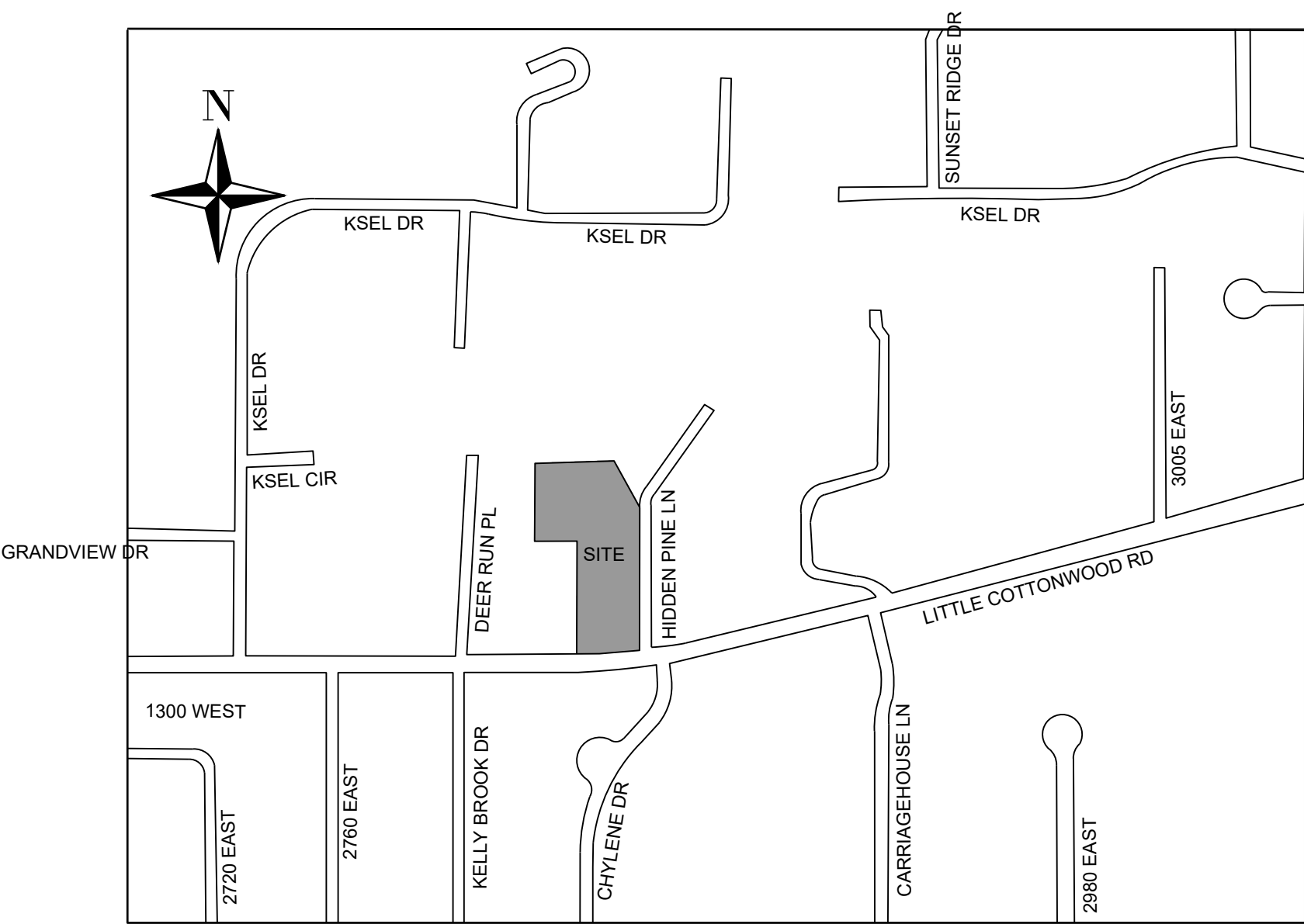


TAMI CRABTREE SUBDIVISION

2845 EAST LITTLE COTTONWOOD ROAD
SANDY, UTAH 84092

A PORTION OF THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE COUNTY BASE AND MERIDIAN
SALT LAKE CITY, SALT LAKE COUNTY, UTAH



VICINITY MAP

1. ALL WORK SHALL CONFORM TO SANDY CITY STANDARDS & SPECIFICATIONS
2. CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR IS CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE CARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD, THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

GENERAL NOTES

SHEET INDEX

PAGE #	SHEET #	SHEET TITLE
1	C000	COVER SHEET
2	1 OF 1	ALTA SURVEY
3	1 OF 1	SUBDIVISION PLAT
4	C100	GENERAL NOTES
5	C200	DEMOLITION PLAN
6	C300	SITE/UTILITY PLAN
7	C400	GRADING/DRAINAGE PLAN
8	C500	EROSION CONTROL PLAN
9	C501	DETAILS
10	C601	DETAILS



1246 E Driggs Ave
SLC, UT 84106
isaac@irecivil.com (801) 860-2191



TAMI CRABTREE SUBDIVISION
2845 EAST LITTLE COTTONWOOD ROAD
SANDY CITY, UTAH 84092

CLIENT/DEVELOPER CONTACT

NAME: TAMI CRABTREE
ADDRESS: 2845 EAST LITTLE COTTONWOOD DRIVE
SANDY, UTAH 84092
PHONE: (801) 808-1733
EMAIL: TAMICRAB@YAHOO.COM

REV	COMMENT

SHEET NO.

C000

COVER PAGE

TAMI CRABTREE ALTA/NSPS LAND TITLE SURVEY
PORTION OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT
LAKE COUNTY BASE AND MERIDIAN

NOTES:

- ALL DIMENSIONS SHOWN ARE IN US SURVEY FEET AND DECIMALS THEREOF
- DISPLAYED CONTOURS ARE AT 1 FT INTERVALS
- THE COORDINATES ARE REFERENCED TO A LOCAL US COORDINATE SYSTEM.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY VARA, 3D INC. FOR ALL INFORMATION REGARDING RECORD EASEMENTS, BOUNDARIES, ADJOINERS AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO THE TRACT SHOWN HEREON VARA 3D, INC. RELIED ON FIRST AMERICAN TITLE INSURANCE COMPANY FILE NO. 5-047399, DATED NOVEMBER 9, 2009 @ 11:04 A.M.
- PARKING SPACES – 0 REGULAR, 0 HANDICAP.
- NO EVIDENCE OF ADDITIONAL WORK WAS OBSERVED WHILE COMPLETING THIS SURVEY.
- VERTICAL RELIEF INFORMATION WAS DETERMINED BY GROUND SURVEY WITH 1' CONTOURS SHOWN. SEE BASIS OF ELEVATION BELOW FOR DATUM IDENTIFICATION.
- TRADITIONAL SURVEY METHODS WERE USED IN THIS SURVEY WHILE MAINTAINING INDUSTRY STANDARDS FOR PRECISION.
- ADDRESS OBSERVED ON SIGN AT DRIVEWAY ENTRANCE AND THE MAILBOX.
- PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED IN THE AMOUNT OF \$1 MILLION TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST, BUT THIS ITEM SHALL NOT BE ADDRESSED ON THE FACE OF THE PLAT OR MAP.

ZONING INFORMATION

ZONES: R-1-15
PERMITTED USE CLASSIFICATION: SINGLE FAMILY RESIDENTIAL
CONDITIONAL USE: SINGLE FAMILY HOME

ZONING REGULATIONS ARE SUEJCT TO CHANGE AND INTERPRETATION, FOR FURTHER INFORMATION CONTACT:
PLANNING DIRECTOR BRIAN MCCUITION 801.568.7268

SITE RESTRICTION
1. MINIMUM BUILDING SETBACKS:
FRONT: 30'
SIDE: 10' MINIMUM 22' COMBINE SIDE YARDS
REAR: 30'

- MINIMUM LOT SIZE: 15,000 SQ. FT.
- MINIMUM LOT FRONTAGE: 85'
- MAXIMUM BUILDING HEIGHT: 35'
- PARKING REQUIREMENTS: 2

BASIS OF BEARING:

THE BEARING OF SOUTH 75° 34' 04" WEST BETWEEN A FOUND 2" ROUND TOP BRASS MONUMENT UNDER RING AND LID AT THE INTERSECTION OF LITTLE COTTONWOOD RD AND CARRIAGEHOUSE DR AND A FOUND 2" ROUND TOP BRASS MONUMENT UNDER RING AND LID AT THE INTERSECTION OF LITTLE COTTONWOOD RD AND CHYLENE DR WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BASIS OF ELEVATION:

THE BENCHMARK FOR THIS SURVEY IS A 2" ROUND TOP BRASS MONUMENT AS SHOWN ON THE DRAWING AND REFERENCED TO NAVD 88 DATUM ELEVATION AS SHOWN IN THE MONUMENT TIE SHEET, DESCRIBED MORE PARTICULARLY AS FOLLOWS:

BENCHMARK
5,089.27'

FLOOD ZONE NOTE

THE SURVEYED PROPERTY IS LOCATED WITHIN FLOOD ZONE "X". NO SPECIAL FLOOD HAZARD AREAS, ALL AREAS WITHIN 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO THE FLOOD INSURANCE RATE MAP INDEX, MAP NUMBER 49035C0458G, EFFECTIVE 9/25/09.

SURVEYOR'S STATEMENT:

THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF ISAAC RICHES, AND IS BASED UPON FIELD WORK COMPLETED ON MARCH 31, 2022.

SURVEYOR'S CERTIFICATE

TO:
ISAAC RICHES, DAVID CRABTREE, TAMARA CRABTREE, FEE SIMPLE, FIRST AMERICAN TITLE INSURANCE COMPANY

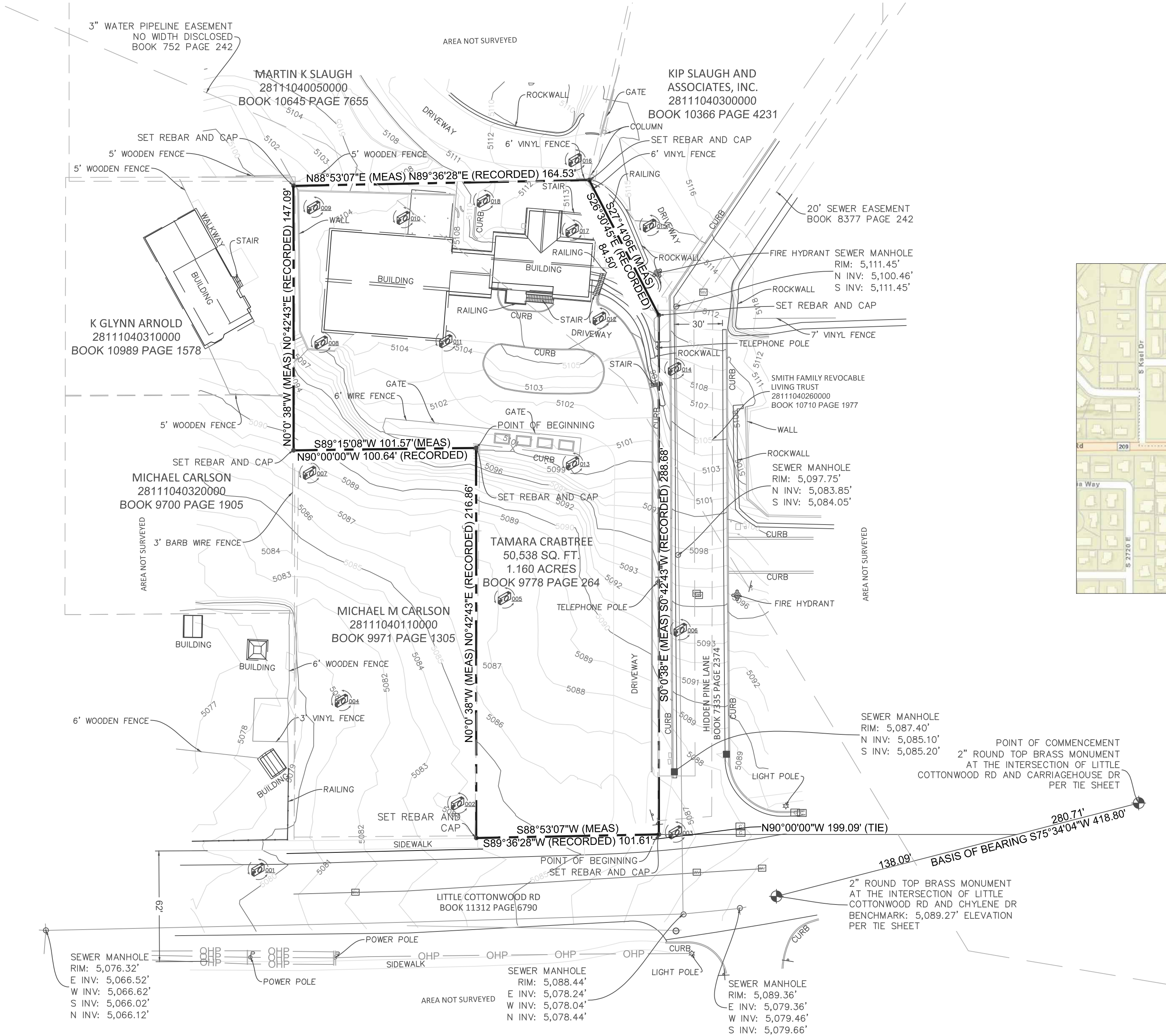
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS." JOINTLY ESTABLISHED AND ADOPTED BY ALTA, AND NSPS IN 2021, AND INCLUDED ITEMS 1-9, 11, 13, 15-16, AND 19 OF TABLE "A" THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA & NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF UTAH, RELATIVE POSITIONAL ACCURACY OF THIS SURVEY MEETS THAT WHICH IS SPECIFIED THEREIN.

