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CALL BLUESTAKES
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PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK
WEST QUARTER CORNER OF SECTION 12,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
ELEV = 5240.94'

ENSIGN
THE STANDARD IN ENGINEERING

SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

SURVEYOR'S NARRATIVE

I, Patrick M. Harris do hereby state that I am a Professional Land Surveyor and that I hold certificate no. 286882 as prescribed by the laws of the State of Utah and represent that I have made a survey of the following described property. The Purpose of this survey is to provide a Boundary and Topographic Survey for use by the client. The Basis of Bearing is the line between the West Quarter Corner and the Center of Section 12, Township 3 South, Range 1 East, Salt Lake Base and Meridian measuring South 89°56'47" East 2629.62 feet.

PROPERTY DESCRIPTION

Beginning at a point on the east line of Lot 4, Mountain Valley Subdivision, said point being South 89°56'47" East 1,673.53 feet along the section line and North 559.90 feet from the West Quarter Corner of Section 12, Township 3 South, Range 1 East, Salt Lake Base and Meridian and running:

thence North 03°12'42" East 90.00 feet along said east line to the northeast corner of said Lot 4;
thence South 85°30'42" West 90.05 feet to a point on the west line of 3775 East Street;
thence South 03°12'42" West 90.00 feet along said west line;
thence North 85°30'42" West 90.05 feet to the point of beginning.

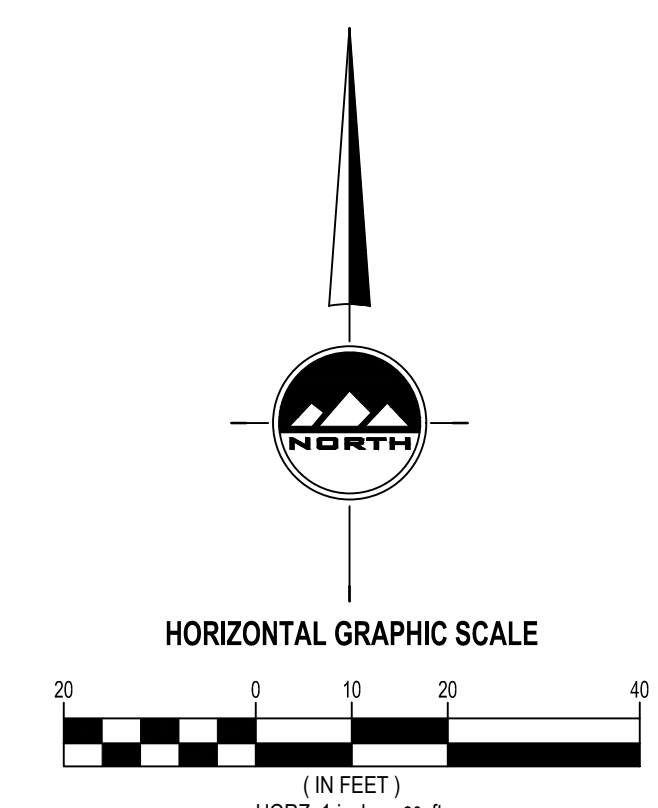
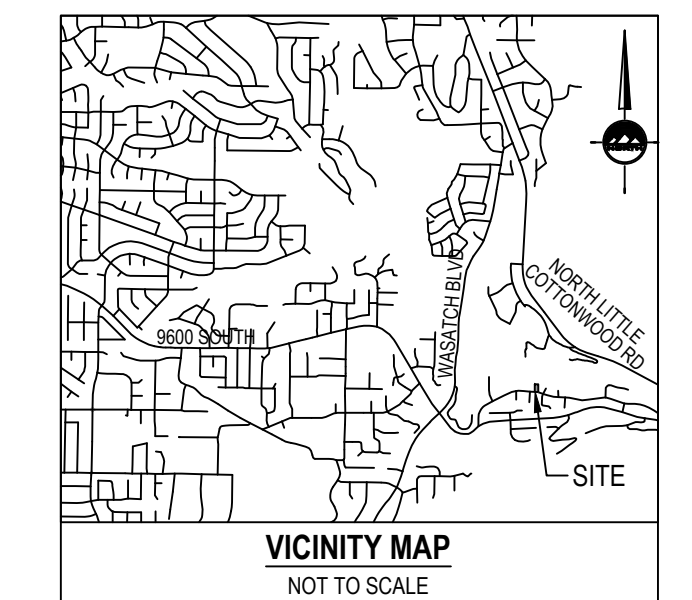
Contains 8,103 square feet or 0.186 acres.

