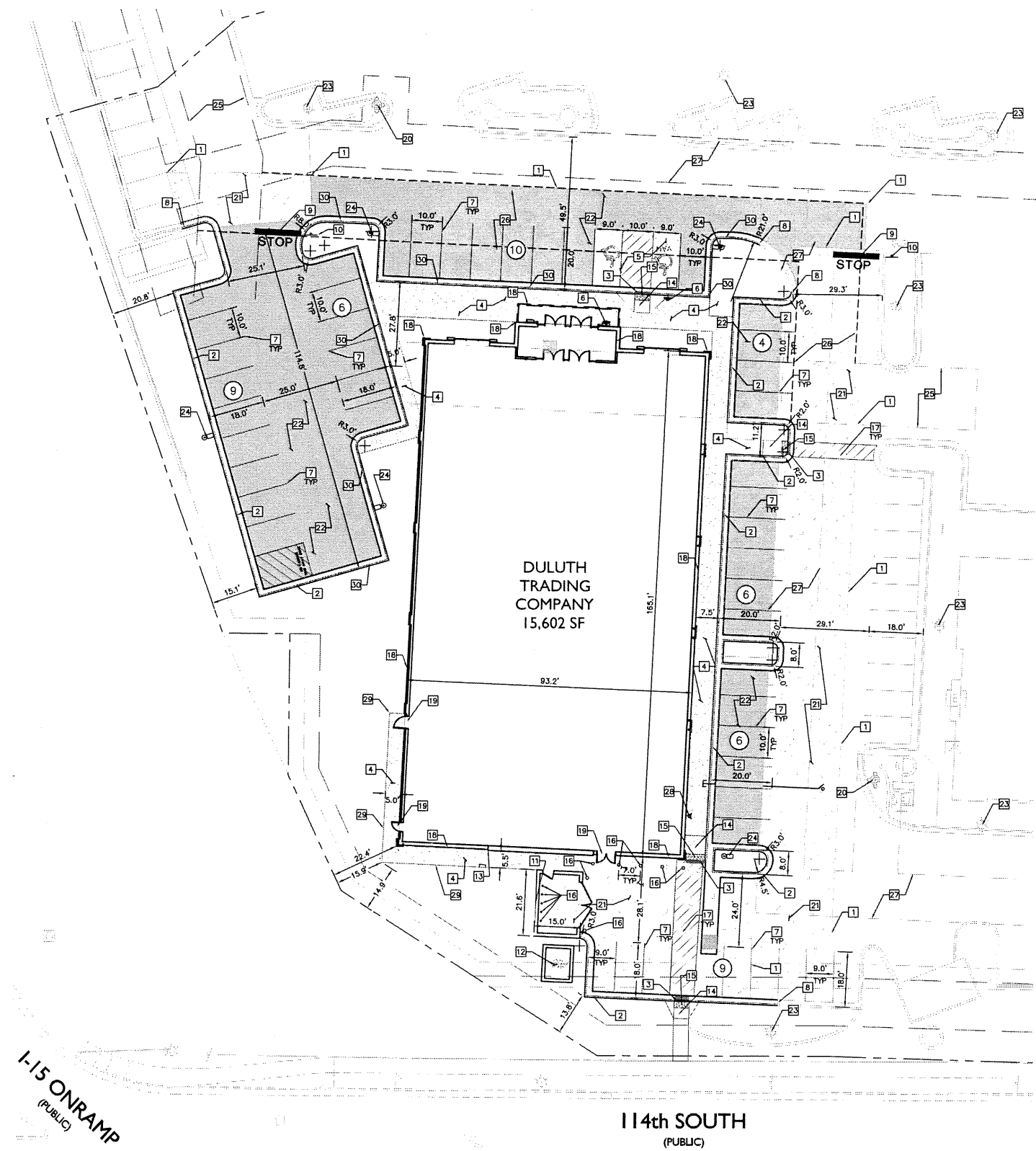


Date: February 10, 2019 11:11 AM User: PGGOTT, BCB
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 File: 114th South.dwg
 Plot: 114th South.dwg
 Plot Date: 2/10/2019 11:11 AM
 Plot Scale: 1/8" = 1'-0"
 Plot Size: 36" x 48"



GENERAL NOTES

1. CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
2. CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
3. ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
4. ALL PARKING STALL AND DRIVE LANE DIMENSIONS ARE TO FACE OF CURB WHERE APPLICABLE.

CONSTRUCTION NOTES

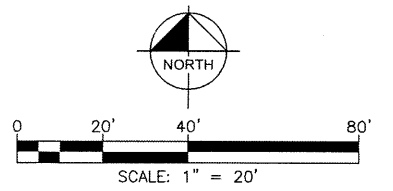
- 1 LIMITS OF NEW CONSTRUCTION. CONTRACTOR TO SAWCUT PAVING APPROXIMATELY 1 FOOT FROM EXISTING.
- 2 TYPE E CONCRETE CURB AND CATCH GUTTER, TYP. (SEE DETAILS)
- 3 CONCRETE DEPRESSED CURB AND GUTTER (SEE DETAILS)
- 4 CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- 5 ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- 6 ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-B, SEE DETAILS)
- 7 4" WIDE PAINTED SOLID LINE, TYP.
- 8 CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- 9 24" WIDE STOP BAR, TYP. (SEE DETAIL)
- 10 STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
- 11 TRASH ENCLOSURE. (SEE ARCHITECTURAL)
- 12 TRANSFORMER PAD
- 13 PROPOSED ELECTRICAL METER LOCATION. SEE ELECTRICAL PLANS FOR EXACT LOCATION.
- 14 PLACE AND INSTALL ACCESSIBLE RAMP (SEE DETAILS)
- 15 FURNISH AND INSTALL 2" TACTILE WARNING STRIP.
- 16 FURNISH AND INSTALL PIPE BOLLARD. CONTRACTOR TO COORDINATE WITH ARCHITECTURE FOR FINAL LOCATION. (SEE DETAILS)
- 17 PAINT CROSSWALK STRIPING (SEE DETAILS)
- 18 BUILDING OUTLINE AND OVERHEAD CANOPY LIMITS. (SEE ARCHITECTURAL)
- 19 ADA COMPLIANT REAR EGRESS DOOR AT BUILDING SLAB ELEVATION. (SEE ARCHITECTURAL)
- 20 EXISTING FIRE HYDRANT TO REMAIN.
- 21 FURNISH AND PLACE HEAVY DUTY CONCRETE PAVING.
- 22 FURNISH AND PLACE REGULAR DUTY ASPHALT PAVING.
- 23 EXISTING LIGHT POLE TO REMAIN.
- 24 EXISTING LIGHT POLE TO BE RELOCATED. REFERENCE SITE DEMOLITION PLAN FOR PRIOR LOCATIONS.
- 25 EXISTING 20" SANITARY SEWER EASEMENT.
- 26 PROPOSED 20" SANITARY SEWER EASEMENT.
- 27 EXISTING 15" WATER LINE EASEMENT.
- 28 PROPOSED FDC CONNECTION.
- 29 INSTALL THICKENED EDGE CONCRETE SIDEWALK (SEE CONCRETE SIDEWALK DETAIL)
- 30 TYPE E CONCRETE CURB AND SPILL GUTTER (SEE DETAILS)