PRELIMINARY

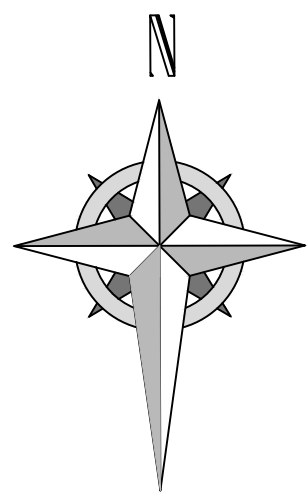
JAMES V. HEINRITZ, PLS T1072412-220T
FOR AND ON BEHALF OF VARA 3D, INC

DATE _____,

ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION
ADOPTED BY THE BOARD OF DIRECTORS, NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
AMERICAN LAND TITLE ASSOCIATION, 1828 L ST., N.W. SUITE 705, WASHINGTON, D.C. 20036
NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS, INC., 6 MONTGOMERY VILLAGE AVENUE, SUITE 403
GAITHERSBURG, MD 20879



VICINITY MAP
N.T.S.



LEGEND:

DECIDUOUS TREE	SD	UNDER GROUND UGND
PANORAMIC PHOTO LOCATION	SS	UNDER GROUND SANITARY SEWER
LIGHT POLE	GAS	UNDER GROUND GAS LINE
FIRE HYDRANT	IRR	UNDER GROUND IRRIGATION LINE
ELECTRICAL BOX	BOUNDARY LINE	
IRRIGATION CONTROL BOX	ADJOINING PROPERTY LINE	
STORM DRAIN MANHOLE	EASEMENT LINES	
CATCH BASIN	SET LOT AND SUBDIVISION CORNERS WITH 5/8" REBAR AND CAP STAMPED VARA 3D UNLESS OTHERWISE NOTED	
SEWER MANHOLE	FOUND MONUMENT AS NOTED	

PROJECT INFORMATION

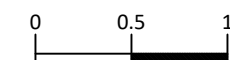
TAMI CRABTREE
2845 E LITTLE COTTONWOOD ROAD, SANDY.
BOUNDARY SURVEY

REV.#	REVISION NOTES	DATE

CLIENT INFO



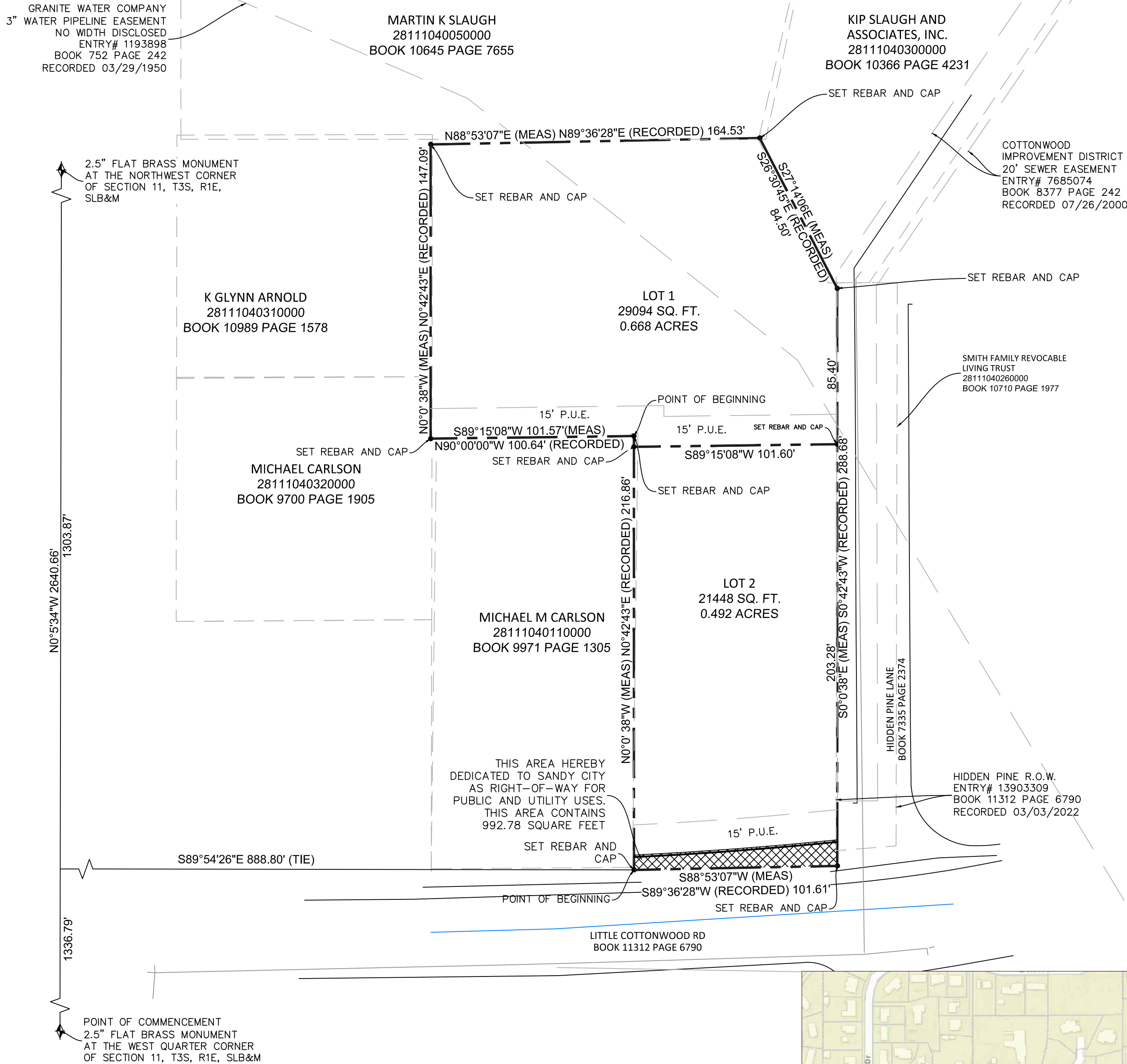
PROJECT NO. 22-CO-004	Sheet 1
DATE 03/31/2022	1
HORIZONTAL SCALE 1" = 30'	



SCALE MEASURES 1-INCH ON FULL SIZE(36x24) SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS

TAMI CRABTREE
SUBDIVISION

PORTION OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE COUNTY BASE AND MERIDIAN



LEGEND:

- BOUNDARY LINE
- ADJOINING PROPERTY LINE
- EASEMENT LINES
- SET LOT AND SUBDIVISION CORNERS WITH 5/8" REBAR AND CAP STAMPED VARA 3D UNLESS OTHERWISE NOTED
- FOUND MONUMENT AS NOTED
- THIS AREA HEREBY DEDICATED TO SANDY CITY AS RIGHT-OF-WAY FOR PUBLIC AND UTILITY USES



VICINITY MAP

SURVEYOR'S CERTIFICATE

I, JAMES V. HEINRITZ, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD LICENSE NO. 11072412-2201 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS SUBDIVISION PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN ON THIS PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY; AND THAT THIS PLAT OF

TAMI CRABTREE SUBDIVISION

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT

SIGNED THIS _____ DAY OF _____, 20__

JAMES V. HEINRITZ, PLS 11072412-2201
FOR AND ON BEHALF OF VARA 3D, INC

LEGAL DESCRIPTION:

LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 1 EAST OF THE SALT LAKE BASE & MERIDIAN AND BEING MORE PARTICULARLY DESCRIED AS FOLLOWS:

COMMENCING AT A 2.5" FLAT BRASS MONUMENT AT THE WEST QUARTER CORNER OF SAID SECTION 11, WHENCE A 2.5" FLAT BRASS MONUMENT AT THE NORTHWEST CORNER OF SAID SECTION 11 BEARS NORTH 00°05'34" WEST A DISTANCE OF 2640.66', SAID LINE FORMING THE BASIS OF BEARING FOR THIS DESCRIPTION;

THENCE NORTH 00°05'34" WEST ALONG SAID LINE A DISTANCE OF 1336.79 FEET;
THENCE SOUTH 89°54'26" EAST A DISTANCE OF 888.80 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 00°42'43" EAST A DISTANCE OF 216.86 FEET;
THENCE SOUTH 89°58'30" WEST A DISTANCE OF 101.57 FEET;
THENCE NORTH 00°42'43" EAST A DISTANCE OF 147.09 FEET;
THENCE NORTH 89°36'28" EAST A DISTANCE OF 164.53 FEET;
THENCE SOUTH 26°30'45" EAST A DISTANCE OF 84.50 FEET;
THENCE SOUTH 00°42'43" WEST A DISTANCE OF 288.68 FEET;
THENCE SOUTH 89°36'28" WEST A DISTANCE OF 101.61 FEET TO THE POINT OF BEGINNING;

SAID PARCEL CONTAINS 50,538 SQ. FT. 1.160 ACRES.

OWNERS' DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED IS/ARE THE OWNER(S) OF THE ABOVE-DESCRIBED TRACT OF LAND AND DO HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, AS SET FORTH, TO BE HEREAFTER KNOWN AS

TAMI CRABTREE SUBDIVISION

AND DO HEREBY DEDICATE TO SANDY CITY, FOR PERPETUAL USE, ALL STREETS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC AND UTILITY USES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE PUBLIC UTILITY EASEMENT ("PUE" OR "P.U.E.") AS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO DO HEREBY CONVEY ANY OTHER EASEMENTS, AS SHOWN ON THIS PLAT, TO THE PARTIES INDICATED BY THOSE EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF THE FACILITIES, OR FOR OTHER TYPICAL PURPOSES, INDICATED BY THOSE EASEMENTS, AS SHOWN HEREON.

IN WITNESS WHEREOF WE HAVE SET OR HANDS THIS _____ DAY OF _____, A.D. 2024

SIGNED: _____

DAVID CRABTREE

NOTARY PUBLIC

ACKNOWLEDGEMENT:

STATE OF UTAH)

S.S.

