



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Agenda

Planning Commission

Dave Bromley
Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
LaNiece Davenport
Craig Kitterman (Alternate)
Jennifer George (Alternate)

Thursday, April 3, 2025

6:15 PM

Council Chambers and Online

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

https://us02web.zoom.us/webinar/register/WN_McOzB7EnRMeutDbZ_3gDA

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/82408637731>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866

(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/82408637731>

Webinar ID: 824 0863 7731

Passcode: 708745

4:00 PM FIELD TRIP

1. [25-087](#) Map

Attachments: [April 3rd FT Map](#)

5:15 PM EXECUTIVE SESSION

6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

Public Meeting Items

2. [SUB0121202](#) 90th South Wadsworth Subdivision (Preliminary Review)
 [5-006907](#) 694 W. 9000 S. St.
 [Community #1, Northwestern Exposure]

 Attachments: [Staff Report](#)
 [Exhibit A](#)

3. [SPR1207202](#) 9000 S. C-Store (Preliminary Site Plan Review)
 [4-006901](#) 694 W. 9000 S. St.
 [Community #1, Northwestern Exposure]

 Attachments: [Staff Report](#)
 [Exhibit A](#)

4. [SPR0203202](#) Enbridge Gas Public Utility Station (Preliminary Site Plan Review)
 [5-006911](#) 9725 S. State St.
 [Community # 5]

 Attachments: [Staff Report](#)
 [Exhibit A](#)

5. [CUP0130202](#) Enbridge Gas Public Utility Station (Conditional Use Permit)
 [5-006910](#) 9725 S. State St.
 [Community # 5]

Administrative Business

1. Minutes

[25-089](#) Minutes from March 20, 2025 Meeting

Attachments: [03.20.2025 PC Minutes \(DRAFT\)](#)

2. Sandy City Development Report

[25-088](#) Development Report

Attachments: [04.01.2025 DEV REPORT](#)

3. Director's Report

Adjournment

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Staff Report

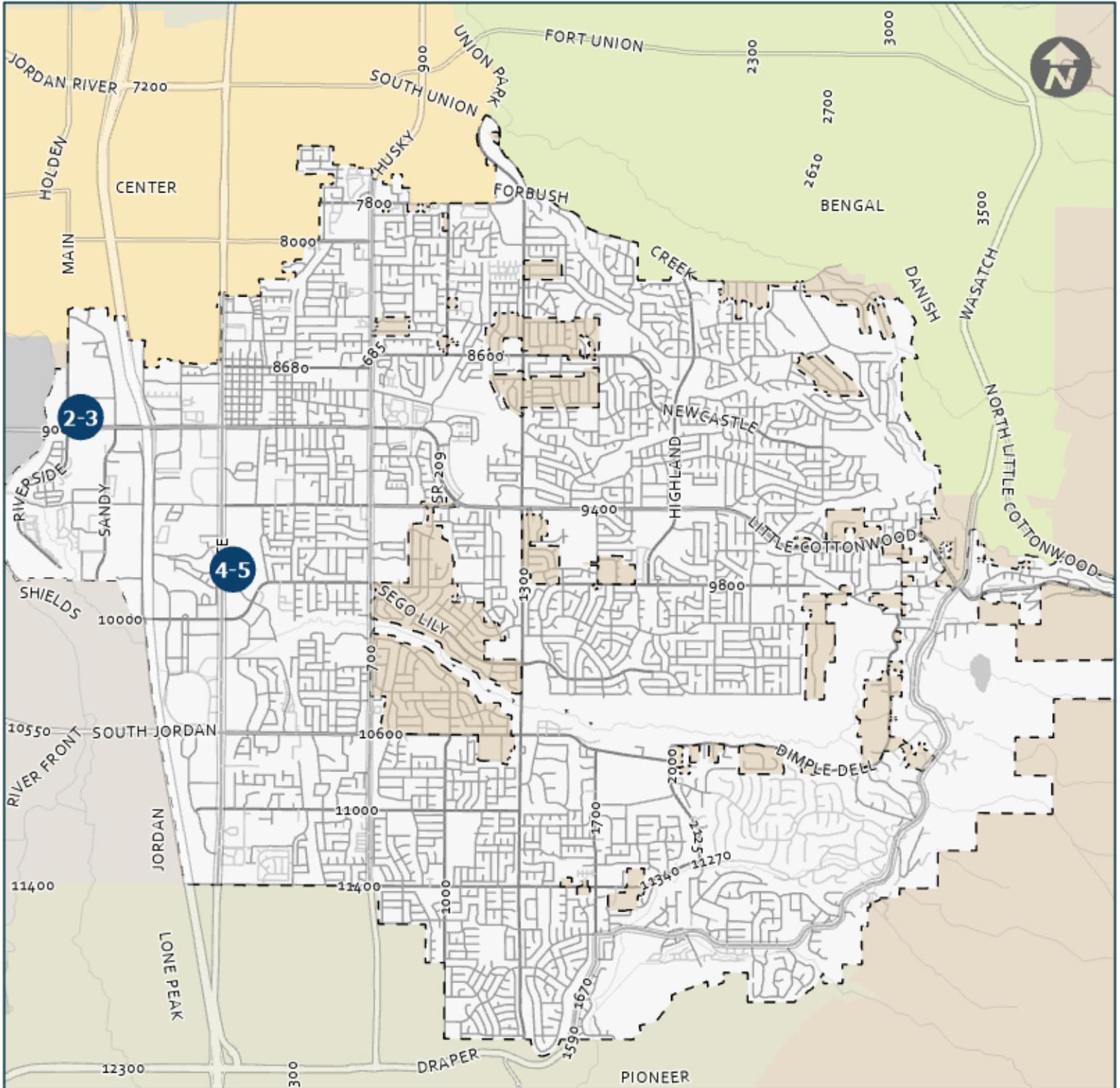
File #: 25-087, **Version:** 1

Date: 4/3/2025

Map

Planning Commission Field Trip

April 3, 2025



See Planning Commission agenda packet for specific addresses and details regarding the application.

 1 Mile

Sandy City, UT
Community Development Department

| <u>Agenda Item Number</u> | |
|---|---------------------------------|
|  1 | Locations to visit on your own |
|  1 | Locations to be visited on tour |



Staff Report

File #:
SUB01212025-006907,
Version: 1

Date: 4/3/2025

Agenda Item Title:

90th South Wadsworth Subdivision (Preliminary Review)
694 W. 9000 S. St.
[Community #1, Northwestern Exposure]

Presenter:

Douglas L. Wheelwright, Development Services Manager

Description/Background:

The applicant, Elizabeth Cole, representing Wadsworth Development Group, the property owner, is requesting preliminary commercial subdivision review by the planning commission for a property located at 694 W. 9000 S. St. The property is within the Regional Commercial (RC) zoning district. This two-lot commercial subdivision is the first subdivision of this vacant property and requires a recorded plat. Please see the proposed subdivision plat attached as Exhibit A.

Please see attached staff report and exhibits for full details.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission approve the proposed 90th South Wadsworth Subdivision, 2 lot preliminary commercial subdivision as described in the staff report for the property located at 694 W. 9000 S. St., based on the following findings and subject to the following conditions:

Findings:

1. The proposed subdivision plat generally meets city code requirements.
2. The proposal would enable further development of the property and ensure that all public improvements can be built, and public utility easements granted to provide future services on and through the property.

Conditions:

1. That the developer proceeds through the final subdivision review process with staff.
2. That this subdivision plat be recorded with the Salt Lake County Recorder's Office prior to the issuance of the building permit for the C-store project.
3. That cross access and maintenance agreements be recorded with the plat to ensure that access to both lots from the public streets is provided and maintained in perpetuity.

File #:
SUB01212025-006907,
Version: 1

Date: 4/3/2025

-
4. That this plat be recorded prior to the final approval and of any site development of either lot.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE
OFFICER

Staff Report Memorandum April 3, 2025

To: Planning Commission
From: Community Development Department
Subject: 90th South Wadsworth Subdivision (Preliminary Review)
694 W. 9000 S. St.
[Community #1, Northwestern Exposure]

SUB01212025-006907
RC Zoning District
3.371 Acres, 2 lots

Public Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, at public locations.

Request

The applicant, Elizabeth Cole, representing Wadsworth Development Group, the property owner, is requesting preliminary commercial subdivision review by the planning commission for a property located at 694 W. 9000 S. St. The property is within the Regional Commercial (RC) zoning district. This two-lot commercial subdivision is the first subdivision of this vacant property and requires a recorded plat. Please see the proposed subdivision plat attached as Exhibit A.

Background

The property is located on the north side of 9000 S. Street and on the east side of 700 W. St. The site is vacant and has a major electrical transmission line bisecting the site northwest to southeast. The north and south sides of 9000 S. St. are zoned Regional Commercial (RC) to the east. The south side of 9000 S. St. is developed with office uses. Abutting the north side of the property is vacant land zoned Industrial (ID) and is owned by the Sandy Suburban Sewer Improvement District. The west side of 700 W. St. is also zoned industrial and is vacant and was recently annexed into Sandy City. 9000 S St is a UDOT owned major arterial street, which is undergoing construction of a new bridge over the Jordan River and is being widened to the west into West Jordan City.



9000 S C-Store Commercial Site Plan
SPR12172024-006901
SUB01212025-006907
694 W 9000 S

0 50 100 200 300 400 500 Feet

Sandy City, UT
Community Development Department

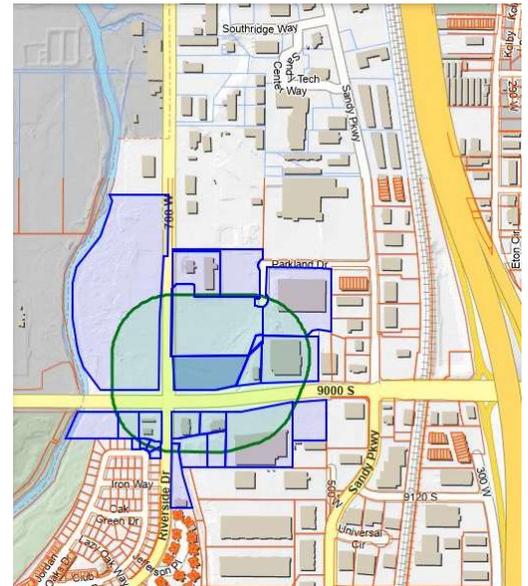
| Property Case History | |
|-----------------------|--|
| Case Number | Case Summary |
| SPR-03-19-5627 | 90 th South Office Bldg. 3.38 ac., 14,428 Sq. Ft. building footprint, 5 stories, approved by P.C in 2019, but withdrawn in 2021 due to Covid19 and crash of office market. Project was abandoned before permitting or any construction. |

Public Notice and Outreach

This item has been noticed via mailed notices to all property owners located within 500 feet of the subject property. Public notice websites have also received notice of this project and this meeting. A neighborhood meeting was not required or held, and no notice sign was posted on the property, due to lack of proximity to residentially zoned property within 250 feet.

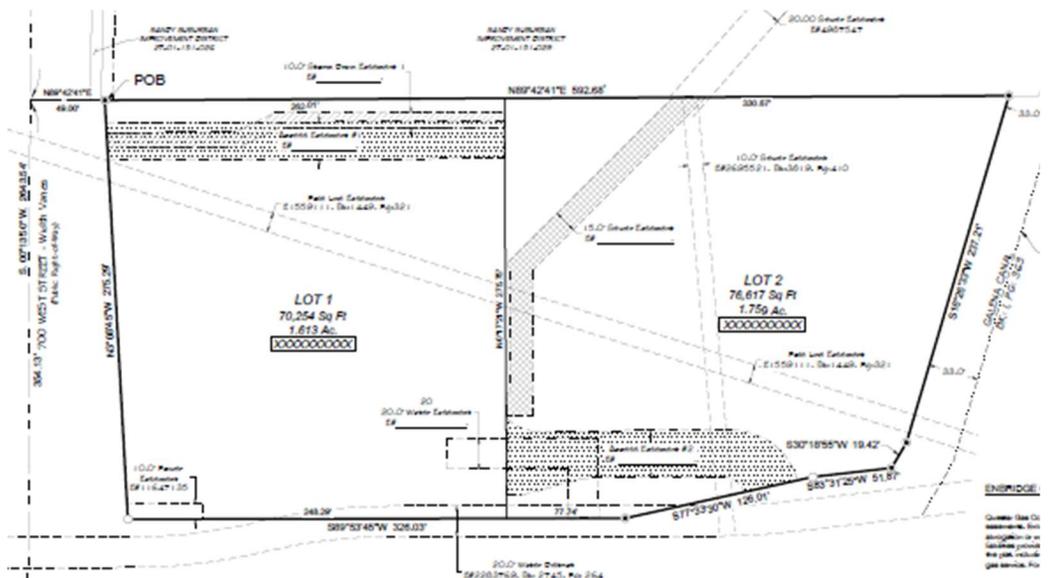
Analysis

This two-lot commercial subdivision is associated with the related site plan review case SPR12172025-006901, 9000 S. St. C-store, appearing on this same meeting agenda. This site has been filled and regraded over time and is bisected northwest to southeast by a major electric power transmission line, which greatly complicates the development of this property. The subdivision is being proposed by the owner to allow the creation of proposed Lot 1, which will be sold to the developer of the 9000 S. St. C-store project.



The subject 3.371-acre property parcel was created prior to annexation of this property into Sandy City. No subdivision has ever been applied for on this property. Wadsworth Development Group originally purchased the property to build a five-story commercial office building using the full parcel. This project was abandoned by Wadsworth Development after the Covid 19 pandemic collapsed the speculative office building market. All street widening needs for both frontages of the public street have been previously obtained and the current right of way and curb and gutter locations have been established for both streets,

The subdivision plat is necessary to create Lot 1 for the related development and to create a second lot that will be sold or developed in the future. Access to the property is limited, so the subdivision plat will create the necessary shared access driveway locations to ensure that future development is possible for Lot 2. Existing and proposed access and utility infrastructure easements will be created and identified by the subdivision plat. There is no minimum lot size or street frontage requirement for development, in the RC zoning district.



Staff Concerns

Planning staff do not have any concerns with the approval of this subdivision, as all necessary public and private improvements will be required through the commercial site plan review process.

Recommendation

Staff recommends that the Planning Commission approve the proposed 90th South Wadsworth Subdivision, 2 lot preliminary commercial subdivision as described in the staff report for the property located at 694 W. 9000 S. St., based on the following findings and subject to the following conditions:

Findings:

1. The proposed subdivision plat generally meets city code requirements.
2. The proposal would enable further development of the property and ensure that all public improvements can be built, and public utility easements granted to provide future services on and through the property.

Conditions:

1. That the developer proceeds through the final subdivision review process with staff.
2. That this subdivision plat be recorded with the Salt Lake County Recorder’s Office prior to the issuance of the building permit for the C-store project.
3. That cross access and maintenance agreements be recorded with the plat to ensure that access to both lots from the public streets is provided and maintained in perpetuity.
4. That this plat be recorded prior to the final approval and of any site development of either lot.

