

## EXHIBIT "A"

# SANDY CITY PUBLIC WORKS



MICHAEL GLADBACH  
PUBLIC WORKS DIRECTOR

MONICA ZOLTANSKI  
MAYOR

SHANE E. PACE  
CHIEF ADMINISTRATIVE OFFICER

## City Engineer Recommendation Letter

**DATE:** November 6, 2023  
**TO:** Melissa Anderson, Zoning Administrator  
**FROM:** Ryan C. Kump, P.E., City Engineer  
**SUBJECT:** **Case Number: RSP08162023-031499**  
**Project Address: 10074 S Stone Mountain Cove**

A handwritten signature in black ink that reads "Ryan C. Kump".

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### Background:

In March of 1992, 10074 S Stone Mountain Cove was platted as Lot 13 of the Stone Ridge Subdivision. Notably, within this lot, there's a delineated non-buildable area with a 30% slope. Subsequently, a house site plan for Lot 13 was designed and approved, adhering to the stipulated setbacks from the delineated protected slope. This was all done in the county, prior to annexation to Sandy City.

### Recent Development:

In October of 2022, the city was alerted about an unauthorized encroachment into the protected slope area of this lot. Investigations revealed that the homeowner engaged a contractor to build a pool. The contractor took the liberty to cut into the protected slope to access boulders on the hillside to use in construction of the pool retaining walls, in addition to consideration of building a gazebo/patio uphill of the pool, within the protected area. The area of disturbance extended beyond the property lines into Lot 23, to the west, and the Sandy City parcel to the south.

Following the discovery, a stop work order was promptly issued for the property. In response, the city collaborated with the owner of Lot 13 to submit a plan to restore the disturbed slope. Mr. Roman Plachinta, the owner of Lot 13, has accepted the responsibility for the intrusion into Lot 23 and Sandy City property, and he has included the restoration of the affected area in the proposed plan.

### Restoration Plan:

The restoration plan involves the following:

- Safeguarding the residual scrub oak.
- Restoring the terrain to its original contours, aligning it as closely as feasible to its former undisturbed state.
- Implementation of erosion control measures to safeguard the region until the native vegetation fully re-establishes itself.

The overarching objective is to restore the originally platted protected slope without making any alterations to the existing plat.

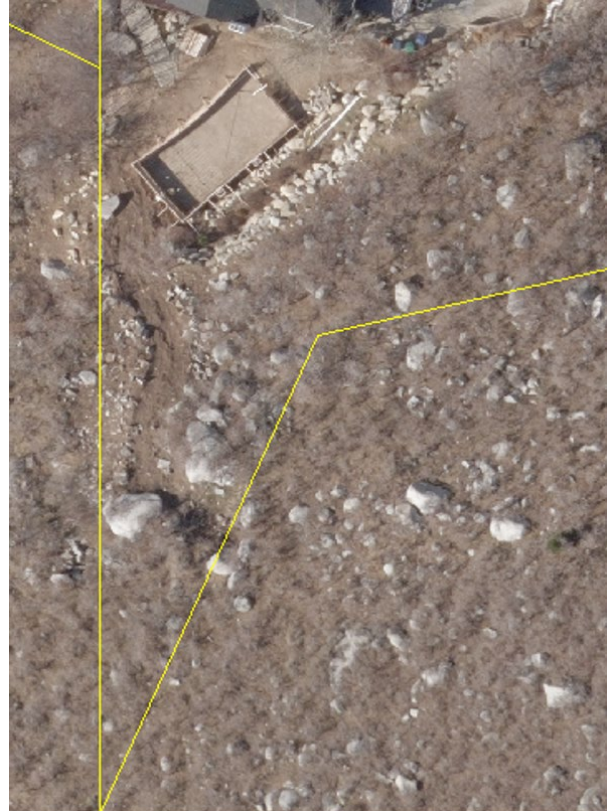
### Recommendation:

Having assessed the details of the restoration proposal, Sandy City Engineering recommends the Planning Commission's approval of this restoration plan for 10074 S Stone Mountain Cove.