COUNTY OF SALT LAKE)

ON THE _____ DAY OF _____, A.D. 2024, PERSONALLY PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, DAVID CRABTREE AND TAMARA CRABTREE, WHO, BEING BY ME DULY SWORN, DID SAY THAT THE FOREGOING OWNER'S DEDICATION WAS SIGNED BY THEM, AND THEY ACKNOWLEDGED TO ME THEY EXECUTED THE SAME.

NOTARY PUBLIC'S SIGNATURE _____

NOTARY PUBLIC _____

COMMISSION NUMBER _____

PRINT NAME -- NOTARY PUBLIC COMMISSIONED
COMMISSIONED IN UTAH

COMMISSION EXPIRATION DATE _____

NOTES:

- REQUIREMENTS HAVE BEEN IMPOSED RELATING TO THE DEVELOPMENT OF THIS SUBDIVISION AND DEVELOPMENT ON EACH OF THE LOTS. THE REQUIREMENTS AND CONDITIONS SET FORTH IN NOTES 1-X ABOVE ARE DETAILED IN THE SANDY CITY COMMUNITY DEVELOPMENT AND ENGINEERING FILES (KNOWN AS SUB06142022-006347) AS SUCH FILES EXIST AS OF THE DATE OF THE RECORDING OF THE PLAT, THE CONDITIONS OF APPROVAL IMPOSED BY THE SANDY CITY PLANNING COMMISSION, THE SANDY CITY STANDARD SPECIFICATIONS FOR MUNICIPAL IMPROVEMENTS, THE STREETS AND PUBLIC IMPROVEMENT CHAPTERS OF THE REVISED ORDINANCES OF SANDY CITY, THE SANDY CITY BUILDING CODE, AND THE SANDY CITY LAND DEVELOPMENT CODE. REQUIREMENTS MAY BE IMPOSED AS REQUIRED BY THE APPLICABLE SANDY CITY ORDINANCES AT THE TIME OF ADDITIONAL DEVELOPMENT APPLICATIONS AND APPROVALS RELATING TO THE SUBJECT PROPERTY.
- NO DRIVEWAY SHALL BE CONSTRUCTED TO CONVEY STORM WATER RUNOFF TOWARD ANY BUILDING.
- EACH RESIDENTIAL LOT IS REQUIRED TO RETAIN STORM WATER ON SITE, EXCEPT FOR THE PORTION OF THE LOT THAT DRAINS TOWARD THE STREET AND/OR TO SUBDIVISION STORM WATER FLOW CONTROL FEATURE(S) AS LONG AS THE DOWNSTREAM STORM WATER SYSTEM CAN ACCOMMODATE THE FLOWS, DURING AND AFTER CONSTRUCTION. THIS CAN BE ACCOMPLISHED BY USE OF SWALES, RETENTION AREAS, BERMS, PLANTER BEDS, UNDERGROUND INFILTRATION, ETC.
- PROPERTIES ARE TO BE GRADED SUCH THAT STORM WATER RUNOFF WILL DRAIN AWAY FROM STRUCTURES AND TOWARDS PROPERTY BOUNDARIES. HOWEVER, NEW DEVELOPMENT OR REDEVELOPMENT SHALL NOT INCREASE THE BURDEN OF STORM WATER ON NEIGHBORING AND/OR DOWNSTREAM PROPERTIES. STORM WATER RUNOFF SHALL BE ENTIRELY CONTROLLED WITHIN THE LIMITS OF PROJECT SITE. PERPETRATING PROPERTY OWNERS MAY BE LIABLE FOR DAMAGES IN CIVIL COURTS DUE TO DAMAGES CAUSED TO ADJACENT PROPERTIES FROM RUNOFF (INCLUDING FLOWS THAT EXISTED BEFORE THE NEW DEVELOPMENT OR REDEVELOPMENT OCCURRED). ANY CONCENTRATED FLOWS LEAVING A SITE SHALL HAVE AN AGREEMENT/EASEMENT WITH THE AFFECTED PROPERTY OWNERS.
- THE CITY SHALL BE GIVEN THE FIRST RIGHT OF REFUSAL TO PURCHASE WATER RIGHTS ACCOMPANYING THE PROPERTY IN THIS DEVELOPMENT.
- 5/8" X 24" REBAR WITH SURVEY CAP TO BE PLACED AT ALL LOT CORNERS. CAP SHALL BE STAMPED WITH THE SURVEY COMPANY'S NAME, OR AN ABBREVIATION THEREOF, OR THE ABBREVIATION, "P.L.S.", FOLLOWED BY THE LICENSE NUMBER OF THE SURVEYOR IN CHARGE, IN LIEU OF REBAR AND CAP AT LOT FRONT CORNERS, COPPER OFF-SET PLUGS ARE TO BE PLACED IN THE TOP OF THE CURB, AT THE POINT OF INTERSECTION OF THE LOT LINE, EXTENDED, AND THE MIDDLE OF THE TOP OF CURB.

SANDY SUBURBAN
IMPROVEMENT DISTRICT

APPROVED THIS _____ DAY OF _____, 20__

REPRESENTATIVE _____

DOMINION ENERGY

APPROVED THIS _____ DAY OF _____, 20__

REPRESENTATIVE _____

CENTURYLINK

APPROVED THIS _____ DAY OF _____, 20__

REPRESENTATIVE _____

RECORD OF SURVEY

R.O.S. NO: _____

COUNTY SURVEYOR _____ DATE _____

SANDY CITY MAYOR

PRESENTED TO SANDY CITY MAYOR
THIS _____ DAY OF _____, A.D., 20__, AT WHICH
TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

MAYOR _____ ATTEST: CITY RECORDER _____

SANDY CITY PUBLIC UTILITIES

APPROVED THIS _____ DAY OF _____, A.D. 20__

ENGINEERING MANAGER _____

SALT LAKE COUNTY RECORDER

RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND
FILED AT THE REQUEST OF _____
DATE _____, TIME _____, BOOK _____, PAGE _____

FEE \$ _____ SALT LAKE COUNTY DEPUTY RECORDER

COMCAST

APPROVED THIS _____ DAY OF _____, 20__

REPRESENTATIVE _____

ROCKY MOUNTAIN
POWER

APPROVED THIS _____ DAY OF _____, 20__

REPRESENTATIVE _____

SANDY CITY PARKS AND
RECREATION

APPROVED THIS _____ DAY OF _____, A.D. 20__

DIRECTOR _____

PLANNING COMMISSION:

APPROVED THIS _____ DAY OF _____, A.D.,
20__, BY THE SANDY CITY PLANNING
COMMISSION

PLANNING COMMISSION CHAIRMAN _____

SALT LAKE COUNTY
BOARD OF HEALTH

APPROVED THIS _____ DAY OF _____, 20__

REPRESENTATIVE _____

SANDY CITY
ENGINEER

APPROVED THIS _____ DAY OF _____, 20__

CITY ENGINEER _____

APPROVAL AS TO FORM

APPROVED AS TO FROM THIS _____ DAY
OF _____, 20__

SANDY CITY ATTORNEY _____

TAMI CRABTREE SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE COUNTY BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH

PROJECT INFORMATION

TAMI CRABTREE

2845 E LITTLE COTTONWOOD ROAD, SANDY.

SUBDIVISION PLAT

REV.#	REVISION NOTES	DATE

CLIENT INFO



PROJECT NO: 25-CO-004	Sheet 1
DATE 03/04/2025	1
HORIZONTAL SCALE 1" = 30'	1

0 0.5 1
SCALE MEASURES 1-INCH ON FULL SIZE(36x24) SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS

GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (2017 EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THE PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (95% DENSITY PER ASTM D-1557) SUB GRADE.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED, RUBBED OR BROOMED FINISH. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATIONS HAVE NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- CONTRACTOR TO LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION AND THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTORS NEGLIGENCE TO POTHOLE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED WILL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN AND SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTIONS AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTORS EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZED RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED, WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- 5" x 24" REBAR WITH SURVEY CAP TO BE PLACED AT ALL LOT CORNERS. CAP SHALL BE STAMPED WITH THE SURVEY COMPANY'S NAME, OR AN ABBREVIATION THEREOF, OR THE ABBREVIATION, "P.L.S.". FOLLOWED BY THE LICENSE NUMBER OF THE SURVEYOR IN CHARGE. IN LIEU OF REBAR AND CAP AT LOT FRONT CORNERS, COPPER OFF-SET PLUGS ARE TO BE PLACED IN THE TOP OF THE CURB, AT THE POINT OF INTERSECTION OF THE LOT LINE, EXTENDED, AND THE MIDDLE OF THE TOP OF CURB.

UTILITY NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE AND POWER.

LEGEND	
PROPOSED	EXISTING
WATER METER	
WATER MANHOLE	
WATER BOX	
WATER VALVE	
FIRE HYDRANT	
SECONDARY WATER VALVE	
IRRIGATION BOX	
IRRIGATION VALVE	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEANOUT	
STORM DRAIN INLET BOX	
STORM DRAIN CATCH BASIN	



THE CONTRACTOR IS TO CALL BLUE STAKES PRIOR TO ANY CONSTRUCTION.

- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS (2017 EDITION), SECTION 02320 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS 8-INCHES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES FOR THE PROTECTION OF WORKERS.
- THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY ANY CONDITION INCLUDING SETTLEMENT TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
- ALL WATER AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (2017 EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLES, CATCH BASINS, OR CLEAOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW EXISTING PIPE DURING CONSTRUCTION.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHOULD BE BRACED SUCH THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, CENTER TO CENTER, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CANNOT BE MAINTAINED, THE SEWER LINE AND WATERLINE SHALL BE LAID IN SEPARATE TRENCHES AND THERE SHALL BE A MINIMUM 18" VERTICAL SEPARATION BETWEEN THE PIPES.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

TRAFFIC CONTROL AND SAFETY NOTES

- TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D).
- BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
- ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

GRADING AND DRAINAGE NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
- THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS)
- THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
- ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.

LEGEND	
PROPOSED	EXISTING
STORM DRAIN MANHOLE	
ROOF DRAIN	
UTILITY POLE	
STREET LIGHT	
SIGN	
SPOT ELEVATION	(TOC: ???) EG: ???
SILT FENCE	SF
STRIPING	
FENCE	x x
RIDGELINE	
STORM DRAIN LINE	SD SD sd
ROOF DRAIN LINE	RD RD
HIGH WATER LINE	HWL HWL

- THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GETOTECHNICAL REPORT.
- THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
- THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
- THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM POLLUTION PREVENTION PLAN.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