Planner:



Douglas L. Wheelwright
Development Services Manager

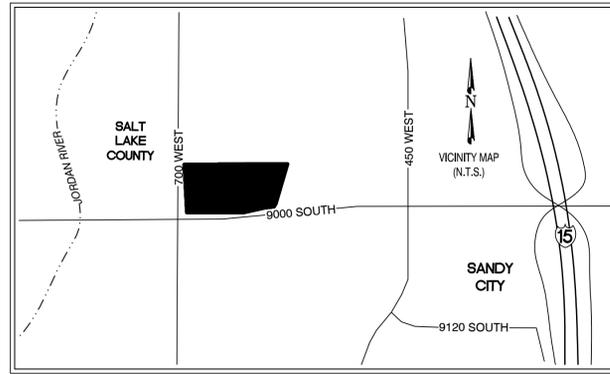
File Name: S:\Users\PLN\STAFFRPT\2025\SUB01212025-006907 - 90th S. Wadsworth Subdivision

Found Northwest Corner
Section 1, T.3S., R.1W., S.L.B.&M.
Standard Flat Brass 2.5"



90TH SOUTH WADSWORTH SUBDIVISION

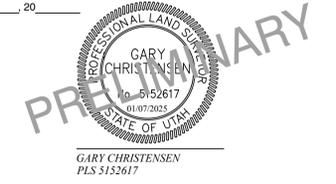
LOCATED IN THE NORTHWEST QUARTER OF SECTION 1, TOWNSHIP 3 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH



SURVEYOR'S CERTIFICATE

I, GARY CHRISTENSEN, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 5152617 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Act; I further certify that by authority of the owners I have made a survey of the property described on this plat in accordance with 17-23-17, and have subdivided said property into lots and streets, together with easements, hereafter to be known as **90TH SOUTH WADSWORTH SUBDIVISION** and that the same has been correctly surveyed and monumented on the ground as shown on this plat.

Signed this _____ day of _____, 20____



BOUNDARY DESCRIPTION

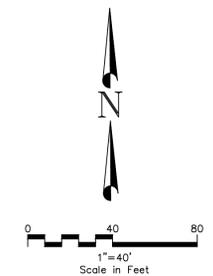
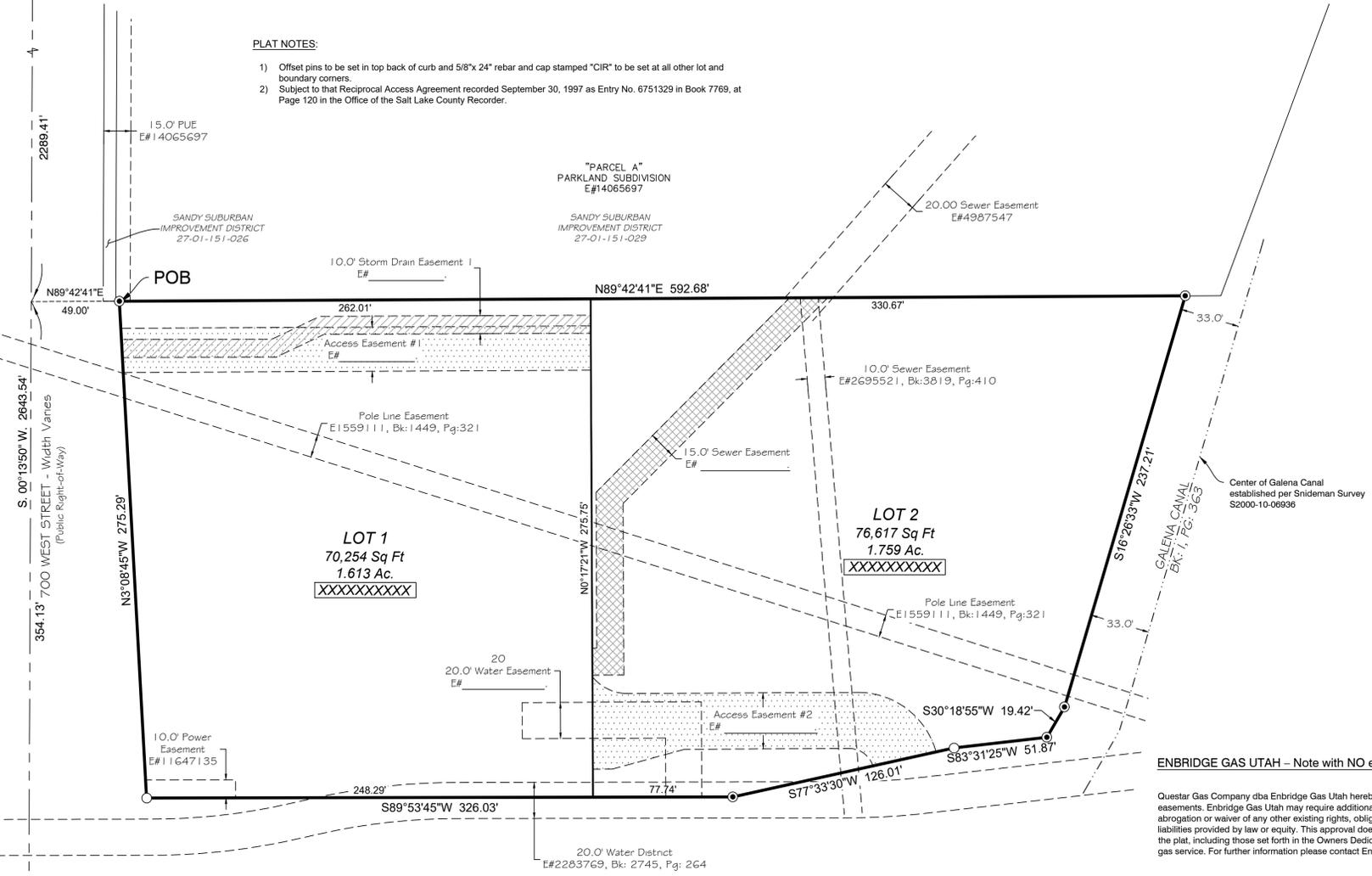
An entire tract of land described in that Special Warranty Deed recorded January 4, 2019 as Entry No. 12913907 in Book 10743, at Page 8348 in the Office of the Salt Lake County Recorder. Said entire tract is located in the Northwest Quarter of Section 1, Township 3 South, Range 1 West, Salt Lake Base and Meridian and is described as follows:

Beginning at the intersection of the easterly right-of-way line of 700 West Street and southerly line of Parkland Subdivision recorded January 25, 2023 as Entry No. 14065897 in Book 2023 of Plats, at Page 022 in the Office of said Recorder, which is 354.13 feet N. 00°13'50" E. along the Section Line and 49.00 feet N. 89°42'41" E. from the West Quarter Corner of said Section 1, thence N. 89°42'41" E. 592.68 feet (R=North 89°49' East 611.46 feet) to a westerly right-of-way line of the Galena Canal described in Book 1, at Page 363 in the Office of said Recorder, being 33.0' feet perpendicular distant westerly from the centerline of said canal re-established in that Certificate of Survey filed as S00-09-0547 in the Office of the Salt Lake County Surveyor; thence along said westerly right-of-way line the following two (2) courses: 1) S. 16°26'33" W. 237.21 feet (R=South 22°30' West); 2) S. 30°18'55" W. (R=South 22°30' West) 19.42 feet to a northerly right-of-way line of 9000 South Street (Highway Project No. S-0151(1)); thence along said northerly right-of-way line the following three (3) courses: 1) S. 83°31'25" W. 51.87 feet (R=47.0 feet) to an existing rebar and cap stamped "McNeil Eng"; 2) S. 77°33'30" W. 126.01 feet; 3) S. 89°53'45" W. 275.29 feet (R=274.40 feet) along said easterly right-of-way line to the **Point of Beginning**.

The above-described entire tract contains 146,870 sq. ft., in area or 3.371 ac. more or less. 2 Lots.

PLAT NOTES:

- Offset pins to be set in top back of curb and 5/8"x24" rebar and cap stamped "CIR" to be set at all other lot and boundary corners.
- Subject to that Reciprocal Access Agreement recorded September 30, 1997 as Entry No. 6751329 in Book 7769, at Page 120 in the Office of the Salt Lake County Recorder.



Legend of Symbols & Abbreviations

- Boundary Line
- Lot Line
- Road Right-of-Way (ROW)
- Adjacent Parcel
- P.U.E. and Easements
- Canal Line
- Set Rebar and Cap stamped "CIR"
- Found Rebar and Cap stamped "McNeil Eng"

ENBRIDGE GAS UTAH - Note with NO existing natural gas easement

Questar Gas Company dba Enbridge Gas Utah hereby approves this plat solely for purpose of confirming that the plat contains public utility easements. Enbridge Gas Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities including prescriptive rights and other rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat, including those set forth in the Owners Dedication and the Notes, and does not constitute a guarantee of particular terms of natural gas service. For further information please contact Enbridge Gas Utah's Right-of-Way Department at 1-800-366-8532.

QUESTAR GAS COMPANY
dba ENBRIDGE GAS UTAH
Approved this _____ day of _____, 20____
By: _____
Title: _____

SHEET
1
1

OWNER / DEVELOPER:
Sandy EOZ Business, LLC
548 West 600 North
Alpine, UT 84004

Found West Quarter Corner
Section 1, T.3S., R.1W., S.L.B.&M.
Round Top Brass 2"



PREPARED BY:

10718 South Beckstead Lane, Suite 102, South Jordan, Utah 84095
Phone: (435) 503-7641

| | | | |
|---|--|--|--|
| <p style="text-align: center;">SANDY CITY PARKS & RECREATION</p> <p>Approved to form this _____ day of _____ A.D. 20____ by the Sandy City Parks and Recreation.</p> <p style="text-align: center;">_____ Director</p> | <p style="text-align: center;">SANDY CITY PUBLIC UTILITIES</p> <p>Approved to form this _____ day of _____ A.D. 20____ by the Sandy City Public Utilities.</p> <p style="text-align: center;">_____ Engineering Manager</p> | <p style="text-align: center;">SALT LAKE COUNTY SURVEYOR</p> <p>Record of Survey # _____</p> <p style="text-align: center;">_____ Plat Reviewer</p> | <p style="text-align: center;">UTILITIES</p> <p>Century Link _____ Date: _____</p> <p>Rocky Mountain Power _____ Dates: _____</p> <p>COMCAST _____ Date: _____</p> <p>Enbridge Gas: _____ Date: _____</p> |
|---|--|--|--|

| | | | | | |
|--|--|--|--|--|--|
| <p style="text-align: center;">SOUTH VALLEY SEWER DISTRICT</p> <p>Approved this _____ day of _____ A.D. 20____</p> <p style="text-align: center;">_____ General Manager</p> | <p style="text-align: center;">S.L. COUNTY HEALTH DEPARTMENT</p> <p>Approved this _____ day of _____ A.D. 20____</p> <p style="text-align: center;">_____ S.L. County Health Department</p> | <p style="text-align: center;">SANDY CITY ENGINEER</p> <p>Approved to form this _____ day of _____ A.D. 20____ by the Sandy City Engineer.</p> <p style="text-align: center;">_____ Sandy City Engineer</p> | <p style="text-align: center;">SANDY CITY PLANNING COMMISSION</p> <p>Approved this _____ day of _____ A.D. 20____</p> <p style="text-align: center;">_____ Sandy City Planner</p> | <p style="text-align: center;">APPROVAL AS TO FORM</p> <p>Approved to form this _____ day of _____ A.D. 20____ by the Sandy City Attorney.</p> <p style="text-align: center;">_____ Sandy City Attorney</p> | <p style="text-align: center;">SANDY CITY MAYOR</p> <p>Presented to the Sandy City Mayor this _____ day of _____ A.D. 2025, at which time the subdivision was approved and accepted.</p> <p style="text-align: center;">_____ Attest: City Clerk</p> <p style="text-align: center;">_____ Mayor</p> |
|--|--|--|--|--|--|

90TH SOUTH WADSWORTH SUBDIVISION
LOCATED IN THE NORTHWEST QUARTER OF SECTION 1,
TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH

SALT LAKE COUNTY RECORDER

Recorded # _____
State of Utah, County of Salt Lake, Recorded and filed at the request of _____

Date: _____ Time: _____ Book: _____ Page: _____

Fee \$ _____
Deputy, Salt Lake County Recorder



Staff Report

File #:
SPR12072024-006901,
Version: 1

Date: 4/3/2025

Agenda Item Title:
9000 S. C-Store (Preliminary Site Plan Review)
694 W. 9000 S. St.
[Community #1, Northwestern Exposure]

Presenter:
Douglas L. Wheelwright, Development Service Manager

Description/Background:
The applicant, Thomas Hunt, Civil Engineer, representing property owner Kamaljeet Saini, is requesting commercial site plan review (SPR) of an automotive self-service fueling station with a convenience store and two for-lease retail spaces and six (6) EV charging stations on the property located at 694 W. 9000 S. St. Please see the site plan and architectural design plans and application materials attached as Exhibit A.

Please see the attached staff report and exhibits for full information.

Recommended Action and/or Suggested Motion:
Staff recommends that the Planning Commission determine preliminary site plan review is complete for the proposed 9000 S. C-Store Commercial Site Plan, located at 694 W. 9000 S. St., based on the following findings and subject to the following conditions:

Findings:

1. That the proposed project will meet all the applicable requirements of the Sandy City Development Code and the Sandy City Architectural Design Standards as to building architectural design, materials and colors.
2. That the proposed new buildings and site improvements to this property will improve the visual appearance of the streetscape on this portion of 9000 S. St. and 700 W. St. and hopefully be the beginning of more commercial redevelopment and improvement within the existing RC) zoning district.

Conditions:

1. That the development complies with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.
2. That the site plan be altered to remove four Community Development Director approves the

10 percent increase in the required number of parking stalls to be provided on site.

3. That stubbed driveways be shown on the final plans and constructed with the site improvements on the north boundary and the east boundary of the lot, as determined by the city engineer.
4. Required building wall articulation be reflected on the site plan to match the building elevations drawings.
5. That landscaping plant material be added to screen the proposed EV charging equipment.
6. That street trees spaced at 35' on center be included in the final landscape plan along the right of way of both public streets.
7. That functional windows and/or spandrel glass windows be added to the north building wall to provide better four-sided architectural treatment.
8. All utility boxes (i.e. transformers, switchgear, telephone, cable TV, etc.) shall be shown on the site plan and shall be placed underground or moved behind the front setback of the buildings and screened from view. Each box shall be shown in its exact location and shall be noted with its exact height, width and length. Building utility meters shall be mounted to the side or rear elevation or screened and painted to match the building background colors.
9. That the developer be responsible for the placement of a temporary 6-foot-high chain link fence around the perimeter of the project during the construction phase of the project for security. Said fencing shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the Community Development Department during Site Plan Review.
10. That the applicant complies with all department requirements as noted in all Preliminary Review comments prior to submittal for the final site plan review with staff.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE
OFFICER

Staff Report Memorandum April 3, 2025

To: Planning Commission
From: Community Development Department
Subject: 9000 S. C-Store (Preliminary Site Plan Review)
694 W. 9000 S. St.
[Community #1, Northwestern Exposure]

SPR12072024-006901
RC Zoning District
1.163 Acres,
6,721 sq. ft. Retail

Public Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites and at public locations.