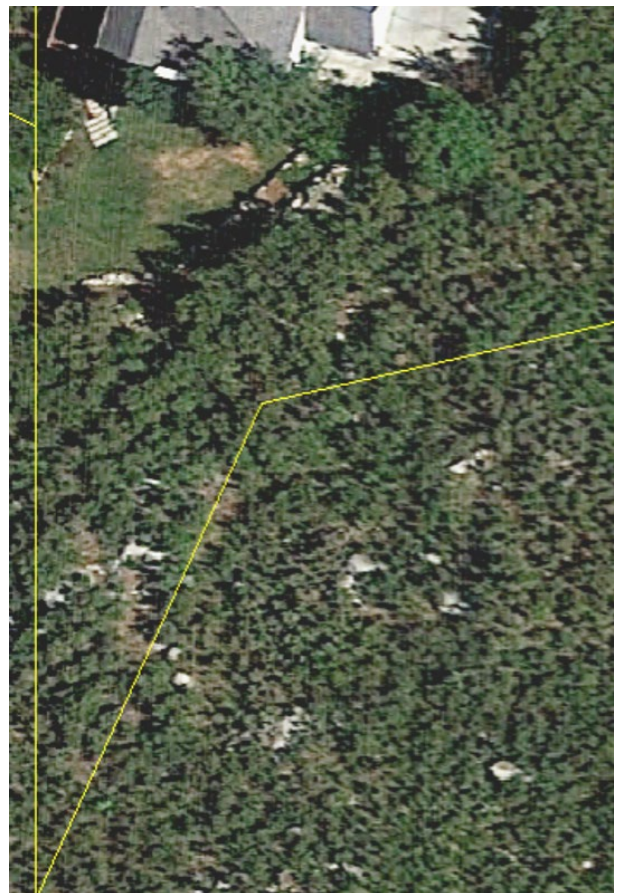
**EXHIBIT "B"**



Year 2023 Aerial Map

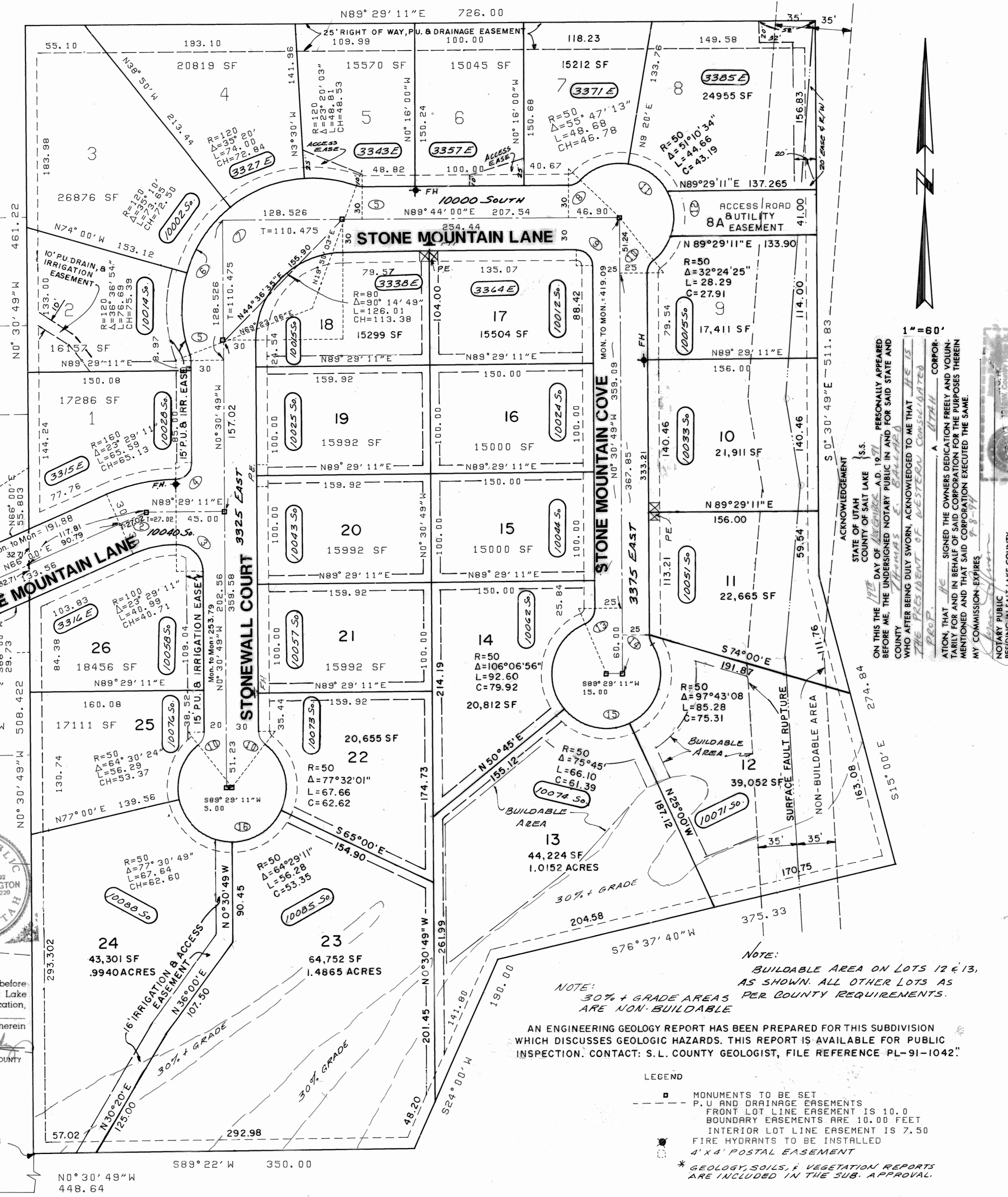


Year 2016 Aerial Map



PLANNED DEVELOPMENT - SALT LAKE COUNTY

1	2	3	4	5
150°30'00"	23°29'11"	90°00'00"	90°00'00"	20°06'05"
R 230.00	L 130.00	L 25.00	L 15.00	R 15.00
L 62.22	L 53.29	L 39.27	L 23.56	L 5.26
T 31.30	L 27.02	L 25.00	L 15.00	T 2.66
C 62.03	L 52.92	L 35.36	L 21.21	C 5.24
6	7	8	9	10
130°26'57"	90°14'49"	46°11'13"	89°45'11"	52°01'12"
R 120.00	L 110.00	L 15.00	L 15.00	R 15.00
L 273.21	L 173.26	L 12.09	L 23.50	L 13.62
T 260.00	L 110.475	L 6.40	L 14.935	T 7.32
C 217.91	L 155.90	L 11.77	L 21.17	C 13.16
11	12	13	14	15
187°57'35"	48°34'57"	67°22'45"	32°12'19"	278°35'04"
R 50.00	L 50.00	L 15.00	L 15.00	R 50.00
L 164.03	L 42.40	L 17.64	L 8.43	L 243.98
T 22.57	L 10.00	L 4.33	T 22.57	
C 99.76	L 41.14	L 16.64	L 8.32	C 13.16
16	17	18	19	20
28°02'24"				
R 50.00				
L 247.87				
T 247.87				
C 247.87				



**SURVEYOR'S CERTIFICATE**

I, JACK L. DEMASS DO HEREBY CERTIFY THAT I AM A REGISTERED CIVIL ENGINEER, AND OR LAND SURVEYOR AND THAT I HOLD CERTIFICATE NO. 3552 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS **STONE RIDGE** AND THAT SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT ALL LOTS MEET THE FRONTAGE, WIDTH AND AREA REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCE

**LEGAL DESCRIPTION**

BEGINNING AT A POINT WHICH IS N89°44'00"E, 1320.00 FEET AND N00°30'49"W, 448.64 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE N00°30'49"W, 508.422 FEET; THENCE S66°00'00"W, 29.73 FEET; THENCE SOUTHWESTERLY, 68.33 FEET ALONG THE ARC OF A 260.00 FOOT RADIUS CURVE TO THE RIGHT (CHORD BEARS S73°31'44"W, 68.13 FEET); THENCE SOUTHWESTERLY, 18.23 FEET ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE LEFT (CHORD BEARS S46°14'39"W, 17.13 FEET); THENCE N11°25'49"E, 2.53 FEET; THENCE NORTHWESTERLY, 78.78 FEET ALONG THE ARC OF 110.00 FOOT RADIUS CURVE TO THE LEFT (CHORD BEARS N09°05'16"W, 77.11 FEET); THENCE SOUTHEASTERLY, 18.21 FEET ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE LEFT (CHORD BEARS S64°22'34"E, 17.11 FEET); THENCE NORTHEASTERLY, 51.85 FEET ALONG THE ARC OF A 200.00 FOOT RADIUS CURVE TO THE LEFT (CHORD BEARS N73°25'37"E, 51.70 FEET); THENCE N66°00'00"E, 55.80 FEET; THENCE N00°30'49"W, 461.22 FEET; THENCE N89°29'11"E, 726.00 FEET; THENCE S00°30'49"E, 511.83 FEET; THENCE S15°00'00"E, 274.84 FEET; THENCE S76°37'40"W, 375.33 FEET; THENCE S24°00'00"W, 190.00 FEET; THENCE S89°22'00"W, 350.00 FEET TO THE POINT OF BEGINNING.

CONTAINS: 16.0505 ACRES (26 LOTS)

**OWNER'S DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT we, THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS THE

**STONE RIDGE**

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE

IN WITNESS WHEREOF They HAVE HEREUNTO SET THEIR HANDS THIS 18 DAY OF February, A.D. 1991

1. John J. Green 5. Debra Shaw  
 2. Walter J. Olson 6. Barbara Ann Johnson  
 3. John J. Green 7. Robert C. Miller  
 4. John J. Green 8. Camille Probst

Symphony Development Corporation  
Robert C. Miller, President  
David D. Smith, General Manager  
S.L.G. Conservancy Dist.

ACKNOWLEDGMENT Bell Canyon Irrigation Co.  
Robert C. Miller, President  
North Dry Creek Irrigation Co.

STATE OF UTAH  
 COUNTY OF SALT LAKE

ON THE 18 DAY OF February, A.D. 1991, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF SALT LAKE IN SAID STATE OF UTAH, Robert C. Miller, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE IS THE President OF Symphony Development Corp., A CORPORATION IN THE STATE OF UTAH AND THAT HE SIGNED THE OWNERS DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED AND THAT SAID CORPORATION EXECUTED THE SAME

MY COMMISSION EXPIRES: 11/4/92 Robert C. Miller  
 NOTARY PUBLIC  
 RESIDING IN SALT LAKE COUNTY

**STONE RIDGE**

A SUBDIVISION IN THE SE 1/4 OF SECTION 11 T3S R1E S.L.B. & M 8 AMENDING LOT No.9 MAJESTIC CANYON ESTATES No.2.