SITE INFORMATION

SITE LOCATION	11376 SOUTH STATE STREET SANDY, UTAH
TOTAL SITE DEVELOPMENT AREA	1.25 ACRES (54,516 SF)
EXISTING ZONING	CBD
EXISTING USE	VACANT LOT
PROPOSED USE	RESTAURANT COMMERCIAL
PROPOSED BUILDING AREA	15,602 SF
HARDSCAPE PROVIDED	26,994 SF
LANDSCAPE PROVIDED	11,962 SF
LANDSCAPE REQUIREMENT	8,178 SF
LANDSCAPE BUFFERS	
LANDSCAPE BUFFERS	
STREET FRONTAGE	25 FEET (NOT APPLICABLE)
SIDE	10 FEET
REAR	20 FEET
PARKING REQUIREMENTS	
GENERAL RETAIL	1 STALL / 200 S.F. GFA
PARKING STALLS REQUIRED	76 STALLS
PARKING STALLS PROVIDED (ONSITE)	50 STALLS
PARKING STALLS SHARED (SCHEELS)	28 STALLS
TOTAL PARKING STALLS PROVIDED	76 STALLS

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- STANDARD DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- HEAVY DUTY CONCRETE PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- CONCRETE SIDEWALK
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- TYPE E CONCRETE CURB AND CATCH GUTTER
- TYPE E CONCRETE CURB AND SPILL GUTTER
- CONCRETE DEPRESSED CURB AND GUTTER
- PARKING COUNT



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 1-800-662-4111
 Dig Safety.

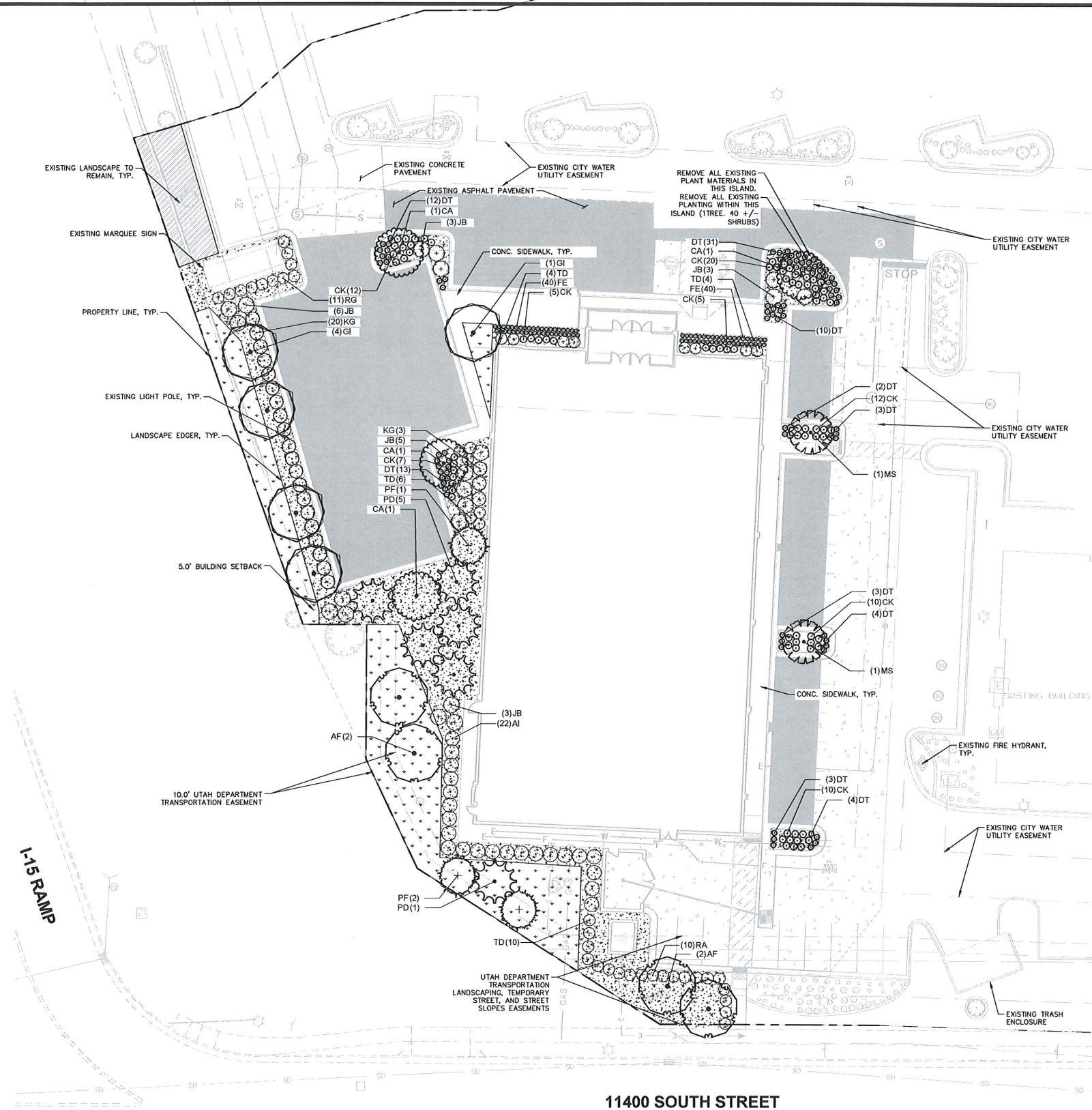
811
 Know what's below. Call before you dig.

CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DRAWN BY:	DESIGNED BY:	CHECKED BY:	PROJECT No.:	SCALE:	AS SHOWN	SITE PLAN						Kimley»Horn
02/23/2018	02/23/2018	02/23/2018	093620000	AS SHOWN	AS SHOWN	DULUTH TRADING COMPANY 11376 SOUTH STATE STREET, SANDY, UT 84070						215 South State Street, Suite 400 Salt Lake City, UT 84111 Tel. No. (888) 213-3176
SEAL											SHEET C3.10	

Plotted by: Wilson, Emily Street: Sandy, Duluth Trading Co. Location: 110 LANDSCAPE PLAN January 15, 2019 11:23:30am K:\S\Civil\093520000 Duluth Trading Co\CAD\DWG\Plan Sheets\093520000_LA.dwg



11400 SOUTH STREET

PLANT SCHEDULE

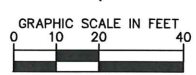
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	AF	4	Acer x freemani	Freeman Maple	B & B	2" CAL MIN	SINGLE STEM
	CA	4	Carpinus caroliniana	American Hornbeam	B & B	2" CAL MIN	SINGLE STEM
	GI	5	Gleditsia triacanthos inermis	Thornless Common Honeylocust	B & B	2" CAL MIN	SINGLE STEM
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	PD	6	Pseudotsuga menziesii	Douglas Fir	B & B	2" CAL MIN	6' HT MIN
	PF	3	Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Pine	B & B	2" CAL MIN	6' HT MIN
ORNAMENTAL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	MS	2	Malus x 'Spring Snow'	Spring Snow Crab Apple	B & B	2" CAL MIN	
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	AI	22	Aronia melanocarpa 'Iroquois Beauty' TM	Black Chokeberry 'Iroquois Beauty' TM	5 GAL	SEE PLAN	24" HT MIN
	KG	23	Kerria japonica 'Golden Guinea'	Golden Japanese Kerria 'Golden Guinea'	5 GAL	SEE PLAN	24" HT MIN
	RA	10	Ribes alpinum	Alpine Currant	5 GAL	SEE PLAN	24" HT MIN
	RG	11	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 GAL	SEE PLAN	24" HT MIN
	TD	24	Taxus x media 'Densiformis'	Dense Yew	5 GAL	SEE PLAN	24" HT MIN
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	JB	20	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	5 GAL	SEE PLAN	12" SPRD MIN.
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	CK	81	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 GAL	SEE PLAN	15" HT MIN
	DT	85	Deschampsia cespitosa	Tufted Hair Grass	1 GAL	SEE PLAN	12" HT MIN
	FE	60	Festuca glauca 'Elijah Blue'	Blue Fescue 'Elijah Blue'	1 GAL	SEE PLAN	24" HT MIN
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	
	BM	BARK MULCH	BARK MULCH				
	ST	BIO BLUE TURF	BIOGRASS SOD FARMS				

