (a) - Previously Platted Lots.

I have assembled the following documents in support of this application with the assistance of qualified advisors:

1. Original Little Cottonwood View Estates Subdivision Plat
2. Site Areal Map
3. Contract to purchase the property
4. 3802 E Catamount Civil Schematic Site Design (Talisman Engineering)
5. 3802 E Catamount Residence Design (Harbor Design Company)
6. 3802 E Catamount Record of Site Survey (Talisman Civil Consultants)
7. 3802 E Catamount Slope Analysis – Three Files (Talisman Civil Consultants)

We believe that the proposed improvements to the property meet (or will meet as final engineering plans are prepared) the requirements of Sandy City Code, Chapter 21-15. – Sensitive Overlay Zone.

Yuri Rozenfeld
125 W. Redman Ave.
Haddonfield NJ 08033

More specifically, we have addressed in the design the key criteria conveyed to us by Sandy City, including the following:

- Lower-level walls of residence designed to retain slope
- Modest footprint residence, located at the lowest point on the lot
- No disturbance of any portion of the hillside beyond the “triangle” that will be used for the residence
- Minimal cuts and fills
 - It is also possible that the proposed construction area had been previous disturbed during the construction of the E Catamount Way and the easement road that runs through the lot to the water tank located uphill

On balance, therefore, the proposed residence is the least intrusive alternative for a residence on this property. We therefore believe that a variance is appropriate under Sandy City Development Code.

Absent such a variance the property will be deprived of privileges granted to other properties in the same district.

We also have consulted with experts in rockfall hazard analysis. We received preliminary advice from an expert at Intermountain GeoEnvironmental Services, Inc. that the “rockfall hazard is likely to be low.” However, a physical inspection of the site and therefore the report cannot be completed while the lot is covered with snow. Accordingly, we proposed to finalize this analysis when the expert can access the site in the spring. We hope that this will not delay the review by this Board; rather, we propose to finalize this topic with the Sandy City planning personnel if the variance is granted and when weather permits.

Finally, we understand that soil and fault analysis will also be required, which we also propose to complete during subsequent planning steps.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Yuri Rozenfeld', written in a cursive style.

Yuri Rozenfeld

Sandy Board of Adjustments, Variance Application
3802 E. Catamount Ridge Way, Sandy, UT 84092
Parcel Number 28-12-327-030-0000
Feb. 10, 2022

- 4.5 acre parcel legally subdivided in Salt Lake County in 1998
- The parcel is also known as Lot 8, of the Little Cottonwood View Estates Subdivision
- The property is subject to Sandy City development regulations, including the Sensitive Area Overlay (SAO) Zone Sec. 21-15-1. et seq, primarily because the slope of the lot is approximately 30 percent (Sec. 21-15-2)
- The property is covered by the special exemption set forth in Sandy City Code, Sec. 21-15-5. - Special Exceptions, Subsection (a) - Previously Platted Lots



Sandy Board of Adjustments, Variance Application
3802 E. Catamount Ridge Way, Sandy, UT 84092
Parcel Number 28-12-327-030-0000
Feb. 10, 2022

Residence Location Comments:

- Modest footprint, two-level residence located at the lowest point on the lot
- No disturbance of any portion of the hillside above the water tank service road
- Lower-level walls of residence designed to retain slope
- Minimal cuts and fills
 - Additional Sandy recommendations to reduce cuts and fills will be incorporated in next version of plans
- We believe the residence represents least intrusive alternative for a residence on this property
- Absent a variance the property will be deprived of privileges granted to other properties in the same subdivision/district



Sandy Board of Adjustments, Variance Application
3802 E. Catamount Ridge Way, Sandy, UT 84092
Parcel Number 28-12-327-030-0000
Feb. 10, 2022



Thank you for your consideration.