RECORDED # 5218794

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF MERIDIAN TITLE

DATE 3-19-92 TIME 1:51 P.M. BOOK 92-3 PAGE 48  
 FEE \$350

DEPUTY SALT LAKE COUNTY RECORDER

**ACKNOWLEDGMENT**

STATE OF UTAH  
 COUNTY OF SALT LAKE

ON THIS 12 DAY OF February, A.D. 1991, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT Key Bank of Utah, A CORPORATION, ATION, THAT Key Bank of Utah, A CORPORATION, HAS SIGNED THE OWNERS DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED AND THAT SAID CORPORATION EXECUTED THE SAME.

MY COMMISSION EXPIRES: 1-24-94 Thomas G. Anderson  
 NOTARY PUBLIC  
 RESIDING IN SALT LAKE COUNTY

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MY COMMISSION EXPIRES: 1-24-94 Thomas G. Anderson  
 NOTARY PUBLIC  
 RESIDING IN SALT LAKE COUNTY

**PLANNING COMMISSION**

APPROVED THIS 9th DAY OF July, A.D. 1991 BY THE SALT LAKE COUNTY PLANNING COMMISSION.

Philip W. Williams  
 CHAIRMAN, SALT LAKE CO. PLANNING COMM.

**BOARD OF HEALTH**

APPROVED THIS 23rd DAY OF Oct, A.D. 1991

Bob Hansen  
 DIRECTOR, S.L.CO. BOARD OF HEALTH

**FLOOD CONTROL DEPT.**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 19\_\_

\_\_\_\_\_  
 FLOOD CONTROL COORDINATOR

**DEVELOPMENT SERVICES DIVISION**

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

ES 10.92  
 DATE DIRECTOR

**APPROVAL AS TO FORM**

APPROVED AS TO FORM THIS 12th DAY OF March, A.D. 1991

Donald S. Wood  
 SALT LAKE COUNTY ATTORNEY

**COUNTY COMMISSION**

PRESENTED TO THE BOARD OF SALT LAKE COUNTY COMMISSIONERS THIS 12th DAY OF March, A.D. 1991 AND WAS APPROVED AND ACCEPTED

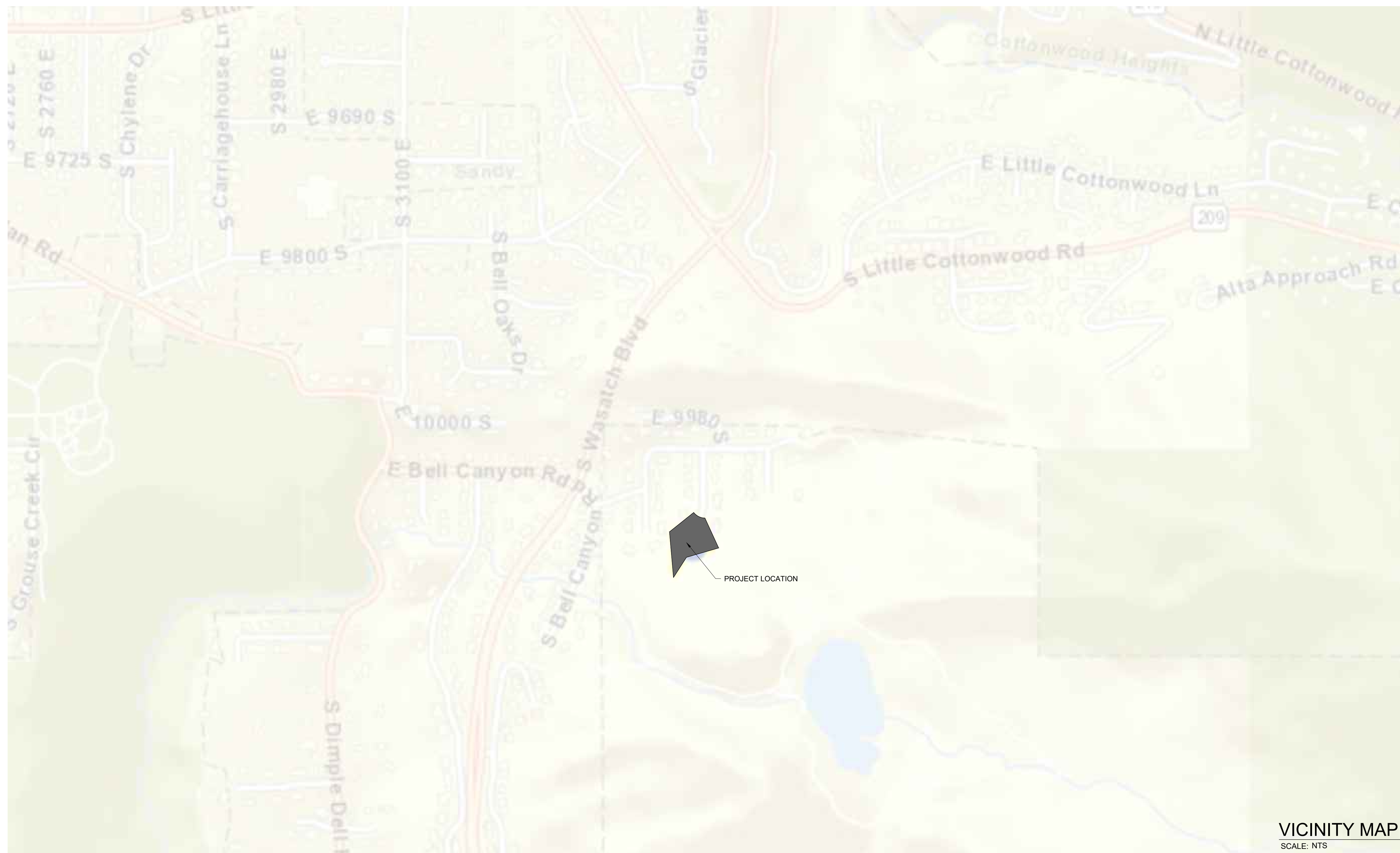
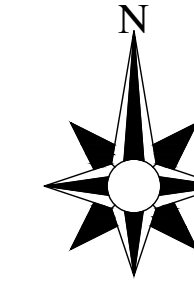
Jim Bradley  
 ATTEST: SALT LAKE CO. CLERK

PL91-1042

# PLANCHITA GRADING PLAN

## 10074 S Stone Mountain Cove, Sandy City UT

Permit Set  
October 30, 2023



VICINITY MAP  
SCALE: NTS

**PROJECT NOTES:**

1. All work shall be performed in accordance with the City Standards and Specifications.
2. Refer to the architectural, civil, structural, mechanical and electrical drawings for additional information and utility services.