Request

The applicant, Thomas Hunt, Civil Engineer, representing property owner Kamaljeet Saini, is requesting commercial site plan review (SPR) of an automotive self-service fueling station with a convenience store and two for-lease retail spaces and six (6) EV charging stations on the property located at 694 W. 9000 S. St. Please see the site plan and architectural design plans and application materials attached as Exhibit A.

Background

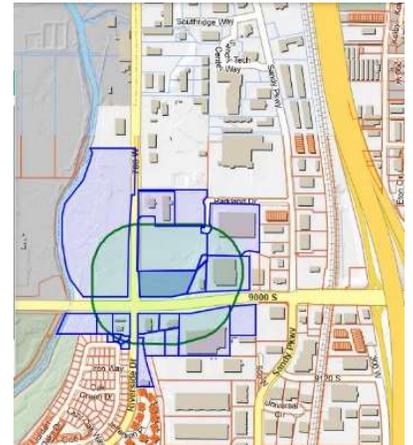
The property is located on the north side of 9000 S. Street and on the east side of 700 W. St. The site is vacant and has a major electrical transmission line bisecting the site northwest to southeast. The north and south sides of 9000 S. St. are zoned Regional Commercial (RC) to the east. The south side of 9000 S. St. is developed with office uses. Abutting the north side of the property is vacant land zoned Industrial (ID) and is owned by the Sandy Suburban Sewer Improvement District. The west side of 700 W. St. is also zoned industrial and is vacant and was recently annexed into Sandy City. 9000 S St is a UDOT owned major arterial street, which is undergoing construction of a new bridge over the Jordan River and is being widened to the west into West Jordan City.



| Property Case History | |
|------------------------------|--|
| Case Number | Case Summary |
| SPR-03-19-5627 | 90 th South Office Bldg. 3.38 ac., 14,428 Sq. Ft. building footprint, 5 stories, approved by P.C in 2019, but withdrawn in 2021 due to Covid19 and the crash of office market. Project was abandoned before permitting or any construction. |

Public Notice and Outreach

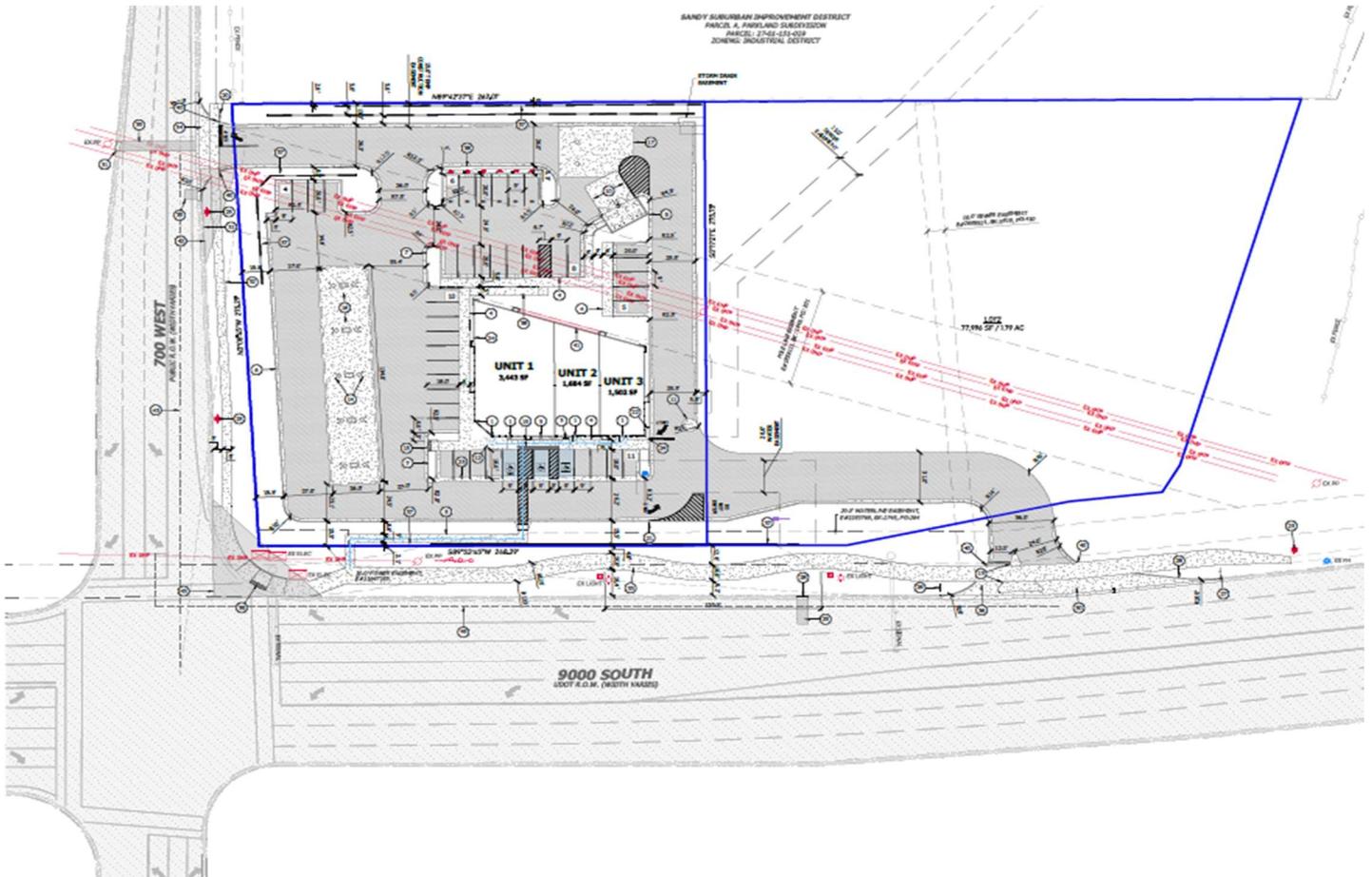
This item has been noticed via mailed notices to all property owners located within 500 feet of the subject property. Public notice websites have also received notice of this project and this meeting. A neighborhood meeting was not required or held, and no notice sign was posted on the property, due to lack of proximity to residentially zoned property within 250 feet.



Analysis

Commercial Site Plan Review

This site plan will occupy the western approximate one half of a 3.371 acres property owned by Wadsworth Development Group and is the subject of a companion case SUB01212025-006907, also on this planning commission agenda for action by the commission. The proposed site plan for the self-service automotive fueling station with a convenience store, for lease retail spaces, and electric vehicle (EV) charging station, are all permitted uses in the Regional Commercial (RC) zoning district.



On-site Vehicle Circulation, Pedestrian Access to Abutting Streets and Parking Requirements

The applicant has obtained access approval from UDOT to add a right turn only driveway along the north side of 9000 S. St. to provide westbound traffic on 9000 S. St. to make a right turn into the property. This access will service both lots in the subdivision, by connections via cross access agreements using proposed and future driveways between the two properties. The city engineer has approved a new driveway access near the north end of the site on 700 W. St. This will be a right in right out only driveway, due to a center median on 700 W. St. being installed as part of the UDOT bridge and widening project.

On-site vehicle circulation will be using proposed and future driveways between the two properties. Vehicle circulation will be tight and circuitous, but an “Auto Turn” analysis has been created, and it shows that in addition to the fuel delivery trucks, garbage and city fire trucks will all be able to maneuver on the site. This site plan will be required to show parking lot driveway stubs to both the east and north boundaries of lot #1, to accommodate future connection of on-site driveways for cross access agreements.

Pedestrian access from 9000 S. St. will be provided by the construction of a long, ramped sidewalk beginning near the corner of 700 W. St. and 9000 S. St. and descending the cross slope to the east and accessing the sidewalk on the south side of the proposed building.

The proposed 6,721 square-foot retail building requires 34 parking stalls. The site plan provides 38 parking stalls on site. This does not include the vehicle stalls under the fuel island canopy or the 6 stalls with the (EV) chargers. Four parking stalls will need to be removed from the site plan to meet the city code requirement, or the applicant can seek administrative approval from the community development director to add up to 10 percent more stalls than required, if the applicant can provide justification by meeting one of the approval criteria as stated in city code section 21-24-3-(b.) (1), “*Parking Increase*”, by providing either a Parking Demand Analysis or a Market Demand Analysis to justify the increase.

Gas Pump Canopy and Electric Vehicle (EV) Charging Stations

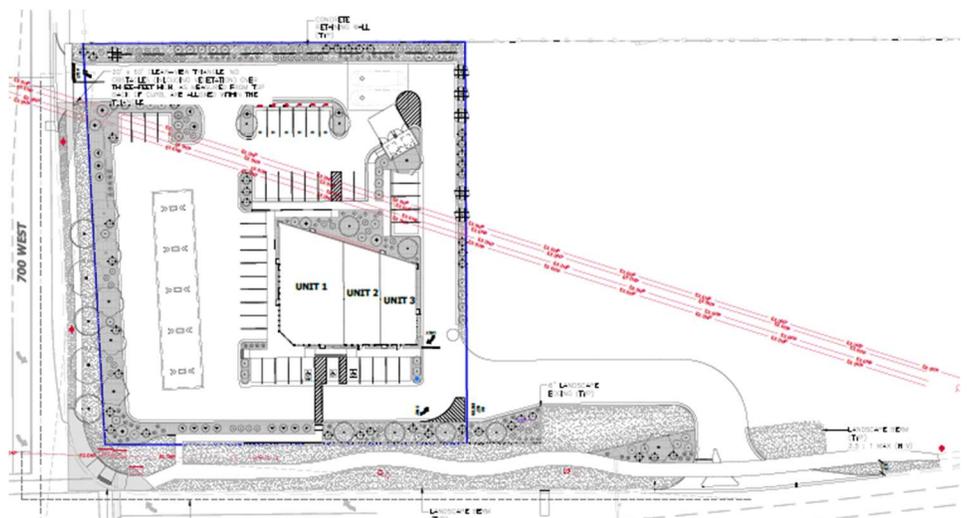
The proposed gas pump canopy structure is 134 feet long north to south and 26 feet wide west to east. It will provide 10 vehicle stalls in a single bay design. This is due to the limited site layout distance between 700 W. St. and the parking stalls located in front of the proposed convenience store. The canopy structure is long, but the single fueling stall depth will reduce the normal canopy depth significantly. This will help prevent the gas island canopy from overwhelming the site and the retail building and is therefore justifiable. There will also be 6 (EV) charging station stalls on the north side of the power transmission line easement. This is the first new fueling station to incorporate EV charging stations to be proposed in Sandy and will aid in building up the charging infrastructure for electric vehicles in the city.

Landscaping

The proposed water-wise landscaping and irrigation plans generally meet the Sandy Development Code chapter 21-25.

Commercial Signage

No signage approval is included in this site plan review. Signage is regulated by separate permits and



review after business license issuance and will meet City requirements.

Architectural Building Design, Colors, and Materials

The proposed single story, 6,630 square foot building is of a modern design, with a flat roof and varying height, angled and raised parapets. The building materials are arranged to add interest to the building with vertical columns and horizontal segmenting, using various materials and colors. (Please see the building elevation drawing in the attached (Exhibit A.) Roof top mounted mechanical equipment (RTU) are to be located on the flat roof and will be fully screened by the parapets. Roof drainage will be completely contained within the building walls. There is less than 20 percent EIFS/Stucco material proposed for the building above the entry canopy where the future store signage will be located. Building materials consist of natural stone columns and wainscoting, architectural metal panels and storefront glass windows and some spandrel glass. Colors are grays, tans and cobalt blue accents. The building will meet the Sandy City Architectural Design Standards for commercial buildings as proposed, except for a lack of any windows on the north side of the building.



Staff Concerns

This is a very difficult site with significant grade changes, limited street access and existing infrastructure easements and facilities. Staff has been working with the applicants for many months to arrive at this point in the design. Further refinement of the plans is needed and will be administered by city staff during the final site plan review processes. Staff is proposing some conditions of approval in the suggested motion to highlight some of these details to insure that the final plans are complete.

Recommendation

Staff recommends that the Planning Commission determine preliminary site plan review is complete for the proposed 9000 S. C-Store Commercial Site Plan, located at 694 W. 9000 S. St., based on the following findings and subject to the following conditions:

Findings:

1. That the proposed project will meet all the applicable requirements of the Sandy City Development Code and the Sandy City Architectural Design Standards as to building architectural design, materials and colors.
2. That the proposed new buildings and site improvements to this property will improve the visual appearance of the streetscape on this portion of 9000 S. St. and 700 W. St. and hopefully be the beginning of more commercial redevelopment and improvement within the existing RC) zoning district.

Conditions:

1. That the development complies with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.
2. That the site plan be altered to remove four Community Development Director approves the 10 percent increase in the required number of parking stalls to be provided on site.
3. That stubbed driveways be shown on the final plans and constructed with the site improvements on the north boundary and the east boundary of the lot, as determined by the city engineer.
4. Required building wall articulation be reflected on the site plan to match the building elevations drawings.
5. That landscaping plant material be added to screen the proposed EV charging equipment.
6. That street trees spaced at 35' on center be included in the final landscape plan along the right of way of both public streets.
7. That functional windows and/or spandrel glass windows be added to the north building wall to provide better four-sided architectural treatment.
8. All utility boxes (i.e. transformers, switchgear, telephone, cable TV, etc.) shall be shown on the site plan and shall be placed underground or moved behind the front setback of the buildings and screened from view. Each box shall be shown in its exact location and shall be noted with its exact height, width and length. Building utility meters shall be mounted to the side or rear elevation or screened and painted to match the building background colors.
9. That the developer be responsible for the placement of a temporary 6-foot-high chain link fence around the perimeter of the project during the construction phase of the project for security. Said fencing shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the Community Development Department during Site Plan Review.
10. That the applicant complies with all department requirements as noted in all Preliminary Review comments prior to submittal for the final site plan review with staff.

