



ETV TOWNHOMES

PLANS
 CONSTRUCTION DOCUMENTATION
 BUILDING INFORMATION MODELING

NO	REVISIONS DESCRIPTION	DATE	BY

HARRIS HOME DESIGN
 221 E. 1140 N.
 Orem, Utah 84057
 Phone: (435) 230-0000, Rick Harris
 email: harrishomedesign@gmail.com



150 VIEWS
EAST TOWN VILLAGE 4PLEX TOWNHOMES
 SANDY, SALT LAKE COUNTY, UTAH

DATE: 4/23/20
 SCALE: 1/2" = 1'-0"

JOB NO:
 148

SHEET NO:

0

OWNER & BUILDER NOTES

THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION UNTIL APPROVED BY THE LOCAL BUILDING DEPARTMENT. THE BUILDER IS EXPECTED TO FOLLOW THESE PLANS, APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. HE SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WHILE THESE PLANS ARE DRAWN TO SHOW THE PROPOSED WORK AS ACCURATELY AS POSSIBLE, SCHEMATIC DETAILS MAY BE USED IN SOME CASES FOR CLARITY. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES.

THE ENGINEER/DESIGNER ASSUMES NO RESPONSIBILITY FOR SCHEDULING, FABRICATION, CONSTRUCTION TECHNIQUES OR MATERIALS, OR QUANTITIES USED IN THE WORK. THE ENGINEER/DESIGNER ASSUMES NO RESPONSIBILITY FOR FIELD CHANGES, SITE VARIANCES OR DISCREPANCIES NOT BROUGHT TO HIS/HER ATTENTION FOR CLARIFICATION.

GENERAL NOTES

ALL WORK SHALL BE DONE IN ACCORDANCE WITH IRC 2015 BUILDING STANDARDS AND LOCAL CODES.

FOUNDATION AND TRUSS DESIGN SHALL BE VERIFIED BY A QUALIFIED ENGINEER FOR COMPLIANCE WITH SITE REQUIREMENTS.

DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER THE SCALING OF DRAWINGS.

WALL DIMENSIONS ARE TO THE EXTERIOR OF FRAMING UNLESS NOTED OTHERWISE.

LUMBER COMING IN CONTACT WITH CONCRETE OR MASONARY SHALL BE TREATED TO A MINIMUM OF 40 CCA. ALL LUMBER IN CONTINUOUS CONTACT WITH THE GROUND SHALL BE TREATED TO A MINIMUM OF .60 CCA

ALL FRAMING LUMBER TO BE #2 DF OR EQUIVALENT, UNLESS NOTED OTHERWISE.

EXTERIOR AND INTERIOR MATERIALS AND FINISHES TO BE DETERMINED BY OWNER.

BUILDING PERFORMANCE

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS.

PORCHES AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.

ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR.

ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR.

FURNACE FIREBOX SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

MINIMUM INSULATION REQUIREMENTS: EXTERIOR WALLS R-19, GARAGE WALLS R-13, CEILINGS R-39

ATTIC ACCESS SHALL BE:

A MINIMUM OF 22"X36". THERE SHALL BE 30" MIN. CLEARANCE AT OR ABOVE THE OPENING.

LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. ATTICS WITH A MAXIMUM VERTICAL HEIGHT OF LESS THAN 30" WILL NOT REQUIRE ACCESS OPENINGS.

EXTERIOR FINISH NOTES

EXTERIOR FINISH TO BE ROCK, HORIZONTAL & VERTICAL PAINTED HARDIE SIDING OVER 7/16" PLYWOOD/OSB. MATERIAL AND COLOR BY OWNER.

ROOFING TO BE 30 YR ARCH'L ASPHALT SHINGLES OVER #30 FELT OR EQUAL, 7/16" PLYWOOD/OSB

DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE

FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 2% FOR 10' MIN.

DOORS

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS. DOOR SHALL BE SELF CLOSING.

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOOR WAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60. PERIMETER OF DOOR SHALL BE WEATHER STRIPPED.

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS, MATERIALS AND FINISH TO BE DETERMINED BY OWNER.

WINDOWS AND GLAZING

WINDOWS SHALL BE DUAL PANE (MIN. U-VALUE OF 0.6). MANUFACTURER AND COLOR TO BE DETERMINED BY OWNER.

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

SAFETY GLAZING SHALL BE PROVIDED WHERE GLASS IS TO BE USED IN DOORS, WITHIN A 24" ARC OF DOORS AND WHERE THE BOTTOM EDGE IS WITHIN 18" ABOVE THE FLOOR.

SAFETY GLAZING SHALL BE PROVIDED IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS.

ALL EXTERIOR DOORS AND WINDOWS SHALL BE FINISHED WITH WEATHER RESISTANT COATINGS AND WEATHERSTRIPPED.

VENTILATION

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

GARAGES SHALL BE VENTED WITH 60 SQ. INCHES LOCATED 6" ABOVE THE FLOOR SURFACE.

UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST IN TO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

ETV TOWNHOMES

PLANS

CONSTRUCTION DOCUMENTATION

BUILDING INFORMATION MODELING

BUILDING AREAS:

ENTIRE BUILDING
GARAGES: 1766 s.f.
MAIN LEVEL: 1588 s.f.
SECOND LEVEL: 3472 s.f.
DECKS: 180 s.f.
3RD LEVEL: 3602 s.f.

TOTAL FINISHED: 8662 s.f.