JOB # 424  
PROJECT: PLANCHITA GRADING PLAN  
STREET: 10074 S STONE MOUNTAIN COVE  
CITY: SANDY CITY, UTAH

CONTRACTOR TO VERIFY ALL CONDITIONS & DIMENSIONS  
DO NOT SCALE  
SHEET SIZE: ARCH D 24X36

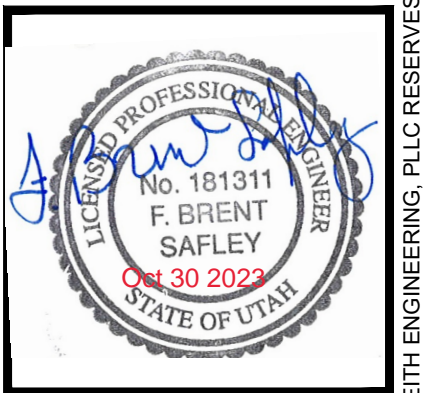
COVER SHEET

DATE 08/16/2023

PLAN SUBMITTAL DATES	
DATE:	DESCRIPTION:
08-16-2023	SUBMITTAL 1
09-20-2023	SUBMITTAL 2
10-30-2023	SUBMITTAL 3
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**Sheet Index**

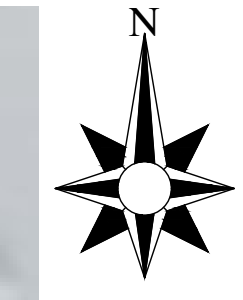
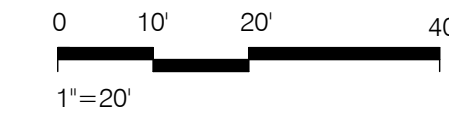
SHEET #	DESCRIPTION
0.0	COVER SHEET
1.0	PROPOSED SITE PLAN
1.1	REVEGETATION GRADING
2.0	RETAINING WALL PLAN
3.0	SWPP PLAN
3.1	BMPS



DRAWN BY: C. WINGER  
ENGINEER: B. SAFLEY

SHEET #  
**0.0**

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**Construction Notes**

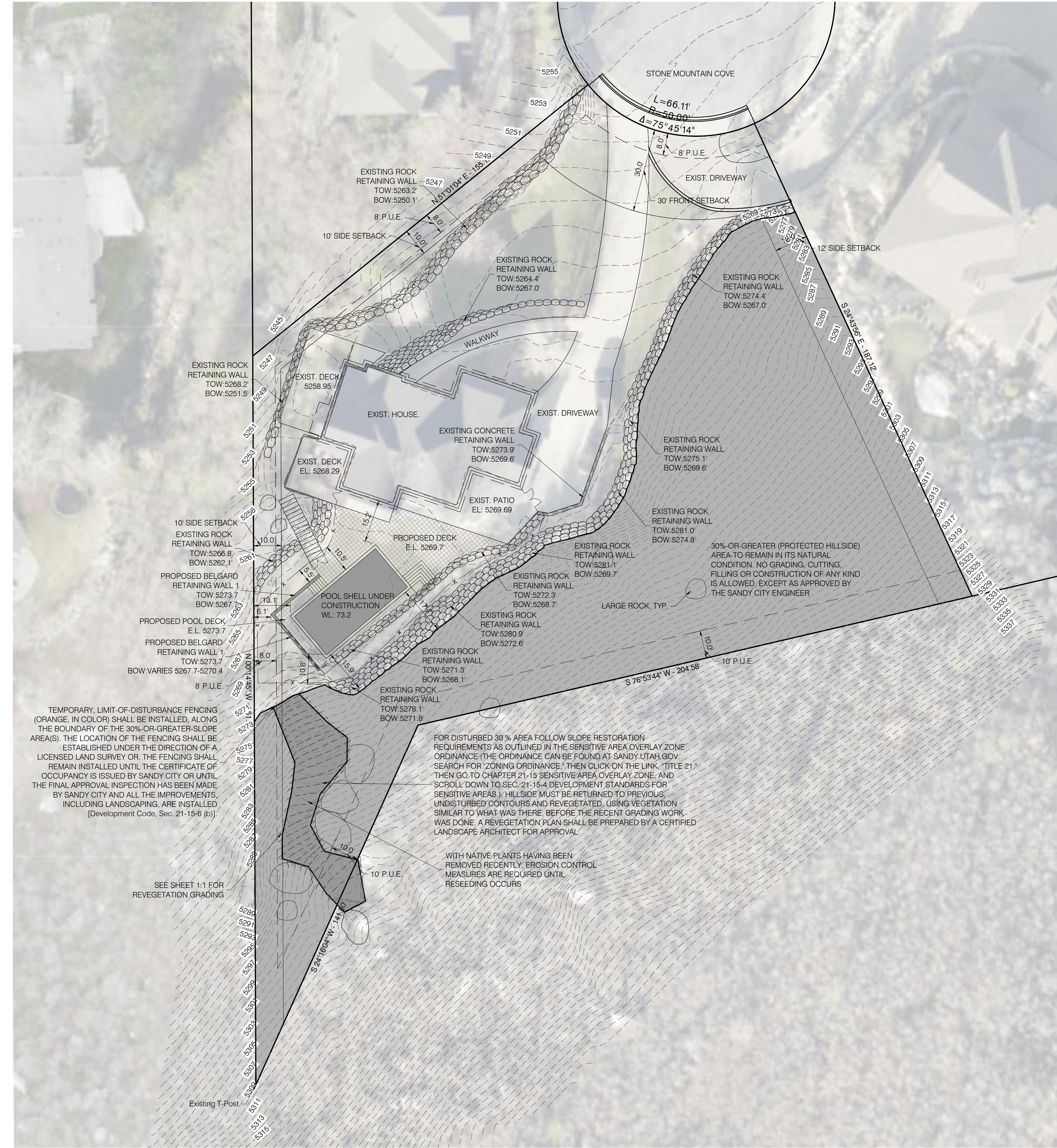
- Contractor shall be responsible for submitting a Notice of Intent (NOI) to be reviewed and approved by the Utah DWQ.
- The NOI must be submitted to DWQ 45 days prior to the start of construction and may entitle coverage under the Utah DWQ General Permit for Storm Water Discharges associated with construction activity. A UPDES Storm Water Discharge Permit may be required. The Contractor shall be considered the Permittee.
- Provide sediment control at all points where storm water runoff leaves the site, including waterways, overland sheet flow, and storm sewers.
- Place sand or gravel bags around existing storm drain collection systems to protect from sediment and debris.
- Construction access shall be constructed with a minimum 6" deep gravel (3" to 6") size to prevent tracking of mud offsite and in a manner that will protect existing utilities, sidewalks, curb and gutter from damage. No dirt or debris shall be placed over the sidewalk or curb & gutter.
- Tracking or spilling mud, dirt or debris upon streets, residential or commercial drives, sidewalks or bike paths is prohibited. Any such occurrence shall be cleaned up immediately.
- A lined concrete wash out area must be provided at the site for all concrete, paint, stucco, or masonry work. Washout on ground is prohibited. Washout area can be used for any type of tool and or equipment cleanup.
- A chemical toilet is required to be on site during construction and located on a pervious surface.
- Building site is to be cleaned on a regular basis.
- All erosion control Best Management Practices shall be inspected and maintained regularly and after every storm event.

**Site Grading Notes**

- All storm water and dirt will be kept on site during construction until final landscaping is finished.
- Existing drainage patterns along property lines shall remain as is. Berms, swales, and/or silt fences may be required to prevent storm water from flowing onto adjacent lots.
- Drainage ditches or watercourses that are disturbed by construction shall be restored to the grades and cross-sections that existed prior to construction.
- Slope finish grade away from existing structures and foundations a minimum of 2% and maximum of 5% for 10 feet (3 to 6 inches). Provide all necessary horizontal and vertical transitions between new construction and existing surfaces for proper drainage.
- All grading, excavation and backfilling work shall conform to the geotechnical soils report approved for this site. The report must include soil classification, soil bearing pressure and lateral equivalent fluid pressure. A geotechnical engineer must inspect excavations prior to any fill or concrete being placed.