Date 2/27/24
Patrick M. Harris
License No. 286882

LEGEND

| | |
|----------------------------|--|
| ◆ SECTION CORNER | --- ADJACENT RIGHT OF WAY |
| ⊕ MONUMENT | — RIGHT OF WAY |
| ○ EXIST REBAR AND CAP | - - - CENTERLINE |
| ○ SET ENSIGN REBAR AND CAP | — PROPERTY LINE |
| ⊕ WATER METER | - - - ADJACENT PROPERTY LINE |
| ⊕ WATER MANHOLE | - - - DEED LINE |
| ⊕ WATER VALVE | - - - TANGENT LINE |
| ⊕ FIRE HYDRANT | - - - EXIST DITCH FLOW LINE |
| ⊕ SECONDARY WATER VALVE | - - - FENCE |
| ⊕ IRRIGATION VALVE | - - - EDGE OF ASPHALT |
| ⊕ SANITARY SEWER MANHOLE | - - - SS - SANITARY SEWER LINE |
| ⊕ STORM DRAIN CLEAN OUT | - - - SD - STORM DRAIN LINE |
| ⊕ STORM DRAIN CATCH BASIN | - - - LD - LAND DRAIN LINE |
| ⊕ STORM DRAIN COMBO BOX | - - - W - CULINARY WATER LINE |
| ⊕ STORM DRAIN CULVERT | - - - SW - SECONDARY WATER LINE |
| ⊕ SIGN | - - - IRR - IRRIGATION LINE |
| ⊕ ELECTRICAL BOX | - - - OHP - OVERHEAD POWER LINE |
| ⊕ UTILITY MANHOLE | - - - E - ELECTRICAL LINE |
| ⊕ UTILITY POLE | - - - G - GAS LINE |
| ⊕ LIGHT | - - - EXISTING CONTOURS |
| ⊕ CABLE BOX | ▨ CONCRETE |
| ⊕ TELEPHONE BOX | ▨ BUILDING |
| ⊕ GAS METER | ▨ PUBLIC DRAINAGE EASEMENT |
| ⊕ TREE | ▨ DENSE VEGETATION PREVENTING ACCESS FOR ACCURATE SURVEY |
| ⊕ SHRUB | |

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.

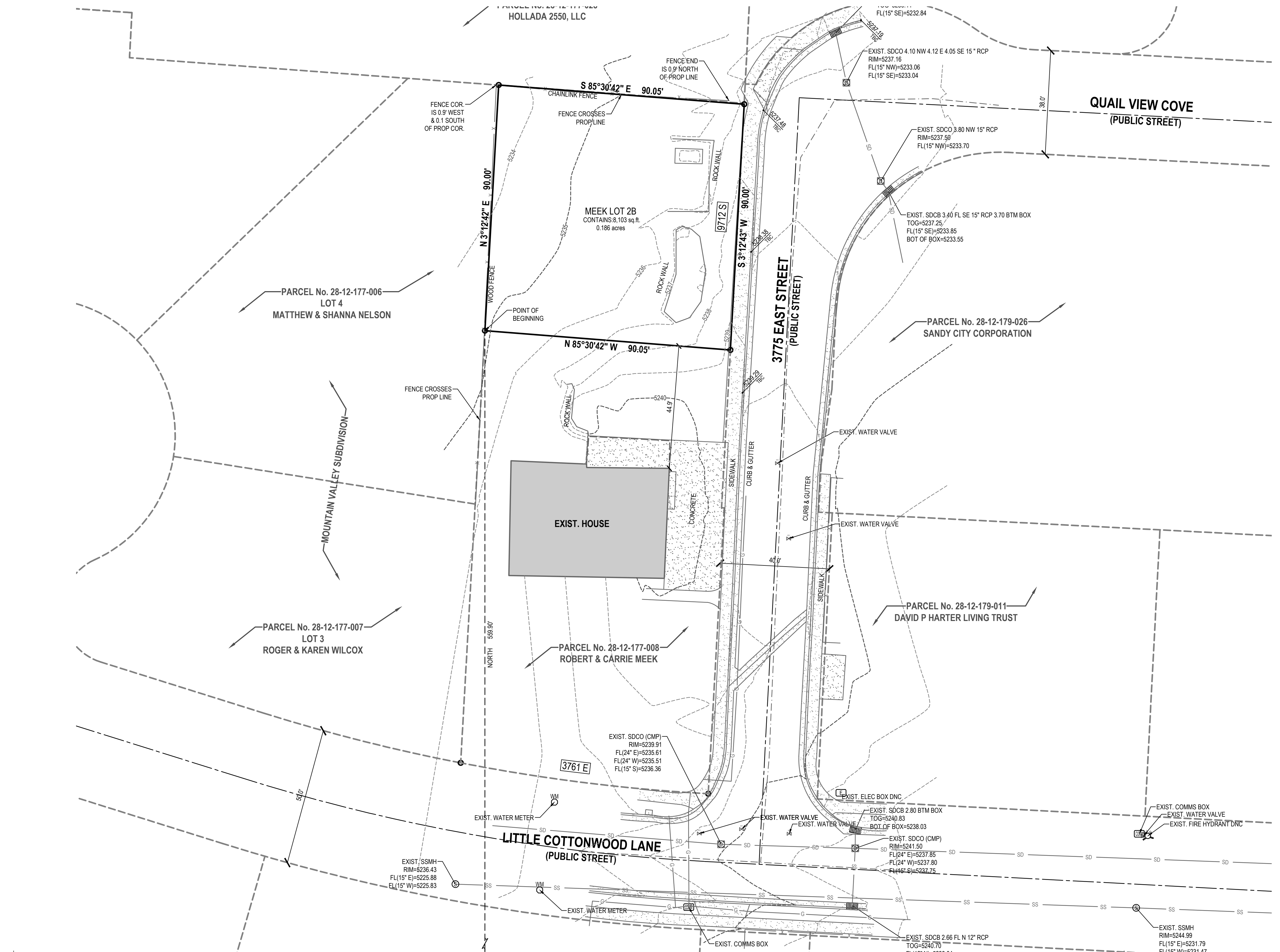


LOCATED IN THE NORTHWEST QUARTER
OF SECTION 12
TOWNSHIP 3 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH

WEST QUARTER CORNER SECTION 12 T3S, R1E, SLB&M (FOUND LEAD PLUG IN STONE) 1673.53'

S 89°56'47" E BASIS OF BEARING 2629.62' (MEASURED)

CENTER OF SECTION 12 T3S, R1E, SLB&M (FOUND STANDARD 2.5" FLAT BRASS CAP) 956.09'