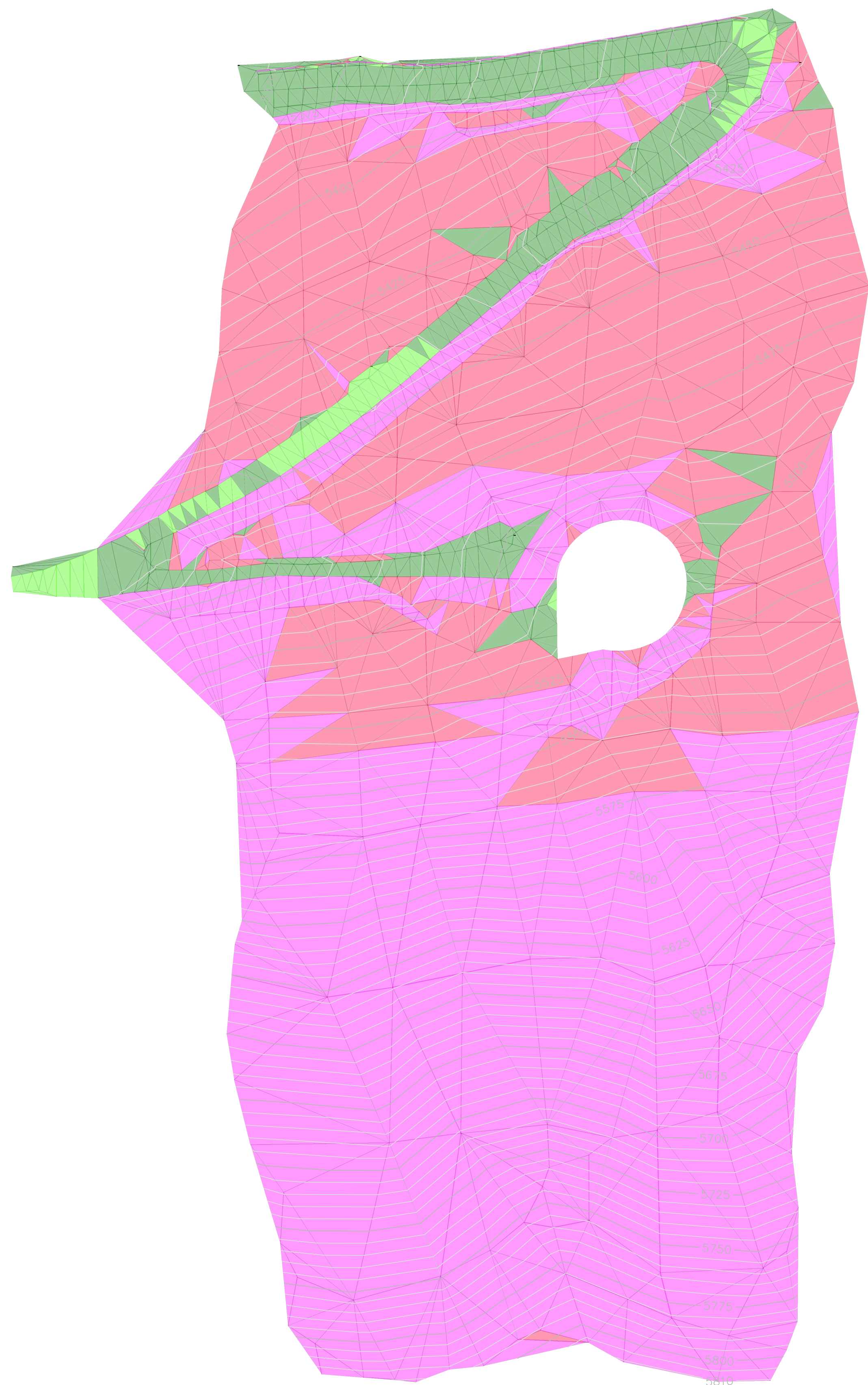





SANDY CITY

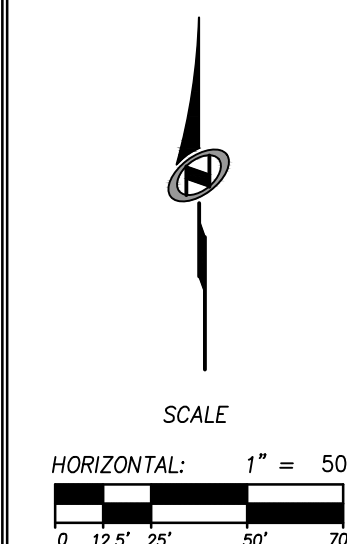
28-12

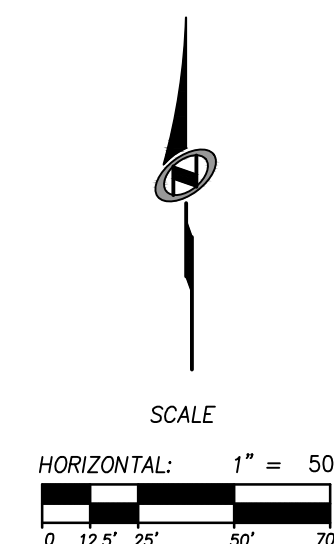
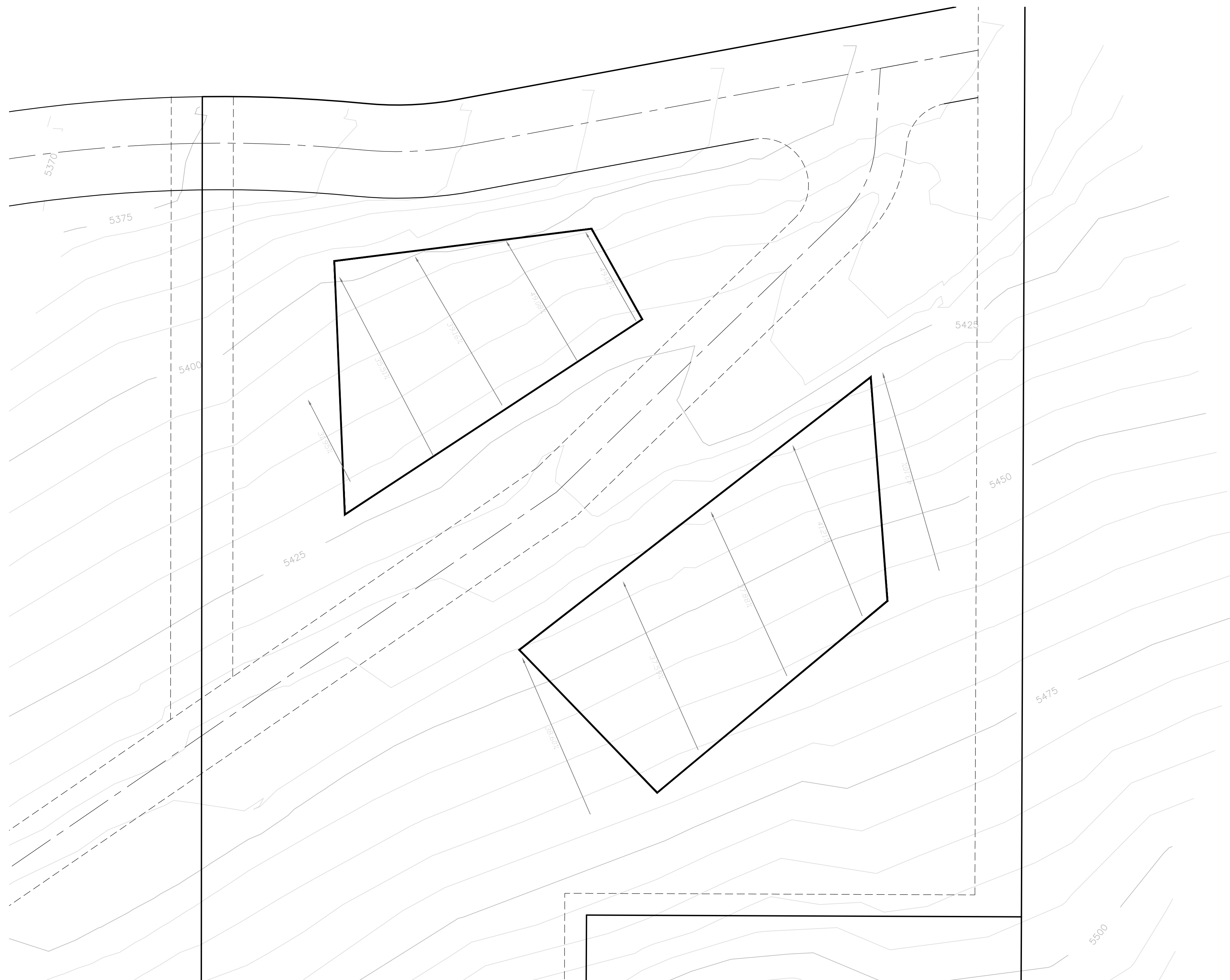
UNINCORPORATED

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors



SLOPES TABLE			
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR
1	FLAT	10%	
2	10%	30%	
3	30%	50%	
4	50%	VERTICAL	

[illegible]



SLOPE ANALYSIS
YINGPENG
LOT 8 LITTLE COTTONWOOD

TCC JOB NUMBER: 21-054

DATE SUBMITTED: 06.30.2021

[illegible]

SURVEYOR'S CERTIFICATE

I, NATHAN G. CHRISTENSEN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 10175991, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY I HAVE COMPILED AN ACCURATE MAP OF THE LAND TO BE TRUE AND CORRECT BASED ON DATA COMPILED, AND SURVEY MADE HEREON.

Nathan Christensen
NATHAN CHRISTENSEN
PLS 10175991

2021/07/15
DATE OF SURVEY



LEGAL DESCRIPTION

LOT 8, LITTLE COTTONWOOD VIEW ESTATES SUBDIVISION, ENTRY NO. 6519414, AS RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER

SURVEY NARRATIVE:

THE PURPOSE OF THIS SURVEY IS LOCATE THE SUBJECT PROPERTY AND PROVIDE A TOPOGRAPHIC AND BOUNDARY SURVEY. THIS SURVEY WAS PREFORMED IN JUNE OF 2021,

SUBJECT PROPERTY ADDRESS: 3802 E CATAMOUNT RIDGE WY. SANDY, UTAH 84092

THE BASIS OF BEARING FOR THIS SURVEY IS S 78°03'52" W 124.16 FEET, MEASURED BETWEEN TWO FOUND CENTERLIEN STREET MONUMNETS LOCATED IN CATAMOUNT DRIVE, THE SUBDIIVSION BEARING FOR THIS INE IS S 77°50'31" W 124.17 FEET

LITTLE COTTONWOOD VIEW ESTATES SUBDIVISION SETBACKS:

FRONT: 15'
REAR: 10'
SIDE: 7'

BURIED UTILITIES AND/OR PIPE LINES ARE SHOWN PER VISIBLE SURFACE EVIDENCE. IF ANY UNDERGROUND UTILITY LOCATIONS ARE REQUIRED THEY WILL HAVE TO BE VERIFIED BY FIELD POT HOLING THE UTILITIES. TALISMAN AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.

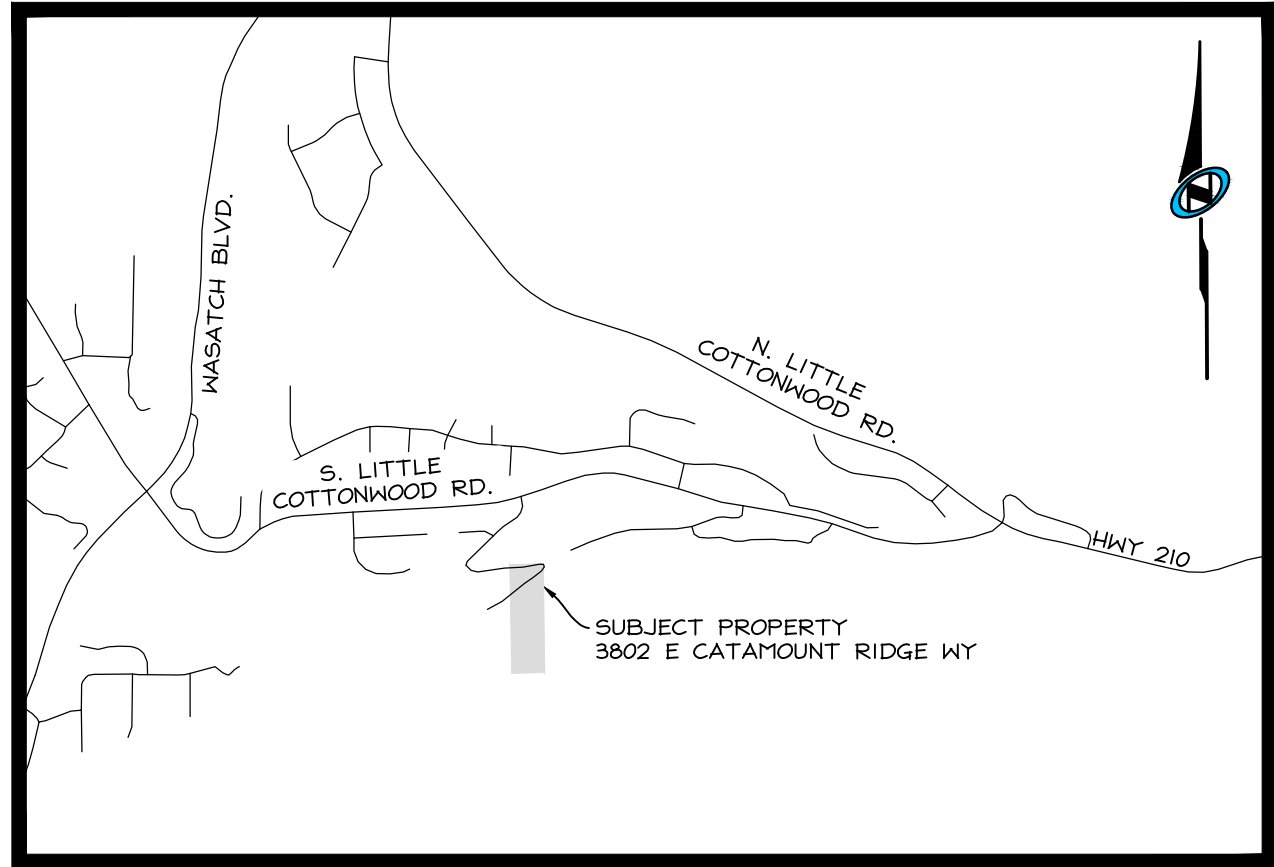
REFERENCED DOCUMENTS

LITTLE COTTONWOOD VIEW ESTATES SUBDIVISION, ENTRY NO. 6519414, BOOK:96-12P, PAGE:395, AS RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER

ALTA APPROACH PUD, ENTRY NO. 4556837, BOOK:87-II, PAGE: 138, AS RECORDER IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER

BOUNDARY SURVEY FOR THE TOWN OF ALTA, PREPARED BY BUSH AND GUDGELL, S02-09-0468, AS RECORDER IN THE OFFICE OF THE SALT LAKE COUNTY SURVEYOR.

RECORD OF SURVEY, MORRISON PARCEL, PREPARED BY MCNEIL ENGINEERING, S2005-12-0814, AS RECORDER IN THE OFFICE OF THE SALT LAKE COUNTY SURVEYOR.