Planner:



Douglas L. Wheelwright
Development Services Manager

File Name: S:\Users\PLN\STAFFRPT\2024\SPR12072024-006901 - 9000 S. C-Store

9000 SOUTH C-STORE

694 WEST 9000 SOUTH

SANDY, UT 84070

CIVIL CONSTRUCTION SET - MARCH 2025

SHEET INDEX

| | |
|-------|---------------------------------|
| C0.00 | COVER SHEET |
| C0.10 | GENERAL NOTES, LEGEND & ABBREV. |
| C0.20 | DEMOLITION PLAN |
| C1.00 | PROPOSED SITE PLAN |
| C1.10 | SITE STRIPING PLAN |
| C1.90 | SITE CIVIL DETAILS |
| C1.91 | SITE CIVIL DETAILS (CONT'D) |
| C1.92 | SITE CIVIL DETAILS (CONT'D) |
| C2.00 | SITE GRADING PLAN |
| C2.10 | STORM DRAIN OUTFALL PLAN |
| C2.90 | SITE DRAINAGE DETAILS |
| C3.00 | SITE UTILITY PLAN |
| C3.90 | SITE UTILITY DETAILS |
| C5.00 | EROSION CONTROL PLAN |
| C5.90 | EROSION CONTROL DETAILS |
| L1.00 | SITE LANDSCAPE PLAN |
| L1.10 | SITE IRRIGATION PLAN |
| L1.90 | SITE LANDSCAPE DETAILS |
| L1.91 | SITE LANDSCAPE DETAILS (CONT'D) |

DEVELOPMENT SUMMARY

| | |
|---------------------|--|
| LOCATION: | SANDY CITY, SALT LAKE COUNTY |
| ZONING: | RC, REGIONAL COMMERCIAL |
| INTENDED USE: | CONVENIENCE STORE / RETAIL |
| PROPERTY SIZE: | 70,253 SF / 1.61 ACRES |
| BUILDING FOOTPRINT: | 6,721 SF (10%) |
| IMPERVIOUS AREA: | 50,590 SF (72%) |
| LANDSCAPE AREA: | 12,942 SF (18%) |
| PARKING: | 5 PARKING STALLS / 1,000 SF 6,721 SF / 1,000 = 6.721 34 STALLS REQUIRED |
| | 1 STALL / EV CHARGING STATION 6 EV CHARGERS = 6 STALLS REQUIRED |
| | 40 TOTAL STALLS REQUIRED 41 TYPICAL STALLS PROVIDED 2 ADA + 1 VAN ADA PROVIDED 44 TOTAL STALLS PROVIDED |

SITE DATA

AFFECTED PARCEL NO.:
27-01-151-002

FLOOD INFORMATION:
FLOOD ZONE DESIGN ZONE "X", AREA OF MINIMAL FLOOD HAZARD.
REFERENCE F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY
PANEL NUMBER 49035C0433G, DATED 09/25/2009.

BENCHMARK INFORMATION:
FOUND PROPERTY CORNER MARKER, "MCNEIL ENGINEERING"
ELEV = 4320.635'
HORIZONTAL DATUM: UT83-CF
VERTICAL DATUM: NAVD88

TITLE REPORT BOUNDARY DESCRIPTION:
BEGINNING ON THE EAST LINE OF A COUNTY ROAD AT A POINT NORTH
0°13'50" EAST 352.70 FEET AND NORTH 89°49' EAST 49.0 FEET FROM
THE WEST QUARTER CORNER OF SECTION 1, TOWNSHIP 3 SOUTH,
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING
THENCE SOUTH 3°08'45" EAST 274.40 FEET TO THE NORTH RIGHT OF
WAY LINE OF 9000 SOUTH STREET (HIGHWAY PROJECT NO. S-0151 (10);
THENCE NORTH 89°53'45" EAST ALONG SAID RIGHT OF WAY LINE
326.03 FEET; THENCE NORTH 77°33'30" EAST 126.01 FEET; THENCE
NORTH 83°31'25" EAST 47.0 FEET, MORE OR LESS, TO THE WEST RIGHT
OF WAY LINE OF THE GALENA CANAL; THENCE NORTH 22°30' EAST
ALONG SAID CANAL RIGHT OF WAY LINE 262.91 FEET TO AN EXISTING
FENCE LINE; THENCE SOUTH 89°49' WEST 611.46 FEET TO THE POINT
OF BEGINNING.

PROJECT TEAM

DEVELOPER:
--

SURVEYOR:
--

CIVIL ENGINEER (PROJECT CONTACT):
HUNT DAY
ATTN: THOMAS HUNT, PE
3445 ANTELOPE DRIVE
SYRACUSE, UT 84075
PHONE: (801) 664-4724

LANDSCAPE ARCHITECT:
HUNT DAY
ATTN: THOMAS HUNT, PE
3445 ANTELOPE DRIVE
SYRACUSE, UT 84075
PHONE: (801) 664-4724

GEOTECHNICAL ENGINEER:
UES
ATTN: MARTIN JENSEN
477 PARKLAND DRIVE
SANDY, UT 84070
PROJECT NO: 4430.2400039

NOTICE TO CONTRACTORS

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR
STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM
AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY
PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE
AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO
THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY
CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF
RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT
THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO
PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

AGENCY / UTILITY CONTACTS

SANDY CITY COMMUNITY DEVELOPMENT DEPARTMENT:
10000 S CENTENNIAL PARKWAY, SUITE 210
SANDY, UT 84070
PHONE: (801) 568-7250

SANDY CITY PUBLIC UTILITIES DEPARTMENT:
10000 S CENTENNIAL PARKWAY, SUITE 241
SANDY, UT 84070
PHONE: (801) 568-7280

SANDY CITY PUBLIC WORKS DEPARTMENT:
8775 SOUTH 700 WEST
SANDY, UT 84070
PHONE: (801) 568-2999

SANDY CITY FIRE DEPARTMENT, STATION 31:
9010 SOUTH 150 EAST
STATION 31
SANDY, UT 84070
PHONE: (801) 568-2930

SANDY SUBURBAN IMPROVEMENT DISTRICT:
8855 SOUTH 700 WEST
SANDY, UT 84070
PHONE: 801-561-7662

DOMINION ENERGY
ATTN: JUSTIN CALDWELL
EMAIL: JUSTIN.CALDWELL@DOMINIONENERGY.COM
PHONE: (801) 789-1111

CENTURYLINK (LUMEN)
ATTN: ELYSIA VALDEZ
1425 WEST 3100 SOUTH
SALT LAKE CITY, UTAH 84119
EMAIL: PAUL.BIERING@LUMEN.COM
PHONE: (801) 954-1211

ROCKY MOUNTAIN POWER
ATTN: BUILDERS HOTLINE
12840 PONY EXPRESS ROAD,
DRAPER, UTAH 84020
PH: (800) 469-3981

UDOT, REGION 2
2010 SOUTH 2760 WEST
SALT LAKE CITY, UT 84104
PHONE: (801) 975-4900

VICINITY MAP



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724
EM: Thomas@HuntDay.co

PROJECT TITLE
9000 SOUTH C-STORE
694 WEST 9000 SOUTH
SANDY, UTAH 84070
LOCATED IN THE NORTHWEST QUARTER OF SECTION 1,
TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

| REV. | DATE | DESCRIPTION | BY |
|------|------------|---------------------------|----|
| 2 | 03-06-2025 | CITY COMMENTS | TP |
| 1 | 01-16-2025 | CITY COMMENTS | TP |
| 0 | 12-04-2024 | INITIAL SUBMITTAL TO CITY | TP |



VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1" = 100'

IF NOT ONE INCH ON THIS SHEET, ADJUST
SCALES ACCORDINGLY

PROJECT INFO.
Engineer: T. Hunt
Drawn: T. Pridemore
Date: 09 / 19 / 2024
Proj. No. 103-05

COVER SHEET

SHEET NO.
C0.00



General Notes

1.0 COMPLIANCE

- 1.1 ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
- 1.2 ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING:
 - INTERNATIONAL BUILDING CODES (IBC)
 - INTERNATIONAL PLUMBING CODES
 - STATE DRINKING WATER REGULATIONS
 - APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS
 - ADA ACCESSIBILITY GUIDELINES.
- 1.3 ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

2.0 PERMITTING AND INSPECTIONS

- 2.1 PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- 2.2 CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- 2.3 ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

3.0 COORDINATION AND VERIFICATION

- 3.1 ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- 3.2 CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
- 3.3 CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO:
 - LANDSCAPE PLANS
 - SITE ELECTRICAL PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S)
 - FIRE PROTECTION
 - ARCHITECTURAL SITE PLANS
 - ACCESSIBLE ROUTES
 - ETC.
- 3.4 CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

4.0 SAFETY AND PROTECTION

- 4.1 CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
- 4.2 CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
- 4.3 CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC.
- 4.4 CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
- 4.5 CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
- 4.6 IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- 4.7 CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
- 4.8 CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
- 4.9 CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
- 4.10 CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
- 4.11 WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
- 4.12 CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
- 4.13 NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
- 4.14 THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

5.0 MATERIALS

- 5.1 SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG MIX, 4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 + OR -1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. SEE SPECIFICATION:
 - SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
 - CONCRETE WATERWAYS, CURB/WALLS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED 1/4 THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.
 - UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.
 - UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90%) MIN. SUBGRADE.
 - ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN."
 - ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT.
- 5.2 ASPHALT CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 6" OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE.
 - ASPHALT COMPACTION SHALL BE A MINIMUM 96%.
 - SURFACE COARSE SHALL BE 1/2" MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.
 - AC PAVEMENT TO BE A 1/4" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.
 - THICKNESS OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

6.0 GRADING & SOILS

- 6.1 SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
- 6.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
- 6.3 CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- 6.4 SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- 6.5 ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

7.0 UTILITIES

- 7.1 THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
- 7.2 CONTRACTOR TO VERIFY BY POTHOLES BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES, NOT ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- 7.3 CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CRACKING MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWER POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- 7.4 CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLES A MINIMUM OF 300 FEET AHEAD, PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
- 7.5 CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 7.6 SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
- 7.7 STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 7.8 ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
- 7.9 ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
- 7.10 NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
- 7.11 ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

8.0 SURVEY CONTROL

- 8.1 CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEY OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND OR FACILITY AS SHOWN ON THE PLANS.
- 8.2 THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
- 8.3 CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

9.0 AMERICAN DISABILITIES ACT

- 9.1 PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
 - ROUTES SHALL HAVE A 2.00% (1:50) MAXIMUM CROSS SLOPE.
 - ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM RUNNING SLOPE.
 - RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
- 9.2 ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.00% MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
- 9.3 THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

10.0 EROSION CONTROL

- 10.1 THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.
- 10.2 CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.
- 10.3 WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT "OPEN" FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.
- 10.4 THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.
- 10.5 ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION.

11.0 MAINTENANCE

- 11.1 ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.
- 11.2 THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.
- 11.3 SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.
- 11.4 SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.
- 11.5 ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:
 - SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
 - TRACKING STRAW PERPENDICULAR TO SLOPES
 - INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

Linetypes

| | |
|--|----------------------------|
| | PROPERTY LINE |
| | PROPERTY LINE ABUTTING ROW |
| | PROPERTY LINE |
| | BASIS OF BEARING |
| | CENTERLINE |
| | ADJACENT LOT LINE |
| | EASEMENT |
| | SETBACK |
| | CHAINLINK FENCE |
| | WOODEN FENCE |
| | VINYL FENCE |
| | RAILROAD |
| | CONTOUR MAJOR |
| | CONTOUR MINOR |
| | EXIST. CONTOUR MAJOR |
| | EXIST. CONTOUR MINOR |
| | UTILITY FLOW DIRECTION |
| | EX UNKNOWN UTILITY |
| | EX OVERHEAD POWER |
| | EX UNDERGROUND POWER |
| | OVERHEAD POWER |
| | POWER |
| | EX TRAFFIC SIGNAL |
| | TRAFFIC SIGNAL |
| | EX NATURAL GAS |
| | NATURAL GAS |
| | EX CABLE TV |
| | CABLE TV |
| | EX COMMUNICATIONS |
| | COMMUNICATIONS |
| | EX FIBER OPTIC |
| | FIBER OPTIC |
| | EX TELEPHONE |
| | TELEPHONE |
| | EX CULINARY WATER |
| | EX CULINARY WATER |
| | CULINARY WATER |
| | X CULINARY WATER |
| | EX FIRE SERVICE |
| | FIRE SERVICE |
| | X FIRE SERVICE |
| | EX SANITARY SEWER |
| | EX FORCE MAIN |
| | EX X SANITARY SEWER |
| | SANITARY SEWER |
| | FORCE MAIN |
| | X SANITARY SEWER |
| | EX STORM DRAIN |
| | EX X STORM DRAIN |
| | STORM DRAIN |
| | ROOF DRAIN |
| | X STORM DRAIN |
| | X ROOF DRAIN |
| | EX IRRIGATION |
| | EX LAND DRAIN |
| | EX SECONDARY WATER |
| | EX X IRRIGATION |
| | IRRIGATION |
| | LAND DRAIN |
| | SECONDARY WATER |
| | X IRRIGATION |

Abbreviations

| | |
|------|-----------------------------|
| BFE | = BASEMENT FLOOR ELEVATION |
| BLDG | = BUILDING |
| BOS | = BOTTOM OF STAIRS |
| BOW | = BOTTOM OF WALL |
| BP | = BEGINNING POINT |
| C&G | = CURB & GUTTER |
| CB | = CATCH BASIN |
| CF | = CUBIC FEET |
| CFS | = CUBIC FEET PER SECOND |
| FF | = FINISH FLOOR |
| FFE | = FINISH FLOOR ELEVATION |
| FG | = FINISHED GRADE |
| FH | = FIRE HYDRANT |
| FL | = FLOW LINE |
| GB | = GRADE BREAK |
| INV | = INVERT |
| LF | = LINEAR FEET |
| NG | = NATURAL GRADE |
| PC | = POINT OF CURVATURE |
| PP | = POWER/UTILITY POLE |
| PRC | = POINT OF RETURN CURVATURE |
| PT | = POINT OF TANGENCY |
| PUE | = PUBLIC UTILITY EASEMENT |
| QTY | = QUANTITY |
| RCP | = REINFORCED CONCRETE PIPE |
| RIM | = RIM OF MANHOLE |
| ROW | = RIGHT-OF-WAY |
| SD | = STORM DRAIN |
| SS | = SANITARY SEWER |
| TBC | = TOP BACK OF CURB |
| TOA | = TOP OF ASPHALT |
| TOC | = TOP OF CONCRETE |
| TOFF | = TOP OF FINISHED FLOOR |
| TOS | = TOP OF STAIRS |
| TOW | = TOP OF WALL |
| TSW | = TOP OF SIDEWALK |
| W | = CULINARY WATER |
| WM | = WATER METER |

Hatching

| | |
|--|----------------------------|
| | PROPOSED BUILDING |
| | EXISTING BUILDING |
| | PROPOSED CONCRETE PAVEMENT |
| | PROPOSED ASPHALT PAVEMENT |
| | EXISTING CONCRETE PAVEMENT |
| | EXISTING ASPHALT PAVEMENT |

Symbols

| | |
|--|-----------------------------|
| | SIGN |
| | STREET LIGHT |
| | LIGHT |
| | SD MH, INLET, AND COMBO BOX |
| | SEWER MANHOLE |
| | CLEAN-OUT |
| | VALVE, TEE, & BEND |
| | WATER BLOW-OFF |
| | WATER METER |
| | FIRE HYDRANT |
| | POWER POLE |
| | ELECTRICAL BOX |
| | TRAFFIC BOX |
| | TELEPHONE MANHOLE |
| | IRRIGATION VALVE |
| | PROP STREET MONUMENT |
| | EX STREET MONUMENT |
| | SECTION CORNER |
| | SURVEYOR MONUMENT |
| | SPOT ELEVATION |

NOTE: DUPLICATE SYMBOLS USE SOLID FILL TO INDICATE EXISTING OR PROPOSED.