**MEEK LOT 2B
BOUNDARY & TOPOGRAPHIC SURVEY**
9712 SOUTH 3775 EAST
SANDY, UTAH, 84092



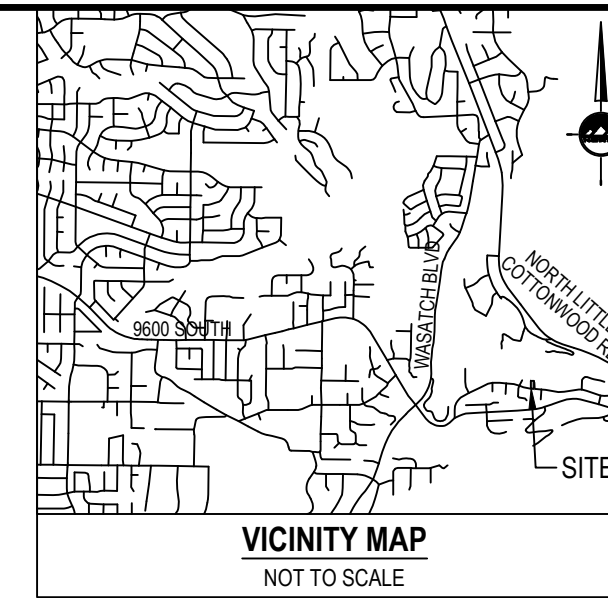
BOUNDARY & TOPOGRAPHIC SURVEY

PROJECT NUMBER 4978K PRINT DATE 2024-03-27
PROJECT MANAGER P. Harris DESIGNED BY B. Greenleaf

MEEK SUBDIVISION

ALSO AMENDING LOT 2 OF MOUNTAIN VALLEY SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 12,
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH
FINAL PLAT



SURVEYOR'S CERTIFICATE
I, PATRICK M. HARRIS, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 28682 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyor's Act. I further certify that, by authority of the Owners, I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to accurately establish the lateral boundaries of the herein described tract of real property, and has been drawn correctly to the designated scale and is a true and correct representation of the herein described lands included in said subdivision, based upon data compiled from records of the county recorder's office. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION

Beginning at the Southwest Corner of Lot 2 of Mountain Valley Subdivision, recorded in Book 78-11 at Page 319 in the Office of the Salt Lake County Recorder, said point also being South 89°56'47" East 1,666.86 feet along the section line and North 395.87 feet from the West Quarter Corner of Section 12, Township 3 South, Range 1 East, Salt Lake Base and Meridian; and running

- thence along the westerly and northerly boundary line of said Lot 2 the following two (2) courses:
(1) North 03°12'42" East 248.27 feet;
(2) South 85°30'42" East 90.05 feet to the westerly right-of-way line of 3775 East Street;
thence along said westerly right-of-way line the following three (3) courses:
(1) South 03°12'43" West 147.77 feet;
(2) South 86°47'18" East 1.00 feet;
(3) South 03°12'42" West 104.69 feet to the northerly right-of-way line of Cottonwood Lane;
thence Northwesterly 91.31 feet along the arc of a 657.91 foot radius curve to the right (center bears North 03°08'03" East and the chord bears North 62°53'23" West 91.24 feet with a central angle of 07°57'08") along said northerly right-of-way line to the point of beginning.

Contains 22,738 Square Feet or 0.522 Acres and 2 Lots



DATE _____ PATRICK M. HARRIS
P.L.S. 28682

- LEGEND**
- EXISTING STREET MONUMENT
 - SECTION CORNER
 -
 - BOUNDARY LINE
 - SECTION LINE
 - SECTION TIE LINE
 - CENTER LINE
 - EASEMENT LINE
 - ADJOINING BOUNDARY LINE
 - THIS AREA HEREBY DEDICATED TO SANDY CITY AS RIGHT-OF-WAY FOR PUBLIC AND UTILITY USES