PER UNIT
UNITS 1 & 4 MAIN LEVEL: 385 s.f.
UNITS 1 & 4 GARAGE: 442 s.f.
UNITS 2 & 3 MAIN LEVEL: 409 s.f.
UNITS 2 & 3 GARAGE: 441 s.f.

UNITS 1 & 4 SECOND LEVEL: 870 s.f.
UNITS 2 & 3 SECOND LEVEL: 866 s.f.
SECOND LEVEL DECK: 45 s.f.

UNITS 1 & 4 3RD LEVEL: 901 s.f.
UNITS 2 & 3 3RD LEVEL: 900 s.f.

NO	REVISIONS	DESCRIPTION	DATE	BY

HARRIS HOME DESIGN

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Crem, Utah 84027
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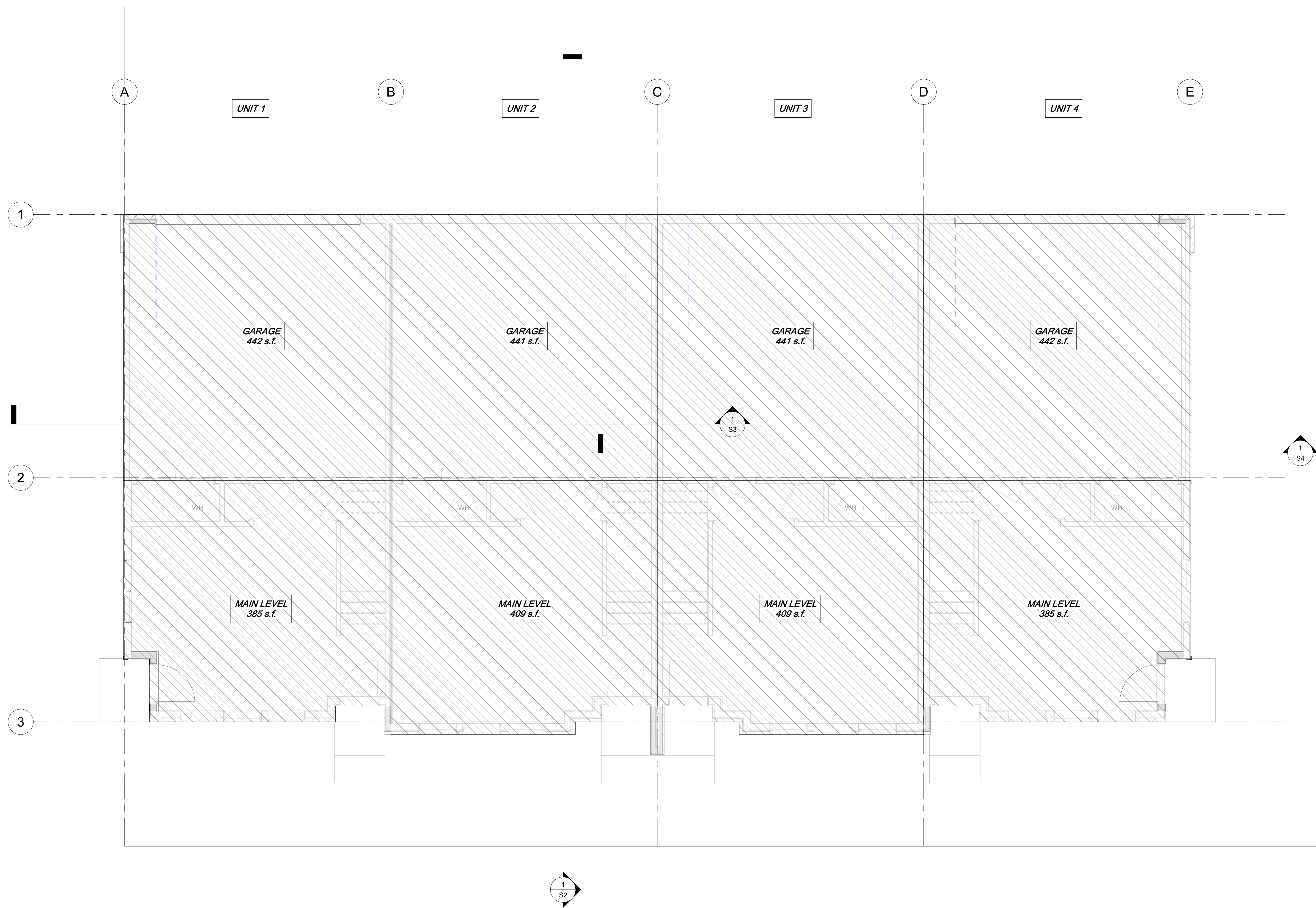
COVER SHEET
EAST TOWN VILLAGE 4PLEX TOWNHOMES
SANDY, SALT LAKE COUNTY, UTAH

DATE: 4/23/20
SCALE:

JOB NO.
148

SHEET NO:

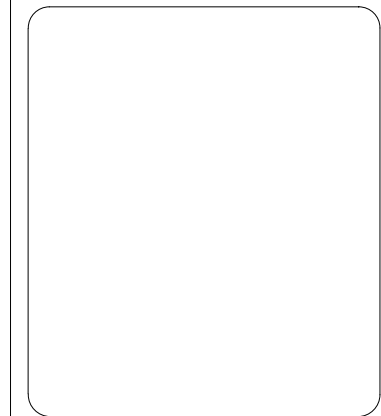
A0



1 MAIN LEVEL AREAS
1/4" = 1'-0"

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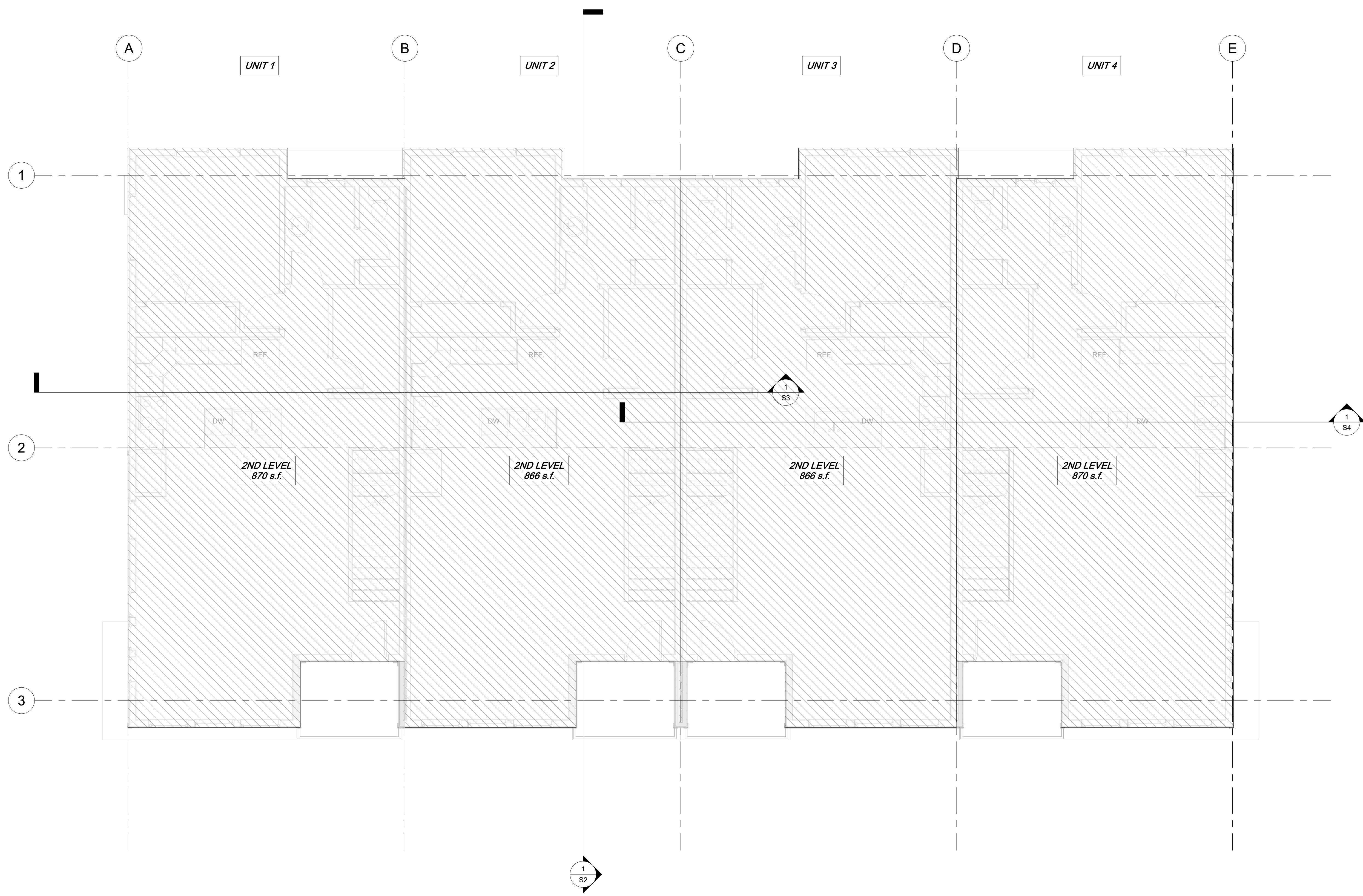
HARRIS HOME DESIGN
 227 E. 1140 N.
 Chem. Utah 84037
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EAST TOWN VILLAGE 4PLEX TOWNHOMES
 SANDY, SALT LAKE COUNTY, UTAH

DATE: 4/23/20
 SCALE: 1/4" = 1'-0"
 JOB NO.: 148
 SHEET NO.: **A1**

D:\Dropbox\HHD\198 - CASEY 4PLEX\4PLEX.dwg\ETV 4PLEX FLOOR PLAN.rvt



UNIT 1

UNIT 2

UNIT 3

UNIT 4

1

2

3

2ND LEVEL
870 s.f.

2ND LEVEL
866 s.f.

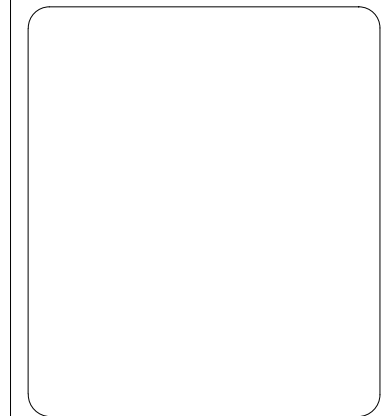
2ND LEVEL
866 s.f.

2ND LEVEL
870 s.f.