Detail Identification

| | |
|--|-----------------------|
| | DETAIL NUMBER |
| | SHEET NUMBER |
| | DETAIL NAME |
| | Scale: NTS |
| | SHEET NUMBER |
| | TYPICAL DETAIL NUMBER |
| | TYPICAL DETAIL NAME |
| | Scale: NTS |
| | SECTION LETTER |
| | SHEET NUMBER |

Sandy City Public Works General Construction Notes

1. ALL IMPROVEMENTS WITHIN THE UTAH DEPARTMENT OF TRANSPORTATION (UDOT) RIGHT-OF-WAY SHALL BE CONSTRUCTED AS REQUIRED BY UDOT REGION TWO.
2. THE CONTRACTOR SHALL OBTAIN PERMISSION (ENCROACHMENT PERMIT) TO WORK IN THE 9000 SOUTH STREET U.D.O.T. RIGHT-OF-WAY FROM THE UTAH DEPARTMENT OF TRANSPORTATION, REGION TWO. CONTACT THE U.D.O.T. REGION TWO PERMITS OFFICER, SHANE SAFFORD (801-975-4809, LSAFFORD@UTAH.GOV) FOR REQUIREMENTS PRIOR TO DOING ANY WORK WITHIN THE UDOT RIGHT-OF-WAY.
3. THE CONTRACTOR SHALL OBTAIN A PERMIT TO WORK IN THE PUBLIC WAY (ROAD CUT PERMIT) FROM THE PUBLIC WORKS DEPARTMENT. CONTACT MONICA PETERSEN (801-568-2960, MPETERSEN@SANDY.UTAH.GOV) FOR REQUIREMENTS. TRAFFIC PLAN, BONDING, AND INSURANCE WILL BE REQUIRED (Sec. 10-1).
4. NOTIFY SANDY CITY PUBLIC WORKS INSPECTION DEPARTMENT, 801-568-2999, 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF ANY ROADWAYS OR PUBLIC IMPROVEMENTS, INCLUDING SEWER FACILITIES. ALL INSPECTIONS MUST BE DONE PRIOR TO OR CONCURRENT WITH CONSTRUCTION. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE UNCOVERING AND/OR REMOVAL OF ALL ITEMS INSTALLED WITHOUT NOTIFICATION, AT THE DISCRETION OF THE CITY ENGINEER.
5. ALL PUBLIC IMPROVEMENTS, WHICH ARE TO BE OWNED AND MAINTAINED BY SANDY CITY, AND ALL PUBLICLY- AND PRIVATELY-OWNED AND MAINTAINED ROADS SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION). THE SPECIFICATIONS CAN BE FOUND IN .PDF FORMAT ON LINE AT WWW.SANDY.UTAH.GOV (SEARCH FOR "STANDARD SPECIFICATIONS").
6. PROVIDE A PROCTOR TEST, FOR ROADBASE MATERIAL THAT IS TO BE PLACED IN THE PUBLIC RIGHT-OF-WAY, TO THE SANDY CITY PUBLIC WORKS INSPECTOR, WHEN DELIVERED OR PLACED ON SITE.
7. FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT. FOR IMPROVEMENTS THAT WILL BE OWNED AND MAINTAINED BY SANDY CITY, HOWEVER, SANDY CITY STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN UNLESS GEOTECHNICAL REPORT RECOMMENDATIONS ARE MORE STRINGENT.
8. DUST, MUD, AND EROSION SHALL BE ADEQUATELY CONTROLLED, BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS, AT ALL TIMES. HOWEVER, THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS, FOR DUST SUPPRESSION, IS ABSOLUTELY PROHIBITED.
9. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.
10. BUILDER/OWNER SHALL REPLACE ANY EXISTING SIDEWALK OR CURB & GUTTER, ALONG THE FRONTAGE OF THIS PROJECT, THAT IS FOUND TO BE LIFTED, CHIPPED, CRACKED, SPALLED, OR NOT PROPERLY DRAINING, AS DIRECTED BY THE SANDY CITY INSPECTOR.
11. PRIOR TO RELEASE OF THE IMPROVEMENT COMPLETION ASSURANCE (BOND), THE DEVELOPER SHALL SUBMIT A .PDF COPY OF THE CONTRACTOR'S SITE (NOT BUILDING) CONSTRUCTION DRAWING SET TO SANDY CITY PUBLIC WORKS DEPARTMENT. AN AS-BUILT FIELD SURVEY IS NOT REQUIRED. THE AS-BUILT DRAWING MAY BE SUBMITTED BY E-MAIL, AT DPoulos@SANDY.UTAH.GOV, OR ON A USB FLASH DRIVE.
12. PROVIDE AN ESTIMATE OF THE QUANTITIES OF EXCAVATION AND FILL, AS WELL AS LOCATIONS OF BORROW SITES, SURPLUS DISPOSAL SITES, AND HAUL ROUTES, TO THE SANDY CITY PUBLIC WORKS INSPECTOR.



HUNT · DAY
 3445 Antelope Drive, St 200
 Syracuse, UT 84075
 PH: 801.664.4724
 EM: Thomas@HuntDay.co

9000 SOUTH C-STORE
 694 WEST 9000 SOUTH
 SANDY, UTAH 84070
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 1,
 TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

| REV. | DATE | DESCRIPTION | BY |
|------|------------|---------------------------|----|
| 2 | 03-06-2025 | CITY COMMENTS | TP |
| 1 | 01-16-2025 | CITY COMMENTS | TP |
| 0 | 12-04-2024 | INITIAL SUBMITTAL TO CITY | TP |



VERIFY SCALES
 BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1 2 3 4 5 6 7 8 9 10 11 12 1'

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

PROJECT INFO.

| | |
|-----------|----------------|
| Engineer: | T. Hunt |
| Drawn: | T. Pridemore |
| Date: | 09 / 19 / 2024 |
| Proj. No. | 103-05 |

GENERAL NOTES, LEGEND, & ABBREV.

THOMAS C:\Users\liburna\Hunt Day Dropbox\Projects\103-05-Sandy_CStore\00-CAD\01-AutoCAD\103_05_Sandy-2025.03.10.31.42\2025.10.09.59 AM



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VERIFY SCALES
 BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1' 1'
 IF NOT ONE INCH ON THIS SHEET, ADJUST
 SCALES ACCORDINGLY

PROJECT INFO.
 Engineer: T. Hunt
 Drawn: T. Pridemore
 Date: 09 / 19 / 2024
 Proj. No. 103-05

PROPOSED SITE PLAN

SHEET NO. **C1.00**

UDOT Notes

- ALL CONSTRUCTION WITHIN THE UDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS).
- THE CONTRACTOR IS TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE UDOT REGION PERMIT OFFICE PRIOR TO COMMENCING WORK WITHIN UDOT RIGHT-OF-WAY. WORKING HOUR LIMITATIONS WILL BE LISTED IN THE LIMITATIONS SECTION OF THE ENCROACHMENT PERMIT.
- UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
- OWNER, DEVELOPER, AND CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY WITHIN THE UDOT RIGHT-OF-WAY AS A RESULT OF DEVELOPMENT ACTIVITIES.
- OWNER, DEVELOPER, AND/OR CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
- ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A 83 SLIP BASE. INSTALL ALL SIGNS PER UDOT SIGN SERIES STANDARD DRAWINGS.
- COMPLY WITH THE REQUIREMENTS OF UTAH CODE 17-23-14 (DISTURBED CORNERS - COUNTY SURVEYOR TO BE NOTIFIED - COORDINATION WITH CERTAIN STATE AGENCIES).
- FOR ASPHALT CONSTRUCTION WITHIN THE UDOT ROW MATCH EXISTING, OR THE ANTICIPATED EXISTING OF 7 INCHES OF UDOT-APPROVED HOT MIX ASPHALT (HMA), PG-GRADE 64-34 ASPHALT BINDER, 1/2 INCH NOMINAL MAX. 7-7.5 115 GYRATION PER UDOT STANDARD SPECIFICATION 02741; OVER 6 INCHES UNTREATED BASE COURSE (UTBC) PER UDOT SPECIFICATION 02721; OVER 12 INCHES GRANULAR BORROW (GB) PER UDOT SPECIFICATION 02056 (WHICHEVER IS GREATER). PROVIDE DOCUMENTATION OF COMPACTION FROM A UDOT-QUALIFIED LABORATORY.
- FOR METHOD OF SEALING THE PAVEMENT: MICRO-SURFACING PER UDOT STANDARD SPECIFICATION 02735; REQUIRED FOR THIS ROADWAY ON AT LEAST ALL NEW PAVEMENT PLACED WITHIN UDOT RIGHT-OF-WAY.

General Notes

- ALL SIDEWALK / CURB AND GUTTER SHALL BE REPLACED TO THE NEAREST JOINT.
- ANY DAMAGED SIDEWALK / CURB AND GUTTER MUST BE REPLACED PER CITY OF SANDY STANDARDS. MATCH EXISTING.
- ALL PARKING STALL AND DRIVE LANE DIMENSIONS ARE TO FACE OF CURB, WHERE APPLICABLE.

Key Notes

- BUILDING ENTRY, REFERENCE ARCHITECTURAL DRAWINGS.
- ACCESSIBLE VAN PARKING SIGN, SEE DETAIL CA3 / SHEET C1.90.
- ACCESSIBLE PARKING SIGN, SEE DETAIL CA3 / SHEET C1.90.
- ATTACHED CONCRETE WALKWAY, SEE DETAIL CP8 / SHEET C1.90.
- CONCRETE WALKWAY, SEE DETAIL CP7 / SHEET C1.90.
- 'CATCH' CURB & GUTTER, SEE DETAIL CG1 / SHEET C1.90.
- 'SPILL' CURB & GUTTER, SEE DETAIL CG2 / SHEET C1.90.
- TRANSITION BETWEEN CURB TYPES.
- TRASH ENCLOSURE WITH FOUNDATION, REFERENCE ARCHITECTURAL DRAWINGS.
- TRASH ACCESS PAD, SEE DETAIL CP6 / SHEET C1.90.
- UTILITY CONCRETE COLLAR, SEE DETAIL CU1 / SHEET C1.90.
- 5' X 5' ADA LANDING, NOT TO EXCEED GREATER THAN 1.8% IN ANY DIRECTION.
- CONCRETE RAISED MEDIAN ISLAND, SEE DETAIL CG6 / SHEET C1.90.
- PIPE BOLLARD (TYP OF 2 / EACH COLUMN).
- TRUNCATED DOME PAD.
- CONCRETE PAD UNDER FUEL CANOPY, REFERENCE FUELING PLANS.
- UNDERGROUND FUEL STORAGE TANKS, REFERENCE FUELING PLANS.
- PETROLEUM TRENCH CAP, REFERENCE FUELING PLANS.
- AIR STATION.
- R1-1 STOP SIGN PER MUTCD STANDARDS.
- R3-SL LEFT TURN ONLY SIGN PER MUTCD STANDARDS.
- R3-SR RIGHT TURN ONLY SIGN PER MUTCD STANDARDS.
- 3.0' CONCRETE WATERWAY, SEE DETAIL CG11 / SHEET C1.90.
- REQUIRED FOUNDATIONAL LANDSCAPING, TYP.
- RELOCATED LIGHT POLE AND POWER BOX, COORDINATE WITH SANDY CITY.
- RELOCATED HOSPITAL SIGN.
- RELOCATED TRAFFIC SIGN.
- TYPE 'B1' CURB & GUTTER PER UDOT STD DWG GW-2A.
- ASPHALT PAVEMENT PER UDOT STANDARDS, MATCH EXISTING PAVEMENT SECTION.
- OPEN CONCRETE DRIVEWAY PER UDOT STD DWG GW-3B.
- 30" STANDARD CURB & GUTTER PER SANDY CITY STD DETAIL CG-01.
- 5' CONCRETE SIDEWALK PER SANDY CITY STD DETAIL SW-03, PER PLAN WIDTH.
- 10' MEANDERING CONCRETE SIDEWALK PER SANDY CITY STD DETAIL SW-04.
- RADIUS DRIVE APPROACH PER SANDY CITY STD DETAIL DA-03.
- ASPHALT PAVEMENT PER SANDY CITY STANDARDS, MATCH EXISTING PAVEMENT SECTION.
- EMERGENCY GATE WITH KNOX BOX, COORDINATE WITH SANDY CITY.
- CONCRETE RETAINING WALL, REFERENCE STRUCTURAL PLANS.
- EV CHARGER, REFERENCE EV INSTALLER PLANS.
- SIDEWALK ADA RAMP PER APWA STANDARD DRAWING 235.4.
- CURB TRANSITION FROM 0" TO STANDARD CURB HEIGHT OVER 12" RUN
- EV CHARGING EQUIPMENT LOCATION, FINAL DESIGN TO BE PROVIDED BY INSTALLER
- 20' x 60' CLEAR-VIEW TRIANGLE. NO OBSTACLES (INCLUDING VEGETATION) OVER THREE-FEET HIGH, AS MEASURED FROM TOP BACK OF CURB, ARE ALLOWED WITHIN THE TRIANGLE.
- 60' x 60' CLEAR-VIEW TRIANGLE. NO OBSTACLES (INCLUDING VEGETATION) OVER THREE-FEET HIGH, AS MEASURED FROM TOP BACK OF CURB, ARE ALLOWED WITHIN THE TRIANGLE.
- 37' x 32' AASHTO SIGHT TRIANGLE. NO OBSTACLES (INCLUDING VEGETATION) OVER THREE-FEET HIGH, AS MEASURED FROM TOP BACK OF CURB, ARE ALLOWED WITHIN THE TRIANGLE.
- 33' x 50' AASHTO SIGHT TRIANGLE. NO OBSTACLES (INCLUDING VEGETATION) OVER THREE-FEET HIGH, AS MEASURED FROM TOP BACK OF CURB, ARE ALLOWED WITHIN THE TRIANGLE.