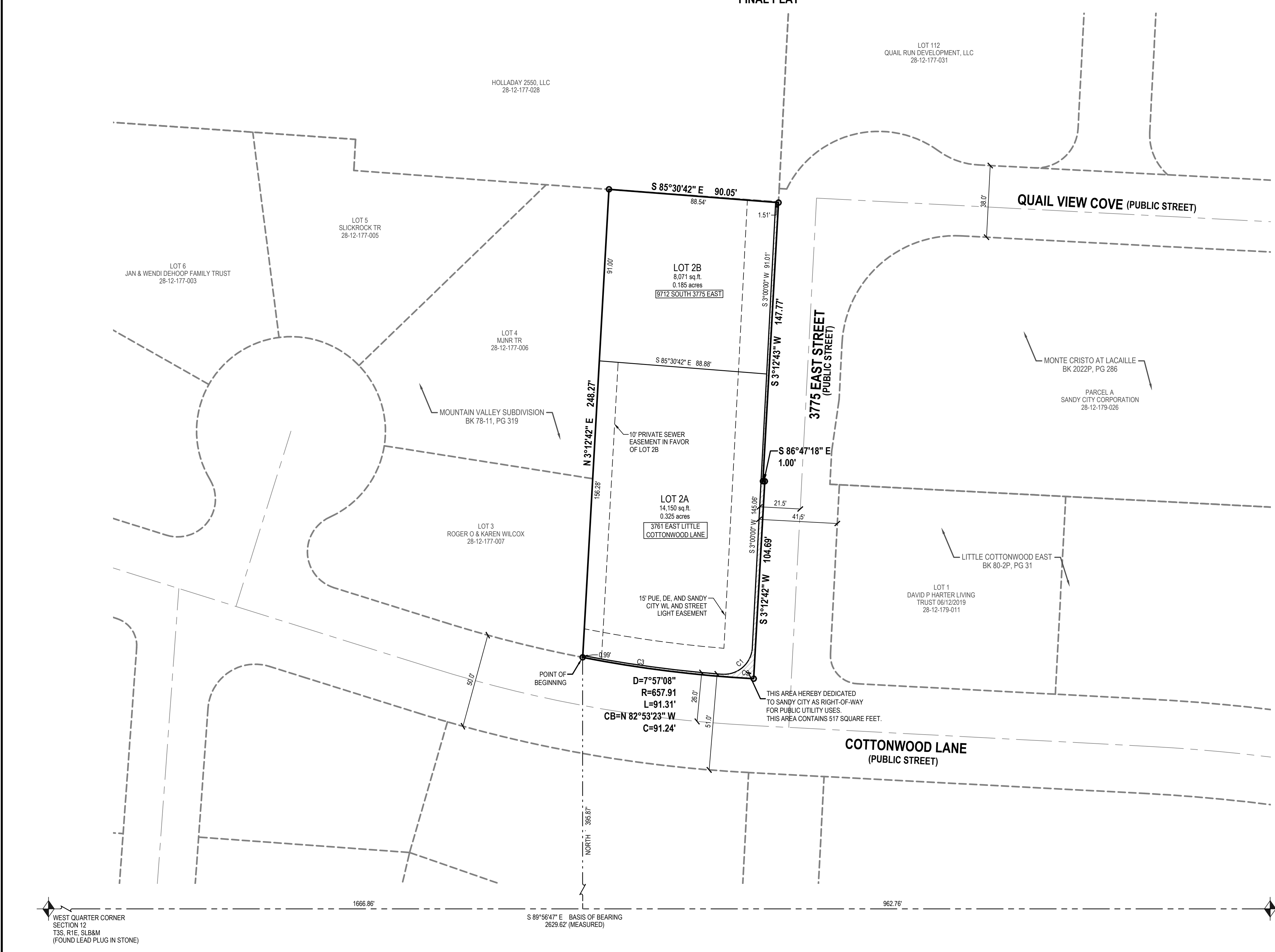
SANDY CITY GENERAL PLAT NOTES

- REQUIREMENTS HAVE BEEN IMPOSED RELATING TO THE DEVELOPMENT OF THIS SUBDIVISION AND DEVELOPMENT ON EACH OF THE LOTS.
- BUILDING PERMITS/CERTIFICATES OF OCCUPANCY MAY NOT BE ISSUED UNTIL CERTAIN IMPROVEMENTS HAVE BEEN INSTALLED.
- CERTAIN MEASURES ARE REQUIRED TO CONTROL BLOWING SOIL AND SAND DURING CONSTRUCTION ON A LOT.
- NO DRIVEWAYS SHALL BE CONSTRUCTED SO AS TO SLOPE TOWARD ANY STRUCTURES WITHOUT WRITTEN PERMISSION FROM SANDY CITY ENGINEER.
- EVIDENCE THAT THE CONTRACTOR HAS A SANDY CITY PERMIT TO WORK IN THE PUBLIC WAY SHALL BE PRESENTED TO THE BUILDING DIVISION PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT THE PUBLIC WORKS DEPARTMENT FOR MORE INFORMATION.
- EACH RESIDENTIAL LOT IS REQUIRED TO RETAIN STORM WATER ON SITE, EXCEPT FOR THE PORTION OF THE LOT THAT DRAINS TOWARD THE STREET AND/OR TO SUBDIVISION STORM WATER FLOW CONTROL FEATURE(S) AS LONG AS THE DOWNSTREAM STORM WATER SYSTEM CAN ACCOMMODATE THE FLOWS. DURING AND AFTER CONSTRUCTION, THIS CAN BE ACCOMPLISHED BY USE OF SWALES, RETENTION AREAS, BERMS, PLANTER BEDS, UNDERGROUND INFILTRATION, ETC.
- PROPERTIES ARE TO BE GRADED SUCH THAT STORM WATER RUNOFF WILL DRAIN AWAY FROM STRUCTURES AND TOWARDS PROPERTY BOUNDARIES; HOWEVER, NEW DEVELOPMENT OR REDEVELOPMENT SHALL NOT INCREASE THE BURDEN OF STORM WATER ON NEIGHBORING AND/OR DOWNSTREAM PROPERTIES.
- THE CITY SHALL BE GIVEN THE FIRST RIGHT OF REFUSAL TO PURCHASE WATER RIGHTS ACCOMPANYING THE PROPERTY IN THIS DEVELOPMENT.

THE REQUIREMENTS AND CONDITIONS SET FORTH IN NOTES 1-7 ABOVE ARE DETAILED IN THE SANDY CITY COMMUNITY DEVELOPMENT AND ENGINEERING FILES (KNOWN AS SUB-) AS SUCH FILES EXIST AS OF THE DATE OF THE RECORDING OF THE PLAT. THE CONDITIONS OF APPROVAL IMPOSED BY THE SANDY CITY PLANNING COMMISSION, THE SANDY CITY STANDARD SPECIFICATION FOR SANDY BUILDING CODE, AND THE SANDY CITY LAND DEVELOPMENT CODE, REQUIREMENTS MAY BE IMPOSED AS REQUIRED BY THE APPLICABLE SANDY CITY ORDINANCES AT THE TIME OF ADDITIONAL DEVELOPMENT APPLICATIONS AND APPROVALS RELATED TO THE SUBJECT PROPERTY.