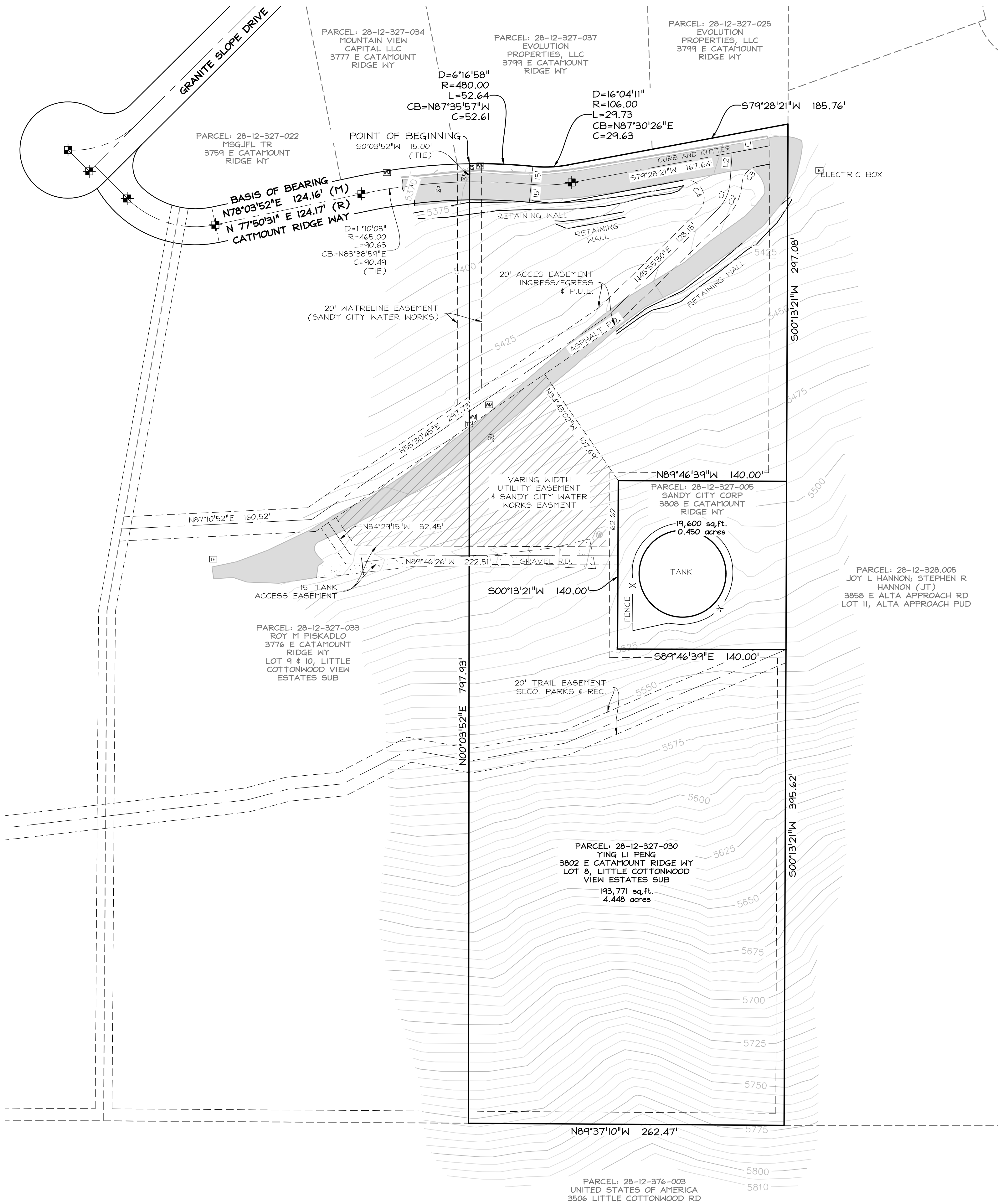


VICINITY MAP
N.T.S

LEGEND

- | | |
|-----------------------|--------------------------|
| STREET MONUMENT | BOUNDARY LINE |
| LOT CORNER (NOTED) | ADJACENT PARCEL BOUNDARY |
| ELECTRICAL METER | CENTERLINE |
| GAS METER | RIGHT OF WAY LINE |
| WATER METER | EASEMENT LINE |
| IRRIGATION BOX | FENCE |
| TELEPHONE BOX | EXISTING BUILDING |
| CABLE TV BOX | EXISTING CONCRETE |
| (R) RECORD DISTANCE | EXISTING ASPHALT |
| (M) MEASURED DISTANCE | |

RECORD OF SURVEY
LOT 8, LITTLE COTTONWOOD VIEW ESTATES SUBDIVISION
SOUTHWEST QUARTER SECTION 12 TOWNSHIP 3 SOUTH RANGE 1 EAST
JUNE 2021



1588 SOUTH STATE STREET
SUITE 200
MURRAY, UT 84107
801.743.1300

REVISIONS

DATE

BY

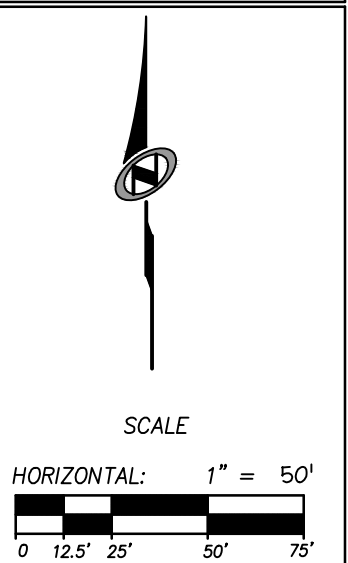
NO.

RECORD OF SURVEY
YING LI PENG RESIDENCE

3802 E CATAMOUNT RIDGE WY. SANDY, UTAH 84092

DATE SUBMITTED: 2021-06-21

TCC JOB NUMBER: 21-054 YING LI PENG



SHEET NUMBER

1

OF 1

CATAMOUNT RIDGE - ROZENFELD RESIDENCE

SANDY, UTAH
CIVIL PLANSET- SCHEMATIC DESIGN
PROJECT #22-001

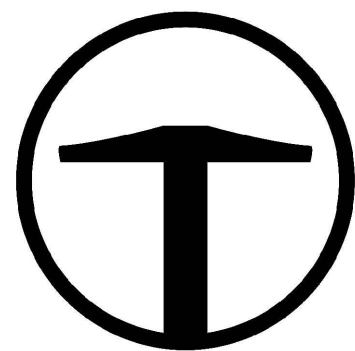


SHEET INDEX

CIVIL DRAWINGS

COVER SHEET	C000
OVERALL SITE AND MAPPING	C003
SITE PLAN	C200
GRADING PLAN	C300
UTILITY PLAN	C400

PRELIMINARY NOT FOR CONSTRUCTION

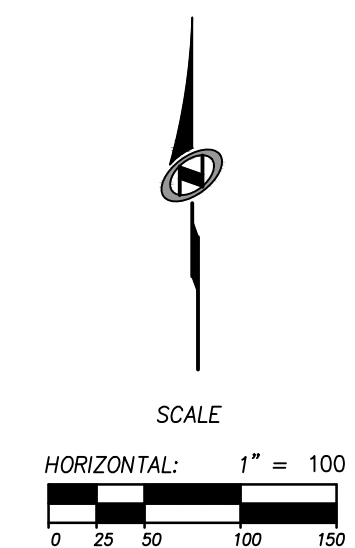


TALISMAN
CIVIL CONSULTANTS
1588 SOUTH MAIN STREET
SUITE 200
SALT LAKE CITY, UT 84115
801.743.1300

ROZENFELD RESIDENCE
3802 E CATAMOUNT RIDGE WAY, SANDY, UT
COVER SHEET

DATE SUBMITTED: 01.26.2022

TCC JOB NUMBER: 22-001



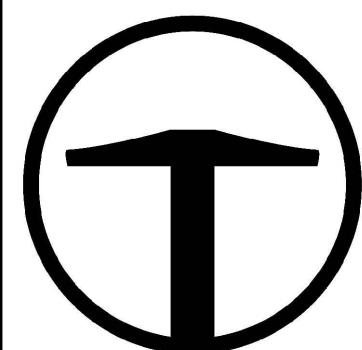
SHEET NUMBER
C000

1 OF 7





PRELIMINARY NOT FOR CONSTRUCTION



TALISMAN
CIVIL CONSULTANTS
1588 SOUTH MAIN STREET
SUITE 200
SALT LAKE CITY, UT 84115
801.743.1300

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ROZENFELD RESIDENCE
3802 E CATAMOUNT RIDGE WAY, SANDY, UT
OVERALL SITE AND MAPPING