SANDY CITY STANDARD NOTES

- NO TREES SHALL BE PLANTED IN PUBLIC PARK STRIPS LESS THAN 8 FEET WIDE. CENTERLINE OF TREES SHALL BE PLANTED MINIMUM 4 FEET AWAY FROM BACK OF CURB AND EITHER SIDE OF SIDEWALK.
- 2H:1V MAXIMUM SLOPE IN LANDSCAPED AREAS.
- MULCH: AFTER COMPLETION OF ALL PLANTING, ALL IRRIGATED NON-TURF AREAS SHALL BE COVERED WITH A MINIMUM LAYER OF FOUR (4) INCHES OF BARK MULCH TO RETAIN WATER, INHIBIT WEED GROWTH AND MODERATE SOIL TEMPERATURE. NON-POROUS MATERIAL SHALL NOT BE PLACED UNDER THE MULCH. 4" DEPTH BARK MULCH IN ALL IRRIGATED NON-TURF AREAS.
- LANDSCAPE WATER METER: A WATER METER AND BACKFLOW PREVENTION ASSEMBLY THAT ARE IN COMPLIANCE WITH STATE CODE SHALL BE INSTALLED FOR LANDSCAPE IRRIGATION SYSTEMS, AND THE LANDSCAPE WATER METER AND BACKFLOW PREVENTION ASSEMBLY SHALL BE SEPARATE FROM THE WATER METER AND BACKFLOW PREVENTION ASSEMBLY INSTALLED FOR INDOOR USES. THE SIZE OF THE METER SHALL BE DETERMINED BASED ON IRRIGATION DEMAND.
- PRESSURE REGULATION: A PRESSURE REGULATING VALVE SHALL BE INSTALLED AND MAINTAINED BY THE CONSUMER IF THE STATIC SERVICE PRESSURE EXCEEDS 80 POUNDS PER SQUARE INCH (PSI). THE PRESSURE REGULATING VALVE SHALL BE LOCATED BETWEEN THE LANDSCAPE WATER METER AND THE FIRST POINT OF WATER USE, OR FIRST POINT OF DIVISION IN THE PIPE, AND SHALL BE SET AT THE MANUFACTURER'S RECOMMENDED PRESSURE FOR SPRINKLERS.
- AUTOMATIC CONTROLLER: ALL IRRIGATION SYSTEMS SHALL INCLUDE AN ELECTRIC AUTOMATIC CONTROLLER WITH MULTIPLE PROGRAM AND MULTIPLE REPEAT CYCLE CAPABILITIES AND A FLEXIBLE CALENDAR PROGRAM. ALL CONTROLLERS SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.
- ON SLOPES EXCEEDING 30%, THE IRRIGATION SYSTEM SHALL CONSIST OF DRIP EMITTERS, BUBBLERS, OR SPRINKLERS WITH A MAXIMUM PRECIPITATION RATE OF 0.85 INCHES PER HOUR AND ADJUSTED SPRINKLER CYCLE TO ELIMINATE RUNOFF.
- EACH VALVE SHALL IRRIGATE A LANDSCAPE WITH SIMILAR SITE, SLOPE AND SOIL CONDITIONS AND PLANT MATERIALS WITH SIMILAR WATERING NEEDS. TURF AND NON-TURF AREAS SHALL BE IRRIGATED ON SEPARATE VALVES.
- DRIP EMITTERS OR A BUBBLER SHALL BE PROVIDED FOR EACH TREE WHERE PRACTICABLE. BUBBLERS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE PER DEVICE. BUBBLERS FOR TREES SHALL BE ON SEPARATE VALVE UNLESS SPECIFICALLY EXEMPTED BY THE SANDY CITY PUBLIC UTILITIES DEPARTMENT DUE TO THE LIMITED NUMBER OF TREES ON THE PROJECT SITE.
- SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATE WITH EACH CONTROL VALVE CIRCUIT.
- CHECK VALVES SHALL BE REQUIRED WHERE ELEVATION DIFFERENCES WILL CAUSE LOW-HEAD DRAINAGE. PRESSURE COMPENSATING VALVES AND SPRINKLERS SHALL BE REQUIRED WHERE A SIGNIFICANT VARIATION IN WATER PRESSURE WILL OCCUR WITHIN THE IRRIGATION SYSTEM DUE TO ELEVATION DIFFERENCES.
- DRIP IRRIGATION LINES SHALL BE PLACED UNDERGROUND OR OTHERWISE PERMANENTLY COVERED, EXCEPT FOR DRIP EMITTERS AND WHERE APPROVED AS A TEMPORARY INSTALLATION. FILTERS AND END FLUSH VALVES SHALL BE PROVIDED AS NECESSARY.
- IRRIGATION ZONES WITH OVERHEAD SPRAY OR STREAM SPRINKLERS SHALL BE DESIGNED TO OPERATE BETWEEN 6:00 P.M. AND 10:00 A.M. TO REDUCE WATER LOSS FROM WIND AND EVAPORATION. THIS WOULD EXCLUDE DRIP OR BUBBLER ZONES.
- PROGRAM VALVES FOR MULTIPLE REPEAT CYCLES WHERE NECESSARY TO REDUCE RUNOFF, PARTICULARLY SLOPES AND SOILS WITH SLOW INFILTRATION RATES.
- FOLLOWING CONSTRUCTION AND PRIOR TO RELEASE OF THE SECONDARY BOND GUARANTEE POSTED FOR THE PROJECT, A WATER USE EFFICIENCY REVIEW WILL BE CONDUCTED BY A LANDSCAPE IRRIGATION AUDITOR. THE AUDITOR SHALL BE INDEPENDENT OF THE CONTRACTOR, DESIGN FIRM, AND OWNER/DEVELOPER OF THE PROJECT. THE WATER PERFORMANCE AUDIT WILL VERIFY THAT THE IRRIGATION SYSTEM COMPLIES WITH THE MINIMUM STANDARDS REQUIRED BY SANDY CITY ORDINANCE. THE MINIMUM EFFICIENCY REQUIRED FOR THE IRRIGATION SYSTEM IS 60% FOR DISTRIBUTION EFFICIENCY FOR ALL FIXED SPRAY SYSTEMS AND 70% DISTRIBUTION EFFICIENCY FOR ALL ROTOR SYSTEMS. THE AUDITOR SHALL FURNISH A CERTIFICATE TO THE CITY, DESIGNER, INSTALLER AND OWNER/DEVELOPER CERTIFYING COMPLIANCE WITH THE MINIMUM DISTRIBUTION REQUIREMENTS. COMPLIANCE WITH THIS PROVISION IS REQUIRED BEFORE THE CITY WILL RELEASE THE BOND FOR THIS PROJECT.
- PLANTS WHICH REQUIRE DIFFERENT AMOUNTS OF WATER SHALL BE IRRIGATED BY SEPARATE VALVES. IF ONE VALVE IS USED FOR A GIVEN AREA, ONLY PLANTERS WITH SIMILAR WATER USE SHALL BE USED IN THAT AREA. LAWN AREAS AND PLANTERS SHALL BE IRRIGATED BY SEPARATE VALVES.
- A SEPARATE BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED FOR THE IRRIGATION SYSTEM.
- A RAIN SENSING OVERRIDING DEVICE SHALL BE UTILIZED SO THAT THE IRRIGATION SYSTEM WILL AUTOMATICALLY TURN OFF IN THE EVENT OF RAIN.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT OVERSPRAY AND WATER RUN-OFF ONTO ADJACENT-PROPERTY, NON-IRRIGATED AREAS, WALKS, ROADWAYS OR STRUCTURES.
- AN AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLER HEADS SHALL BE REQUIRED FOR ALL NEW LANDSCAPES. LOW FLOW SPRINKLER HEADS SHALL BE USED WHEREVER POSSIBLE.
- NO IRRIGATION OF WALKWAYS OR DRIVE.
- WATER AUDIT IS REQUIRED PRIOR TO BOND BEING RELEASED. SUGGEST THE AUDIT BE DONE WITHIN 60 DAYS OF INSTALLING IRRIGATION AND LANDSCAPE.