PLAT NOTES

- SHALLOW SEWER DEPTHS: CONTRACTOR SHALL VERIFY SEWER LATERAL DEPTH AND SET FOUNDATION ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.
- 58" X 24" REBAR WITH SURVEY CAP TO BE PLACED AT ALL LOT CORNERS. CAP SHALL BE STAMPED WITH THE SURVEY COMPANY'S NAME, OR AN ABBREVIATION THEREOF, OR THE ABBREVIATION, "P.L.S." FOLLOWED BY THE LICENSE NUMBER OF THE SURVEYOR IN CHARGE. IN LIEU OF REBAR AND CAP AT LOT FRONT CORNERS, COPPER OFF-SET PLUGS ARE TO BE PLACED IN THE TOP OF THE CURB, AT THE POINT OF INTERSECTION OF THE LOT LINE, EXTENDED, AND THE MIDDLE OF THE TOP OF CURB



ROCKY MOUNTAIN POWER NOTES:
1. PURSUANT TO UTAH CODE ANN. § 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. § 17-27A-6(3)(4)(C)(II) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
2.1. A RECORDED EASEMENT OR RIGHT-OF-WAY
2.2. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
2.3. TITLE 54, CHAPTER 9A, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
2.4. ANY OTHER PROVISION OF LAW.

Domion Energy Utah - Note:
Questar Gas Company, dba Dominion Energy Utah, hereby approves this plat solely for the purposes of confirming that the plat contains public utility easements. Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute attestation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat, including those set in the Owners' Declaration or in the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department at 800-366-8532.

DEVELOPER
ROBERT & CARRIE MEEK
3761 LITTLE COTTONWOOD LANE
SANDY, UT

RECORD OF SURVEY
ROS NO.: S-2021-0340177
COUNTY SURVEYOR REVIEWER: _____ DATE: _____



SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529
WWW.ENSIGNENG.COM

LAYTON
Phone: 801.547.1100
TOOLHE
Phone: 435.643.3300
CEMART CITY
Phone: 435.865.1453
ROCHELLE
Phone: 435.698.2963

SHEET 1 OF 1
PROJECT NUMBER: 4978K
MANAGER: DAJ
DRAWN BY: JFH
CHECKED BY: KPW
DATE: 2024-03-27

CITY PARKS & RECREATION APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE SANDY CITY PARKS & RECREATION DEPARTMENT.
SANDY CITY PARKS & RECREATION DEPARTMENT

EASEMENT APPROVAL

| | |
|----------------------|------|
| CENTURYLINK | DATE |
| ROCKY MOUNTAIN POWER | DATE |
| DOMINION ENERGY UTAH | DATE |
| COMCAST | DATE |

SALT LAKE COUNTY HEALTH DEPARTMENT APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE SALT LAKE COUNTY HEALTH DEPARTMENT.
SALT LAKE COUNTY HEALTH DEPARTMENT

PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE SANDY CITY PLANNING COMMISSION
CHAIR, SANDY CITY PLANNING COMMISSION

COTTONWOOD IMPROVEMENT DISTRICT
APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE COTTONWOOD IMPROVEMENT DISTRICT
COTTONWOOD IMPROVEMENT DISTRICT, MANAGER

CITY ENGINEER APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE SANDY CITY ENGINEER.
SANDY CITY ENGINEER

PUBLIC UTILITIES DEPARTMENT APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE SANDY CITY PUBLIC UTILITIES DEPARTMENT
SANDY CITY PUBLIC UTILITIES DEPARTMENT, ENGINEERING MANAGER

SANDY CITY MAYOR APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE SANDY CITY MAYOR.
MAYOR ATTEST: CLERK

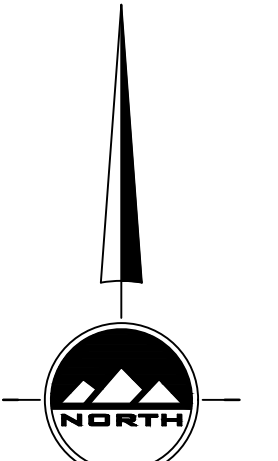
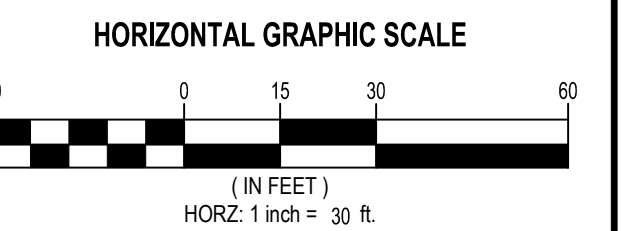
CITY ATTORNEY'S APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20____
BY THE SANDY CITY ATTORNEY.
SANDY CITY ATTORNEY

SALT LAKE COUNTY RECORDER
RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FEES _____ DEPUTY SALT LAKE COUNTY RECORDER

MEEK SUBDIVISION

ALSO AMENDING LOT 2 OF MOUNTAIN VALLEY SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 12,
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH



OWNER'S DEDICATION
Know all men by these presents that the undersigned (and the owner(s) (hereafter, "the undersigned Owner") of the above-described tract of land and the undersigned Owner do hereby cause the same to be divided into lots, parcels, and streets, together with easements, as set forth, to be hereafter known as