DATE SUBMITTED: 01.26.2022

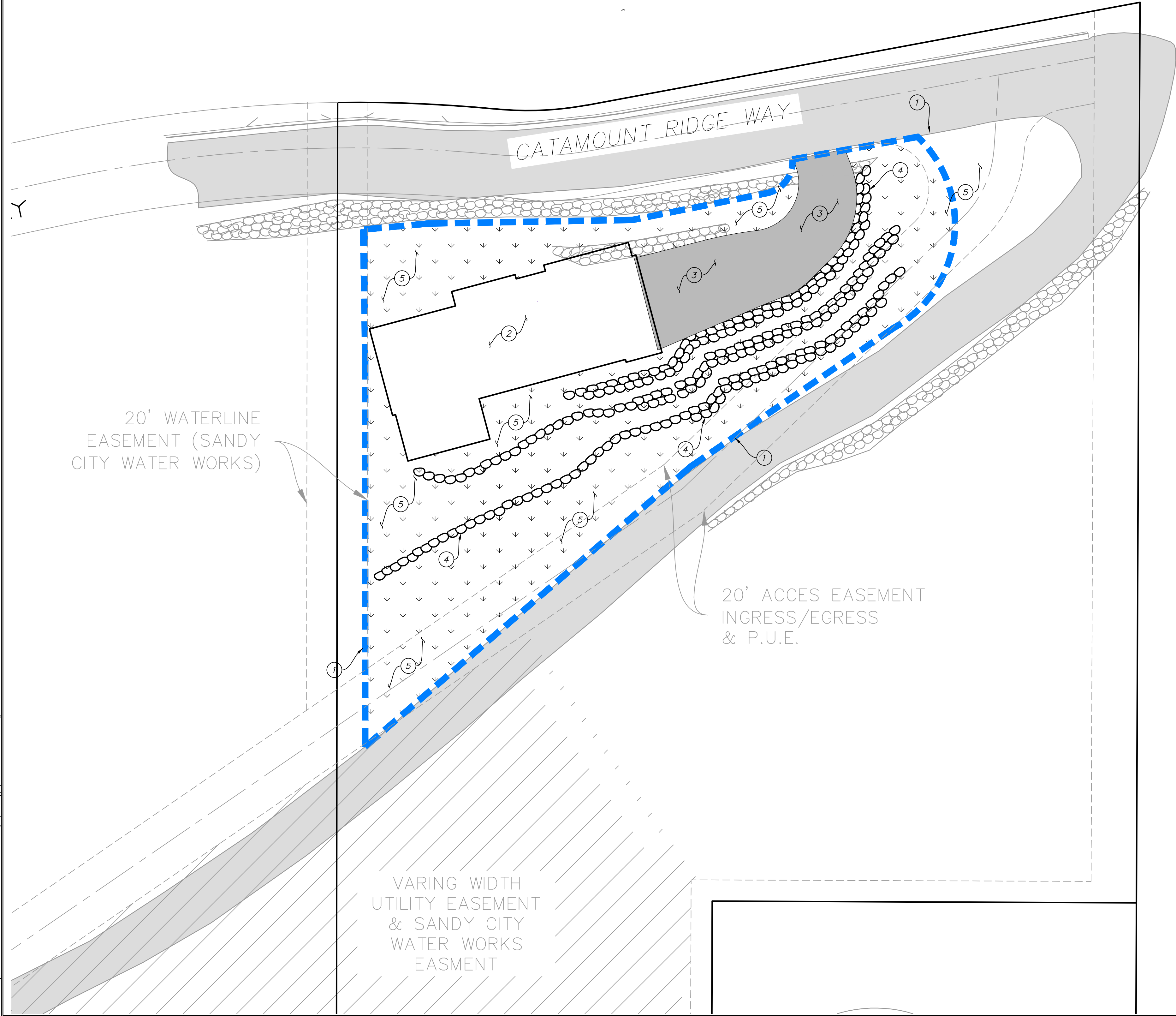
TCC JOB NUMBER: 22-001

SHEET NUMBER

C003

DATE: 1/26/2022 11:20 AM

PATH: N:\22-001 - Your Rozenfeld - Catamount Ridge\Cond\p\C200 SITE PLAN.dwg



GENERAL NOTES:
THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO WEBER COUNTY ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY WEBER COUNTY. ALSO, INSPECTORS WILL HAVE THE RIGHT TO REQUEST CHANGES TO THE FACILITIES AS NEEDED.

DUST MUST BE KEPT TO A MINIMUM. CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTACT POWDER MOUNTAIN WATER & SEWER IMPROVEMENT DISTRICT TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS.

THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE UTAH DEPARTMENT OF ENVIRONMENTAL QUALITY DIVISION OF WATER QUALITY.

ENSURE ALL GRADING SLOPES AWAY FROM STRUCTURE PER IRC R401.3

- SITE KEY NOTES:**
- 1 APPROXIMATE LIMITS OF DISTURBANCE
 - 2 PROPOSED BUILDING FOOTPRINT. REFER TO ARCHITECTURAL PLANS.
 - 3 INSTALL ASPHALT CONCRETE, REFER TO DETAIL A ON SHEET C700 FOR PAVEMENT SECTION.
 - 4 INSTALL ROCKERY WALL. REFER TO STRUCTURAL DETAILS.
 - 5 INSTALL LANDSCAPING.

PRELIMINARY NOT FOR CONSTRUCTION

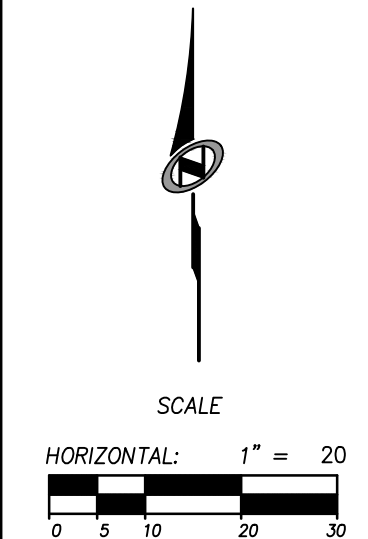


TALISMAN
CIVIL CONSULTANTS
1588 SOUTH MAIN STREET
SUITE 200
SALT LAKE CITY, UT 84115
801.743.1300

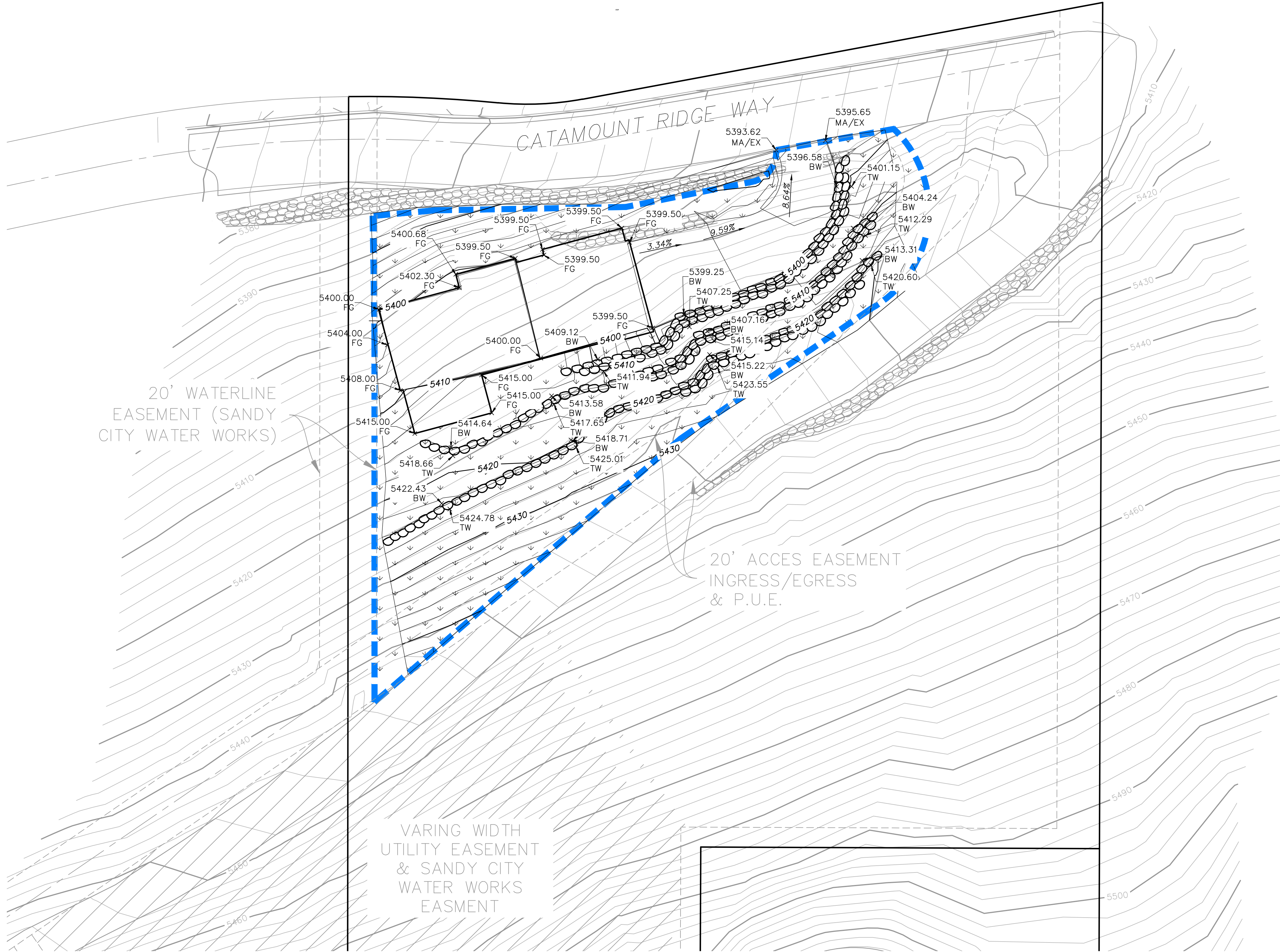
ROZENFELD RESIDENCE
3802 E CATAMOUNT RIDGE WAY, SANDY, UT
SITE PLAN

DATE SUBMITTED: 01.26.2022

TCC JOB NUMBER: 22-001



SHEET NUMBER
C200
5 OF 7



GRADING GENERAL NOTES:

SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING THEM WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED GEOTECHNICAL ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.

CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING SOIL CONDITIONS.

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL AND DUST SUPPRESSION FOR CONSTRUCTION OF THIS PROJECT.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN.

ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES, DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.