SANDY CITY CODE REQUIREMENT COMPLIANCE

CODE SEC.	REQUIRED	PROVIDED
15A-25-02	Site landscape trees - 1 1/2" caliper minimum as measured 18 inches above grade	2" cal. minimum specified
	Evergreen trees - 6 foot minimum height above grade	6 foot minimum height specified
	Minimum of 40 percent of all trees on the proposed site shall be evergreens	40% evergreens provided
	A minimum ratio of one tree per every 500 square feet of on-site landscaping shall be provided on the overall site plan (10,712 SF landscape provided, 22 trees required)	22 trees provided



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1-800-662-4111
www.bluestakes.com

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Know what's below. Call before you dig.

CAUTION: NOTICE TO CONTRACTOR

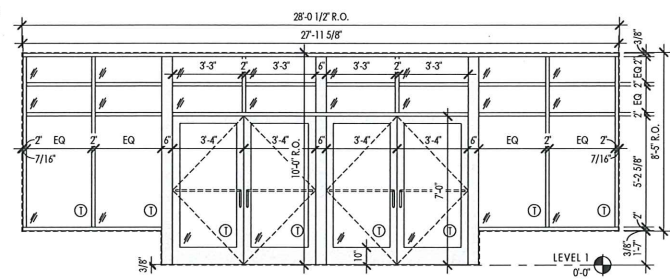
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DESCRIPTION	
DATE	
SCALE	AS SHOWN
DRAWN BY:	JL023701E
DESIGNED BY:	JL023701B
CHECKED BY:	CPHL
PROJECT No.:	093620000
SEAL	
Kimley»Horn 215 South State Street, Suite 400 Salt Lake City, UT 84111 Tel. No. (801) 212-3176	
DULUTH TRADING COMPANY 11376 SOUTH STATE STREET, SANDY, UT 84070	
LANDSCAPE PLAN	
SHEET LI.0	

WINDOW SCHEDULE

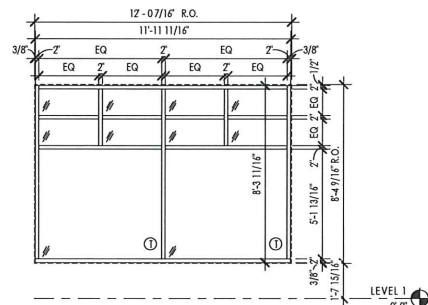
1 STOREFRONT - MAIN ENTRANCE - NORTH WEST ELEVATION

- 4 1/2" DEEP THERMALLY BROKEN FRAME WITH A 2" SIGHTLINE. USE BUILDUP MILLIONS FOR SIGHTLINES GREATER THAN 2". COLOR: KAWNEER CLASSIC BRONZE UC109580 OR EQUAL.
- CENTER PLANE GLAZED.
- LOWE INSULATING GLASS.
- MEDIUM SIZE DOORS W/ FLOAT GLASS.
- TEMPERED GLASS WHERE REQUIRED.



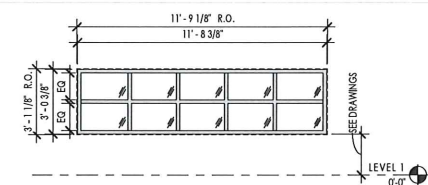
2 STOREFRONT - DISPLAY WINDOW - NORTH ELEVATION

- 4 1/2" DEEP THERMALLY BROKEN FRAME WITH A 2" SIGHTLINE. COLOR: KAWNEER CLASSIC BRONZE UC109580 OR EQUAL.
- CENTER PLANE GLAZED.
- CLEAR INSULATING GLASS.
- TEMPERED GLASS WHERE REQUIRED.
- 1" INSULATED ALUMINUM METAL PANEL INFILL (ALCLAD OR APPROX. EQUAL). COLOR TO MATCH STOREFRONT FRAME.



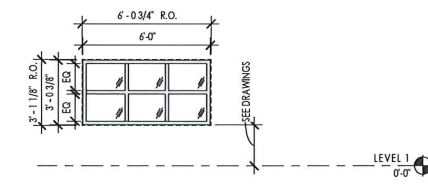
3 FIXED, FLANGED, ALUMINUM WOOD-CLAD WINDOW - NORTH AND SOUTH ELEVATIONS

- JELD WEN W-2500, OR EQUAL PER SPEC.
- EXTERIOR FRAME COLOR: KAWNEER CLASSIC BRONZE UC109580 OR EQUAL.
- MUNTIN GRD. - GRG-5/8" FLAT.
- CLEAR INSULATING GLASS.
- SOUTH WINDOW GLASS TO RECEIVE FILM SWIFF-CK CHARCOAL WHITE, DECORATIVE FILM, LLC, OR EQUAL.



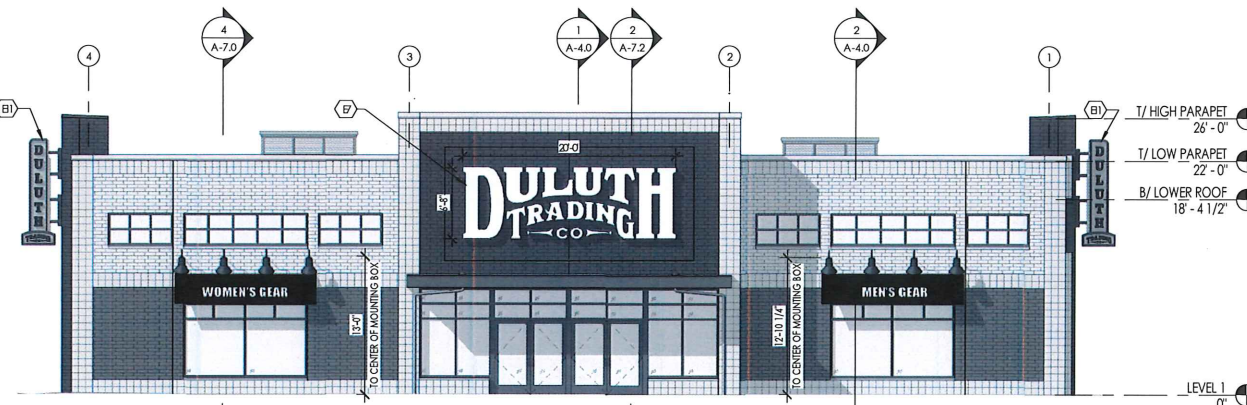
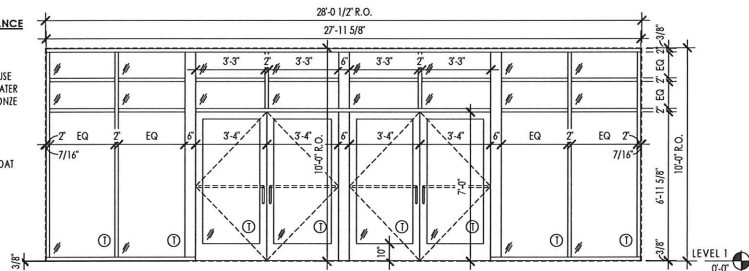
4 FIXED, FLANGED, ALUMINUM WOOD-CLAD WINDOW

- JELD WEN W-2500, OR EQUAL PER SPEC.
- EXTERIOR FRAME COLOR: KAWNEER CLASSIC BRONZE UC109580 OR EQUAL.
- MUNTIN GRD. - GRG-5/8" FLAT.
- CLEAR INSULATING GLASS.
- SOUTH WINDOW GLASS TO RECEIVE FILM SWIFF-CK CHARCOAL WHITE, DECORATIVE FILM, LLC, OR EQUAL.