1 2ND LEVEL AREAS
1/4" = 1'-0"

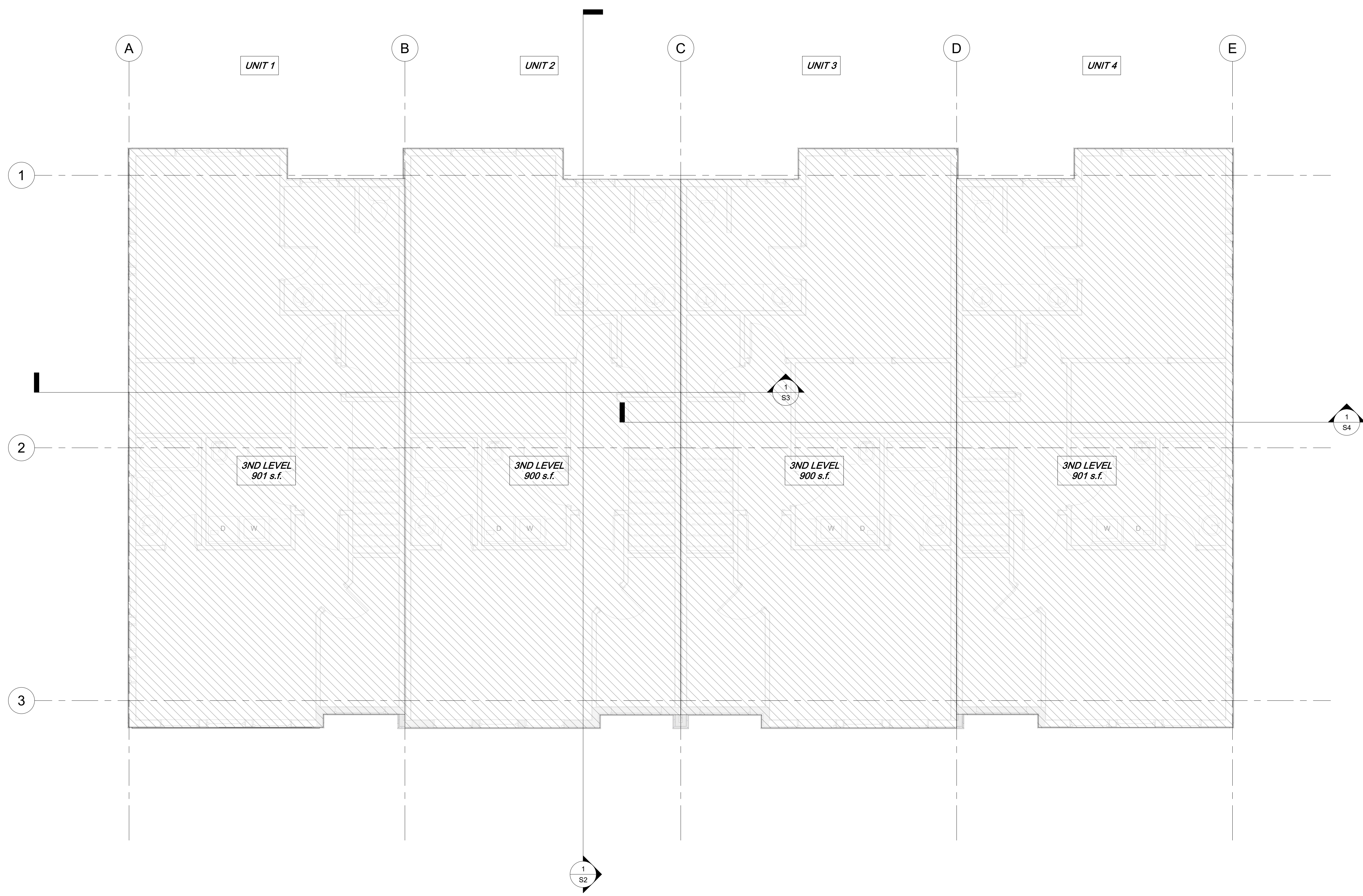
NO.	REVISIONS DESCRIPTION	DATE	BY

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2ND LEVEL AREAS
EAST TOWN VILLAGE 4PLEX TOWNHOMES
 SANDY, SALT LAKE COUNTY, UTAH

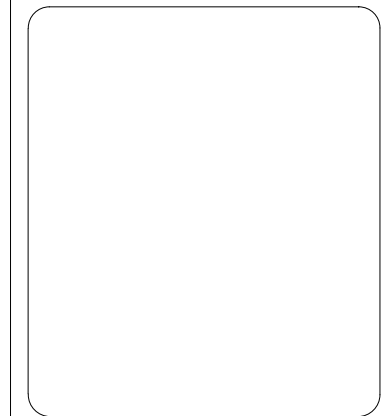
DATE: 4/23/20
 SCALE: 1/4" = 1'-0"
 JOB NO:
 148
 SHEET NO:
A2



① 3RD LEVEL AREAS
1/4" = 1'-0"