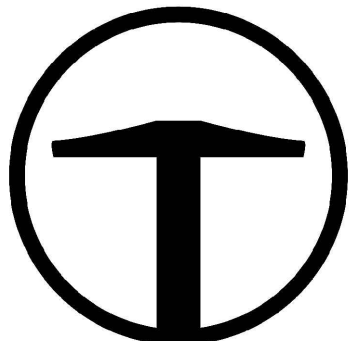
ABBREVIATIONS:

- EX EXISTING GRADE
- FG FINISHED GRADE
- FL FLOWLINE
- MA MATCH
- SW EDGE OF SIDEWALK
- TBC TOP BACK OF CURB
- TG TOP OF GRATE
- CL CENTERLINE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- LP LOW POINT
- FFE FINISHED FLOOR ELEVATION
- GB GRADE BREAK
- TS TOP OF STAIRS
- BS BOTTOM OF STAIRS

LEGEND:

- XXXX EXISTING ELEVATION CONTOURS
- XXXX PROPOSED ELEVATION CONTOURS
- GRADE BREAK

PRELIMINARY NOT FOR CONSTRUCTION

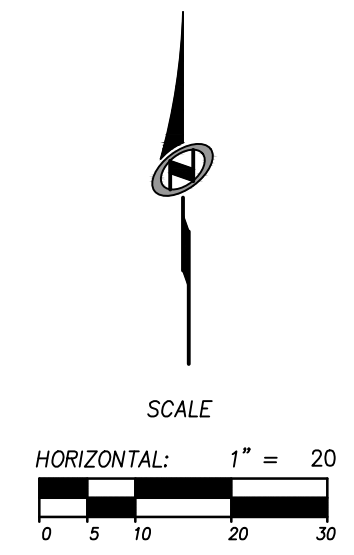


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SUITE 200
SALT LAKE CITY, UT 84115
801.743.1300

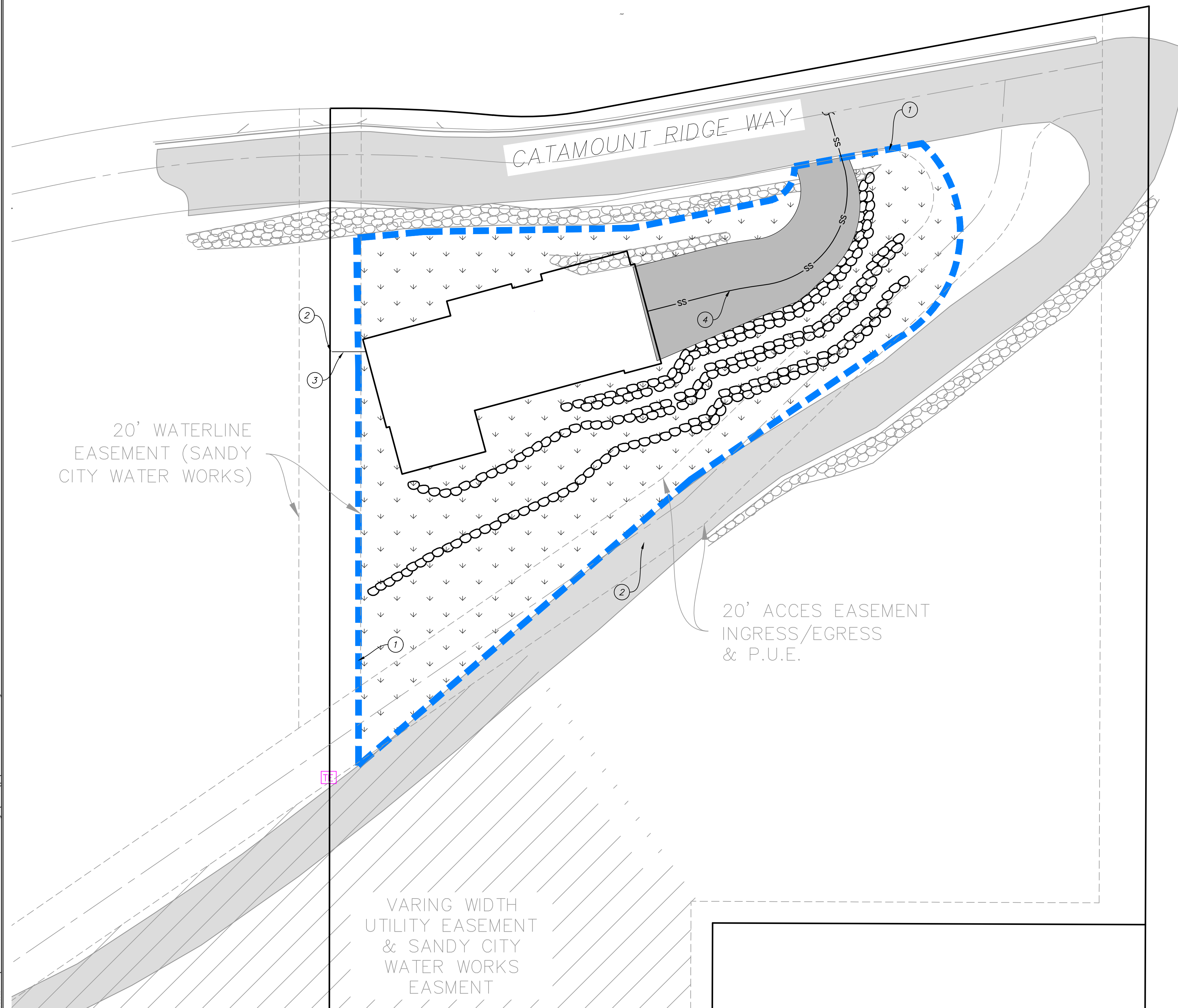
ROZENFELD RESIDENCE
3802 E CATAMOUNT RIDGE WAY, SANDY, UT
GRADING PLAN

DATE SUBMITTED: 01.26.2022

TCC JOB NUMBER: 22-001



SHEET NUMBER
C300
6 OF 7



- ① APPROXIMATE LIMITS OF DISTURBANCE.
- ② WATER LATERAL SERVICE TAP.
- ③ INSTALL 2" PVC WATER SERVICE LATERAL. MINIMUM 5' BELOW FINISHED GRADE.
- ④ INSTALL 4" PVC SEWER LATERAL MINIMUM 5' BELOW FINISHED GRADE.



TALISMAN
CIVIL CONSULTANTS

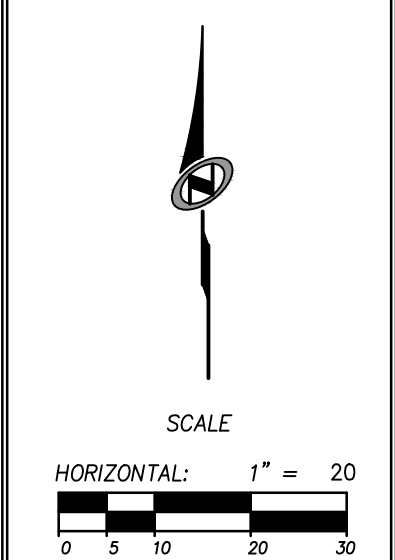
1588 SOUTH MAIN STREET
SUITE 200
SALT LAKE CITY, UT 84115
801.743.1300

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ROZENFELD RESIDENCE
3802 E CATAMOUNT RIDGE WAY, SANDY, UT
UTILITY PLAN

TCC JOB NUMBER: 22-001

DATE SUBMITTED: 01.26.2022



SHEET NUMBER
C400
7 OF 7





1 NORTH (FRONT)
1/4" = 1'-0"



2 EAST (LEFT)
1/4" = 1'-0"

ELEVATIONS

A 1.0

Drawn by: MDM

Checked by: MDM

Project Date: 2021-12-30

Project #: 21-039

THESE PLANS, DRAWINGS, AND DESIGNS ARE THE PROPERTY OF HARBOR DESIGN COMPANY, LLC. ALL RIGHTS ARE RESERVED AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF HARBOR DESIGN COMPANY, LLC. THESE PRINTS ARE RELEASED FOR A ONE TIME USE FOR CONSTRUCTION ON THE SITE WITHIN THE TITLE BLOCK.

THE CONTRACTOR OWNER SHALL CAREFULLY AND THOROUGHLY REVIEW ALL INFORMATION PERTAINING TO THIS SET OF PLANS IN THE EVENT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION. HARBOR DESIGN COMPANY, LLC SHALL BE CONTACTED FOR CLARIFICATION.