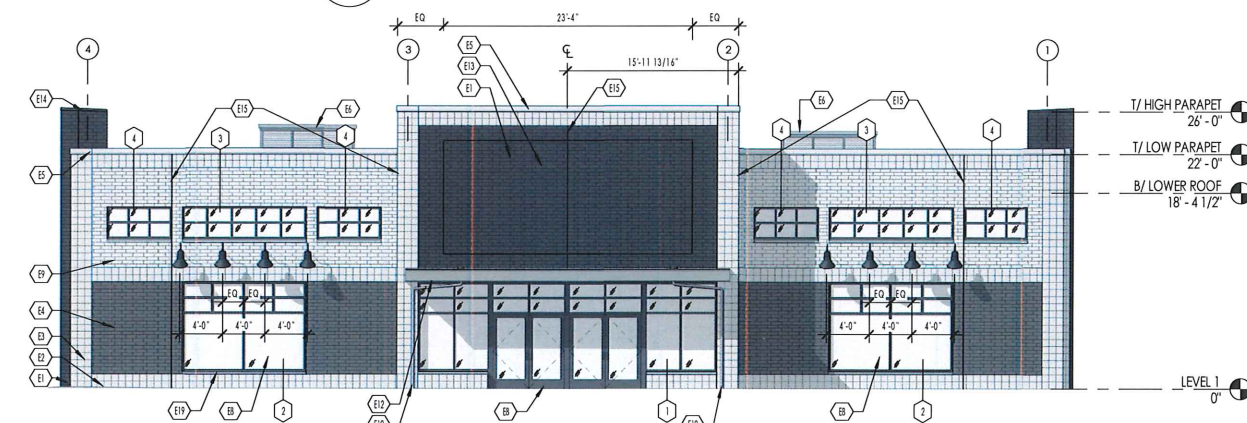


5 STOREFRONT - MAIN ENTRANCE - INNER VESTIBULE

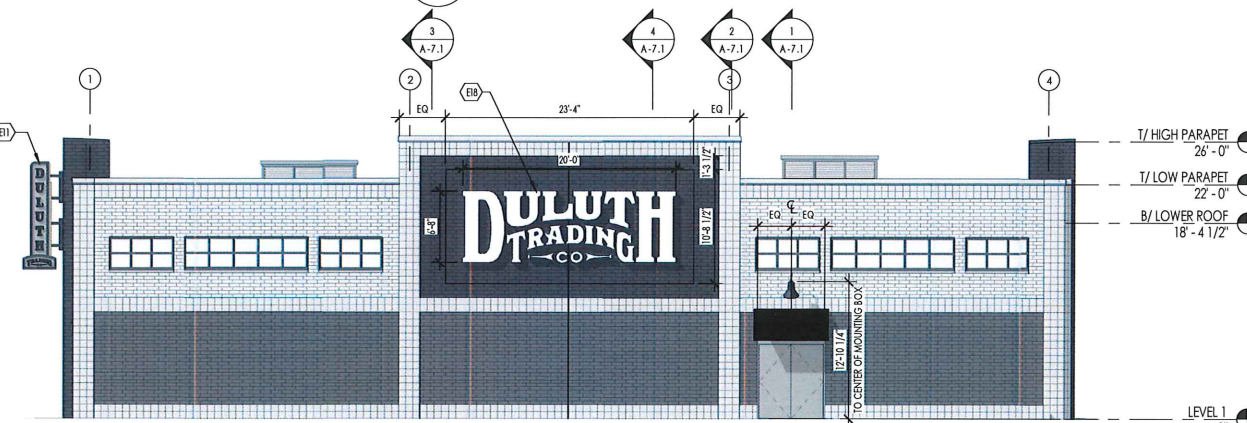
- 4 1/2" DEEP FRAME WITH A 2" SIGHTLINE. USE BUILDUP MILLIONS FOR SIGHTLINES GREATER THAN 2". COLOR: KAWNEER CLASSIC BRONZE UC109580 OR EQUAL.
- CENTER PLANE GLAZED.
- MEDIUM SIZE DOORS W/ FLOAT GLASS.
- TEMPERED GLASS WHERE REQUIRED.
- INNER VESTIBULE - NON-THERMAL. ALL FLOAT GLASS.



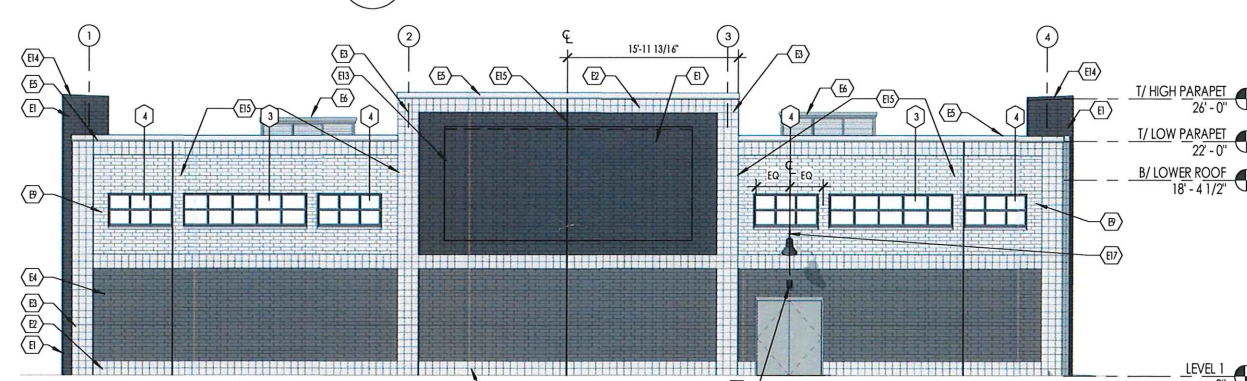
1 NORTH ELEVATION W/ SIGNAGE
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION W/ SIGNAGE
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