MEEK SUBDIVISION
and that the undersigned Owners do hereby dedicate to Sandy City, for perpetual use, all streets and other areas shown on this plat as intended for public and utility uses. The undersigned Owners also hereby convey to any and all public utility companies a perpetual, non-exclusive public utility easement ("PUE" or "P.U.E.") as shown on this plat, the same to be used for the installation, maintenance and operation of utility lines and facilities. The undersigned owners also do hereby convey to Sandy City and waterline ("WL" or "W.L.") easements and a street light easement for the installation, maintenance and operation of public water line and street light facilities. The undersigned owners also do hereby convey a drainage easement ("DE" or "D.E.") and any other easements, as shown on this plat, to the parties indicated by those easements, the same to be used for the installation, maintenance and operation of the facilities, or for other typical purposes, indicated by those easements, as shown herein.
In witness whereof I/we have hereunto set our hand (s) this _____ day of _____, A.D. 20____


ROBERT H. MEEK CARRIE MEEK

INDIVIDUAL ACKNOWLEDGMENT
STATE OF UTAH _____ J.S.S.
County of _____

On the _____ day of _____ A.D. 20____, Robert H. Meek and Carrie Meek, personally appeared before me, the undersigned Notary public, in and for said County of _____ in said State of Utah, who after being duly sworn, acknowledged to me that He/She/They signed the Owner's Dedication, two (2), in number, freely and voluntarily for the purposes therein mentioned.

PRINT NOTARY PUBLIC'S NAME _____
NOTARY PUBLIC'S COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____
RESIDING IN _____ COUNTY.

MEEK SUBDIVISION
ALSO AMENDING LOT 2 OF MOUNTAIN VALLEY SUBDIVISION
LOCATED IN THE NORTHWEST QUARTER OF SECTION 12,
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH



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BENCHMARK

WEST QUARTER CORNER OF SECTION 12,
TOWNSHIP 3 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

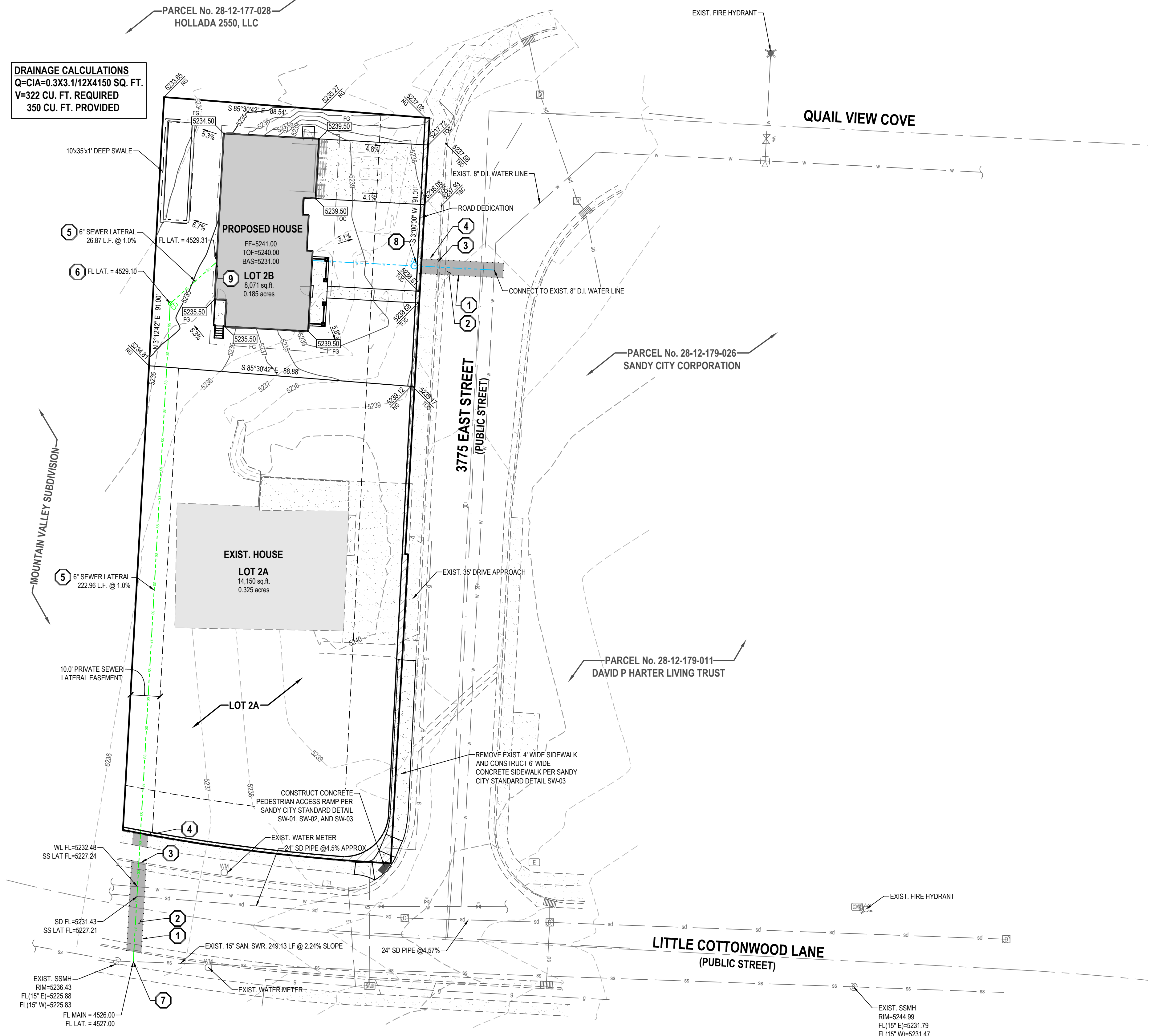
ELEV = 5240.94'