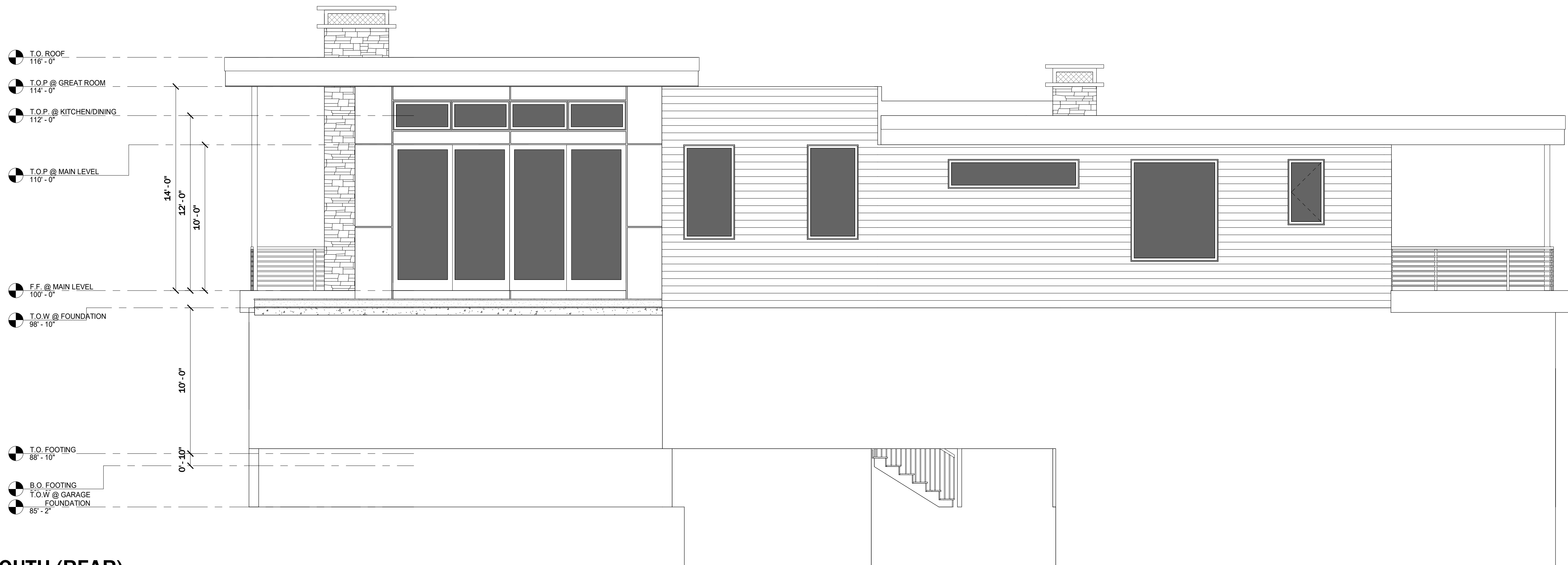
Rosenfeld Residence

3802 E CATAMOUNT RIDGE WAY, SANDY, UTAH

Harbor Design
HOME DESIGN & PLANS
E: milan@harbordesigncompany.com
P: 801.472.0857

A 1.0

1/4" = 1'-0"



1 SOUTH (REAR)
1/4" = 1'-0"



2 WEST (RIGHT)
1/4" = 1'-0"

ELEVATIONS

A 1.1

Drawn by: MDM

Checked by: MDM

Project Date: 2021-12-30

Project #: 21-039

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Rosenfeld Residence
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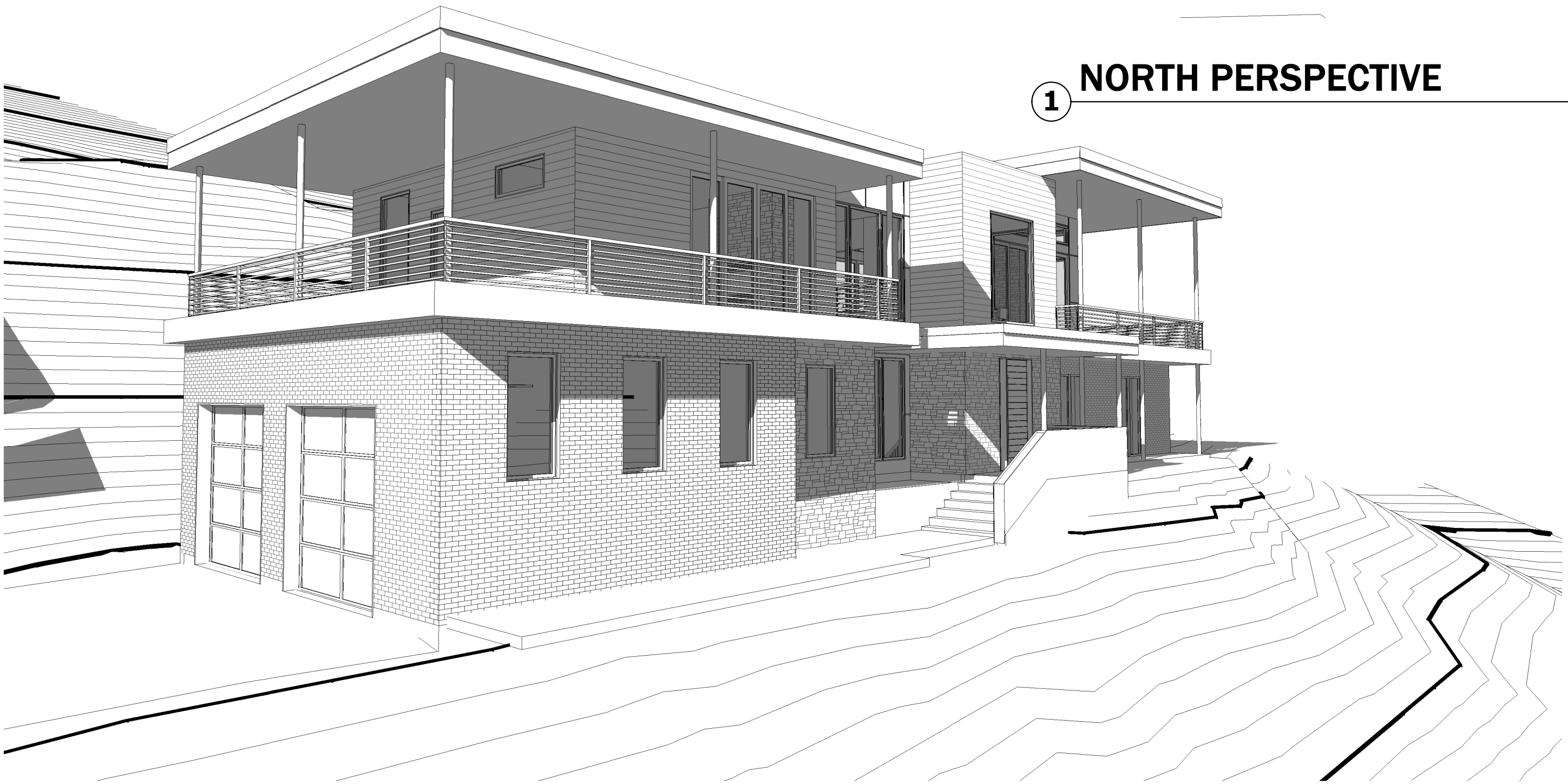
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A 1.1

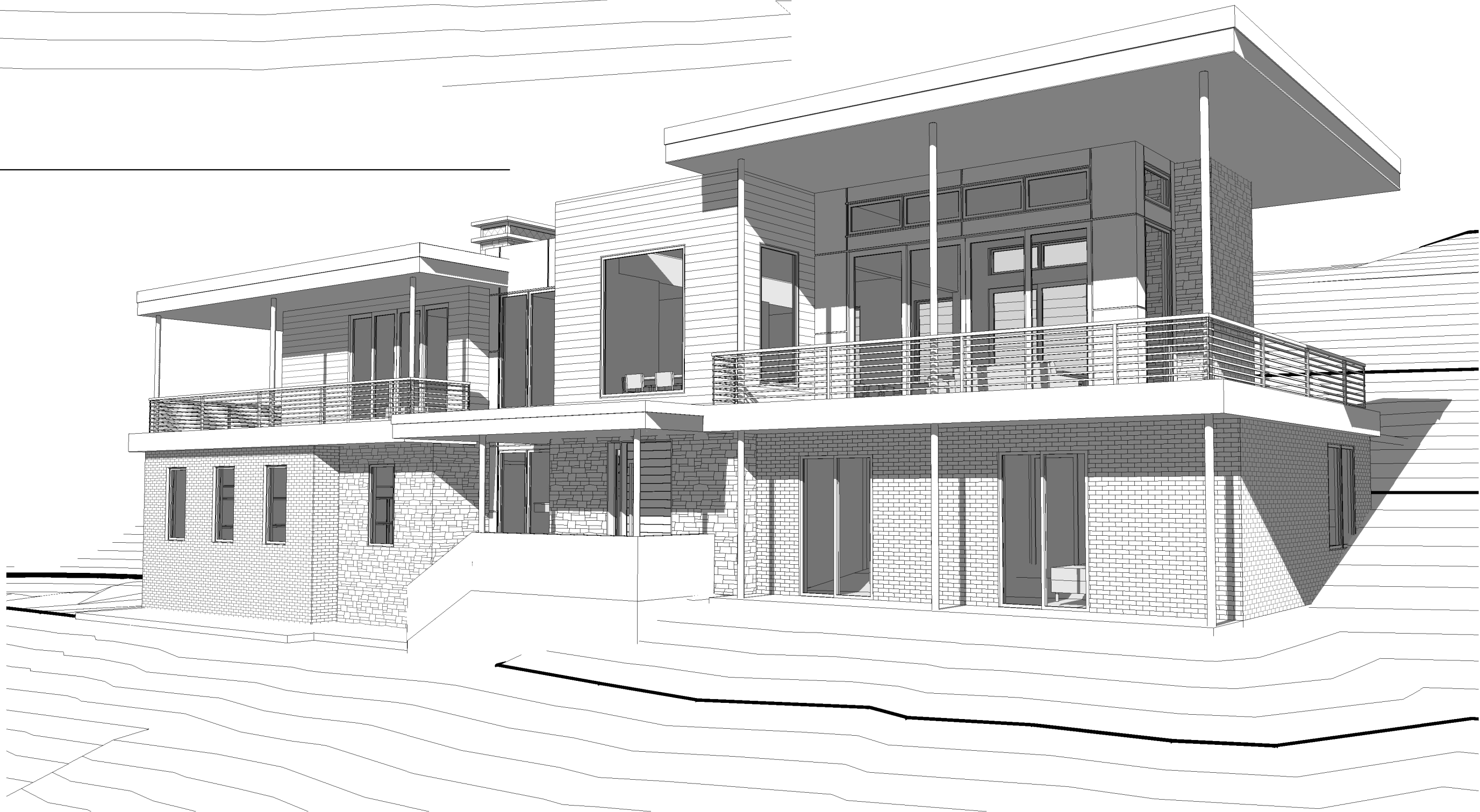
1/4" = 1'-0"