ELEVATION KEYED NOTES

E1	4" NORMAN BRICK VENEER WITH METAL STUD BACK UP, 1/3 RUNNING BOND, INTERSTATE BRICK, MOUNTAIN RD.
E2	COUNTY MATERIALS CORP., PREMIER ULTRA BURNISHED MASONRY UNITS, BKX16, COLOR: ECHO (65-2518), RUNNING BOND.
E3	CONCRETE MASONRY UNITS VENEER, BKX16 CENTER SCORED, RUNNING BOND, COUNTY MATERIALS CORP., PREMIER ULTRA BURNISHED MASONRY UNITS, COLOR: MOCINBEAM 65-2148
E4	4" NORMAN BRICK VENEER WITH METAL STUD BACK UP, 1/3 RUNNING BOND, INTERSTATE BRICK, MOCHA.
E5	PRE-FINISHED ALUMINUM COPING, COLOR TO MATCH CMU (ULTRA BURNISHED - SEE NOTE E2), PAC-CLAD: GRANITE, OR EQUAL.
E6	RTU SCREEN; ENVISOR SCREENING SYSTEMS; PANEL STYLE: ACRYLIC CAP VERTICAL LOUVER, CONSTRUCTED WITH THERMOFORMED HIGH IMPACT ABS WITH CO-EXTRUDED UV PROTECTION; COLOR: PUTTY; TOP IRM TYPE: STEP 2
E7	FRONT SIGN W/ FACE LIT/ HALO LIT LETTERS BY DTC.
E8	STOREFRONT - 4 1/2" DEEP THERMALLY BROKEN FRAME WITH A 2" SIGHTLINE. COLOR: KAWNEER CLASSIC BRONZE UC109580. SEE SCHEDULE ON A-2.
E9	4" NORMAN BRICK VENEER WITH METAL STUD BACK UP, 1/3 RUNNING BOND, INTERSTATE BRICK, 60% TUMBLEWEED, 40% CEDAR.
E10	DOWNSPOUT. COLOR TO MATCH BURNISHED BLOCK COLOR.
E11	ILLUMINATED BLADE SIGN, BY DTC.
E12	STEEL FRAMED CANOPY. COLOR TO MATCH KAWNEER CLASSIC BRONZE. SEE WINDOW SCHEDULE.
E13	FUTURE SIGNAGE LOCATION
E14	PRE-FINISHED ALUMINUM COPING. COLOR TO MATCH CONCRETE BRICK.
E15	CONCRETE MASONRY CONTROL JOINT SEE DETAIL S/5-6 FOR MORE INFORMATION.
E16	FABRIC AWNING
E17	EXTERIOR SCIONCE
E18	BACK SIGN W/ FACE LIT / HALO LIT LETTERS BY DTC.
E19	CAST STONE SILL, TYP.

inter:work
architects

interwork architects incorporated
1200 sherman rd. northbrook, il 60062
t: 847-509-4070 f: 847-509-7604
www.interworkarchitects.com

PROTOTYPE 3 - OLD FACTORY

DULUTH TRADING
COMPANY

11376 SOUTH STATE STREET,
SANDY, UT 84070

EXPIRATION DATE:
5/31/2020

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No.	Description	Date

Project No: 1448.061.000

Sheet Title:

ELEVATIONS

Sheet No:

A-3.0



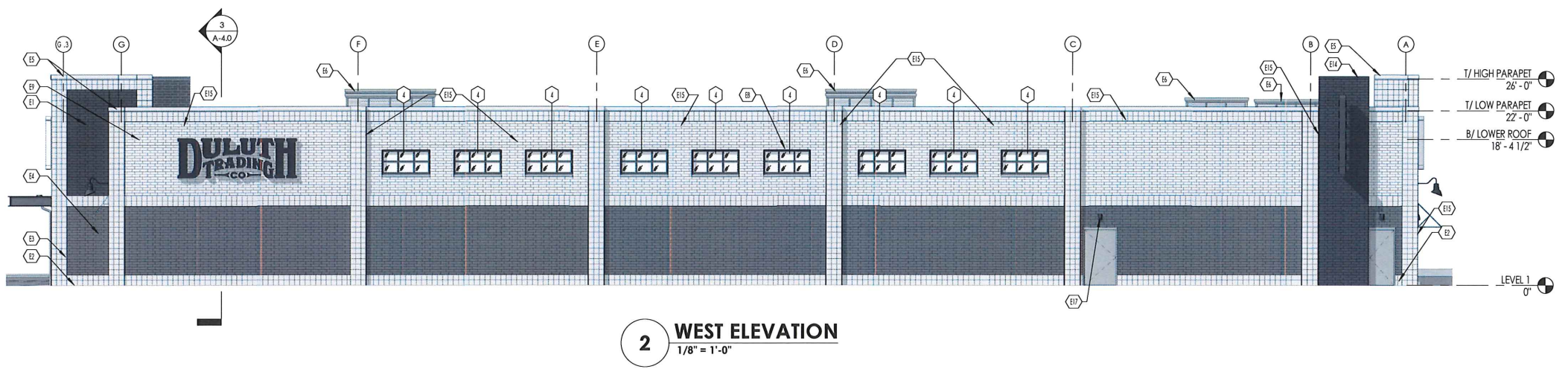
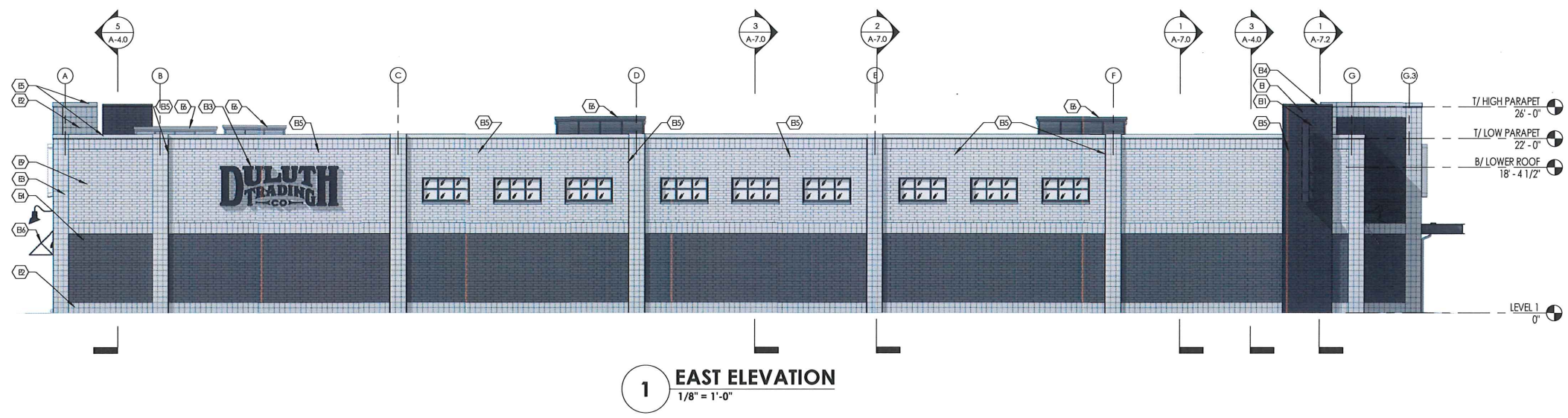
FOR ORDERING INFO AT COUNTY MATERIALS CONTACT:
CARL DUNLAP 214-536-7755
CARL@CARLDUNLAP.COM

NOTE: SITE SIGNAGE UNDER SEPARATE PERMIT.