SANDY CITY PUBLIC WORKS GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN A PERMIT TO WORK IN THE PUBLIC WAY (ROAD CUT PERMIT) FROM THE PUBLIC WORKS DEPARTMENT. CONTACT MONICA PETERSEN (801-568-2960, MPETERSEN@SANDY.UTAH.GOV) FOR REQUIREMENTS, TRAFFIC PLAN, BONDING, AND INSURANCE WILL BE REQUIRED (Sec. 10-1).
2. NOTIFY SANDY CITY PUBLIC WORKS INSPECTION DEPARTMENT, 801-568-2999, 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF ANY ROADWAYS OR PUBLIC IMPROVEMENTS, INCLUDING SEWER FACILITIES. ALL INSPECTIONS MUST BE DONE PRIOR TO OR CONCURRENT WITH CONSTRUCTION. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE UNCOVERING AND/OR REMOVAL OF ALL ITEMS INSTALLED WITHOUT NOTIFICATION, AT THE DISCRETION OF THE CITY ENGINEER.
3. ALL PUBLIC IMPROVEMENTS, WHICH ARE TO BE OWNED AND MAINTAINED BY SANDY CITY, AND ALL PUBLICLY- AND PRIVATELY OWNED AND MAINTAINED ROADS SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION). THE SPECIFICATIONS CAN BE FOUND IN PDF FORMAT ON LINE AT WWW.SANDY.UTAH.GOV (SEARCH FOR "STANDARD SPECIFICATIONS").
4. PROVIDE A PROCTOR TEST, FOR ROADBASE MATERIAL THAT IS TO BE PLACED IN THE PUBLIC RIGHT-OF-WAY, TO THE SANDY CITY PUBLIC WORKS INSPECTOR, WHEN DELIVERED OR PLACED ON SITE.
5. DUST, MUD, AND EROSION SHALL BE ADEQUATELY CONTROLLED, BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS, AT ALL TIMES. HOWEVER, THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS, FOR DUST SUPPRESSION, IS ABSOLUTELY PROHIBITED.
6. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.
7. PRIOR TO RELEASE OF THE IMPROVEMENT COMPLETION ASSURANCE (BOND), THE DEVELOPER SHALL SUBMIT A PDF COPY OF THE CONTRACTOR'S SITE (NOT BUILDING) CONSTRUCTION DRAWING SET TO SANDY CITY PUBLIC WORKS DEPARTMENT. AN AS-BUILT FIELD SURVEY IS NOT REQUIRED. THE AS-BUILT DRAWING MAY BE SUBMITTED BY E-MAIL AT DPOLSEN@SANDY.UTAH.GOV, OR ON A USB FLASH DRIVE, OR THE HARD-COPY ORIGINAL MAY BE SUBMITTED TO SANDY CITY (DAVE POLSEN, 801-568-6058), WHERE THE SET WILL BE SCANNED AND RETURNED TO THE OWNER.
8. BUILDER/OWNER SHALL REPLACE ANY EXISTING SIDEWALK OR CURB & GUTTER, ALONG THE FRONTAGE OF THIS PROJECT, THAT IS FOUND TO BE LIFTED, CHIPPED, CRACKED, SPALLED, OR NOT PROPERLY DRAINING, AS DIRECTED BY THE SANDY CITY INSPECTOR.
9. INSTALL COPPER PROPERTY-CORNER-OFF-SET PLUGS IN THE TOP OF THE CURB, AT THE POINT OF INTERSECTION OF THE LOT LINE, EXTENDED, AND THE MIDDLE OF THE TOP OF CURB.