① NORTH PERSPECTIVE



② NORTHEAST PERSPECTIVE



③ NORTHWEST PERSPECTIVE



④ SOUTHEAST PERSPECTIVE



⑤ SOUTHWEST PERSPECTIVE

3D PERSPECTIVE VIEWS

A 1.2

Drawn by: MDM

Checked by: MDM

Project Date: 2021-12-30

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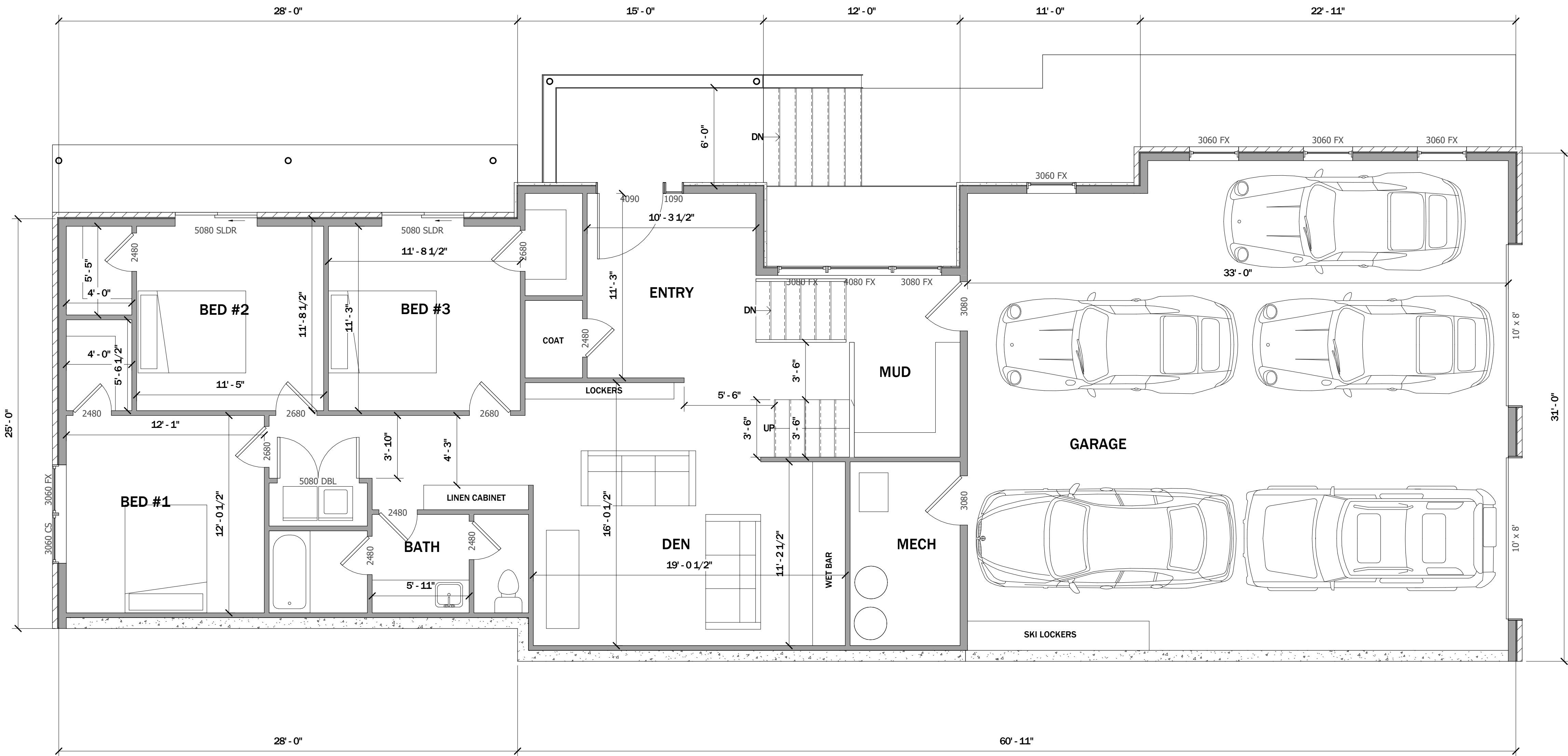
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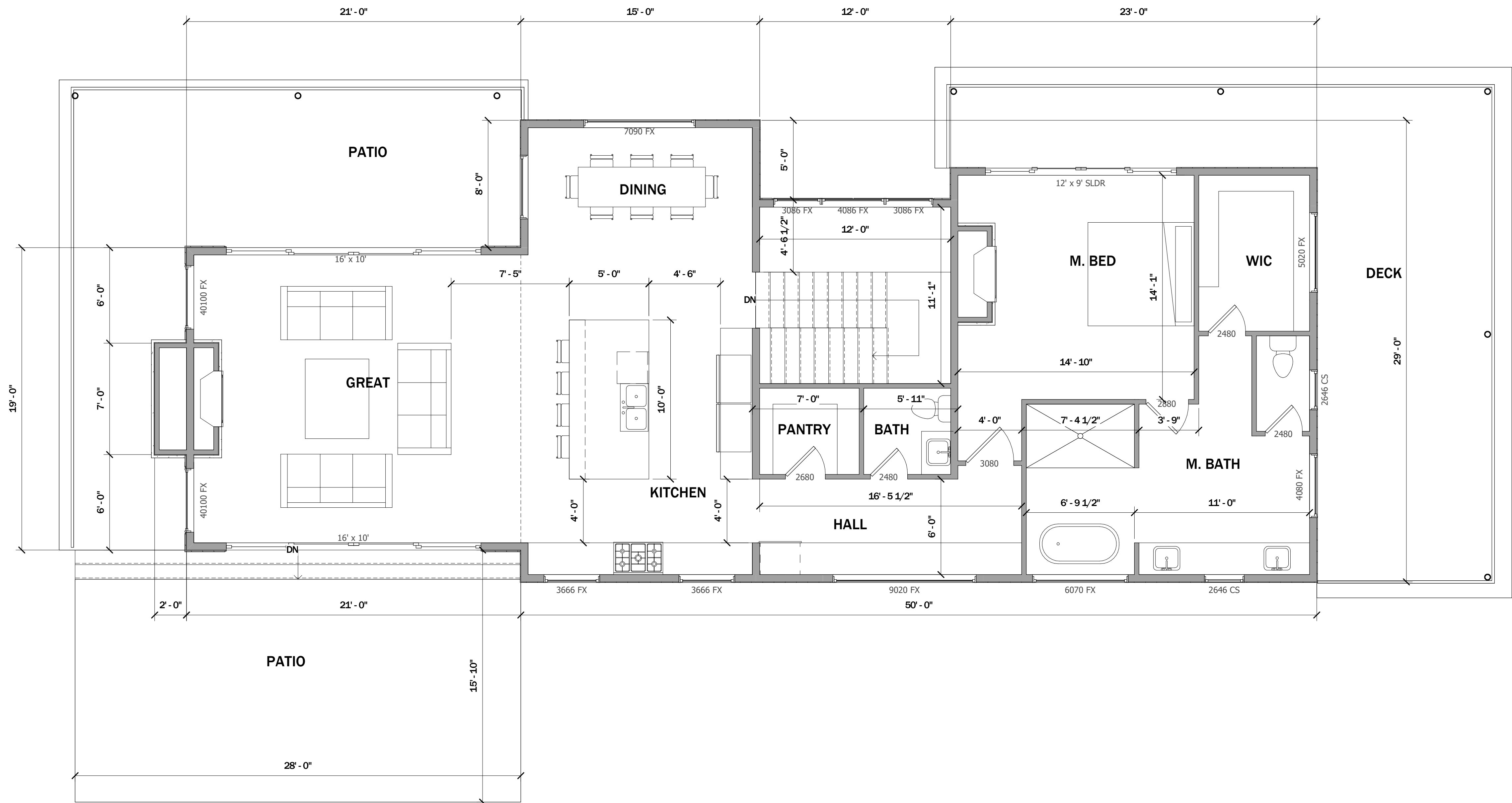
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- PLAN NOTES**
- ALL DIMENSIONS ON FLOOR PLANS ARE TO ROUGH FRAMING U.N.O. CONTRACTOR TO VERIFY ALL DIMENSIONS
 - IT IS RESPONSIBILITY OF CONTRACTOR AND EACH SUB-CONTRACTOR TO CHECK AND UNDERSTAND ALL DIMENSIONS, NOTES, AND ANY OTHER ASPECTS OF THIS PROJECT THAT ARE APPLICABLE OT THEIR TRADE PRIOR TO CONSTRUCTION.
 - EXTERIOR WALL FRAMING TO BE 2x6, INTERIOR WALL FRAMING TO BE 2x4 U.N.O.
 - PROVIDE 5/8" TYPE X' GYPSUM BOARD ON GARAGE CEILING, WALLS, BEAMS, ETC.
 - PROVIDE 1/2" GYPSUM BOARD AT ENCLOSED SPACE UNDER STAIRS.
 - PROVIDE INSULATION ON WATER LINES INSTALLED IN EXTERIOR WALLS TO PREVENT FREEZING.
 - ALL CONCRETE STEPS TO HAVE A MINIMUM RUN OF 11"
 - PROVIDE 36" x 36" MIN. LANDING w/ 1 1/2" MAX. (7 3/4" IF DOOR SWINGS INTO THE RESIDENCE) DROP BETWEEN THRESEHOLD AND LANDING.
 - PROVIDE 20 MIN. RATED DOOR w/ CLOSER FOR THE DOOR BETWEEN GARAGE AND THE HOUSE.
 - PROVIDE MIN. 36" TALL GUARDRAIL w/ VERT BALUSTERS SPACE SUCH THAT A 4" DIA. BALL CAN NOT PASS THROUGH AT ALL BALCONIES, PORCHES OR ANY RAISE FLOOR SURFACES 30" ABOVE THE FLOOR OR GRADE.
 - EXTERIOR DECKS OR BALCONIES, PORCHES, SPECIALLY THEIR GIRDERS, BEAMS, JOISTS AND DECKING SHALL BE OF A NATURALLY DURABLE OR PRESSURE-PRESERVATIVE TREATED WOOD.
 - FASTENERS AND CONNECTORS FOR PRESSURE-PRESERVATIVE WOOD SHALL BE HOT DIPPED ZINC COATED (ASTM A 653 TYPE G185 ZINC COATED) OR STAINLESS STEEL
 - PROVIDE FLASHING OVER ALL EXPOSED WOOD CONNECTIONS AND ANY WOOD PROJECTIONS FROM THE HOME.