UTAH DEPARTMENT OF TRANSPORTATION NOTES

- UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
- WORK ON THE UDOT RIGHT-OF-WAY IS SEASONALLY RESTRICTED FROM OCTOBER 15 TO APRIL 15.
- ROW WORK: WORK IS NOT ALLOWED ON THE RIGHT-OF WAY DURING THE AM/PM PEAK TRAFFIC HOURS (6:00-9:00 AM AND 3:30-6:00 PM). ADDITIONAL WORK RESTRICTIONS OR MODIFICATIONS MAY BE IMPOSED AT THE TIME OF THE ENCROACHMENT PERMIT.
- REPLACE ALL PAVEMENT MARKINGS IN KIND (TAPE WITH TAPE AND PAINT WITH PAINT). INSTALL ALL PAINT LINES WITH PERMANENT PAINT APPLICATION PER UDOT SPECIFICATION 02765. PAINT MUST HAVE AT LEAST 6 MONTHS LIFE AS DETERMINED BY UDOT'S PERMITS OFFICER.
- ALL NEW PAVEMENT WORDS, ARROWS AND SYMBOLS MARKING WITHIN THE RIGHT-OF-WAY SHALL BE PRE-FORMED THERMO PLASTIC. ALL LETTERS, ARROWS AND SYMBOLS SHALL CONFORM WITH THE "STANDARD ALPHABET FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" ADOPTED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SN SERIES STANDARD DRAWINGS.
- BEFORE COMMENCING WORK ON THE STATE HIGHWAY, THE GENERAL CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE REGION'S PERMITS OFFICE BEFORE WORKING WITHIN THE STATE RIGHT-OF-WAY.
- NO ROAD CUTS ALLOWED ON THIS JOB
- FOR ALL UTILITY TAPS (ROAD CUTS), USE FLOWABLE FILL PER UDOT'S CURRENT MIX DESIGN (50-150 PSI) UDOT SPEC. 03575
- ALL UTILITIES WITHIN THE PAVED SURFACE MUST BE BORED.
- FOR EXCAVATIONS OUTSIDE THE ROADWAY, BACKFILL WITH UDOT APPROVED GRANULAR BORROW AND ROAD BASE. COMPACTION PER UDOT SPEC. 2056 AND 2721.
- OWNER, DEVELOPER, AND /OR THE CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
- OWNER, DEVELOPER, AND/OR THE CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGE TO THE UDOT RIGHT-OF-WAY THAT MAY BE DIRECTLY OR INDIRECTLY CAUSED BY THE DEVELOPEMNT ACTIVITY.
- TRAFFIC SIGNAL INSTALLATION OR MODIFICATION REQUIRES A SEPARATE WARRANTY BOND ONCE THE WORK HAS BEEN COMPLETED AND ACCEPTED. THE PERMITTEE IS RESPONSIBLE FOR HIRING AN INDEPENDENT INSPECTION COMPANY TO PERFORM INSPECTION SERVICES FOR ALL SIGNAL WORK COMPLETED. FOR A LIST OF THE UDOT APPROVED CONTRACTORS AND CONSULTANTS CONTACT THE APPROPRIATE REGIONS TRAFFIC SIGNALS ENGINEER.
- PARTIAL CONCRETE PANEL REPLACEMENT IS NOT ALLOWED. WHEN PANELS ARE REMOVED, THE ENITOEER PANEL IS REQUIRED TO BE REPLACED PER UDOT STANDARDS, SPECIFICATIONS, AND DRAWINGS.
- DOUBLE SAW CUT THE CONCRETE TO PREVENT THE SPALLING OF OTHER CONCRETE PANELS AND TO AVOID OVER CUTS. OVER CUTS AND SPALLS WILL REQUIRE FULL PANEL REPLACEMENT. REFERENCES 1. UTAH ADMINISTRATIVE CODE R930-6 (ACCESS MANAGEMENT FOR A COMPLETE VERSION OF THE DEPARTMENTS STANDARDS AND GUIDELINES REGARDING ACCESS PERMITS PLEASE REFER TO UTAH ADMINISTRATIVE CODE R930-6. WWW.UDOT.GOV/GO/ACCESSMANAGMENT . 2. AASHTO, A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS ("GREEN BOOK"), BOOKSTORE.TRANSPORTATION.ORG . 3. AASHTO, ROADSIDE DESIGN GUIDE, BOOKSTORE.TRANSPORTATION.ORG . 4. UTAH, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (UMUTCD). WWW.UDOT.UTAH.GOV
- ALL ABOVE GROUND FEATURES INCLUDING UTILITIES (POLES, FIRE HYDRANTS, BOXES, ETC.) MUST BE RELOCATED OUT OF THE AASHTO CLEAR ZONE OR A MINIMUM OF 18" BEHIND CURB.



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TAMI CRABTREE SUBDIVISION
2845 EAST LITTLE COTTONWOOD ROAD
SANDY CITY, UTAH 84092

CLIENT/DEVELOPER CONTACT

NAME: TAMI CRABTREE
ADDRESS: 2845 EAST LITTLE COTTONWOOD DRIVE
SANDY, UTAH 84092
PHONE: (801) 808-1733
EMAIL: TAMICRAB@YAHOO.COM

REV	COMMENT

SHEET NO.

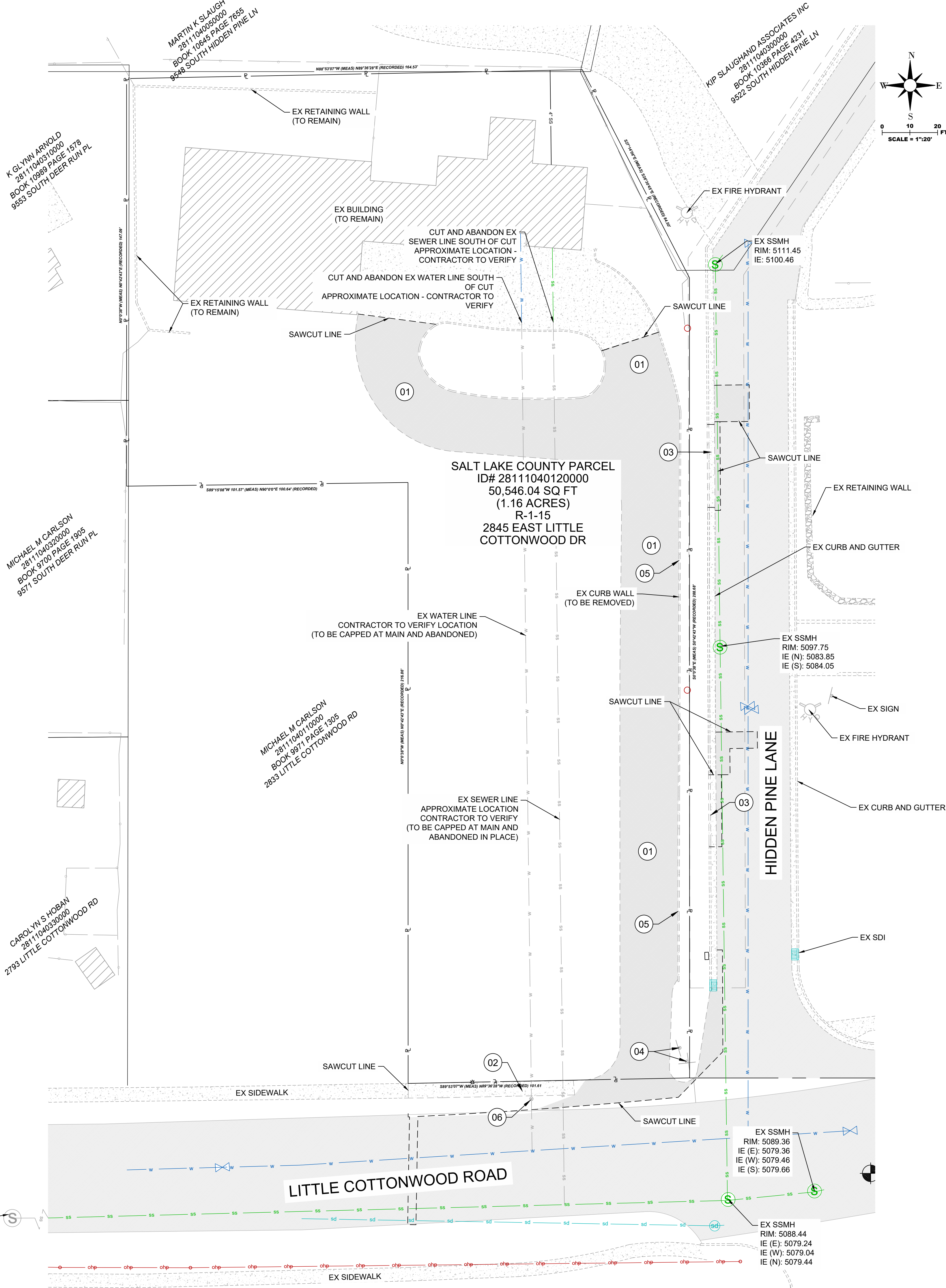
C100

GENERAL NOTES

NOTE: THIS LEGEND MAY INCLUDE SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.

KEYNOTES:

- 01 SAWCUT AND REMOVE EXISTING ASPHALT
- 02 SAWCUT AND REMOVE EXISTING CONCRETE SIDEWALK
- 03 SAWCUT AND REMOVE EXISTING CURB & GUTTER
- 04 RELOCATE EXISTING SIGNS
- 05 REMOVE EXISTING CURB WALL
- 06 REMOVE EXISTING WATER METER - CAP AND ABANDON AT THE MAIN.



Know what's below. **811** before you dig.

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

THE CONTRACTOR IS TO CALL BLUE STAKES PRIOR TO ANY CONSTRUCTION.



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SANDY, UTAH 84092**
PHONE: **(801) 808-1733**
EMAIL: **TAMICRAB@YAHOO.COM**

REV	COMMENT

SHEET NO.

C200
EXISTING/DEMO
PLAN

CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. IF A CONFLICT IS IDENTIFIED, THE ENGINEER OF RECORD SHOULD BE CONTACTED IMMEDIATELY, PRIOR TO ANY FURTHER WORK BEING DONE RELATED TO THE ISSUE. CONTRACTOR IS TO BEGIN CONSTRUCTION AT LOW SIDE OF ALL GRAVITY LINES.

KEYNOTES:

- 01 NEW 4" SDR-35 SEWER LATERAL PER APWA #431 - DETAIL #5 ON SHEET C600
- 02 SAWCUT AND REPAIR PER SANDY CITY STD
- 03 NEW 1" WATER LATERAL AND METER PER SANDY CITY STD DWG WTR-09 (DETAIL 3 SHEET C600)
- 04 SIDEWALK PER UDOT STD DWG GW 3A (DETAIL 9 ON SHEET C600)
- 05 DRIVE APPROACH PER SANDY CITY STD DWG DA-01 (DETAIL 4 ON SHEET C600)
- 06 CURB AND GUTTER PER SANDY CITY STD DWG CG-01 (DETAIL 6 ON SHEET C600)
- 07 3" THICK ASPHALT ON 6" THICK ROADBASE
- 08 ADA RAMP PER ELEVATIONS ON SHEET C300
- 09 CURB AND GUTTER PER UDOT STD GW 2A 'TYPE B1' (DETAIL 10 ON SHEET C600)
- 10 SEWER CLEANOUT
- 11 3" CONCRETE PAD OVER 6" ROADBASE
- 12 ASPHALT INSTALLATION PER UDOT STD
- 13 59 WATT STREET LIGHT PER SANDY CITY STANDARDS DETAILS PER SANDY CITY STD DWG SL-01 (DETAIL 7 ON SHEET C600)