Development Summary

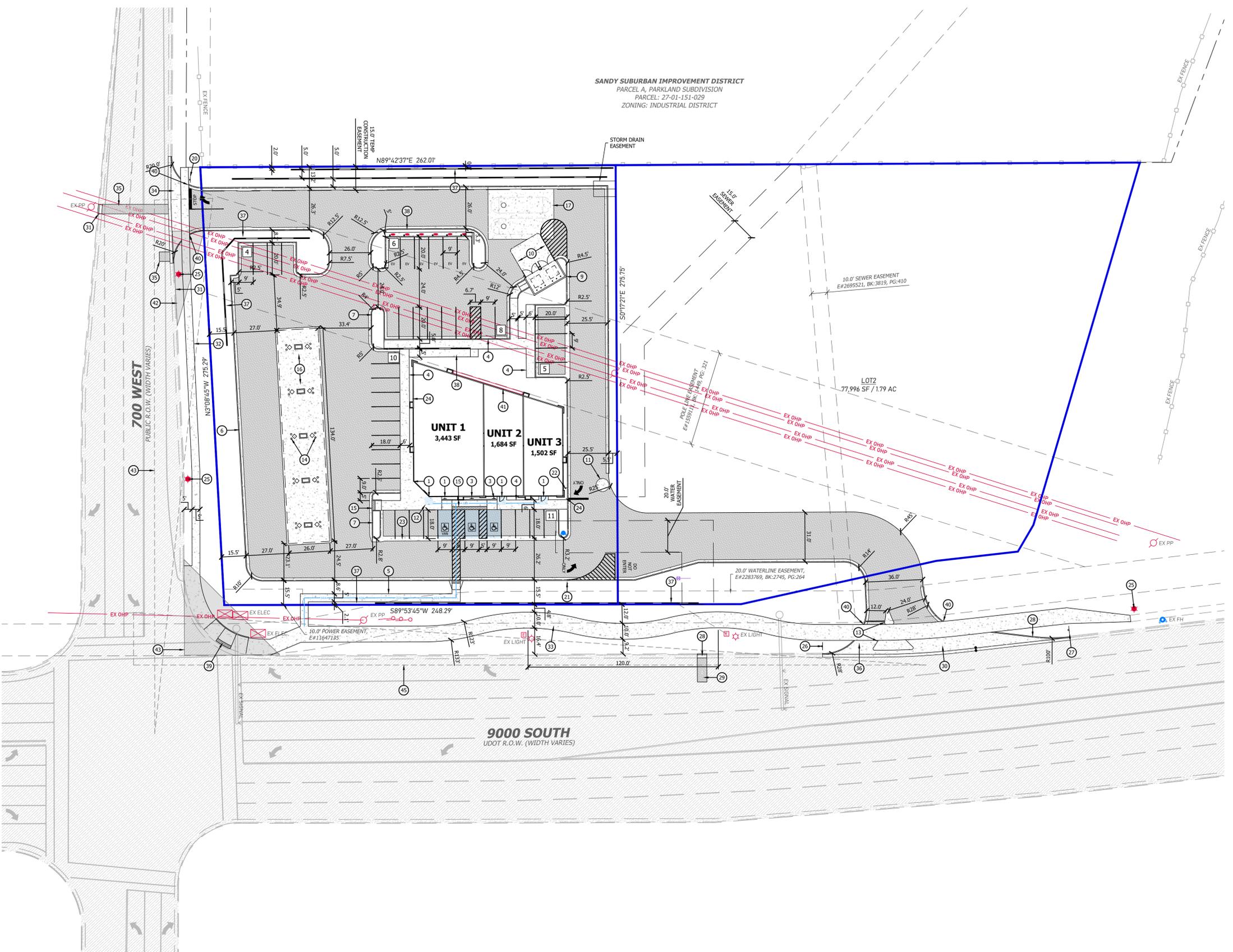
| | | | |
|------------------|--|---------|--------|
| LOCATION: | SANDY CITY, UTAH | | |
| ZONING: | RC, REGIONAL COMMERCIAL | | |
| INTENDED USE: | CONVENIENCE STORE / RETAIL | | |
| PARCEL AREA: | 70,253 SF | 1.61 AC | (100%) |
| BUILDING AREA: | 6,721 SF | 0.15 AC | (10%) |
| IMPERVIOUS AREA: | 50,590 SF | 1.16 AC | (72%) |
| LANDSCAPE AREA: | 12,942 SF | 0.30 AC | (18%) |
| PARKING: | 41 PARKING STALLS PROVIDED 3 ADA STALL PROVIDED (2 ADA + 1 VAN) 44 TOTAL PARKING STALLS PROVIDED | | |

Legend

- ADA — = ACCESSIBLE PATH
- [Blue Shaded Area] = AREAS TO COMPLY WITH ADA STANDARDS
- [Grey Shaded Area] = SPILL CURB, SEE APPLICABLE CURBING DETAIL
- # = PARKING STALL QUANTITY

Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE OWNER / ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.



SANDY SUBURBAN IMPROVEMENT DISTRICT
 PARCEL A, PARKLAND SUBDIVISION
 PARCEL: 27-01-151-029
 ZONING: INDUSTRIAL DISTRICT

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9000 SOUTH C-STORE
694 WEST 9000 SOUTH
SANDY, UTAH 84070
LOCATED IN THE NORTHWEST QUARTER OF SECTION 1,
TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

| REV. | DATE | DESCRIPTION | BY |
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| 2 | 03-06-2025 | CITY COMMENTS | TP |
| 1 | 01-16-2025 | CITY COMMENTS | TP |
| 0 | 12-04-2024 | INITIAL SUBMITTAL TO CITY | TP |



VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
0 = 1" = 30'

PROJECT INFO.
Engineer: T. Hunt
Drawn: T. Pridmore
Date: 09 / 19 / 2024
Proj. No. 103-05

SITE GRADING PLAN

SHEET NO. **C2.00**

Sandy City Required Notes

- FOR STORM WATER MAINTENANCE, REFER TO POST-CONSTRUCTION STORM WATER MAINTENANCE AGREEMENT FOR MAINTENANCE OF STORM WATER SYSTEM.
- NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
- A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
- SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, AND STRUCTURES (INLET BOXES, COMBO BOXES, AND JUNCTION BOXES). SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
- CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
- ALL MATERIALS AND WORK DONE IN UDOT RIGHT-OF-WAY SHALL CONFORM TO UDOT STANDARDS AND SPECIFICATIONS (DELETE IF NOT APPLICABLE).
- NON-SHRINK GROUT SHALL BE USED WHEREVER GROUT IS REQUIRED FOR THE STORM DRAIN FACILITIES.
- CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE AND GROUT AT CONNECTION OF PIPE TO BOX TO A SMOOTH FINISH. ADDITIONALLY, ALL JAGGED OR SHARP EDGES AT PIPE CONNECTIONS ARE TO BE REMOVED AND GROUTED SMOOTH.
- GROUT BETWEEN GRADE RINGS. FOR EACH INLET BOX THAT IS LOCATED NEXT TO A CURB, THE CURB AND GUTTER CONTRACTOR IS RESPONSIBLE TO REMOVE ALL PROTRUDING, JAGGED OR HARP CONCRETE EDGES AND TO GROUT BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE GROUT TO CREATE A SMOOTH BEVEL TRANSITION AT ALL EDGES IN CLEAN OUT AND INLET GROUT AROUND ALL EDGES OF THE RESTRICTIVE ORIFICE PLATE.
- REMOVE SNAP TIES, NAILS, REBAR AND OTHER PROTRUSIONS FROM THE BOX OR PIPE INSIDE SURFACE, AS WELL AS ALL FORM WORK, PLASTIC AND CARDBOARD.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL INLET BOXES, COMBO BOXES, JUNCTION BOXES, AND PIPE. THE BOXES AND PIPES ARE TO BE MAINTAINED IN A CLEAN CONDITION UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CLEAN OFF ALL MANHOLE LIDS AND INLET GRATES OF ASPHALT, CONCRETE, TAR OR OTHER ADHESIVES TO ALLOW ACCESS.
- WHERE A SUMP IS REQUIRED, THE SANDY CITY PUBLIC UTILITIES INSPECTOR SHALL BE CONTACTED PRIOR TO CONSTRUCTION TO PROVIDE AN OPPORTUNITY TO CHECK THE VOLUME OF GRAVEL AND GRAVEL GRADATION.
- SIGNS MUST BE POSTED NEAR EACH INLET BOX LOCATED IN A DRINKING WATER RECHARGE ZONE, WITH THE FOLLOWING WORDS "WARNING THIS IS A DRINKING WATER AQUIFER RECHARGE AREA. DISPOSAL OF ANY WASTE MATERIALS IN THE STORM WATER IS STRICTLY PROHIBITED."
- ALL INLET, COMBO AND JUNCTION BOXES SHALL BE PLACED ON 12-INCH (MIN.) COMPACTED STABILIZATION MATERIAL.
- A VIDEO OF ALL PIPES MUST BE COMPLETED BEFORE THE 80% OR 90% BOND RELEASE AND AGAIN BEFORE FINAL BOND RELEASE.
- A REPRESENTATIVE OF THE MANUFACTURER OR SUPPLIER SHALL BE ON SITE DURING INSTALLATION OF OIL/WATER SEPARATOR, MECHANICAL TREATMENT DEVICES, MEDIA FILTERS, AND UNDERGROUND DETENTION/RETENTION SYSTEMS. THE MANUFACTURER OR SUPPLIER SHALL PROVIDE A LETTER STATING THAT THE SYSTEM WAS INSTALLED PER MANUFACTURER'S SPECIFICATIONS. IF IT IS UNKNOWN WHETHER A REPRESENTATIVE IS REQUIRED TO BE PRESENT DURING INSTALLATION, CONTACT THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
- A STAMPED "LETTER OF CONFORMANCE" FROM THE DESIGN ENGINEER IS REQUIRED TO BE SUBMITTED TO SANDY CITY PUBLIC UTILITIES DEPARTMENT, PRIOR TO 90% BOND RELEASE, STATING THAT STORM WATER FLOW CONTROL ELEMENTS AND STORM WATER TREATMENT FACILITIES (e.g. DETENTION, RETENTION, LID BEST MANAGEMENT PRACTICES, OIL-WATER SEPARATORS, SUMPS, ETC.) WERE CONSTRUCTED ACCORDING TO THE APPROVED PLANS.

General Notes

- REFERENCE SHEET C2-90 FOR REQUIRED STORM DRAIN CALCULATIONS.
- REFERENCE SHEET C2-90 FOR PROVIDED STORMTECH ELEVATIONS.
- REFERENCE ARCHITECTURAL DRAWINGS FOR PROVIDED ROOF DRAIN LOCATIONS. CONNECT ALL ROOF DRAINS TO THE PROPOSED STORM DRAIN SYSTEM.
- SITE STRIPING OTHER THAN PROVIDED PARKING HAS BEEN REMOVED FOR CLARITY. REFERENCE SHEET C1.10 FOR SITE STRIPING DESIGN.
- PROVIDE SLOPE AWAY FROM BUILDINGS THAT COMPLIES WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (2% MINIMUM/12% MAXIMUM ON HARD SURFACES; 5% MINIMUM/21% MAXIMUM IN LANDSCAPE AREA - FOR A MINIMUM OF 10 FEET IN ANY CASE).
- 2:1:1V MAXIMUM SLOPE IN LANDSCAPED AREAS.
- A PROFESSIONAL ENGINEER, CURRENTLY LICENSED IN UTAH, SHALL INSPECT DURING CONSTRUCTION, AND APPROVE AFTER CONSTRUCTION, ANY RETAINING WALLS THAT ARE 4.0 FEET HIGH OR HIGHER, FROM TOP OF WALL TO BOTTOM OF FOOTING. SAID ENGINEER SHALL SUBMIT A LETTER, STAMPED, WITH THE STAMPE SIGNED AND DATED, AND INDICATING THAT THE WALL WAS INSTALLED ACCORDING TO THE APPROVED DESIGN. TO THE SANDY CITY ENGINEER, PRIOR TO RELEASE OF THE GUARANTEE FOR IMPROVEMENTS.

Key Notes

- ENSURE SIDEWALKS ABUTTING BUILDING DRAIN AWAY FROM STRUCTURE AT 1.5% MINIMUM
- ENSURE TRASH ENCLOSURE PAD DOES NOT EXCEED 2% IN ANY DIRECTION
- 5' x 5' ADA LANDING, NOT TO EXCEED GREATER THAN 1.8% IN ANY DIRECTION
- ENSURE GRADES WITHIN ACCESSIBLE PARKING AREA DO NOT EXCEED 1.5% IN ANY DIRECTION
- GRADE TRASH ENCLOSURE AWAY FROM BACK OF ENCLOSURE, NOT TO EXCEED 2%
- ENSURE GRADES WITHIN CONCRETE PAD UNDER FUEL CANOPY DO NOT EXCEED 2% IN ANY DIRECTION
- START LANDSCAPE GRADING 2' OF OFF BACK OF CURB, TYP
- 1' MAX FILL ABOVE EXISTING GRADE, TYP OF AREA SURROUNDING EXISTING POWER POLE.

Benchmark and Basis of Bearing

DESC: FOUND PROPERTY CORNER MONUMENT, THE BASIS OF BEARING FOR THIS SURVEY IS NORTH 13°50' EAST 354.13 FEET ALONG THE SECTION BETWEEN THE WEST QUARTER CORNER AND THE NORTHWEST CORNER OF SECTION 1, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN.

N: 7383174.2854
E: 1526547.899
ELEV: 4320.64

Flood Zone

FLOOD ZONE DESIGN UNSHADED ZONE "X", AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, REFERENCE F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL NUMBER 4903SC0433G, DATED 09/25/2009.

Legend

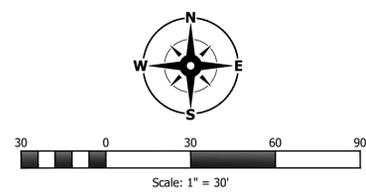
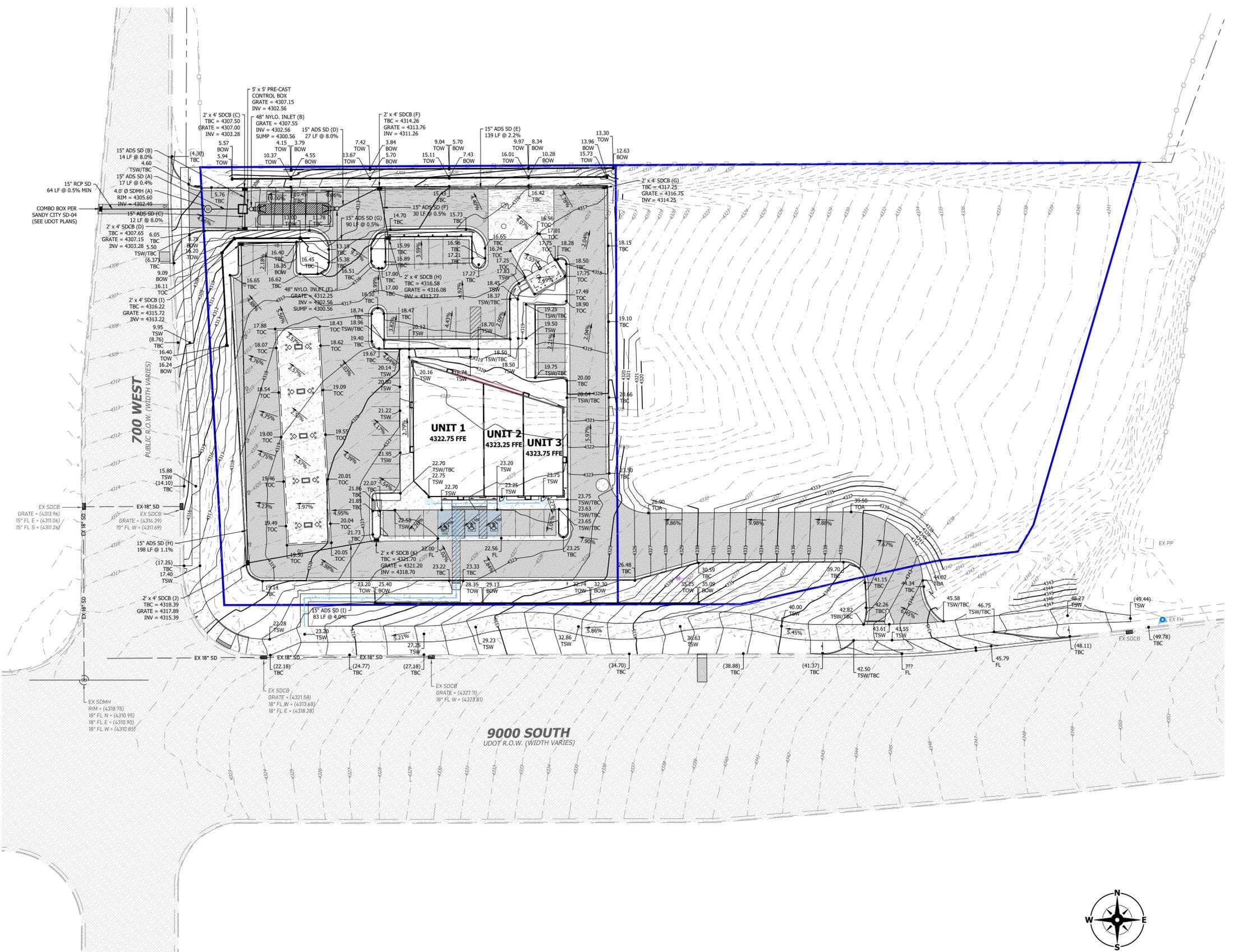
- ADA — = ACCESSIBLE PATH
- = AREAS TO COMPLY WITH ADA STANDARDS
- = SPILL CURB, SEE APPLICABLE CURBING DETAIL
- = GRADE BREAK