LOWER LEVEL 1436 SF
GARAGE 1019 SF

LOWER LEVEL PLAN



MAIN 1720 SF

MAIN FLOOR PLAN

PLAN NOTES

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7. ALL CONCRETE STEPS TO HAVE A MINIMUM RUN OF 11"
8. PROVIDE 36" x 36" MIN. LANDING w/ 1 1/2" MAX. (7 3/4" IF DOOR SWINGS INTO THE RESIDENCE) DROP BETWEEN THRESEHOLD AND LANDING.
9. PROVIDE 20 MIN. RATED DOOR w/ CLOSER FOR THE DOOR BETWEEN GARAGE AND THE HOUSE.
10. PROVIDE MIN. 36" TALL GUARDRAIL w/ VERT BALUSTERS SPACE SUCH THAT A 4" DIA. BALL CAN NOT PASS THROUGH AT ALL BALCONIES, PORCHES OR ANY RAISE FLOOR SURFACES 30" ABOVE THE FLOOR OR GRADE.
11. EXTERIOR DECKS OR BALCONIES, PORCHES, SPECIALLY THEIR GIRDERS, BEAMS, JOISTS AND DECKING SHALL BE OF A NATURALLY DURABLE OR PRESSURE-PRESERVATIVE TREATED WOOD.
12. FASTENERS AND CONNECTORS FOR PRESSURE-PRESERVATIVE WOOD SHALL BE HOT DIPPED ZINC COATED (ASTM A 653 TYPE G185 ZINC COATED) OR STAINLESS STEEL.
13. PROVIDE FLASHING OVER ALL EXPOSED WOOD CONNECTIONS AND ANY WOOD PROJECTIONS FROM THE HOME.

A 3.0

Drawn by: MDM

Checked by: Checker

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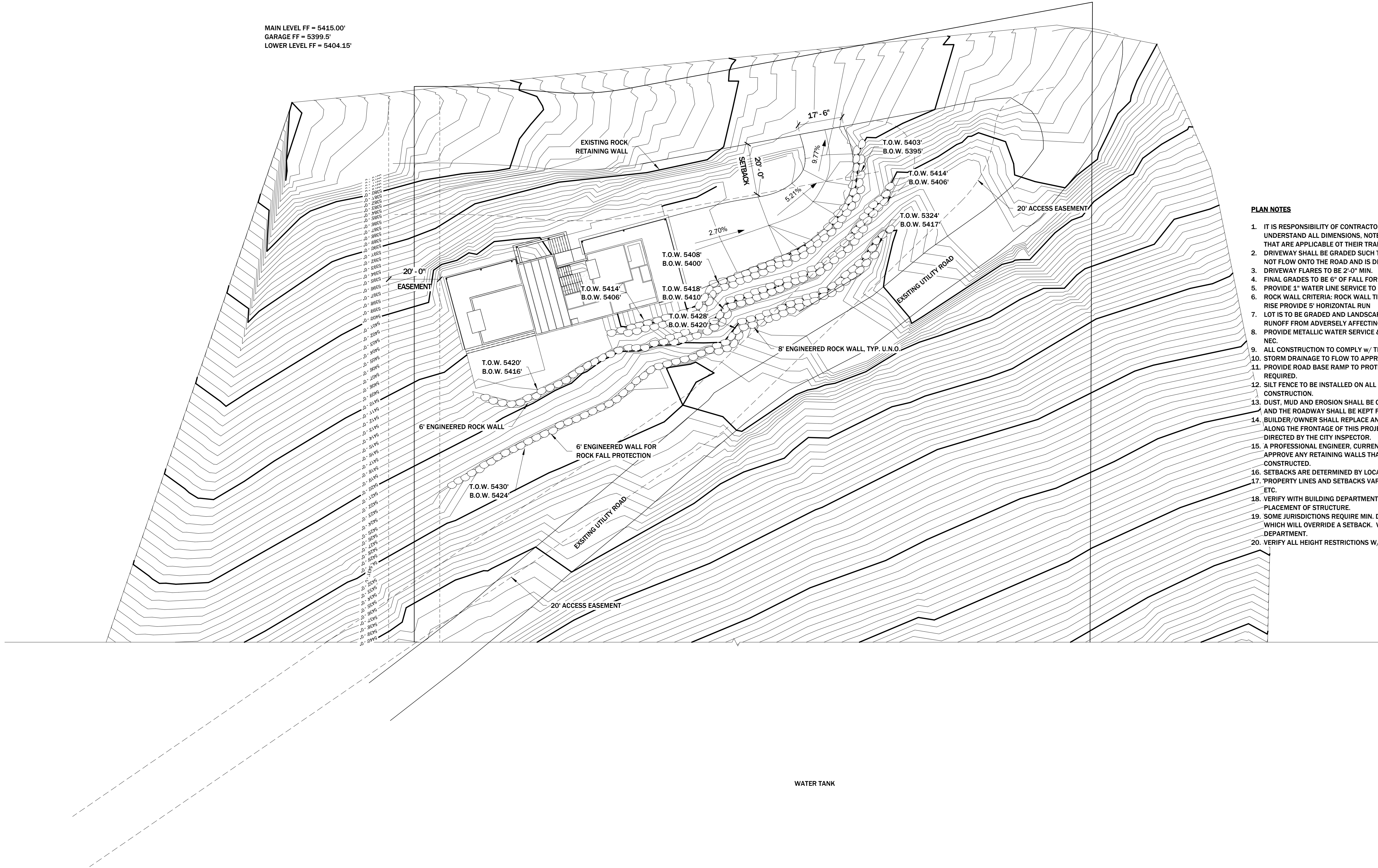
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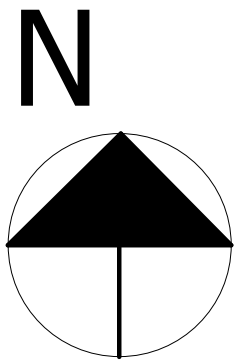
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A 3.0

1/4" = 1'-0"



- PLAN NOTES**
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 2. DRIVEWAY SHALL BE GRADED SUCH THAT WATER DRAINING OFF THE DRIVE DOES NOT FLOW ONTO THE ROAD AND IS DIVERTED INTO A ROADSIDE DITCH OR GUTTER
 3. DRIVEWAY FLARES TO BE 2'-0" MIN.
 4. FINAL GRADES TO BE 6' 0" OF FALL FOR THE FIRST 10'-0" AWAY FROM THE HOME.
 5. PROVIDE 1" WATER LINE SERVICE TO HOUSE
 6. ROCK WALL CRITERIA: ROCK WALL TIERS NOT TO EXCEED 4' HIGH VERT. FOR EVERY 4' RISE PROVIDE 5' HORIZONTAL RUN
 7. LOT IS TO BE GRADED AND LANDSCAPED IN A MANNER THAT WILL PREVENT WATER RUNOFF FROM ADVERSELY AFFECTING ADJOINING PROPERTY LINES.
 8. PROVIDE METALLIC WATER SERVICE & CONCRETE ENCASED ELECTRODE PER 2011 NEC.
 9. ALL CONSTRUCTION TO COMPLY w/ THE 2012 INTERNATIONAL BUILDING CODE.
 10. STORM DRAINAGE TO FLOW TO APPROVED STORM DRAIN SYSTEM.
 11. PROVIDE ROAD BASE RAMP TO PROTECT PAVED ROAD, CURB AND SIDEWALK AS REQUIRED.
 12. SILT FENCE TO BE INSTALLED ON ALL DOWNHILL PROPERTY LINES PRIOR TO CONSTRUCTION.
 13. DUST, MUD AND EROSION SHALL BE CONTROLLED BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES.
 14. BUILDER/OWNER SHALL REPLACE ANY EXISTING SIDEWALK OR CURB & GUTTER ALONG THE FRONTAGE OF THIS PROJECT THAT IS FOUND TO BE DEFECTIVE, AS DIRECTED BY THE CITY INSPECTOR.
 15. A PROFESSIONAL ENGINEER, CURRENTLY LICENSED IN UTAH, SHALL INSPECT AND APPROVE ANY RETAINING WALLS THAT ARE HIGHER THAN 4 FEET, ONCE CONSTRUCTED.
 16. SETBACKS ARE DETERMINED BY LOCAL ZONING ORDINANCES.
 17. *PROPERTY LINES AND SETBACKS VARY IN RELATIONSHIP TO THE STREET, SIDEWALK, ETC.
 18. VERIFY WITH BUILDING DEPARTMENT AND/OR SURVEYOR FOR ACCURATE PLACEMENT OF STRUCTURE.
 19. SOME JURISDICTIONS REQUIRE MIN. DISTANCES BETWEEN ADJACENT STRUCTURES WHICH WILL OVERRIDE A SETBACK. VERIFY w/ LOCAL BUILDING / ZONING DEPARTMENT.
 20. VERIFY ALL HEIGHT RESTRICTIONS W/ LOCAL BUILDING / ZONING DEPARTMENT.



SITE PLAN

C 1.0

Drawn by: Author

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C 1.0

1" = 20'-0"