SANDY CITY WATER NOTES

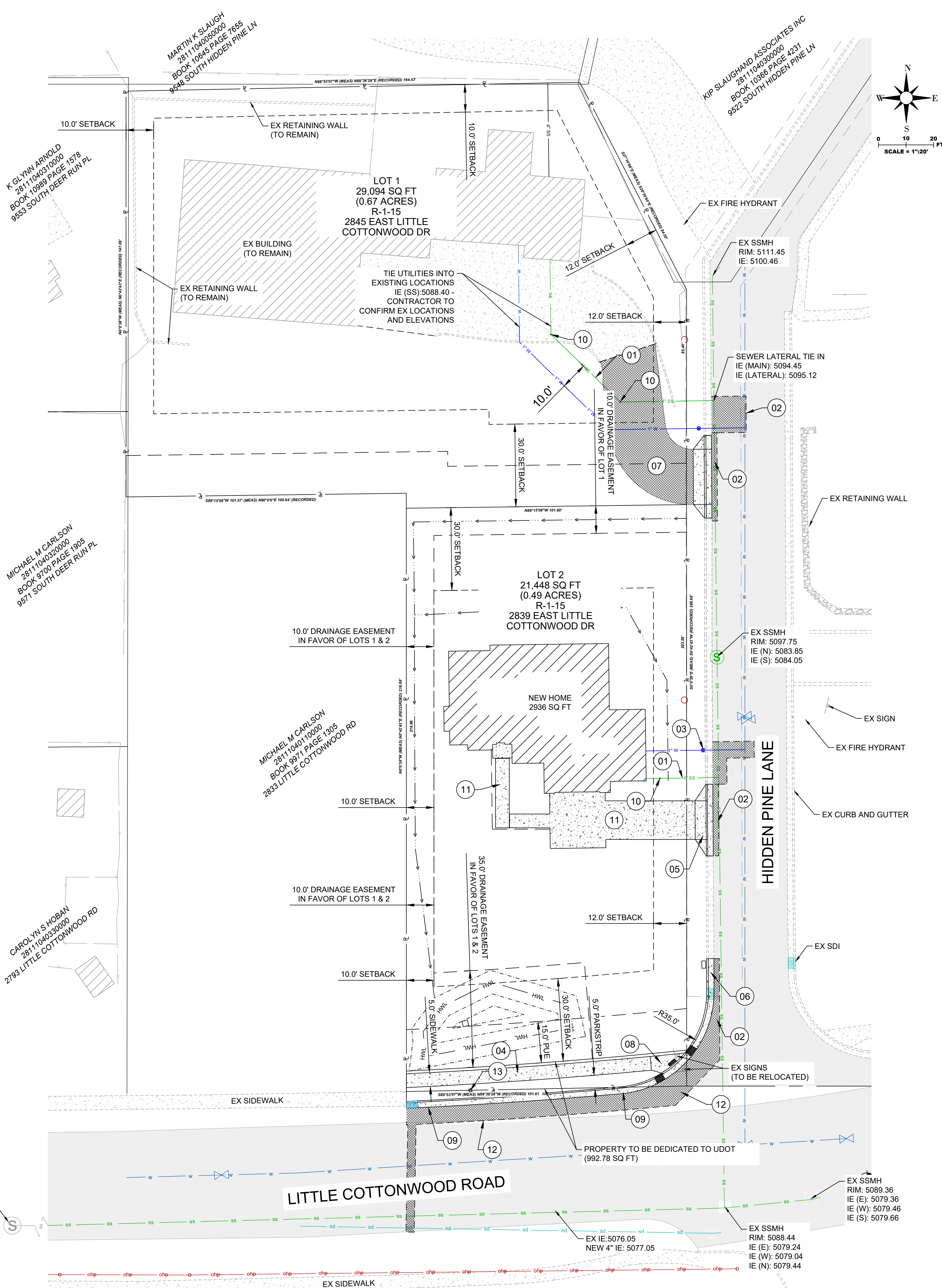
1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
4. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, METERS, BOXES, VAULTS, VALVES, FIRE HYDRANTS, BLOWOFFS, VAULTS, ETC. RELATING TO THE WATER SYSTEM. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
5. CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
6. WATER LINES SHALL BE INSTALLED 4-FEET OFF LIP OF GUTTER ON THE NORTH AND/OR EAST SIDE OF THE ROADWAY. WATER LINES SHALL NOT BE INSTALLED WITHIN OR THROUGH PARKING STALLS OR UNDER CONCRETE PAVEMENT, UNLESS WATER LINE IS TO BE MAINTAINED BY PRIVATE PROPERTY OWNER.
7. A MINIMUM OF 48-INCHES AND A MAXIMUM OF 60-INCHES OF COVER FROM THE TOP OF THE PIPE TO THE FINISH GRADE IS REQUIRED.
8. FOR CONSTRUCTION EAST OF THE UTAH TRANSIT AUTHORITY'S TRAX LINE, USE DUCTILE IRON PIPE, USE THICKNESS CLASS 52 OR BETTER.
9. FOR CONSTRUCTION WEST OF UTAH TRANSIT AUTHORITY'S TRAX LINE, USE POLYVINYL CHLORIDE (PVC) PIPE, USE CLASS DR-14 OR BETTER. 10 GAUGE WIRE SHALL BE PLACED ON TOP OF THE PIPE (PER SANDY CITY SPECIFICATIONS) FOR FUTURE RELOCATION. NO DEFLECTION IN PIPE JOINTS WILL BE ALLOWED ON PVC PIPES.
10. ALL MECHANICAL JOINTS MUST BE RESTRAINED USING MEGA LUGS FOR DIP AND ROMAC GRIP RINGS FOR PVC OR APPROVED EQUAL. MEGA LUGS SHALL NOT BE ALLOWED ON PVC PIPE.
11. USE 6-INCH COMPRESSION TYPE HYDRANT BY MUELLER CENTURION OR CLOW MEDALLION. EXISTING HYDRANTS REQUIRED FOR FIRE PROTECTION THAT DO NOT MEET CURRENT STANDARDS SHALL BE UPGRADED TO MEET CURRENT SANDY CITY STANDARDS AND SPECIFICATIONS.
12. WHEN THE DISTANCE FROM THE WATER MAIN TO THE FIRE HYDRANT IS GREATER THAN 6-FEET, AN ADDITIONAL AUXILIARY VALVE SHALL BE FLANGED TO THE FIRE HYDRANT.
13. ALL DEAD ENDS SHALL BE PLUGGED WITH A 2-INCH WASHOUT OR END WITH A FIRE HYDRANT.
14. ALL DUCTILE IRON WATER LINES, FITTINGS, AND VALVES SHALL BE POLY-BAGGED IN ACCORDANCE WITH SANDY CITY STANDARDS AND SPECIFICATIONS.
15. ALL WATER LINES SHALL BE BEDDED WITH SAND (6-INCHES MINIMUM BELOW AND 12-INCHES MINIMUM ON EACH SIDE AND TOP OF THE PIPE).

NOTE:

5" x 24" REBAR WITH SURVEY CAP TO BE PLACED AT ALL LOT CORNERS. CAP SHALL BE STAMPED WITH THE SURVEY COMPANY'S NAME, OR AN ABBREVIATION THEREOF, OR THE ABBREVIATION, "P.L.S.", FOLLOWED BY THE LICENSE NUMBER OF THE SURVEYOR IN CHARGE. IN LIEU OF REBAR AND CAP AT LOT FRONT CORNERS, COPPER OFFSET PLUGS ARE TO BE PLACED IN THE TOP OF THE CURB, AT THE POINT OF INTERSECTION OF THE LOT LINE, EXTENDED, AND THE MIDDLE OF THE TOP OF CURB.



THE CONTRACTOR IS TO CALL BLUE STAKES PRIOR TO ANY CONSTRUCTION.



SANDY CITY PUBLIC WORKS GENERAL NOTES

- INSTALL SURVEY RIVETS, OFFSET FROM EACH LOT'S PROPERTY CORNERS, IN CURB OR SIDEWALK.
- BUILDER/OWNER SHALL OBTAIN AN EXCAVATION PERMIT FROM SANDY CITY PUBLIC WORK DEPARTMENT PRIOR TO DOING ANY WORK IN THE SANDY CITY RIGHT-OF-WAY.
- TRAFFIC PLAN, BONDING, AND INSURANCE WILL BE REQUIRED
- NOTIFY SANDY CITY PUBLIC WORKS INSPECTION DEPARTMENT, 801-568-2999, 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF ANY ROADWAYS OR PUBLIC IMPROVEMENTS, INCLUDING SEWER FACILITIES. ALL INSPECTIONS MUST BE DONE PRIOR TO OR CONCURRENT WITH CONSTRUCTION. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE UNCOVERING AND/OR REMOVAL OF ALL ITEMS INSTALLED WITHOUT NOTIFICATION, AT THE DISCRETION OF THE CITY ENGINEER.
- ALL PUBLIC IMPROVEMENTS, WHICH ARE TO BE OWNED AND MAINTAINED BY SANDY CITY, AND ALL PUBLICLY-AND PRIVATELY- OWNED AND MAINTAINED ROADS SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION). THE SPECIFICATIONS CAN BE FOUND IN .PDF FORMAT ONLINE AT WWW.SANDY.UTAH.GOV (SEARCH FOR "STANDARD SPECIFICATIONS)
- PROVIDE A PROCTOR TEST, FOR ROADBASE MATERIAL THAT IS TO BE PLACED IN THE PUBLIC RIGHT-OF-WAY, TO THE SANDY CITY PUBLIC WORKS INSPECTOR, WHEN DELIVERED OR PLACED ON SITE.
- FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT.
- SANDY CITY STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN, HOWEVER, UNLESS GEOTECHNICAL REPORT RECOMMENDATIONS ARE MORE STRINGENT.
- BUILDER/OWNER SHALL REPLACE ANY EXISTING SIDEWALK OR CURB & GUTTER, ALING THE FRONTAGE OF THIS PROJECT, THAT IS GOUND TO BE LIFTED, CHIPPED, CRACKED, SPALLED, OR NOT PROPERLY DRAINING, AS DIRECTED BY THE SANDY CITY INSPECTOR.
- DUST, MUD, AND EROSION SHALL BE ADEQUATELY CONTROLLED, BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS, AT ALL TIMES. HOWEVER, THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS, FOR DUST SUPPRESSION, IS ABSOLUTELY PROHIBITED.
- ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.
- PRIOR TO RELEASE OF THE GUARANTEE FOR IMPROVEMENTS (BOND), AND ACCORDING TO THE "CITY ENGINEER REQUIREMENTS" LETTER FOR THIS PROJECT, THE DEVELOPER SHALL SUBMIT A .PDF COPY OF THE CONTRACTOR'S SITE (NOT BUILDING) CONSTRUCTION DRAWING SET TO SANDY CITY PUBLIC WORKS DEPARTMENT.
- AN AS-BUILT FIELD SURVEY IS NOT REQUIRED. THE AS-BUILT DRAWING MAY BE SUBMITTED BY E-MAIL AT DPOULSEN@SANDY.UTAH.GOV, OR ON A USB FLASH DRIVE, OR THE HARD-COPY ORIGINAL MAY BE SUBMITTED TO SANDY CITY (DAVE POULSEN, 801-568-6058), WHERE THE SET WILL BE SCANNED AND RETURNED TO THE OWNER.
- PROVIDE SLOPE AWAY FROM THE BUILDINGS THAT COMPLIES WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (2% MINIMUM/12% MAXIMUM ON HARD SURFACES. 5% MINIMUM/2:1 MAXIMUM IN LANDSCAPE AREAS - FOR MINIMUM OF 10 FEET IN ANY CASE)
- PROVIDE AN ESTIMATE OF THE QUANTITIES OF EXCAVATION AND FILL, AS WELL AS LOCATIONS OF BORROW SITES, SURPLUS DISPOSAL SITES, AND HAUL ROUTES, TO THE SANDY CITY PUBLIC WORKS INSPECTOR.
- FOR RETAINING WALLS THAT WILL BE 4.0 FEET HIGH OR HIGHER (FROM BOTTOM OF WALL FOOTING TO TOP OF WALL), SUBMIT DESIGN CALCULATIONS AND DETAILS, STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER CURRENTLY LICENSED IN UTAH, FOR REVIEW AND APPROVAL, TO RYAN KUMP, SANDY CITY ENGINEER (801-568-2962)
- OBTAIN A PERMIT FROM THE SANDY CITY BUILDING DIVISION (801-568-7251) PRIOR TO CONSTRUCTING ANY RETAINING WALL THAT WILL BE 4.0 FEET HIGH OR HIGHER (FROM BOTTOM OF WALL FOOTING TO TOP OF WALL)
- A PROFESSIONAL ENGINEER, CURRENTLY LICENSED IN UTAH, SHALL INSPECT DURING CONSTRUCTION, AND APPROVE AFTER CONSTRUCTION, ANY RETAINING WALLS THAT ARE 4.0 FEET HIGH OR HIGHER, FROM TOP OF WALL TO BOTTOM OF FOOTING. SAID ENGINEER SHALL SUBMIT A LETTER, STAMPED, WITH THE STAMP SIGNED AND DATED, AND INDICATING THAT THE WALL WAS INSTALLED ACCORDING TO THE APPROVED DESIGN, TO THE SANDY CITY ENGINEER, PRIOR TO RELEASE OF THE GUARANTEE FOR IMPROVEMENTS.
- ALL IMPROVEMENTS WITHIN THE UTAH DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL BE CONSTRUCTED AS REQUIRED BY UDOT REGION TWO.
- BUILDER/OWNER SHALL OBTAIN AN EXCAVATION PERMIT FROM UTAH DEPARTMENT OF TRANSPORTATION (UDOT) REGION TWO PRIOR TO DOING ANY WORK WITHIN THE UDOT RIGHT-OF-WAY

SANDY CITY STREET LIGHT NOTES

1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
2. THE DEVELOPER IS REQUIRED TO GRANT TO THE CITY A MINIMUM OF 15-FOOT WIDE STREETLIGHT EASEMENT (7.5 FEET EACH SIDE OF PIPE) FOR CONDUIT AND WIRES TO THE POWER SOURCE ON PRIVATE PROPERTY.
3. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
5. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR STREETLIGHTS, JUNCTION BOXES, AND ELECTRICAL WIRING. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
6. INSTALLATIONS SHALL BE LOCATED AS INDICATED ON THE APPROVED PLANS FOR THE PROJECT. FIELD MODIFICATIONS MUST BE APPROVED BY THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
7. STREET LIGHT POLES SHALL BE INSTALLED IN A MANNER THAT WILL NOT HINDER THE OPERATION OF FIRE HYDRANTS, UNDERGROUND WATER SYSTEM ISOLATION VALVES, AND OTHER UTILITIES.
8. INSTALLATIONS WITHIN CLOSE PROXIMITY TO TREES SHALL BE AVOIDED UNLESS APPROVED BY SANDY CITY PUBLIC UTILITIES INSPECTOR.
9. OVERHEAD POWER LINES FOR STREETLIGHTS ARE NOT ALLOWED.

CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. IF A CONFLICT IS IDENTIFIED, THE ENGINEER OF RECORD SHOULD BE CONTACTED IMMEDIATELY, PRIOR TO ANY FURTHER WORK BEING DONE RELATED TO THE ISSUE. CONTRACTOR IS TO BEGIN CONSTRUCTION AT LOW SIDE OF ALL GRAVITY LINES.



1246 E Driggs Ave
SLC, UT 84106
isaac@irecivil.com (801) 860-2191



TAMI CRABTREE SUBDIVISION
2845 EAST LITTLE COTTONWOOD ROAD
SANDY CITY, UTAH 84092

CLIENT/DEVELOPER CONTACT

NAME: TAMI CRABTREE
ADDRESS: 2845 EAST LITTLE COTTONWOOD DRIVE
SANDY, UTAH 84092
PHONE: (801) 808-1733
EMAIL: TAMICRAB@YAHOO.COM

REV	COMMENT

SHEET NO.

C300
SITE/UTILITY
PLAN

POST DEVELOPMENT DETENTION POND									
Project:	Crabtree Subdivision								
Location:	Sandy , Utah								
Date:	4/22/2025								
Engineer:	Isaac Riches								
10-Year Detention Sizing									
POST DEVELOPMENT DETENTION POND									
Design Criteria									
	Intensity Table	Per NOAA Atlas 14							
	Return Period	10 year							
	Allowable Discharge	0.20 ft³/sec/Acre							
	PropetyAcreage	1.16 Ac							
Allowable Discharges									
	Storm Drain Discharge	0.23 ft³/sec							
	Other Discharge	0.00 ft³/sec							
	Total Discharge	0.23 ft³/sec							
Weighted "C" Value									
	Surface Type	Area (sq ft)	"C" Value	CxA					
	Building	8995.00 ft²	0.85	7645.75					
	Hardscape	5258.08 ft²	0.9	4732.26849					
	Landscape	35512.82 ft²	0.15	5326.92276					
	Totals	49765.89 ft²		17704.94125					
	Weighted "C" Value	0.36							
Drainage Calculations									
	Duration	Intensity	Runoff C	Area	Rainfall	Accumulated Flow	Allowable Discharge	Discharge	Required Storage
	15 min	2.27 in/hr	0.36	1.16 Ac	0.94 ft³/sec	850.15 ft³	0.23 ft³/sec	208.80 ft³	641.35 ft³
	30 min	1.53 in/hr	0.36	1.16 Ac	0.64 ft³/sec	1146.01 ft³	0.23 ft³/sec	417.60 ft³	728.41 ft³
	60 min	0.95 in/hr	0.36	1.16 Ac	0.39 ft³/sec	1418.66 ft³	0.23 ft³/sec	835.20 ft³	583.46 ft³
	120 min	0.54 in/hr	0.36	1.16 Ac	0.22 ft³/sec	1614.90 ft³	0.23 ft³/sec	1670.40 ft³	-55.50 ft³
	180 min	0.39 in/hr	0.36	1.16 Ac	0.16 ft³/sec	1766.20 ft³	0.23 ft³/sec	2505.60 ft³	-739.40 ft³
	360 min	0.25 in/hr	0.36	1.16 Ac	0.10 ft³/sec	2256.07 ft³	0.23 ft³/sec	5011.20 ft³	-2755.13 ft³
	720 min	0.16 in/hr	0.36	1.16 Ac	0.07 ft³/sec	2858.29 ft³	0.23 ft³/sec	10022.40 ft³	-7164.11 ft³
	1440 min	0.09 in/hr	0.36	1.16 Ac	0.04 ft³/sec	3307.70 ft³	0.23 ft³/sec	20044.80 ft³	-16737.10 ft³
					Maximum Storage Requirement:				728.41 ft³
					Maximum Storage Requirement (ac-ft):				0.02 Ac-ft
Detention Basin Design									
Storage Requirement:	728.41 ft³								
Detention Pond Volume:	846.18 ft³								
Total Storage	846.18 ft³		ADEQUATE STORAGE						

ORIFICE PLATE SIZING			
REQUIRED DETENTION STORAGE	728.41 ft³		
ALLOWABLE RELEASE RATE	0.23 ft³/sec		
MAX DETENTION TIME =	1 hr		
ORIFICE HEAD 'H'	4.00 ft		
ORIFICE COEFFICIENT 'C'	0.6	EQUATION	
ORIFICE AREA 'A'	0.024 ft²	A=Q/(C*(2GH)0.5)	
ORIFICE DIAMETER	2.10 in	D =(2*(A/3.14)0.5)*12	

SANDY CITY SD-01 GENERAL NOTES

- MATERIALS, CONSTRUCTION, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION, ADDENDUMS, AND SPECIAL PROVISIONS THERETO AND AS DIRECTED BY THE CITY ENGINEER, OR HIS AUTHORIZED REPRESENTATIVE. THE CURRENT EDITION IS AVAILABLE ONLINE AT:
<http://sandy.utah.gov/government/public-works/standards-specifications.html>
 - CONCRETE SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTIONS 03000 AND 03300
 - REINFORCING STEEL SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 03200
 - PRECAST MANHOLES AND STRUCTURES SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 03400. COMBO AND JUNCTION BOXES SHALL BE CAST-IN-PLACE UNLESS SPECIFIED AND/OR APPROVED BY THE CITY REPRESENTATIVE.
 - BACKFILL SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 02240
 - COMPACTION SHALL BE 96% PER SPECIFICATIONS IN SECTION 02240
 - PIPE SIZE, ELEVATION, AND LOCATION SHALL BE SHOWN ON APPROVED CONSTRUCTION DRAWINGS
 - MANHOLE RING AND COVER SHALL BE D&L SUPPLY MODEL A-1180 OR APPROVED EQUAL
 - THROAT OPENING HEIGHT OF CURB INLET SHALL BE A MIN OF 4"
 - WHEN A CURB INLET BOX IS INSTALLED IN A LOCATION WITH EXISTING CURB AND GUTTER, THE CURB AND GUTTER SHALL BE REPLACED TO THE NEXT JOINT OR AS DIRECTED BY THE CITY REPRESENTATIVE
 - REBAR SPLICE FOR CAST-IN-PLACE STRUCTURES SHALL BE MIN 40 DIAMETERS
 - PIPE TO STRUCTURE COLLAR (SEE SHEET SD-06) SHALL BE INSTALLED FOR ALL PIPE TO STRUCTURE CONNECTIONS FOR CURB INLET BOXES, AND JUNCTION BOXES.
1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
4. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, AND STRUCTURES (INLET BOXES, COMBO BOXES, AND JUNCTION BOXES). SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
5. CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
6. ALL MATERIALS AND WORK DONE IN UDOT RIGHT-OF-WAY SHALL CONFORM TO UDOT STANDARDS AND SPECIFICATIONS.
7. NON-SHRINK GROUT SHALL BE USED WHEREVER GROUT IS REQUIRED FOR THE STORM DRAIN FACILITIES.
8. CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE AND GROUT AT CONNECTION OF PIPE TO BOX TO A SMOOTH FINISH. ADDITIONALLY, ALL JAGGED OR SHARP EDGES AT PIPE CONNECTIONS ARE TO BE REMOVED AND GROUTED SMOOTH.
9. GROUT BETWEEN GRADE RINGS, FOR EACH INLET BOX THAT IS LOCATED NEXT TO A CURB, THE CURB AND GUTTER CONTRACTOR IS RESPONSIBLE TO REMOVE ALL PROTRUDING, JAGGED OR SHARP CONCRETE EDGES AND TO GROUT BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX. GROUT TO CREATE A SMOOTH, BEVELED TRANSITION AT ALL EDGES IN CLEAN OUT AND INLET BOXES. GROUT AROUND ALL EDGES OF THE RESTRICTIVE ORIFICE PLATE. REMOVE SNAP TIES, NAILS, REBAR AND OTHER PROTRUSIONS FROM THE BOX OR PIPE INSIDE SURFACE, AS WELLS AS ALL FORM WORK, PLASTIC AND CARDBOARD.
10. SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL INLET BOXES, COMBO BOXES, JUNCTION BOXES, AND PIPE. THE BOXES AND PIPES ARE TO BE MAINTAINED IN A CLEAN CONDITION UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
11. CLEAN OFF ALL MANHOLE LIDS AND INLET GRATES OF ASPHALT, CONCRETE, TAR OR OTHER ADHESIVES TO ALLOW ACCESS.
12. WHERE A SUMP IS REQUIRED, THE SANDY CITY PUBLIC UTILITIES INSPECTOR SHALL BE CONTACTED PRIOR TO CONSTRUCTION TO PROVIDE AN OPPORTUNITY TO CHECK THE VOLUME OF GRAVEL AND GRAVEL GRADATION.
13. SIGNS MUST BE POSTED NEAR EACH INLET BOX LOCATED IN A DRINKING WATER RECHARGE ZONE, WITH THE FOLLOWING WORDS "WARNING THIS IS A DRINKING WATER AQUIFER RECHARGE AREA. DISPOSAL OF ANY WASTE MATERIALS IN THE STORM WATER IS STRICTLY PROHIBITED."
14. ALL INLET, COMBO AND JUNCTION BOXES SHALL BE PLACED ON 12-INCH (MIN.) COMPACTED AGAIN BEFORE FINAL BOND RELEASE.
15. A VIDEO OF ALL PIPES MUST BE COMPLETED BEFORE THE 80% OR 90% RELEASE AND AGAIN BEFORE FINAL BOND RELEASE. A REPRESENTATIVE OF THE MANUFACTURER OR SUPPLIER SHALL BE ON SITE DURING INSTALLATION OF OIL-WATER SEPARATOR, MECHANICAL TREATMENT DEVICES, MEDIA FILTERS, AND UNDERGROUND DETENTION/RETENTION SYSTEMS. THE MANUFACTURER OR SUPPLIER SHALL PROVIDE A LETTER STATING THAT THE SYSTEM WAS INSTALLED PER MANUFACTURER'S SPECIFICATIONS. IF IT IS UNKNOWN WHETHER A REPRESENTATIVE IS REQUIRED TO BE PRESENT DURING INSTALLATION, CONTACT THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
16. A STAMPED "LETTER OF CONFORMANCE" FROM THE DESIGN ENGINEER IS REQUIRED TO BE SUBMITTED TO SANDY CITY PUBLIC UTILITIES DEPARTMENT, PRIOR TO 90% BOND RELEASE, STATING THAT STORM WATER FLOW CONTROL ELEMENTS AND STORM WATER TREATMENT FACILITIES (E.G. DETENTION, RETENTION, LID BEST MANAGEMENT PRACTICES, OIL-WATER SEPARATORS, SUMPS, ETC) WERE CONSTRUCTED ACCORDING TO THE APPROVED PLANS.