**General Notes**

- All public improvements within Sandy City's jurisdiction shall be constructed according to the Sand City Standard Specifications and Details for Municipal Construction (latest edition). The Specifications can be found in .pdf format online at (click on Department, Public Works, then Standard Specifications).
- Not all utilities are shown on this plan. Verify the location of all existing utilities including cables, conduits, pipes, water lines, gas lines, etc. by contacting a utility locating service such as Blue Stakes to mark utility locations prior to construction.
- Protect existing utilities, structures, and street improvements which are to remain in place, from damage. Any utilities, structures or improvements damaged due to construction shall be repaired or replaced to the cities standards.
- Dust, mud, and erosion shall be controlled by whatever means necessary, and the roadway shall be kept free of mud and debris, at all times.
- Grade the property or install structures so that drainage is prevented from flowing on to any adjacent properties, except the roadway.
- Properties are to be graded such that storm water runoff will drain away from structures and towards property boundaries. However, new development or redevelopment shall not increase the burden of storm water on neighboring and/or downstream properties. Storm water runoff shall be entirely controlled within the limits of project site. Perpetrating property owners may be liable for damages in civil courts due to damages caused to adjacent properties from runoff (including flows that existed before the new development or redevelopment occurred). Any concentrated flows leaving a site shall have an agreement/ easement with the affected property owners.
- Retaining walls along property lines shall have a maximum height of 5.0 feet from finish grade at bottom of wall to top of wall, with a minimum of 5.0 feet between wall tiers from back of lower wall to face of upper wall.
- Offset retaining walls from 30%-or-greater slope area (the protected hillside area) sufficiently to avoid disturbing the protected hillside during construction and backfilling of the retaining wall.
- A professional engineer, currently licensed in Utah, shall inspect during construction, and approve after construction, any retaining walls that are 4.0 feet high or higher, from top of wall to bottom of footing. Said engineer shall submit a letter, stamped, with the stamp signed and dated, and indicating that the wall was installed according to the approved design, to the Sand City Engineer.
- Builder/owner shall replace any existing sidewalk or curb & gutter along the frontage of this project, that is found to be lifted, chipped, cracked, spalled, or not properly draining, as directed by the Sand City inspector.
- Builder/owner shall secure an excavation permit from Sandy City Public Works Department (Monica Petersen, 8775 South 700 West, 801-568-2964) prior to doing any work in the Sandy City right-of-way. Traffic plan, bonding & insurance will be required.
- No grading, cutting, filling or construction of any kind is allowed in the 30%-or-greater natural-slope area, except as approved by the Sandy City Engineer.



**PROPOSED SITE PLAN**  
SCALE: 1"=20'-0"

**Property Information**

Owner: Roman and Mila Plachinta  
 Address: 10074 S Stone Mountain Cove  
 Sandy City, UT  
 Subdivision: Lot 13, Stone Ridge Subdivision  
 44.431 ac, 1.02 acres  
 Parcel No: 28114770270000  
 Sandy City Zoning Requirements  
 Zone: R-1-15  
 Min. Area: 15,000 sf  
 Min. Lot Width: 85 feet  
 Building Requirements  
 Front Setback: 20 ft  
 Side Setback: 10 ft & 12 ft  
 Rear Setback: 30 ft  
 Pool Requirements  
 Any swimming pool shall be completely surrounded by a fence or wall having a height of at least six feet to control access. The pool shall not be closer than 5' to any property line.  
 Rear Yard Setback: 5 feet  
 Side Yard Setback: 5 feet



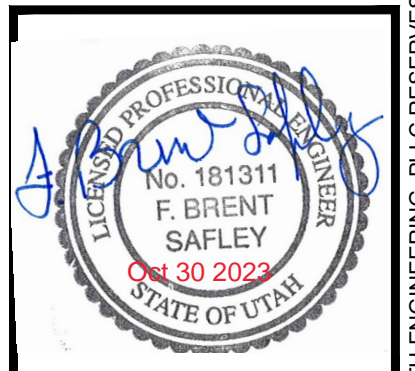
JOB # 424  
**PLACHINTA GRADING PLAN**  
 PROJECT:  
 STREET: 10074 S STONE MOUNTAIN COVE  
 CITY: SANDY CITY, UTAH

CONTRACTOR TO VERIFY ALL CONDITIONS & DIMENSIONS  
 DO NOT SCALE  
 SHEET SIZE: ARCH D  
 24X36

**PROPOSED SITE PLAN**

DATE 08/16/2023

PLAN SUBMITTAL DATES	
DATE:	DESCRIPTION:
08-16-2023	SUBMITTAL 1
09-20-2023	SUBMITTAL 2
10-30-2023	SUBMITTAL 3
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DRAWN BY: C. WINGER  
 ENGINEER: B. SAFLEY

SHEET #  
**1.0**

**Line Legend**

- Lot Line
- - - Easement Line
- Set Back Line
- x - x - Fence Line
- - - GAS - - - Proposed Gas Line
- - - Equipotential Grid Line
- - - Existing Major Contour Line
- - - Existing Minor Contour Line
- - - Proposed Major Contour Line
- - - Proposed Minor Contour Line
- - - Existing Grade Spot Elevation
- + Final Grade Spot Elevation

**Hatch Legend**

- [Hatched Box] 30%-Or-Greater-Slope (Protected Hillside)
- [Hatched Box] Area - To Remain in Its Natural Condition. No Grading, Cutting, Filling, Or Construction Of Any Kind is Allowed, Except As Approved By The Sandy City Engineer.\*
- [Hatched Box] 30% Slope Restoration Area