NO.	REVISIONS DESCRIPTION	DATE	BY

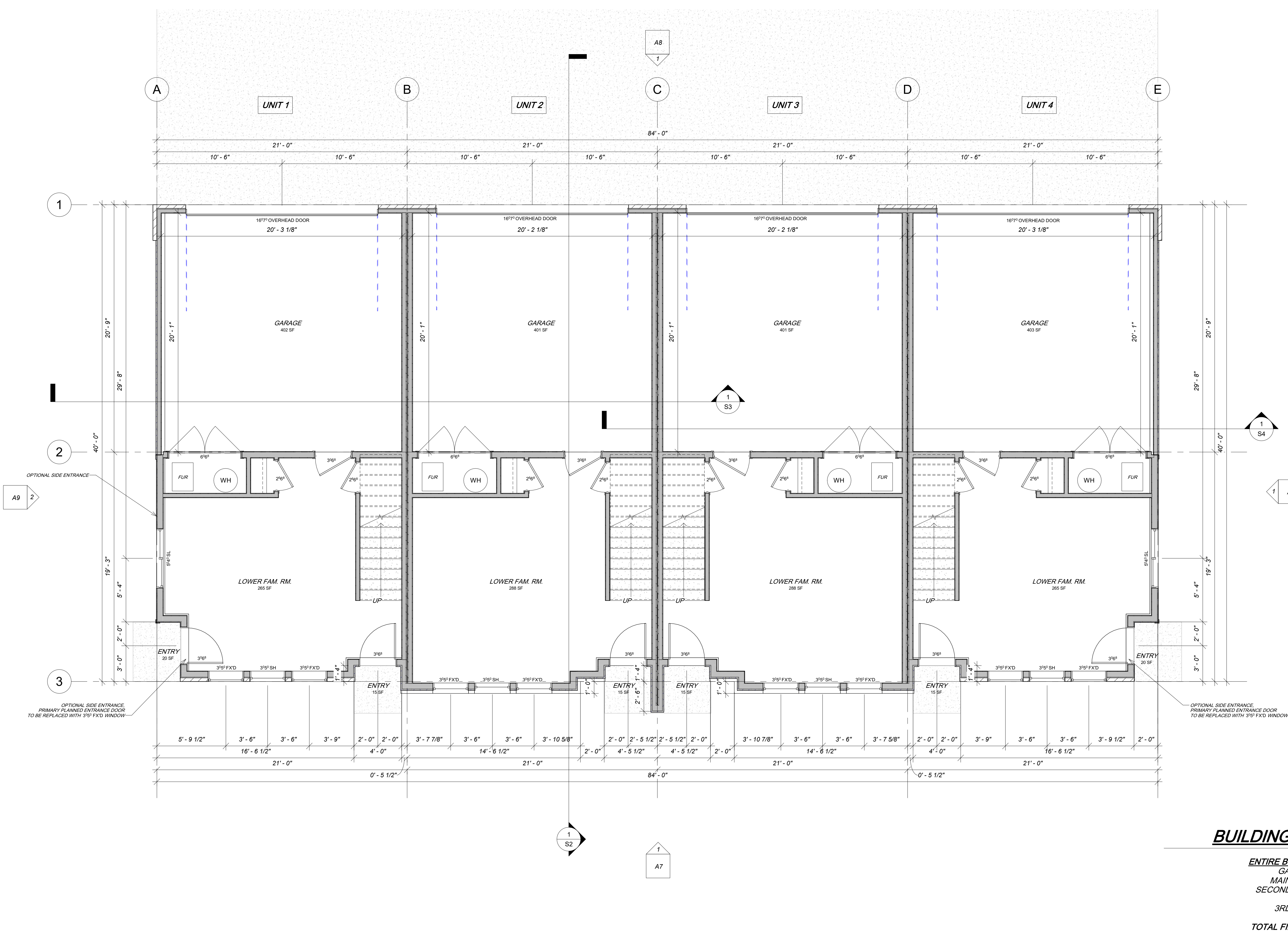
HARRIS HOME DESIGN
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EAST TOWN VILLAGE 4PLEX TOWNHOMES
 SANDY, SALT LAKE COUNTY, UTAH

3RD LEVEL AREAS
 DATE: 4/23/20
 SCALE: 1/4" = 1'-0"
 JOB NO:
 148
 SHEET NO:
A3

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1 MAIN LEVEL
1/4" = 1'-0"

BUILDING AREAS:

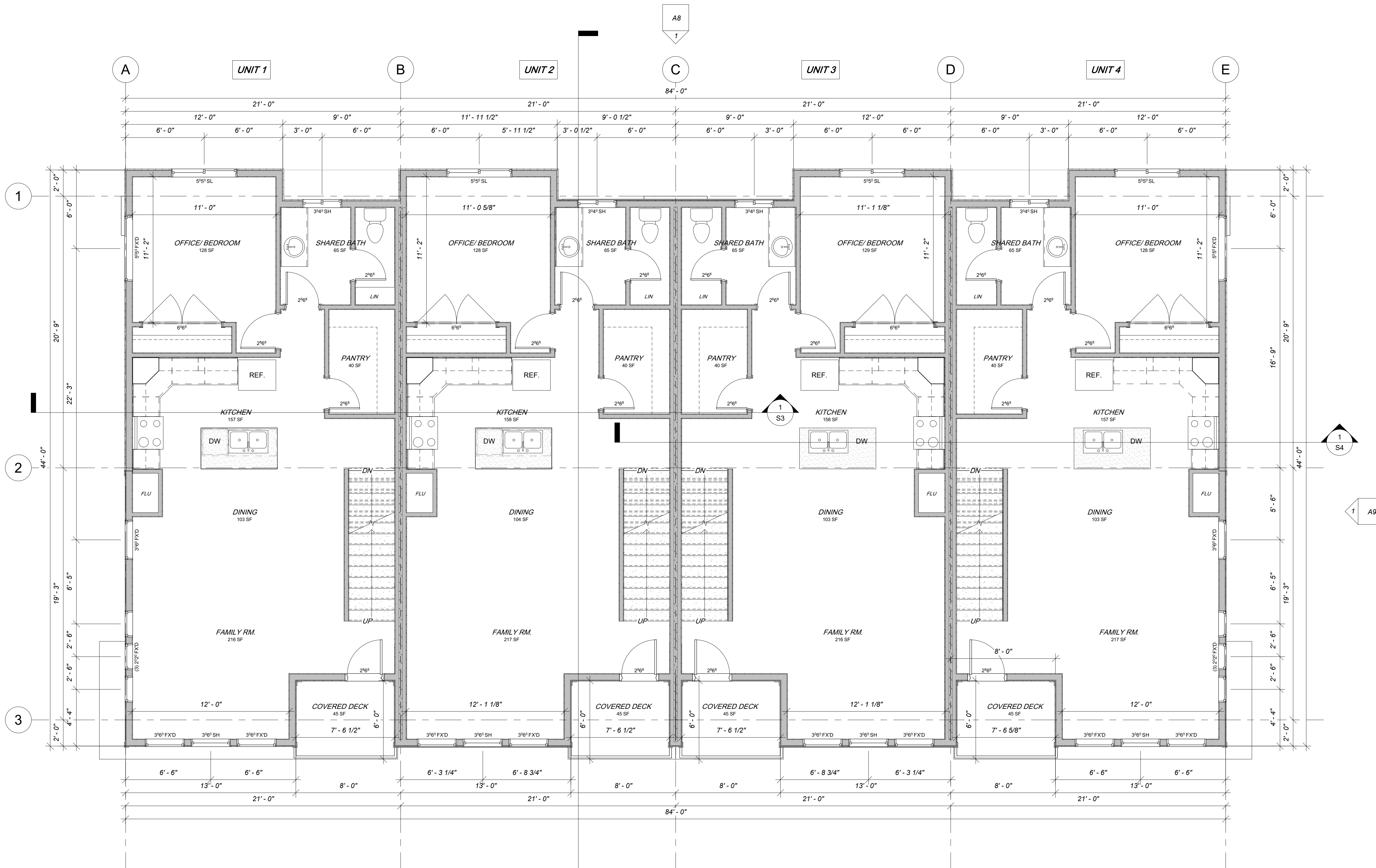
ENTIRE BUILDING	
GARAGES:	1766 s.f.
MAIN LEVEL:	1588 s.f.
SECOND LEVEL:	3472 s.f.
DECKS:	180 s.f.
3RD LEVEL:	3602 s.f.
TOTAL FINISHED:	8662 s.f.
PER UNIT	
UNITS 1 & 4 MAIN LEVEL:	385 s.f.
UNITS 1 & 4 GARAGE:	442 s.f.
UNITS 2 & 3 MAIN LEVEL:	409 s.f.
UNITS 2 & 3 GARAGE:	441 s.f.
UNITS 1 & 4 SECOND LEVEL:	
UNITS 2 & 3 SECOND LEVEL:	870 s.f.
SECOND LEVEL DECK:	866 s.f.
UNITS 1 & 4 3RD LEVEL:	45 s.f.
UNITS 2 & 3 3RD LEVEL:	901 s.f.
UNITS 2 & 3 3RD LEVEL:	900 s.f.

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EAST TOWN VILLAGE 4PLEX TOWNHOMES

MAIN LEVEL FLOOR PLAN
 SANDY, SALT LAKE COUNTY, UTAH
 DATE: 4/23/20
 SCALE: 1/4" = 1'-0"
 JOB NO. 148
 SHEET NO. **A4**



1 2ND LEVEL
1/4" = 1'-0"

BUILDING AREAS:

ENTIRE BUILDING	
GARAGES:	1766 s.f.
MAIN LEVEL:	1588 s.f.
SECOND LEVEL:	3472 s.f.
DECKS:	180 s.f.
3RD LEVEL:	3602 s.f.
TOTAL FINISHED:	8662 s.f.
PER UNIT	
UNITS 1 & 4 MAIN LEVEL:	385 s.f.
UNITS 1 & 4 GARAGE:	442 s.f.
UNITS 2 & 3 MAIN LEVEL:	409 s.f.
UNITS 2 & 3 GARAGE:	441 s.f.
UNITS 1 & 4 SECOND LEVEL:	
UNITS 2 & 3 SECOND LEVEL:	870 s.f.
SECOND LEVEL DECK:	866 s.f.
UNITS 1 & 4 3RD LEVEL:	45 s.f.
UNITS 2 & 3 3RD LEVEL:	901 s.f.
UNITS 2 & 3 3RD LEVEL:	900 s.f.

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EAST TOWN VILLAGE 4PLEX TOWNHOMES

2ND LEVEL FLOOR PLAN
DATE: 4/23/20
SCALE: 1/4" = 1'-0"
JOB NO. 148
SHEET NO. **A5**
SANDY, SALT LAKE COUNTY, UTAH



BUILDING AREAS:

ENTIRE BUILDING	
GARAGES:	1766 s.f.
MAIN LEVEL:	1588 s.f.
SECOND LEVEL:	3472 s.f.
DECKS:	180 s.f.
3RD LEVEL:	3602 s.f.
TOTAL FINISHED:	8662 s.f.
PER UNIT	
UNITS 1 & 4 MAIN LEVEL:	385 s.f.
UNITS 1 & 4 GARAGE:	442 s.f.
UNITS 2 & 3 MAIN LEVEL:	409 s.f.
UNITS 2 & 3 GARAGE:	441 s.f.
UNITS 1 & 4 SECOND LEVEL:	
UNITS 2 & 3 SECOND LEVEL:	870 s.f.
SECOND LEVEL DECK:	866 s.f.
UNITS 2 & 3 3RD LEVEL:	45 s.f.
UNITS 1 & 4 3RD LEVEL:	
UNITS 2 & 3 3RD LEVEL:	901 s.f.
UNITS 2 & 3 3RD LEVEL:	900 s.f.