DULUTH TRADING COMPANY

11376 SOUTH STATE STREET,
SANDY, UT 84070

ELEVATION KEY NOTES	
E1	4" NORMAN BRICK VENEER WITH METAL STUD BACK UP, 1/3 RUNNING BOND, INTERSTATE BRICK, MOUNTAIN RED.
E2	COUNTY MATERIALS CORP. PREMIER ULTRA BURNISHED MASONRY UNITS, 8X8X16, COLOR: ECHO (63-2518), RUNNING BOND.
E3	CONCRETE MASONRY UNITS VENEER, 8X16 CENTER SCORED, RUNNING BOND, COUNTY MATERIALS CORP., PREMIER ULTRA BURNISHED MASONRY UNITS, COLOR: MOONBEAM 63-2148
E4	4" NORMAN BRICK VENEER WITH METAL STUD BACK UP, 1/3 RUNNING BOND, INTERSTATE BRICK, MOCHA.
E5	PRE-FINISHED ALUMINUM COPING, COLOR TO MATCH CMU (ULTRA BURNISHED - SEE NOTE E2), PAC-CLAD: GRANITE, OR EQUAL.
E6	RTU SCREEN ENVISOR SCREENING SYSTEMS; PANEL STYLE: ACRYLICAP VERTICAL LOUVER, CONSTRUCTED WITH THERMOFORMED HIGH IMPACT ABS WITH CO-EXTRUDED UV PROTECTION; COLOR: PUTTY; TOP TRIM TYPE: STEP 2
E7	FRONT SIGN W/ FACE LIT / HALO LIT LETTERS BY DTC.
E8	STOREFRONT - 4 1/2" DEEP THERMALLY BROKEN FRAME WITH A 2" SIGHTLINE, COLOR: KAWNEER CLASSIC BRONZE UC109580. SEE SCHEDULE ON A-9.2
E9	4" NORMAN BRICK VENEER WITH METAL STUD BACK UP, 1/3 RUNNING BOND, INTERSTATE BRICK, 40% TUMBLEWEED, 40% CEDAR.
E10	DOWNSPOUT, COLOR TO MATCH BURNISHED BLOCK COLOR.
E11	ILLUMINATED BLADE SIGN, BY DTC.
E12	STEEL FRAMED CANOPY, COLOR TO MATCH KAWNEER CLASSIC BRONZE, SEE WINDOW SCHEDULE.
E13	FUTURE SIGNAGE LOCATION
E14	PRE-FINISHED ALUMINUM COPING, COLOR TO MATCH CONCRETE BRICK.
E15	CONCRETE MASONRY CONTROL JOINT SEE DETAIL 5/54 FOR MORE INFORMATION
E16	FABRIC AWNING
E17	EXTERIOR SCONCE
E18	BACK SIGN W/ FACE LIT / HALO LIT LETTERS BY DTC.
E19	CAST STONE SKL, TYP.



COMMERCIAL BUILDING ENVELOPE COMPLIANCE via PERSCRIPTIVE METHOD - per 2015 IECC

TABLE C402.1.3
CLIMATE ZONE - 5B Salt Lake County, UT

	Required	Provided
Insulation above Roof Deck	R-30ci - minimum	R-30ci
Metal Framed Wall - stone veneer	R-13 + R7.5ci	R-13 + R7.5ci
Metal Framed Wall - wood siding	R-13 + R7.5ci	R-13 + R7.5ci
Slab -on-Grade Floor - unheated	R-10 for 24" below	R-10 for 24" below
Opaque Doors - swinging (Table C402.1.4)	U-0.37 - maximum	U-0.37 - maximum

Seal Building Envelope in conformance with mandatory provisions of C402.5

TABLE C402.4

U-Factor			PF
Storefront & Windows	0.38 maximum	0.38 maximum	
Entrance Doors	0.77 maximum	0.77 maximum	
SHGCC - N elevation - display windows w/awnings	0.58 maximum	0.58 maximum	0.36
SHGCC - N elevation - upper windows above awning	0.53 maximum	0.53 maximum	0.13
SHGCC - N elevation - windows under canopy	0.64 maximum	0.64 maximum	0.59
SHGCC - N elevation - entry doors	0.64 maximum	0.64 maximum	0.59
SHGCC - E & W elevation - upper windows	0.40 maximum	0.40 maximum	0.13
SHGCC - E & W elevation - lower windows	0.40 maximum	0.40 maximum	0.13
SHGCC - S elevation - upper windows	0.40 maximum	0.40 maximum	0.13
Fenestration - Maximum Area	30 % maximum	8.79% (859/9780 SF)	

FOR ORDERING INFO AT COUNTY MATERIALS CONTACT:
CARL DUNLAP 214-536-7755
CARL@CARLDUNLAP.COM

NOTE: SITE SIGNAGE UNDER SEPARATE PERMIT.

EXPIRATION DATE:
5/31/2020

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No.	Description	Date
	ISSUED FOR PERMIT AND BID	12.27.2018

Project No: **1448.061.000**

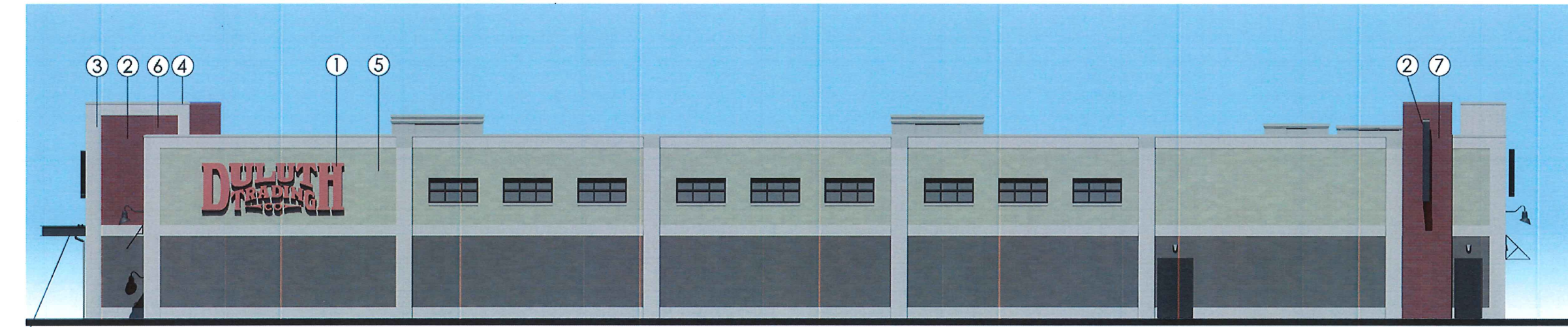
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ELEVATIONS

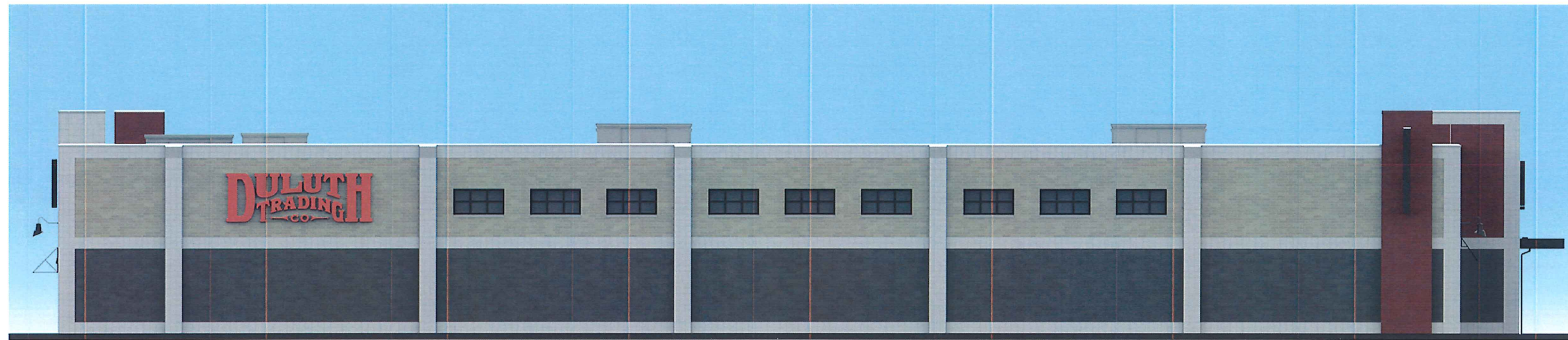
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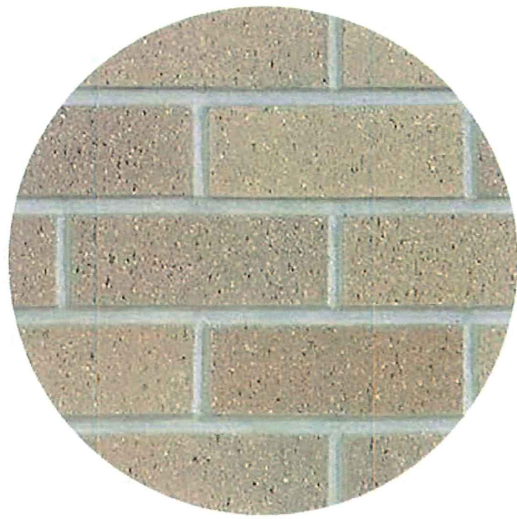
WEST ELEVATION