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Construction Notes

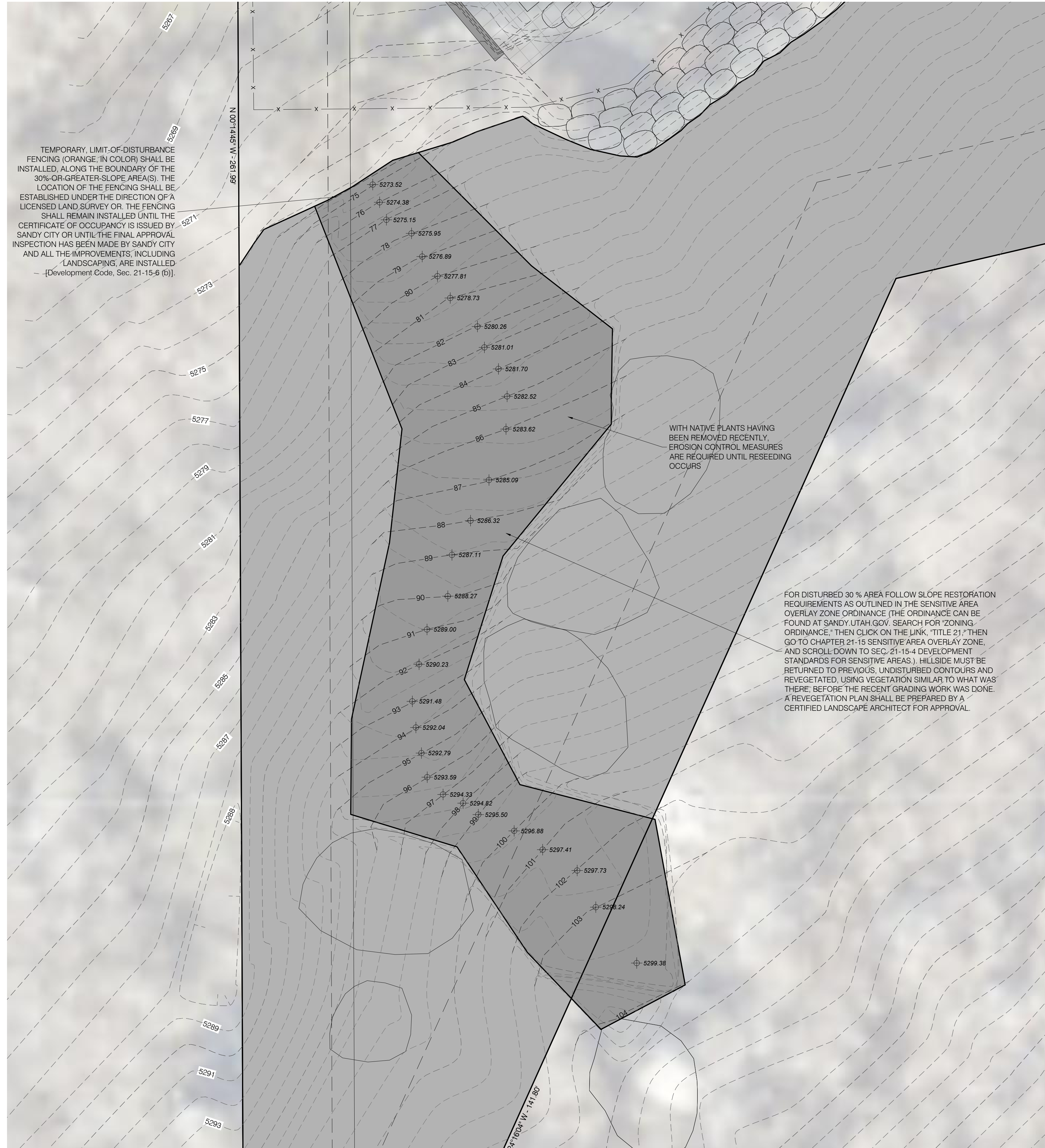
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- The NOI must be submitted to DWQ 45 days prior to the start of construction and may entitle coverage under the Utah DWQ General Permit for Storm Water Discharges associated with construction activity. A UPDES Storm Water Discharge Permit may be required. The Contractor shall be considered the Permittee.
- Provide sediment control at all points where storm water runoff leaves the site, including waterways, overland sheet flow, and storm sewers.
- Place sand or gravel bags around existing storm drain collection systems to protect from sediment and debris.
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- Tracking or spilling mud, dirt or debris upon streets, residential or commercial drives, sidewalks or bike paths is prohibited. Any such occurrence shall be cleaned up immediately.
- A lined concrete wash out area must be provided at the site for all concrete, paint, stucco, or masonry work. Washout on ground is prohibited. Washout area can be used for any type of tool and or equipment cleanup.
- A chemical toilet is required to be on site during construction and located on a pervious surface.
- Building site is to be cleaned on a regular basis.
- All erosion control Best Management Practices shall be inspected and maintained regularly and after every storm event.

Site Grading Notes

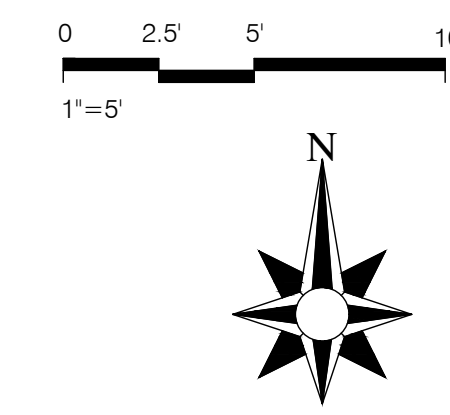
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- Slope finish grade away from existing structures and foundations a minimum of 2% and maximum of 5% for 10 feet (3 to 6 inches). Provide all necessary horizontal and vertical transitions between new construction and existing surfaces for proper drainage.
- All grading, excavation and backfilling work shall conform to the geotechnical soils report approved for this site. The report must include soil classification, soil bearing pressure and lateral equivalent fluid pressure. A geotechnical engineer must inspect excavations prior to any fill or concrete being placed.

General Notes

- All public improvements within Sandy City's jurisdiction shall be constructed according to the Sand City Standard Specifications and Details for Municipal Construction (latest edition). The Specifications can be found in .pdf format online at (click on Department, Public Works, then Standard Specifications).
- Not all utilities are shown on this plan. Verify the location of all existing utilities including cables, conduits, pipes, water lines, gas lines, etc. by contacting a utility locating service such as Blue Stakes to mark utility locations prior to construction.
- Protect existing utilities, structures, and street improvements which are to remain in place, from damage. Any utilities, structures or improvements damaged due to construction shall be repaired or replaced to the cities standards.
- Dust, mud, and erosion shall be controlled by whatever means necessary, and the roadway shall be kept free of mud and debris, at all times.
- Grade the property or install structures so that drainage is prevented from flowing on to any adjacent properties, except the roadway.
- Properties are to be graded such that storm water runoff will drain away from structures and towards property boundaries. However, new development or redevelopment shall not increase the burden of storm water on neighboring and/or downstream properties. Storm water runoff shall be entirely controlled within the limits of project site. Perpetrating property owners may be liable for damages in civil courts due to damages caused to adjacent properties from runoff (including flows that existed before the new development or redevelopment occurred). Any concentrated flows leaving a site shall have an agreement/easement with the affected property owners.
- Retaining walls along property lines shall have a maximum height of 5.0 feet from finish grade at bottom of wall to top of wall, with a minimum of 5.0 feet between wall tiers from back of lower wall to face of upper wall.
- Offset retaining walls from 30%-or-greater slope area (the protected hillside area) sufficiently to avoid disturbing the protected hillside during construction and backfilling of the retaining wall.
- A professional engineer, currently licensed in Utah, shall inspect during construction, and approve after construction, any retaining walls that are 4.0 feet high or higher, from top of wall to bottom of footing. Said engineer shall submit a letter, stamped, with the stamp signed and dated, and indicating that the wall was installed according to the approved design, to the Sand City Engineer.
- Builder/owner shall replace any existing sidewalk or curb & gutter along the frontage of this project, that is found to be lifted, chipped, cracked, spalled, or not properly draining, as directed by the Sandy City inspector.
- Builder/owner shall secure an excavation permit from Sandy City Public Works Department (Monica Petersen, 8775 South 700 West, 801-568-2964) prior to doing any work in the Sandy City right-of-way. Traffic plan, bonding & insurance will be required.
- No grading, cutting, filling or construction of any kind is allowed in the 30%-or-greater natural-slope area, except as approved by the Sandy City Engineer.