Development Summary

| | | | |
|------------------|--|---------|--------|
| LOCATION: | SANDY CITY, UTAH | | |
| ZONING: | RC, REGIONAL COMMERCIAL | | |
| INTENDED USE: | CONVENIENCE STORE / RETAIL | | |
| PARCEL AREA: | 70,253 SF | 1.61 AC | (100%) |
| BUILDING AREA: | 6,721 SF | 0.15 AC | (10%) |
| IMPERVIOUS AREA: | 50,590 SF | 1.16 AC | (72%) |
| LANDSCAPE AREA: | 12,942 SF | 0.30 AC | (18%) |
| PARKING: | 41 PARKING STALLS PROVIDED 3 ADA STALL PROVIDED (2 ADA + 1 VAN) 44 TOTAL PARKING STALLS PROVIDED | | |

Notice To Contractors

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THOMAS J. HUNT, P.E. 10/19/2025 10:59 AM



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724
EM: Thomas@HuntDay.co

PROJECT TITLE
9000 SOUTH C-STORE
694 WEST 9000 SOUTH
SANDY, UTAH 84070
LOCATED IN THE NORTHWEST QUARTER OF SECTION 1,
TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

| REV. | DATE | DESCRIPTION | BY |
|------|------------|---------------------------|----|
| 2 | 03-06-2025 | CITY COMMENTS | TP |
| 1 | 01-16-2025 | CITY COMMENTS | TP |
| 0 | 12-04-2024 | INITIAL SUBMITTAL TO CITY | TP |



VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
0 = 1" = 1" = 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST
SCALES ACCORDINGLY

PROJECT INFO
Engineer: T. Hunt
Drawn: T. Pridemore
Date: 09 / 19 / 2024
Proj. No. 103-05

SITE UTILITY PLAN

SHEET NO.
C3.00

Jordan Basin Improvement District Notes

- ALL CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES
- FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES
- THE NOSE-ON FOR THE SEWER LATERAL SHALL BE PERFORMED BY SOUTH VALLEY SEWER DISTRICT (SVSD) PERSONNEL. CONTACT SVSD AT LEAST 24 HOURS PRIOR TO CONSTRUCTION

Sandy City Required Notes

- WATER NOTES**
- NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
 - A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
 - ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
 - SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, METERS, BOXES, VAULTS, VALVES, FIRE HYDRANTS, BLOWOFFS, VAULTS, ETC. RELATING TO THE WATER SYSTEM. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
 - CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
 - WATER LINES SHALL BE INSTALLED 4-FEET OFF LIP OF GUTTER ON THE NORTH AND/OR EAST SIDE OF ROADWAY. WATER LINES SHALL NOT BE INSTALLED WITHIN OR THROUGH PARKING STALLS OR UNDER CONCRETE PAVEMENT, UNLESS WATER LINE IS TO BE MAINTAINED BY PRIVATE PROPERTY OWNER.
 - A MINIMUM OF 48-INCHES AND A MAXIMUM 60-INCHES OF COVER FROM THE TOP OF THE PIPE TO THE FINISH GRADE IS REQUIRED.
 - FOR CONSTRUCTION EAST OF THE UTAH TRANSIT AUTHORITY'S TRAX LINE, USE DUCTILE IRON PIPE, USE THICKNESS CLASS 52 OR BETTER.
 - FOR CONSTRUCTION WEST OF UTAH TRANSIT AUTHORITY'S TRAX LINE, USE POLYVINYL CHLORIDE PIPE, USE CLASS DR-14 OR BETTER. 10 GAUGE WIRE SHALL BE PLACED ON TOP OF THE PIPE (PER SANDY CITY SPECIFICATIONS) FOR FUTURE RELOCATION. NO DEFLECTION IN PIPE JOINTS WILL BE ALLOWED ON PVC PIPES.
 - ALL MECHANICAL JOINTS MUST BE RESTRAINED USING MEGA LUGS FOR DIP AND ROMAC GRIP RINGS FOR PVC OR APPROVED EQUAL. MEGA LUGS SHALL NOT BE ALLOWED ON PVC PIPE.
 - USE 6-INCH COMPRESSION TYPE HYDRANT BY MUELLER CENTURION OR LOW MEDALLION. EXISTING HYDRANTS REQUIRED FOR FIRE PROTECTION THAT DO NOT MEET CURRENT STANDARDS SHALL BE UPGRADED TO MEET CURRENT SANDY CITY STANDARDS AND SPECIFICATIONS.
 - WHEN THE DISTANCE FROM THE WATER MAIN TO THE FIRE HYDRANT IS GREATER THAN 6-FEET, AN ADDITIONAL AUXILIARY VALVE SHALL BE FLANGED TO THE FIRE HYDRANT.
 - ALL DEAD ENDS SHALL BE PLUGGED WITH A 2-INCH WASHOUT OR END WITH A FIRE HYDRANT.
 - ALL DUCTILE IRON WATER LINES, FITTINGS, AND VALVES SHALL BE POLY-BAGGED IN ACCORDANCE WITH SANDY CITY STANDARDS AND SPECIFICATIONS.
 - ALL WATER LINES SHALL BE BEDDED WITH SAND (6-INCHES MINIMUM BELOW AND 12-INCHES MINIMUM ON EACH SIDE AND ON TOP OF THE PIPE).

- STREETLIGHT NOTES**
- NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
 - THE DEVELOPER IS REQUIRED TO GRANT TO THE CITY A MINIMUM OF 15-FOOT WIDE STREETLIGHT EASEMENT (7.5-FEET EACH SIDE OF PIPE) FOR CONDUIT AND WIRES TO THE POWER SOURCE ON PRIVATE PROPERTY.
 - A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
 - ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
 - SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR STREETLIGHTS, JUNCTION BOXES, AND ELECTRICAL WIRING. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
 - INSTALLATIONS SHALL BE LOCATED AS INDICATED ON THE APPROVED PLANS FOR THE PROJECT. FIELD MODIFICATIONS MUST BE APPROVED BY THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
 - STREET LIGHT POLES SHALL BE INSTALLED IN A MANNER THAT WILL NOT HINDER THE OPERATION OF FIRE HYDRANTS. UNDERGROUND WATER SYSTEM ISOLATION VALVES, AND OTHER UTILITIES.
 - INSTALLATIONS WITHIN CLOSE PROXIMITY TO TREES SHALL BE AVOIDED UNLESS APPROVED BY SANDY CITY PUBLIC UTILITIES INSPECTOR.
 - OVERHEAD POWER LINES FOR STREETLIGHTS ARE NOT ALLOWED.

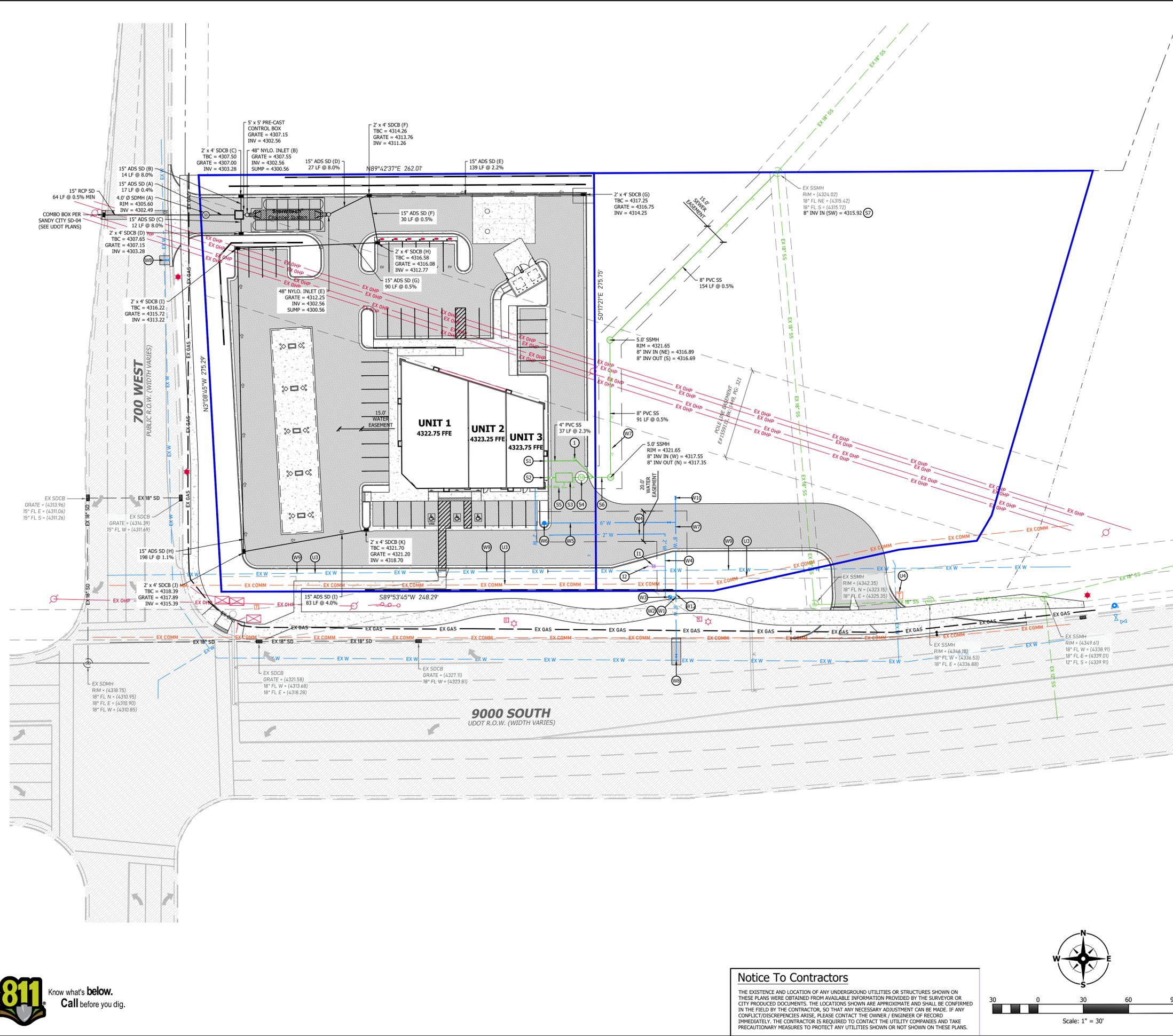
General Notes

- SITE STRIPING OTHER THAN PROVIDED PARKING HAS BEEN REMOVED FOR CLARITY. REFERENCE SHEET C1.00 FOR SITE STRIPING DESIGN.
- REFERENCE SHEET C2.90 FOR ADDITIONAL STORM DRAIN CALCULATIONS.
- REFERENCE SHEET C2.90 FOR PROVIDED STORMTECH ELEVATIONS.

Key Notes

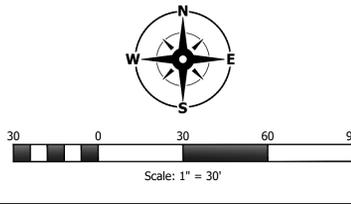
- GENERAL**
- CLEAN-OUT FRAME & COLLAR, SEE DETAIL CU2 (TYP)
- DRY UTILITIES**
- POWER EQUIPMENT / POINT OF SERVICE TO BUILDING, COORDINATE WITH POWER COMPANY FOR SIZE, TYPE, AND ROUTING INFORMATION
 - GAS METER / POINT OF SERVICE TO BUILDING, COORDINATE WITH NATURAL GAS COMPANY
 - LOWER EXISTING COMMUNICATION LINE AS REQUIRED, COORDINATE WITH SERVICE PROVIDER
 - RELOCATE EXISTING COMMUNICATIONS BOX, COORDINATE WITH SERVICE PROVIDER
- SANITARY SEWER**
- 4-INCH SANITARY CLEAN-OUT / POINT OF SERVICE FROM RESTROOMS, REFERENCE PLUMBING DRAWINGS
INV = 4318.65
 - 6-INCH SANITARY CLEAN-OUT / POINT OF SERVICE FROM KITCHEN, REFERENCE PLUMBING DRAWINGS
INV = 4418.65
 - 1,500 GALLON GREASE INTERCEPTOR PER J.B.I.D. STD PT-1
RIM = 4323.10
INV IN / OUT = 4318.27
 - 5.0' Ø SANITARY SEWER SAMPLING MANHOLE J.B.I.D. STD PT-2
RIM = 4323.20
INV IN / OUT = 4318.08
 - VENT LINES FROM GREASE INTERCEPTOR TO BUILDING, REFERENCE PLUMBING DRAWINGS
 - SANITARY SEWER LATERAL PER J.B.I.D. SS-3A
 - CONNECT TO EXISTING MANHOLE, FIELD VERIFY PRIOR TO CONSTRUCTION

- WATER**
- 2" WATER LATERAL SERVICE CONNECTION PER SANDY CITY STD DWG WTR-10
 - 2" TYPE 'K' SOFT COPPER WATER LATERAL PER SANDY CITY STD DWG WTR-10
 - 2" WATER METER PER SANDY CITY STD DWG WTR-10
 - 2" BLUE C.T.S. POLY PIPE (12" MIN OUTSIDE OF BOX) WATER LATERAL PER SANDY CITY STD DWG WTR-10
 - 6" FIRE HYDRANT CONNECTION PER SANDY CITY STD DWG WTR-01
 - FIRE HYDRANT PER SANDY CITY STD DWG WTR-01
 - 8" PVC C-900 (DR-14) WATER LINE PER SANDY CITY STANDARDS
 - CONNECT TO EXISTING WATER LINE PER SANDY CITY STANDARDS
 - LOWER EXISTING WATER LINE AS REQUIRED, COORDINATE WITH SERVICE PROVIDER
 - 8" TEE W/ BLIND FLANGE FOR FUTURE CONNECTION PER SANDY CITY STANDARDS
- IRRIGATION**
- RPZ BACKFLOW PREVENTER PER SANDY CITY STD DRAWINGS.
 - SEE IRRIGATION PLANS FOR CONTINUATION.