SANDY CITY PUBLIC WORKS GENERAL NOTES

- DURING CONSTRUCTION OF THE DRIVEWAYS, CARE SHOULD BE TAKEN TO ADHERE PRECISELY TO THE DESIGN ELEVATIONS AND DIMENSIONS OF THE APPROVED GRADING PLAN. IF THE DRIVEWAY IS INSTALLED AT A SLOPE LESS THAN 2% OR GREATER THAN 12% (SLOPING AWAY FROM THE STRUCTURE), THE DRIVEWAY SHALL BE REMOVED AND REINSTALLED, AT THE OWNER'S COST.



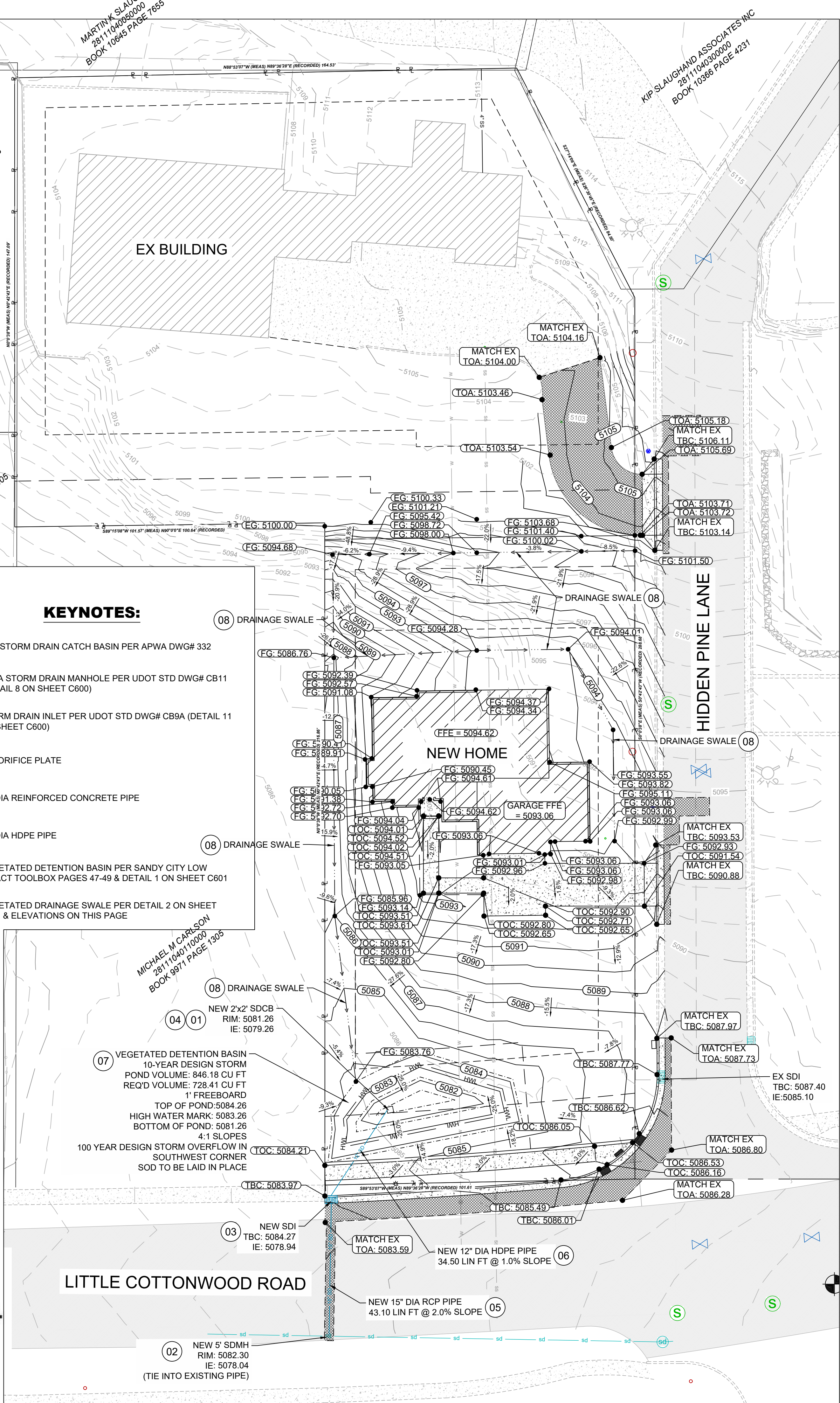
Know what's below.



Call 811 before you dig.

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

THE CONTRACTOR IS TO CALL BLUE STAKES PRIOR TO ANY CONSTRUCTION.

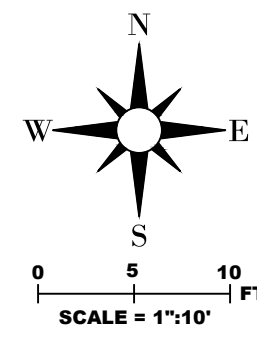


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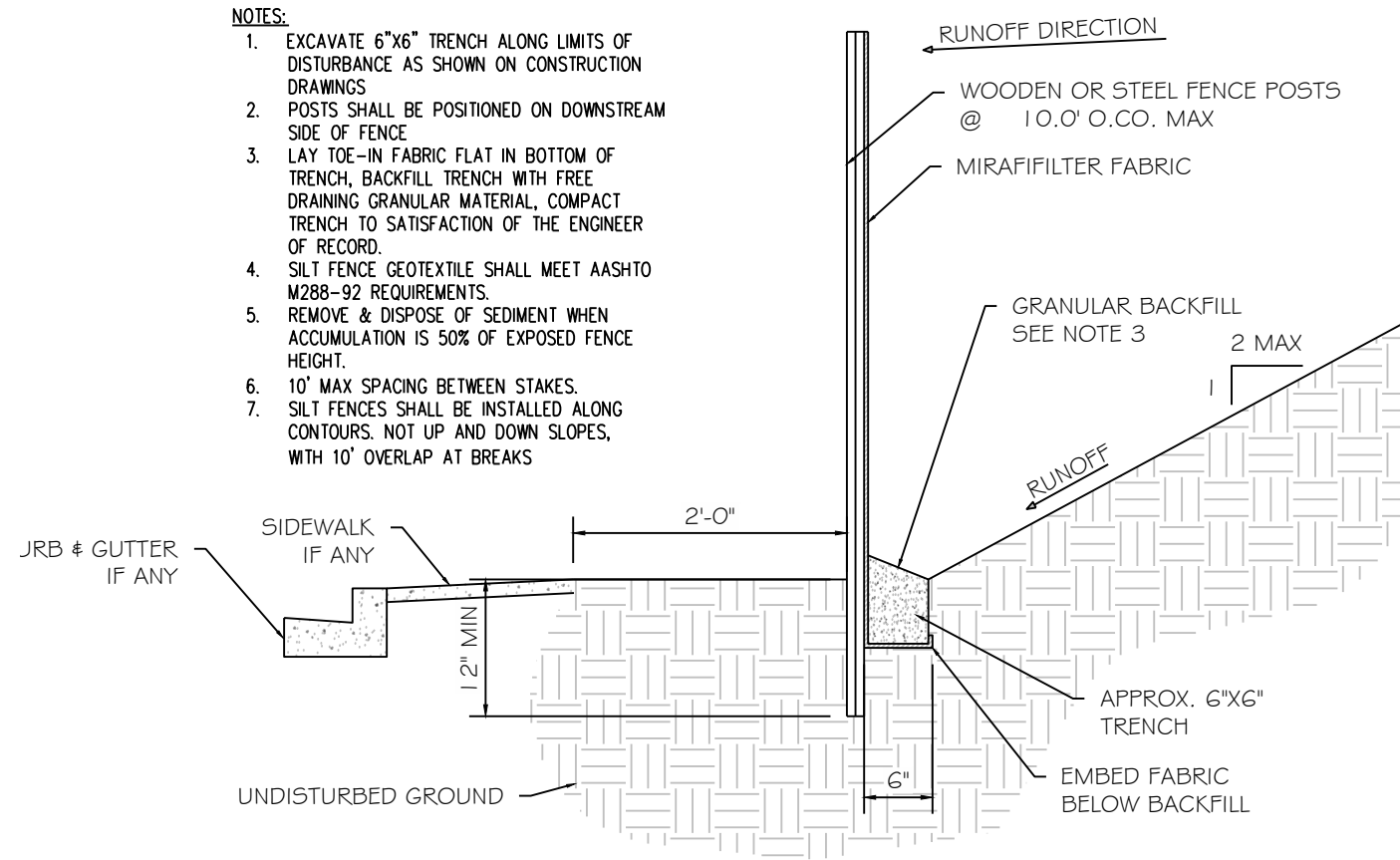
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KIP SLAUGH AND ASSOCIATES INC
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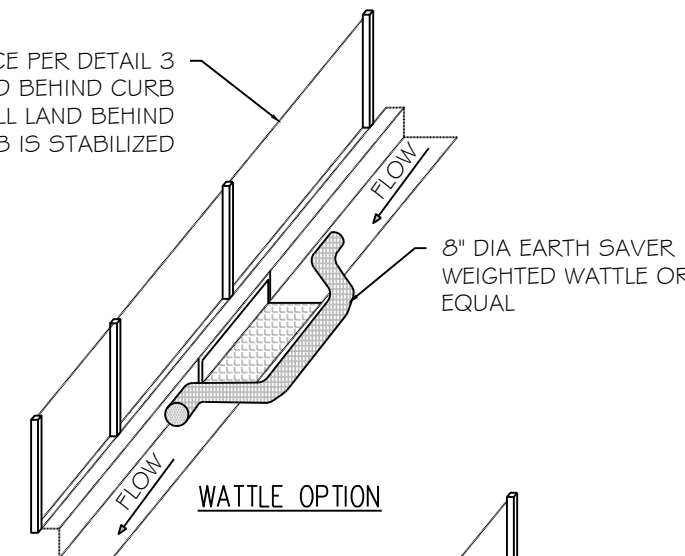
- NOTES:
1. EXCAVATE 6"X6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS
 2. POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE
 3. LAY TIE-IN FABRIC FLAT IN BOTTOM OF TRENCH, BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL, COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD
 4. SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS
 5. REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT
 6. 10' MAX SPACING BETWEEN STAKES
 7. SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS



1 SILT FENCE

SCALE: NONE

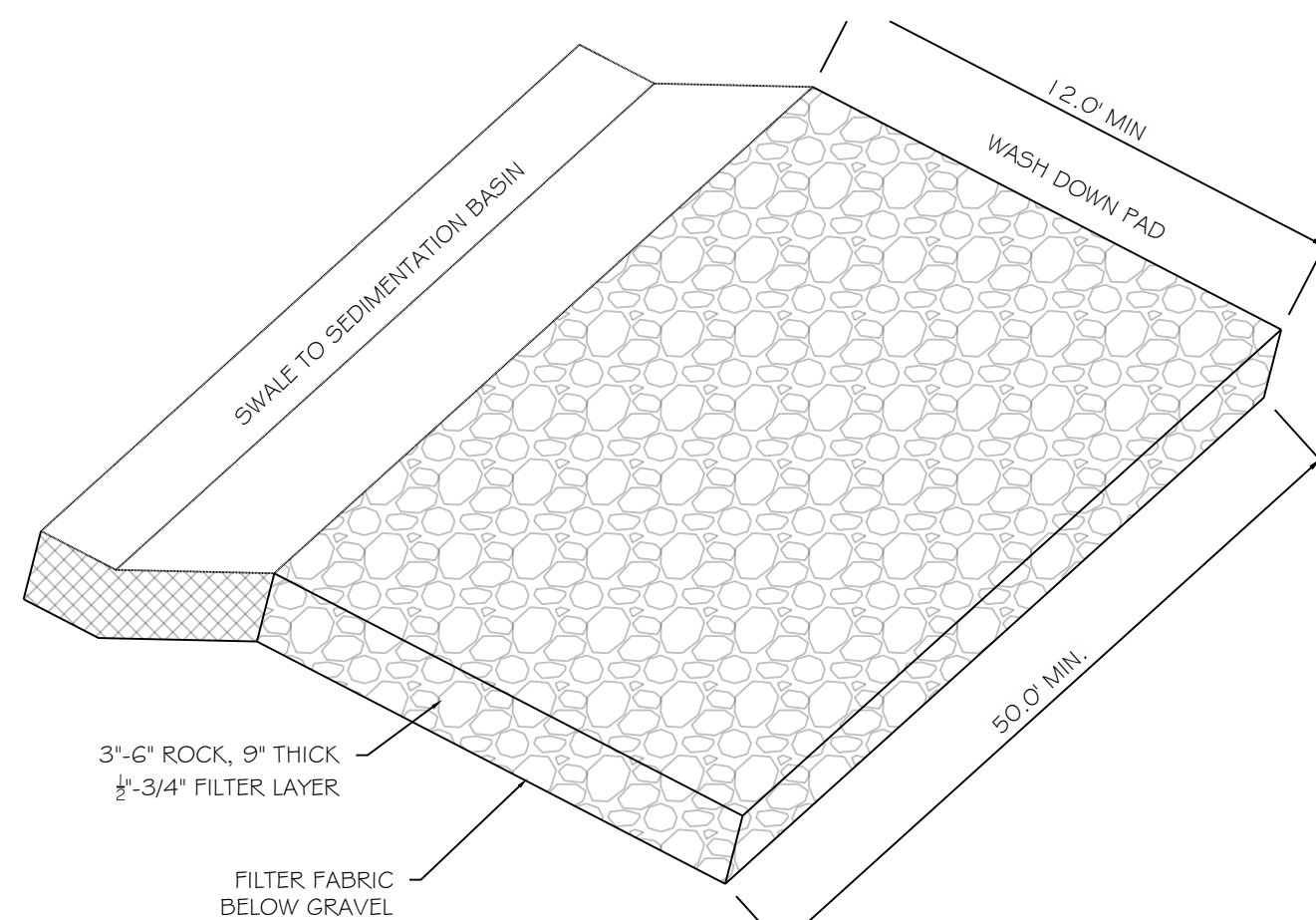
SILT FENCE PER DETAIL 3
REQUIRED BEHIND CURB
AT BOX TILL LAND BEHIND
CURB IS STABILIZED



- NOTES:
1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLE/BAG
 2. PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE
 3. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED
 4. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES SIDE OF GRAVEL BAG OR WATTLE HEIGHT
 5. CONTRACTOR MAY SUBMIT AN ALTERNATE METHOD OF INLET PROTECTION. THE ALTERNATE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD
 6. BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6" ABOVE GRADE, AND SURROUND WITH SILT FENCE FOR SEDIMENTATION AROUND BOX. MAINTAIN SILT FENCE BEHIND BOX UNTIL LAND BEHIND CURB IS STABILIZED

2 INLET PROTECTION

SCALE: NONE



3 CONSTRUCTION ENTRANCE

SCALE: NONE

NOTES:
PLACE SIGN ADJACENT TO ENTRANCE "CONSTRUCTION TRAFFIC ONLY - ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATOR"



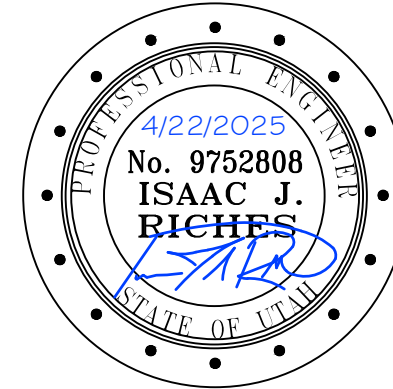
THE CONTRACTOR IS TO CALL BLUE STAKES PRIOR TO ANY CONSTRUCTION.

CAUTION: NOTICE TO CONTRACTOR

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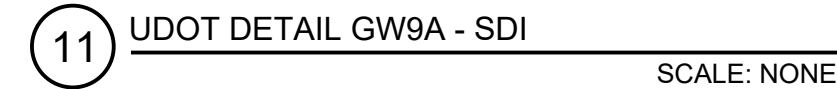
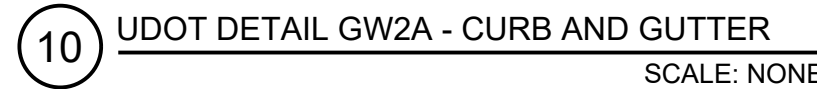
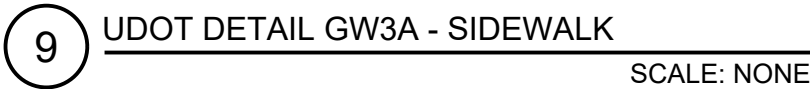
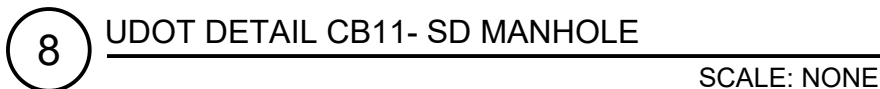
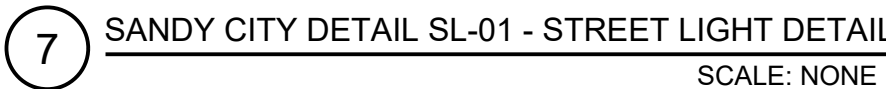
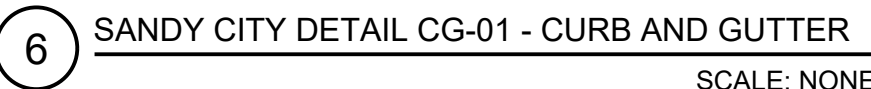
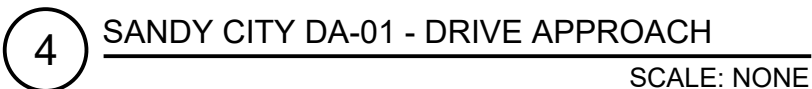
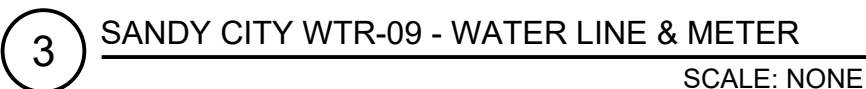
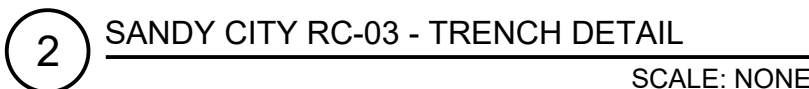
CLIENT/DEVELOPER CONTACT

NAME: TAMI CRABTREE
ADDRESS: 2845 EAST LITTLE COTTONWOOD DRIVE
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EMAIL: TAMICRAB@YAHOO.COM

REV	COMMENT

SHEET NO.

C500
EROSION CONTROL
PLAN

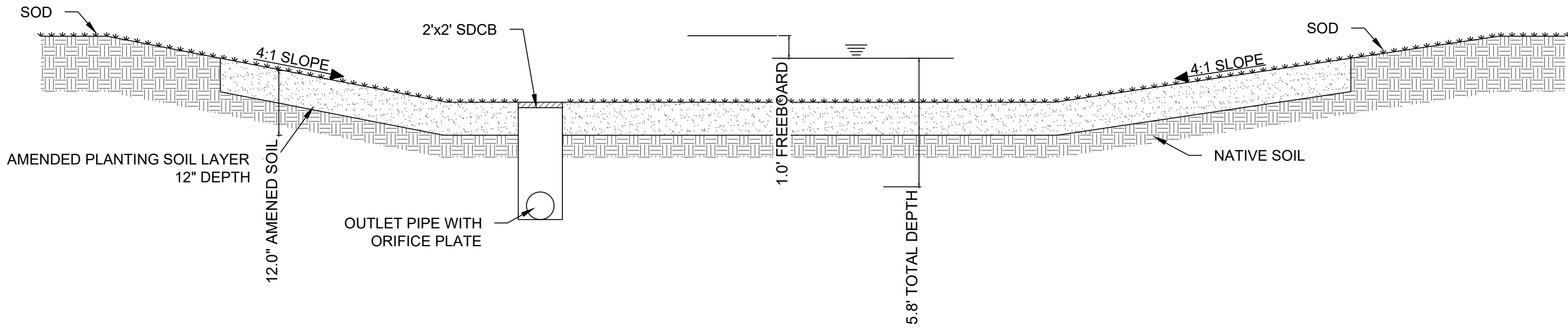


TAMI CRABTREE SUBDIVISION
2845 EAST LITTLE COTTONWOOD ROAD
SANDY CITY, UTAH 84092

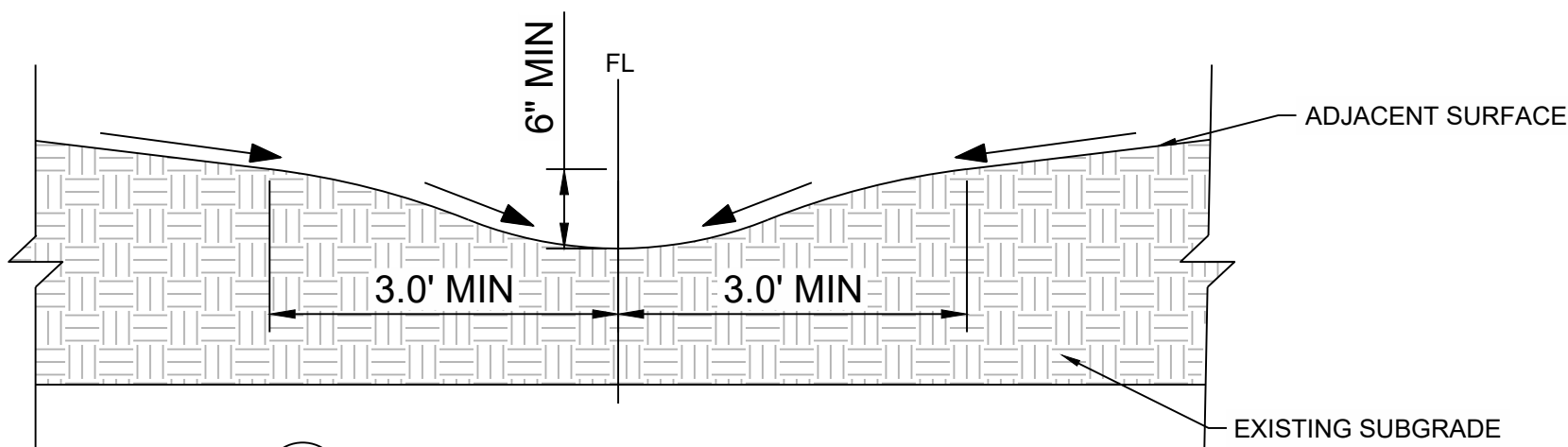
[illegible]

C600

DETAILS



1 VEGETATIVE DETENTION POND
SCALE: NONE



2 DRAINAGE SWALE DETAIL
SCALE: NONE

iRECIVIL

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TAMI CRABTREE SUBDIVISION
2845 EAST LITTLE COTTONWOOD ROAD
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REV	COMMENT

SHEET NO.

C601
DETAILS