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EAST TOWN VILLAGE 4PLEX TOWNHOMES

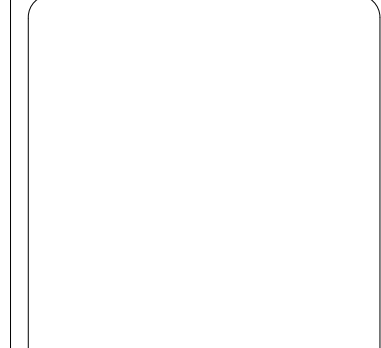
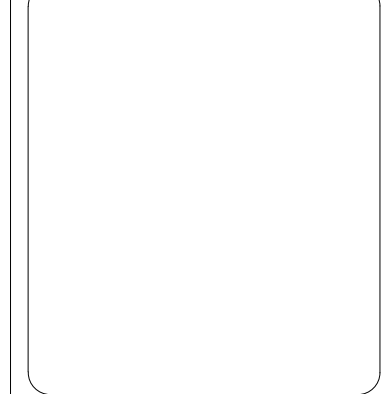
3RD LEVEL FLOOR PLAN
 DATE: 4/23/20
 SCALE: 1/4" = 1'-0"
 JOB NO.: 198
 SHEET NO.: **A6**
 SANDY, SALT LAKE COUNTY, UTAH



1 FRONT ELEVATION
1/4" = 1'-0"

NO.	REVISIONS DESCRIPTION	DATE	BY

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EAST TOWN VILLAGE 4PLEX TOWNHOMES
 SANDY, SALT LAKE COUNTY, UTAH

DATE:	4/23/20
SCALE:	1/4" = 1'-0"
JOB NO.	148
SHEET NO.	A7



1 REAR ELEVATION
1/4" = 1'-0"

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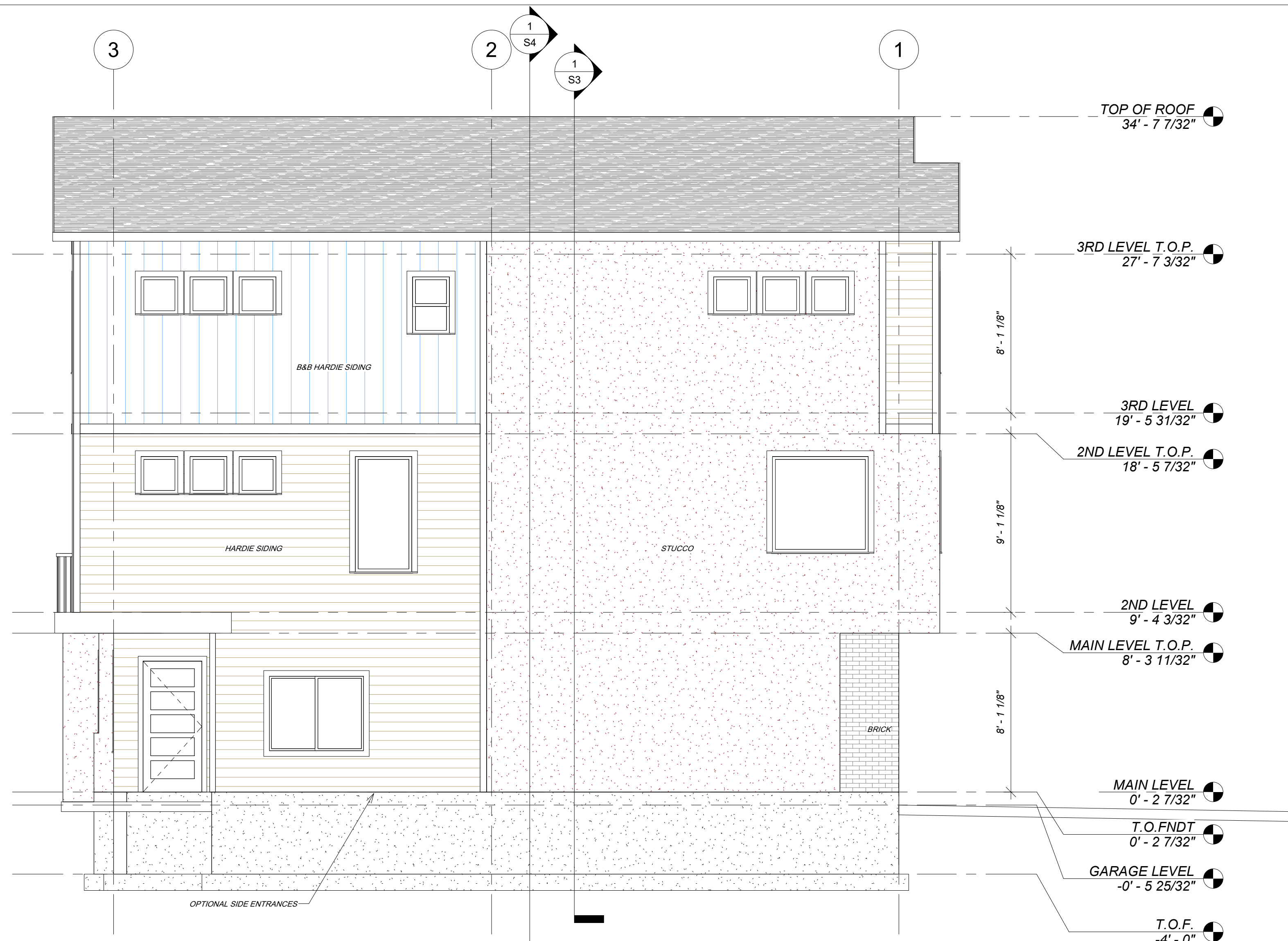
RIGHT & LEFT ELEVATIONS FOR:
EAST TOWN VILLAGE 4PLEX TOWNHOMES
SANDY, SALT LAKE COUNTY, UTAH