REVEGETATION GRADING  
SCALE: 1"=5'-0"



Line Legend

—	Lot Line
- - - -	Easement Line
— x — x — x —	Set Back Line
— x — x — x —	Fence Line
— GAS — GAS —	Proposed Gas Line
- - - -	Equipotential Grid Line
- - - -	Existing Major Contour Line
- - - -	Existing Minor Contour Line
- - - -	Proposed Major Contour Line
- - - -	Proposed Minor Contour Line
+ XXXX.XX	Existing Grade Spot Elevation
+ XXXX.XX	Final Grade Spot Elevation

Hatch Legend

[Hatch Pattern]	30%-Or-Greater-Slope (Protected Hillside) Area - To Remain in Its Natural Condition. No Grading, Cutting, Filling, Or Construction Of Any Kind is Allowed, Except As Approved By The Sandy City Engineer.*
[Hatch Pattern]	30% Slope Restoration Area

**DKE**  
DESIGN & ENGINEERING FIRM  
626 S. Audi Mall Dr #3  
American Fork, UT 84003  
(801) 742-8611  
www.dkefirm.com

JOB # 424  
**PLACHINTA GRADING PLAN**  
PROJECT:  
STREET:  
10074 S STONE MOUNTAIN COVE  
CITY:  
SANDY CITY, UTAH

CONTRACTOR TO VERIFY ALL CONDITIONS & DIMENSIONS  
DO NOT SCALE  
SHEET SIZE: ARCH D  
24X36

**PROPOSED SITE PLAN**

DATE 08/16/2023

PLAN SUBMITTAL DATES	
DATE:	DESCRIPTION:
08-16-2023	SUBMITTAL 1
09-20-2023	SUBMITTAL 2
10-30-2023	SUBMITTAL 3
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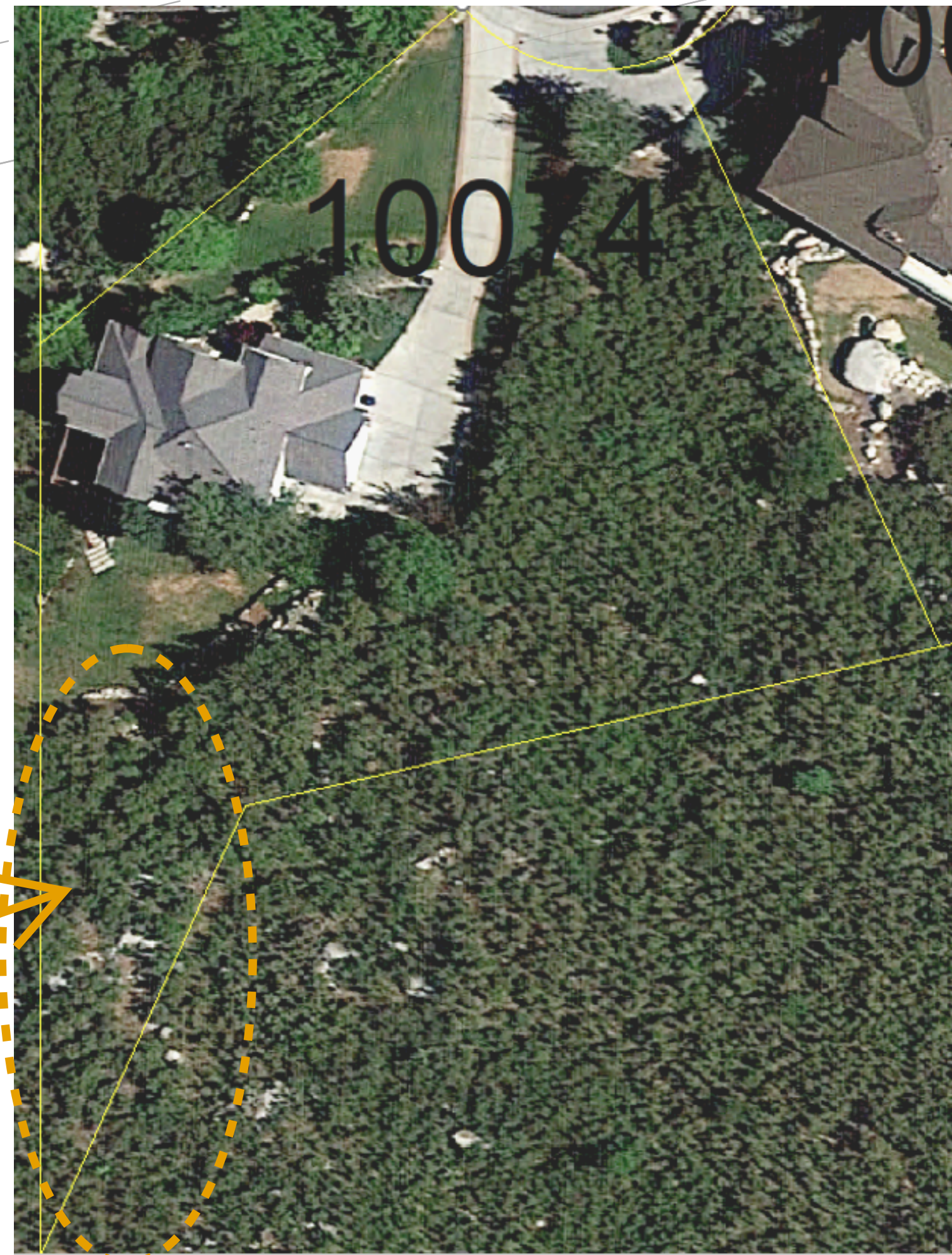
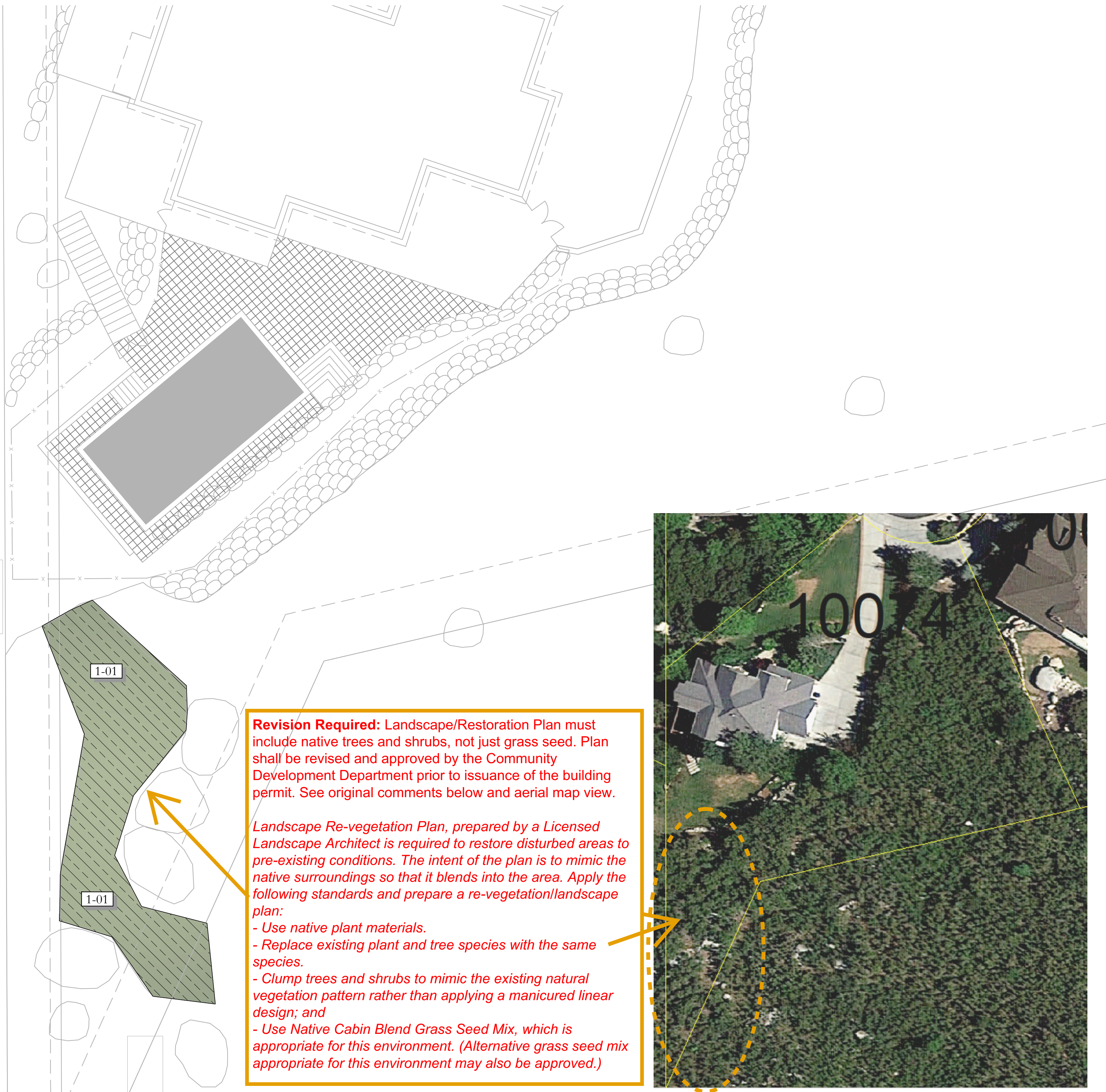
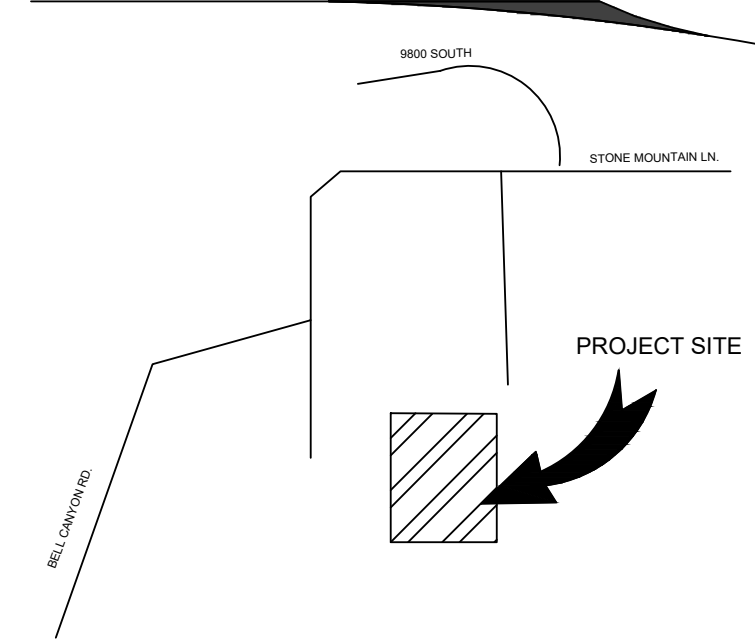