SANDY CITY WATER NOTES

1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE WORKING DAY (24 HOURS) PRIOR TO BEGINNING ANY CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE FINAL APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
4. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR ALL BEDDING, BACKFILL, PIPE METERS, BOXES, VAULTS, VALVES, FIRE HYDRANTS, BLOWOFFS, VAULTS, ETC. RELATING TO THE WATER SYSTEM. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
5. CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
6. WATER LINES SHALL BE INSTALLED 4 FEET OFF TOP OF GUTTER ON THE NORTH AND/OR EAST SIDE OF ROADWAY. WATER LINES SHALL NOT BE INSTALLED WITHIN OR THROUGH PARKING STALLS OR UNDER CONCRETE PAVEMENT, UNLESS WATER LINE IS TO BE MAINTAINED BY PRIVATE PROPERTY OWNER.
7. A MINIMUM OF 48-INCHES AND A MAXIMUM OF 60-INCHES OF COVER FROM THE TOP OF PIPE TO THE FINISH GRADE IS REQUIRED.
8. FOR CONSTRUCTION EAST OF UTAH TRANSIT AUTHORITY'S TRAX LINE, DUCTILE IRON PIPE, USE THICKNESS CLASS S2 OR BETTER.
9. FOR CONSTRUCTION WEST OF UTAH TRANSIT AUTHORITY'S TRAX LINE, USE POLY(VINYL CHLORIDE) (PVC) PIPE USE CLASS DR-14 OR BETTER, 10 GAUGE WIRE SHALL BE PLACED ON TOP OF THE PIPE (PER SANDY CITY SPECIFICATIONS) FOR FUTURE RELOCATION. NO DEFLECTION IN PIPE JOINTS WILL BE ALLOWED ON PVC PIPES.
10. BECAUSE THE PROJECT IS LOCATED WEST OF THE UTAH TRANSIT AUTHORITY'S TRAX LINE AND UPON RECEIVING APPROVAL FROM SANDY PUBLIC UTILITIES, PVC C-900 (DR-14) SHALL BE USED FOR PIPE SIZE 6" TO 12" IN DIAMETER. PLACE 10-GAUGE WIRE ON TOP OF THE PIPE (PER SANDY CITY STANDARDS SPECIFICATIONS) FOR FUTURE RELOCATION. NO DEFLECTION IN PIPE JOINTS WILL BE ALLOWED ON PVC PIPES. ALL MECHANICAL JOINTS MUST BE MEGA LOGGED OR APPROVED EQUAL.
11. USE 6" COMPRESSION TYPE HYDRANT BY MUELLER CENTURIUM OR CLOW MEDALLION. EXISTING HYDRANTS REQUIRED FOR FIRE PROTECTION THAT DO NOT MEET CURRENT STANDARDS SHALL BE UPGRADED TO MEET CURRENT SANDY CITY STANDARDS.
12. WHEN THE DISTANCE FROM THE WATER MAIN TO THE HYDRANT IS GREATER THAN 6-FEET, AN ADDITIONAL AUXILIARY VALVE SHALL BE FLANGED TO THE FIRE HYDRANT.
13. ALL DEAD ENDS TO BE PLUGGED WITH A 2-INCH WASHOUT OR END WITH A FIRE HYDRANT.
14. ALL DUCTILE IRON WATER LINES, FITTINGS, AND VALVES SHALL BE POLY-BAGGED IN ACCORDANCE WITH SANDY CITY STANDARDS AND SPECIFICATIONS.
15. ALL WATER LINES SHALL BE BEDDED WITH SAND (6-INCHES MINIMUM BELOW AND 12-INCHES MINIMUM ON EACH SIDE AND ON TOP OF THE PIPE).
16. OIL WATER SEPARATORS SUCH AS STORM TECH, BAYSAVER, CDS OIL WATER SEPARATORS, ETC, SHALL HAVE A REPRESENTATIVE ON SITE AND A WRITTEN LETTER FROM THE MANUFACTURER STATING THAT THE SYSTEM WAS INSTALLED AND WILL FUNCTION AS DESIGNED. IF YOU ARE UNSURE IF YOUR SYSTEM WILL NEED A REPRESENTATIVE ON SITE PLEASE CONTACT THE PUBLIC UTILITIES INSPECTORS.

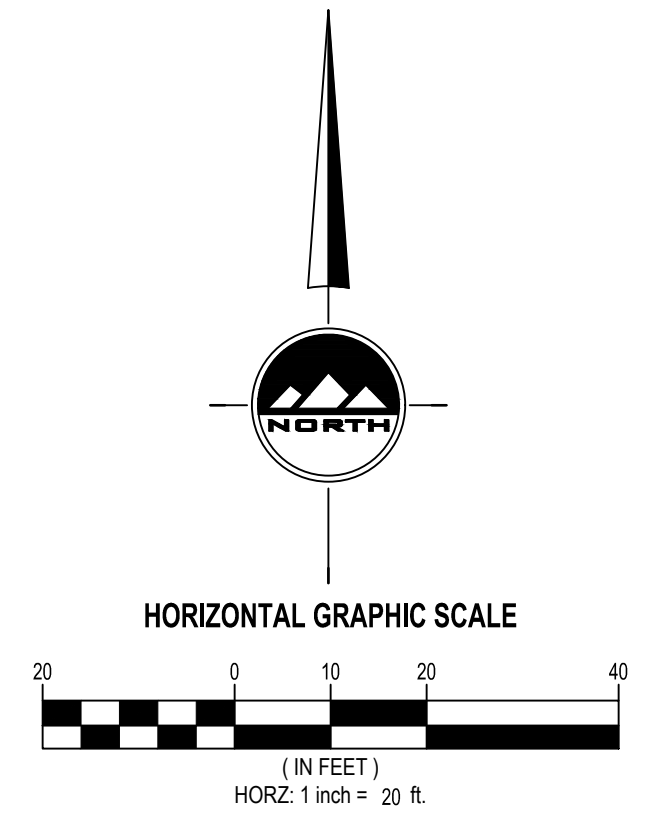



GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3. ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER COTTONWOOD SEWER IMPROVEMENT DISTRICT STANDARD PLANS AND SPECIFICATIONS.
4. ALL WATER INFRASTRUCTURE TO BE INSTALLED PER SANDY CITY PUBLIC UTILITIES STANDARD PLANS AND SPECIFICATIONS.
5. DEFLECT OR LOOP ALL WATER LINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER SANDY CITY PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS.
6. PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
7. THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
8. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
9. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
10. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
11. SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.

SCOPE OF WORK:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
 - 2 REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT.
 - 3 SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE CURBS AND GUTTER.
 - 4 SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE SIDEWALK.
 - 5 6" SDR-35 PVC SANITARY SEWER LATERAL, INCLUDING CLEANOUTS AT MAXIMUM 100-FOOT SPACING, PER COTTONWOOD SEWER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS. LENGTH AND SLOPE PER PLAN.
 - 6 SANITARY SEWER CLEANOUT PER COTTONWOOD SEWER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.
 - 7 CONNECT TO EXISTING SEWER MAIN PER COTTONWOOD SEWER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.
 - 8 INSTALL 1" IPS POLY POTABLE WATER SERVICE CONNECTION WITH 1" METER PER SANDY CITY PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS.
 - 9 SEE PLUMBING PLANS FOR CONTINUATION.





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**SITE GRADING AND
UTILITY PLAN**

PROJECT NUMBER: 4978K
PROJECT MANAGER: D. Jenkins

PRINT DATE: 2024-03-27
DESIGNED BY:

C-100