DATE: 4/23/20
SCALE: 3/16"=1'-0"

JOB NO:
148

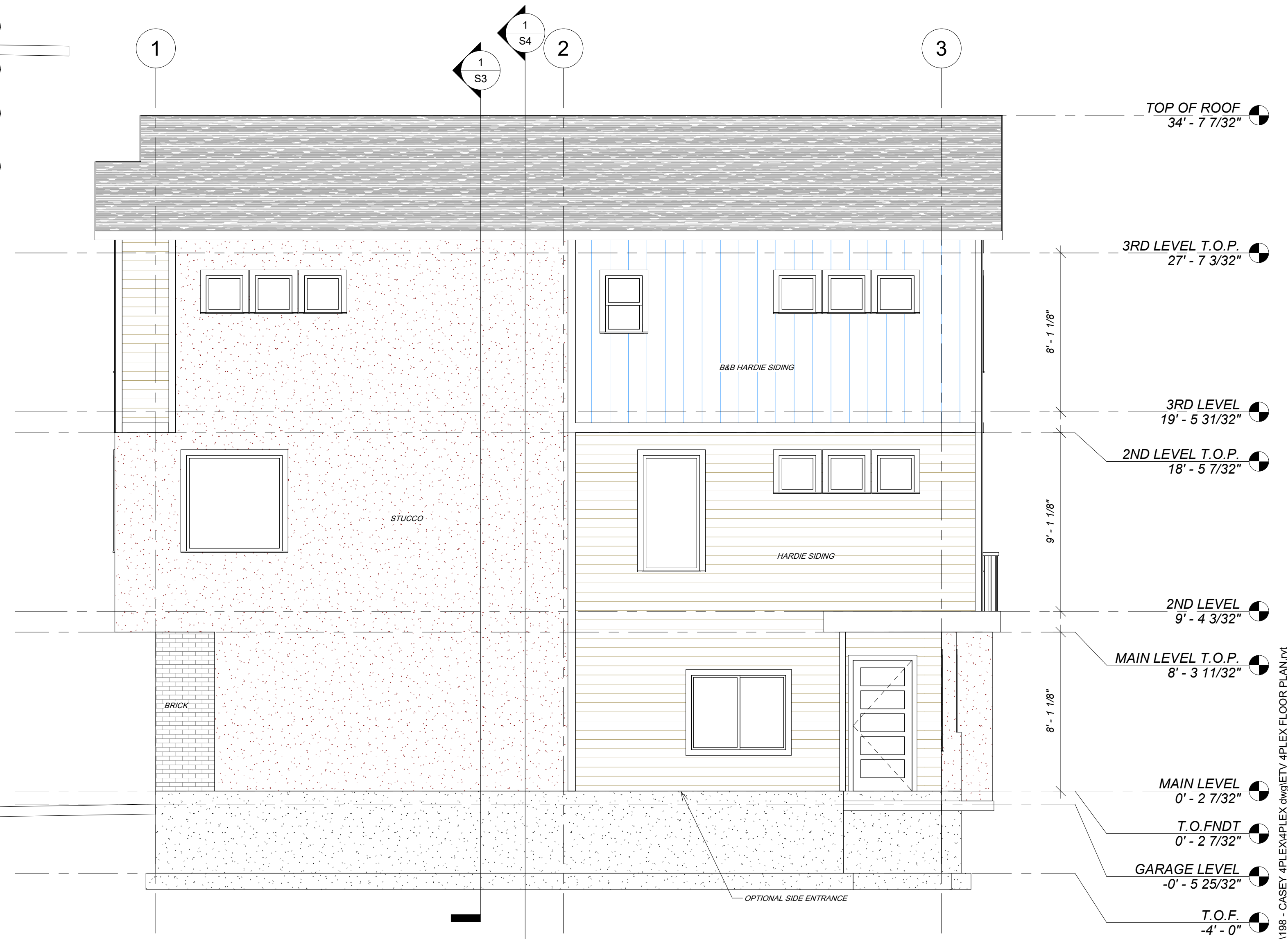
SHEET NO:

A8



1 RIGHT ELEVATION
1/4" = 1'-0"

2 LEFT ELEVATION
1/4" = 1'-0"



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RIGHT & LEFT ELEVATIONS

EAST TOWN VILLAGE 4PLEX TOWNHOMES
 SANDY, SALT LAKE COUNTY, UTAH

DATE: 4/23/20
 SCALE: 1/4" = 1'-0"
 JOB NO: 198
 SHEET NO: A9