DRAWN BY:	C. WINGER
ENGINEER:	B. SAFLEY

SHEET #  
**1.1**

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VICINITY MAP



SITE MATERIALS LEGEND (NOTE: SITE MATERIALS QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN CASE OF DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.)

SYMBOL	LANDSCAPE DESCRIPTION	QTY
[Hatched Box]	NATIVE GRASS SEED BLEND HYDROSEED WITH PLS (PURE LIVE SEED) OF NATIVE GRASS NON-IRRIGATED SEED BLEND 7.50 LBS/ACRE MOUNTAIN BROME 6.25 LBS/ACRE SLENDER WHEATGRASS 1.25 LBS/ACRE SHEEP FESCUE 1.25 LBS/ACRE SANDBERG BLUEGRASS 1.25 LBS/ACRE BIG BLUEGRASS 5.00 LBS/ACRE WESTERN WHEATGRASS 2.50 LBS/ACRE HEARDESS BLUEBUNCH WHEATGRASS TOTAL 25 LBS/ACRE HYDROSEEDING SHALL CONSIST OF SEED, TACKIFIER, WOOD FIBER MULCH IN A WATER BASED SLURRY. USE 200 LBS WOOD FIBER MULCH AND 50-100 LBS OF TACKIFIER PER ACRE. SEED IN OCTOBER OR NOVEMBER DURING COOL TEMPERATURES BEFORE THE FIRST SNOW.	1,110 sf



ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
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9/29/2023	UT23142						
NO.	REVISION	DATE					
1	XXXX	XX-XX-XX					
2							
3							
4							
5							
6							
7							

811 BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER, INC  
1-800-662-4111  
www.bluestakes.org

# SANDY POOL REVEGETATION

10074 S. STONE MOUNTAIN COVE  
SANDY, UTAH

DAISY LANDSCAPE AND DESIGN  
ATT: BROOKE WOODS  
DAISYLANDSCAPEANDDESIGN.COM

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LEHI, UTAH 84043 (801) 753-5644  
www.pkjdesigngroup.com

COLOR ILLUSTRATION  
CITY PERMIT SET

PK: JTA  
DRAWN: SAV  
CHECKED: JMA  
PLOT DATE: 9/29/2023

# EXHIBIT "D"

## Native Grasses Seeding, Establishment and Maintenance Procedures

### Hydroseed

**SOIL:** Test soil for adequate fertility. Any weeds currently on the site shall be removed and compacted soil shall be scarified to a depth of 18 inches before adding 6" of weed free topsoil with high organic matter. Topsoil should be soft at time of application. Fertilizer is to be added when hydroseeding. Refer to soil test results and hydroseeding contractor for application rates.

**SEED:** Use seed mixes as specified by landscape architect of Pure Live Seed (PLS) on a basis/acre.

**APPLICATION:** Hydroseeding shall consist of seed, tackifier, wood fiber mulch and fertilizer in a water based slurry. Tank mounted truck shall have continuous agitation. The pump on the truck will force the slurry through a top-mounted discharge nozzle (tower). Use 2000 pounds wood fiber mulch and 50-100 pounds of tackifier per acre.

**IRRIGATION:** All areas must be kept moist without puddles or runoff using frequent daytime water cycles. Adjust and monitor sprinklers and clock to achieve proper irrigation.

If permanent irrigation is not planned, temporary irrigation is required at the following schedule: For 8 weeks soil shall remain damp during establishment period without puddling on soil surface. Apply water approximately three times a day for 5-7 minutes for each irrigation event depending on temperature and time of year. A sparse density is expected. Continue temporary irrigation for one year eventually reducing water application to once a week, then once every two weeks to finally once a month. Monitor progress of establishment and adjust sprinklers accordingly. The goal is to create a healthy stand of grasses with little to no irrigation.

**WEED CONTROL AND MAINTENANCE:** Mandatory weed control is required to reduce competition and weed seed production. Weeds must be kept under control by mechanically pulling or chemically spraying as directed by applicator. Apply a broadleaf herbicide biannually and establish a consistent regimen of mowing and fertilizing to prevent weeds from producing seed. Mow once in the spring and once in the fall before fertilization. Fertilizer option is Sustain 4-6-4 depending on soil fertility. Do not mow shorter than 4 inches. Bag all cuttings to remove weed seed from property. Keep weeds cut down and do not let them go to seed. Weed seed production is the gauge for when to mow, which generally occurs in April or May as well as early fall depending on temperature and moisture. This procedure will be required until a healthy stand of grasses is evident and competing well with weeds. Expect from 1 to 3 years.

**Proganics Biotic Soil Media:** Where conditions may prohibit adding topsoil, Proganics Biotic Soil media can be applied by hydroseeder at 3500lbs/acre with seed and fertilizer prior to the application of wood mulch(2000lbs/acre) combined with tackifier (50-100 lbs/acre.)

**Adding Forbs:** Shrubs and perennials, by seed or container, can be added once weeds are under control and herbicide is no longer needed. Usually 1-2 years after hydroseeding.