EAST ELEVATION

- ① ILLUMINATED SIGN
- ② 4" NORMAN BRICK VENEER W/ METAL STUD BACK-UP, 1/3 RUNNING BOND. INTERSTATE BRICK, MOUNTAIN RED.
- ③ CONCRETE MASONRY UNITS VENEER, 8x4x16 CENTER SCORED, RUNNING BOND. COUNTY MATERIALS CORP., PREMIER ULTRA BURNISHED MASONRY UNITS, COLOR: MOONBEAM 63-214B.
- ④ CAST STONE CAP
- ⑤ 4" NORMAN BRICK VENEER W/ METAL STUD BACK-UP, 1/3 RUNNING BOND. INTERSTATE BRICK, 60% TUMBLEWEED, 40% CEDAR.
- ⑥ 4" NORMAN THIN BRICK VENEER W/ METAL STUD BACK-UP, 1/3 RUNNING BOND. INTERSTATE BRICK, MOUNTAIN RED.
- ⑦ ILLUMINATED 'BLADE' SIGN
- ⑧ STOREFRONT - 4 1/2" DEEP THERMALLY BROKEN FRAME W/ A 2" SIGHTLINE. COLOR: KAWNEER CLASSIC BRONZE UC109580.
- ⑨ CAST STONE SILL, TYP.
- ⑩ FABRIC AWNING
- ⑪ STEEL CANOPY, COLOR TO MATCH STOREFRONT FRAME.
- ⑫ 4" NORMAN BRICK VENEER W/ METAL STUD BACK-UP, 1/3 RUNNING BOND. INTERSTATE BRICK, MOCHA.

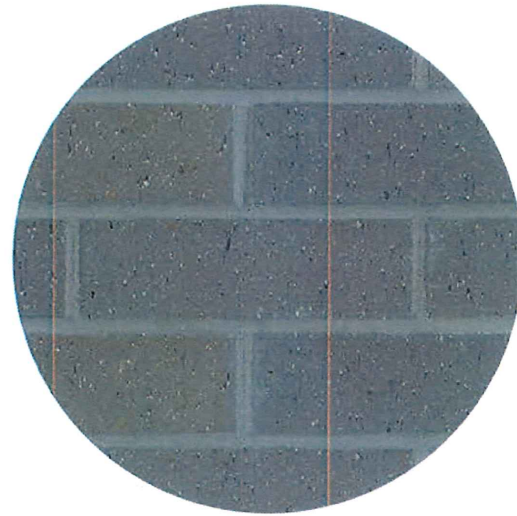




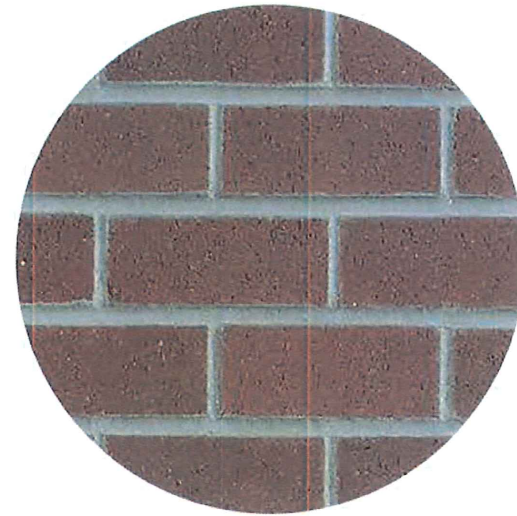
INTERSTATE BRICK
CEDAR



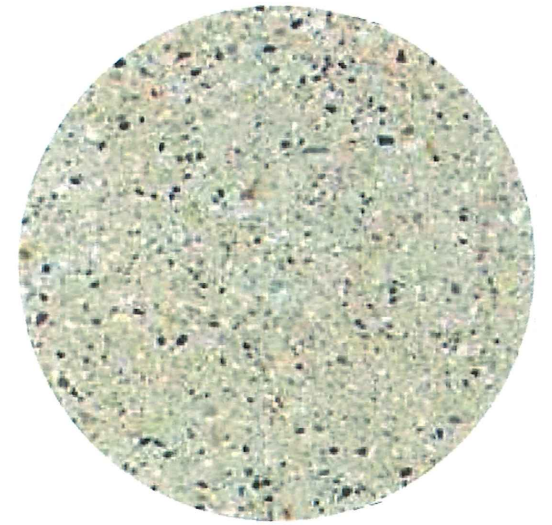
INTERSTATE BRICK
TUMBLEWEED



INTERSTATE BRICK
MOCHA



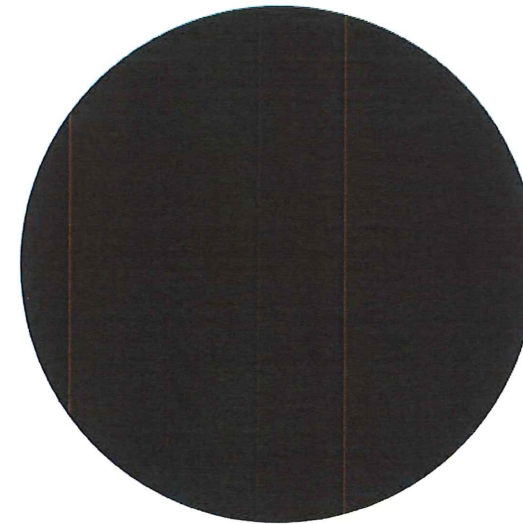
INTERSTATE BRICK
RED MOUNTAIN



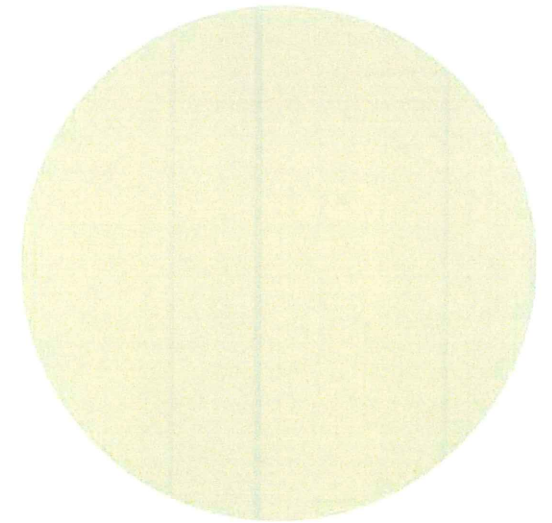
ICOUNTY MATERIALS CORP.
MOONBEAM



INTERSTATE BRICK
60% TUMBLEWEED
40% CEDAR



KAWNEER: CLASSIC BRONZE



CAST STONE