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HUNT · DAY
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9000 SOUTH C-STORE
 694 WEST 9000 SOUTH
 SANDY, UTAH 84070
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 1,
 TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

| REV. | DATE | DESCRIPTION | BY |
|------|------------|---------------------------|----|
| 2 | 03-06-2025 | CITY COMMENTS | TP |
| 1 | 01-16-2025 | CITY COMMENTS | TP |
| 0 | 12-04-2024 | INITIAL SUBMITTAL TO CITY | TP |



VERIFY SCALES
 BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1/4 1/2 3/4 1'
 IF NOT ONE INCH ON THIS SHEET, ADJUST
 SCALES ACCORDINGLY

PROJECT INFO.
 Engineer: T. Hunt
 Drawn: T. Pridemore
 Date: 09 / 19 / 2024
 Proj. No. 103-05

**SITE
 LANDSCAPE
 PLAN**

SHEET NO.
L1.00

PLANT SCHEDULE

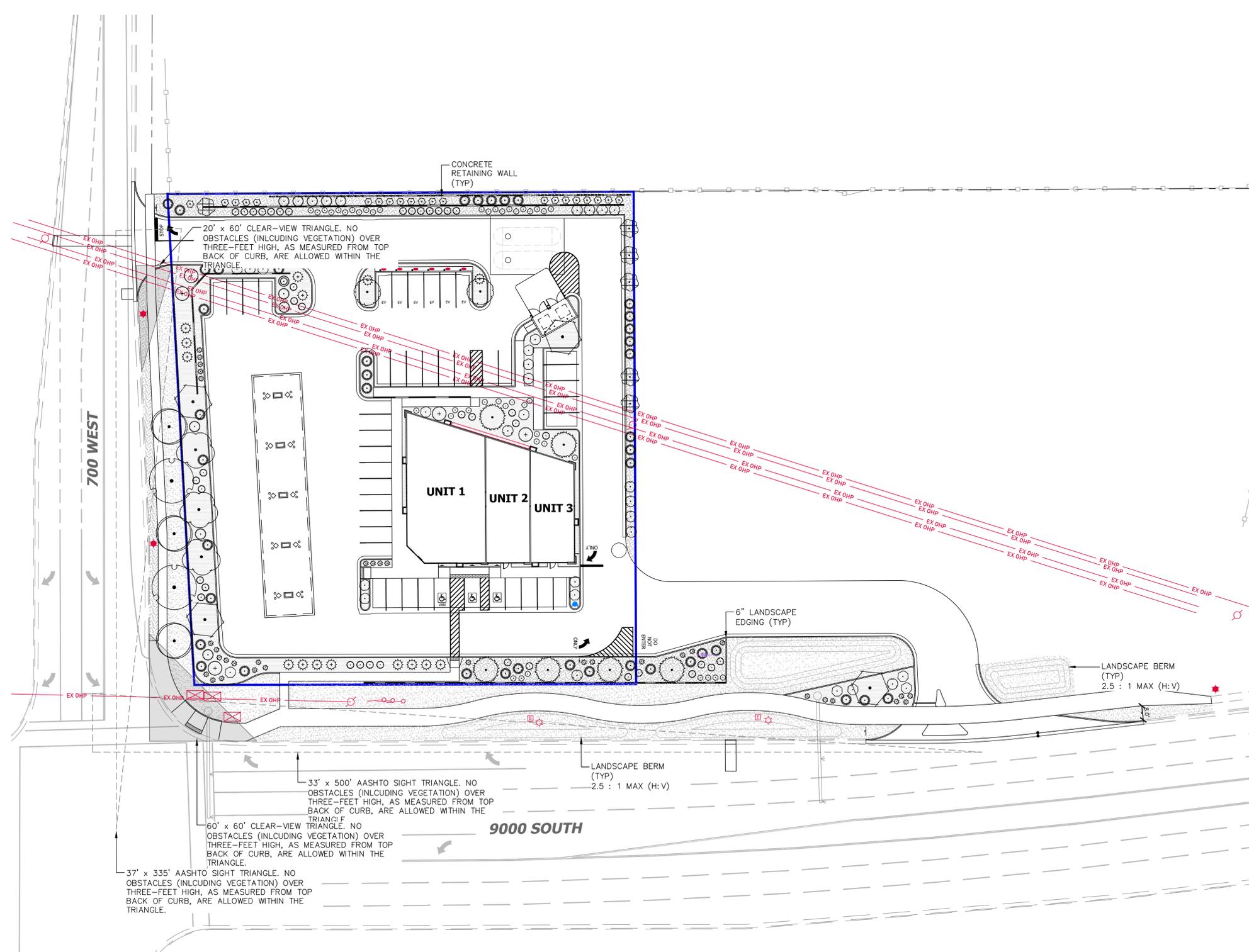
| SYMBOL | CODE | BOTANICAL / COMMON NAME | QTY | REMARKS |
|---------------|---------|---|-----|---------|
| TREES | | | | |
| | ACE COL | Acer platanoides 'Columnare' / Columnar Norway Maple | 3 | |
| | ACE CRK | Acer platanoides 'Crimson King' / Crimson King Norway Maple | 2 | |
| | MAL SPR | Malus x 'Spring Snow' / Spring Snow Crabapple | 3 | |
| | PIN FLE | Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Limber Pine | 6 | |
| | PRU CAN | Prunus virginiana 'Canada Red' / Canada Red Chokecherry | 4 | |
| | ZEL MUS | Zelkova serrata 'Musashino' / Musashino Japanese Zelkova | 2 | |
| SHRUBS | | | | |
| | CAL KAR | Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass | 43 | |
| | CAR BLU | Caryopteris x clandonensis 'Longwood Blue' / Longwood Blue Bluebeard | 49 | |
| | GAU WHI | Gaura lindheimeri 'Whirling Butterflies' / Whirling Butterflies Gaura | 34 | |
| | JUN FOR | Juniperus chinensis 'Sea Green' / Sea Green Juniper | 5 | |
| | JUN BAR | Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper | 11 | |
| | MIS GRA | Miscanthus sinensis 'Gracillimus' / Eulalia Grass | 21 | |
| | PER ATR | Perovskia atriplicifolia / Russian Sage | 11 | |
| | PIN MU4 | Pinus mugo / Mugo Pine | 18 | |
| | PRU PAW | Prunus besseyi 'P0115' / Pawnee Buttes Sand Cherry | 15 | |
| | RHU GRO | Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac | 42 | |
| | RHU GLA | Rhus glabra / Smooth Sumac | 6 | |

MATERIAL SCHEDULE

| SYMBOL | DESCRIPTION |
|--------|---|
| | 'Wasatch Area Ground Specialist' 1.5" Wasatch, Landscape Cobble Mix (or approved equal) Install 3" deep min over top weed barrier fabric. |
| | 'Wasatch Area Ground Specialist' 4 - 6" Beck Grey, Landscape Rock Mulch (or approved equal) Install 3" deep min over top weed barrier fabric. |
| | Poa Pratensis, Kentucky Bluegrass (or approved equal) |

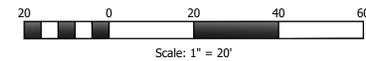
LANDSCAPE / IRRIGATION NOTES

- MULCH: AFTER COMPLETION OF ALL PLANTING, ALL IRRIGATED NON-TURF AREAS SHALL BE COVERED WITH A MINIMUM LAYER OF FOUR (4) INCHES OF MULCH TO RETAIN WATER, INHIBIT WEED GROWTH AND MODERATE SOIL TEMPERATURE. NON-POROUS MATERIAL SHALL NOT BE PLACED UNDER THE 4-INCH MULCH IN ALL IRRIGATED NON-TURF AREAS. IF ROCK MULCH, MINIMUM IS 3-INCH. BARK MULCH IS NOT ALLOWED IN PARK STRIP. ROCK MULCH IN PARK STRIP MUST BE A MINIMUM OF 3".
- LANDSCAPE WATER METER: A WATER METER AND BACKFLOW PREVENTION ASSEMBLY THAT ARE IN COMPLIANCE WITH STATE CODE SHALL BE INSTALLED FOR LANDSCAPE IRRIGATION SYSTEMS, AND THE LANDSCAPE WATER METER AND BACKFLOW PREVENTION ASSEMBLY SHALL BE SEPARATE FROM THE WATER METER AND BACKFLOW PREVENTION ASSEMBLY INSTALLED FOR INDOOR USES. THE SIZE OF THE METER SHALL BE DETERMINED BASED ON IRRIGATION DEMAND.
- PRESSURE REGULATION: A PRESSURE REGULATING VALVE SHALL BE INSTALLED AND MAINTAINED BY THE CONSUMER IF THE STATIC SERVICE PRESSURE EXCEEDS 80 POUNDS PER SQUARE INCH (PSI). THE PRESSURE-REGULATING VALVE SHALL BE LOCATED BETWEEN THE LANDSCAPE WATER METER AND THE FIRST POINT OF WATER USE, OR FIRST POINT OF DIVISION IN THE PIPE, AND SHALL BE SET AT THE MANUFACTURER'S RECOMMENDED PRESSURE FOR SPRINKLERS.
- AUTOMATIC CONTROLLER: ALL IRRIGATION SYSTEMS SHALL INCLUDE AN ELECTRIC AUTOMATIC CONTROLLER WITH MULTIPLE PROGRAM AND MULTIPLE REPEAT CYCLE CAPABILITIES AND A FLEXIBLE CALENDAR PROGRAM. ALL CONTROLLERS SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN SHUT-OFF.
- ON SLOPES EXCEEDING 30%, THE IRRIGATION SYSTEM SHALL CONSIST OF DRIP EMITTERS, BUBBLERS, OR SPRINKLERS WITH A MAXIMUM PRECIPITATION RATE OF 0.85 INCHES PER HOUR AND ADJUSTED SPRINKLER CYCLE TO ELIMINATE RUNOFF.
- EACH VALVE SHALL IRRIGATE A LANDSCAPE WITH SIMILAR SITE, SLOPE AND SOIL CONDITIONS AND PLANT MATERIALS WITH SIMILAR WATERING NEEDS. TURF AND NON-TURF AREAS SHALL BE IRRIGATED ON SEPARATE VALVES.
- DRIP EMITTERS OR A BUBBLER SHALL BE PROVIDED FOR EACH TREE WHERE PRACTICABLE. BUBBLERS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE PER DEVICE. BUBBLERS FOR TREES SHALL BE ON SEPARATE VALVE UNLESS SPECIFICALLY EXEMPTED BY SANDY CITY PUBLIC UTILITIES DUE TO THE LIMITED NUMBER OF TREES ON THE PROJECT SITE.
- SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATE WITH EACH CONTROL VALVE CIRCUIT.
- CHECK VALVES SHALL BE REQUIRED WHERE ELEVATION DIFFERENCES WILL CAUSE LOW-HEAD DRAINAGE. PRESSURE COMPENSATING VALVES AND SPRINKLERS SHALL BE REQUIRED WHERE A SIGNIFICANT VARIATION IN WATER PRESSURE WILL OCCUR WITHIN THE IRRIGATION SYSTEM DUE TO ELEVATION DIFFERENCES.
- DRIP IRRIGATION LINES SHALL BE PLACED UNDERGROUND OR OTHERWISE PERMANENTLY COVERED, EXCEPT FOR DRIP EMITTERS AND WHERE APPROVED AS A TEMPORARY INSTALLATION. FILTERS AND END FLUSH VALVES SHALL BE PROVIDED AS NECESSARY.
- IRRIGATION ZONES WITH OVERHEAD SPRAY OR STREAM SPRINKLERS SHALL BE DESIGNED TO OPERATE BETWEEN 6:00 P.M. AND 10:00 A.M. TO REDUCE WATER LOSS FROM WIND AND EVAPORATION. THIS WOULD EXCLUDE DRIP OR BUBBLER ZONES.
- PROGRAM VALVES FOR MULTIPLE REPEAT CYCLES WHERE NECESSARY TO REDUCE RUNOFF, PARTICULARLY SLOPES AND SOILS WITH SLOW INFILTRATION RATES OF THE SECONDARY BOND GUARANTEE POSTED FOR THE PROJECT. A WATER USE EFFICIENCY REVIEW WILL BE CONDUCTED BY A LANDSCAPE IRRIGATION AUDITOR. THE AUDITOR SHALL BE INDEPENDENT OF THE CONTRACTOR, DESIGN ENGINEER, AND DEVELOPER/PROJECT OWNER. THE WATER PERFORMANCE AUDIT WILL VERIFY THAT THE IRRIGATION SYSTEM COMPLIES WITH THE MINIMUM STANDARDS REQUIRED BY SANDY CITY ORDINANCE. THE MINIMUM EFFICIENCY REQUIRED FOR THE IRRIGATION SYSTEM IS 60% FOR DISTRIBUTION EFFICIENCY FOR ALL FIXED SPRAY SYSTEMS AND 70% DISTRIBUTION EFFICIENCY FOR ALL ROTOR SYSTEMS. THE AUDITOR SHALL FURNISH A CERTIFICATE TO THE CITY, DESIGNER, INSTALLER AND DEVELOPER/PROJECT OWNER CERTIFYING COMPLIANCE WITH THE MINIMUM DISTRIBUTION REQUIREMENTS. ALSO, FORM SUBSTANTIAL COMPLETION OF WATER AUDIT MUST BE COMPLETED AND SENT TO PUBLIC UTILITIES. COMPLIANCE WITH THIS PROVISION IS REQUIRED BEFORE THE CITY WILL RELEASE THE BOND FOR THIS PROJECT.
- PLANTS WHICH REQUIRE DIFFERENT AMOUNTS OF WATER SHALL BE IRRIGATED BY SEPARATE IF ONE VALVE IS USED FOR A GIVEN AREA, ONLY PLANTERS WITH SIMILAR WATER USE SHALL BE USED IN THAT AREA. LAWN AREAS AND PLANTERS SHALL BE IRRIGATED BY SEPARATE VALVES.
- A SEPARATE BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED FOR THE IRRIGATION SYSTEM.
- A RAIN SENSING OVERRIDING DEVICE SHALL BE INSTALLED SO THAT THE IRRIGATION SYSTEM WILL AUTOMATICALLY TURN OFF IN THE EVENT OF RAIN.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT OVERSPRAY AND WATER RUN-OFF ONTO ADJACENT-PROPERTY, NON-IRRIGATED AREAS, WALKS, ROADWAYS OR STRUCTURES.
- AN AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLER HEADS SHALL BE REQUIRED FOR ALL NEW



PLANTING NOTES

- CONTRACTOR TO VERIFY ALL CONDITIONS PERTAINING TO THIS PLAN AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL REPAIR ALL DAMAGES CAUSED BY OPERATIONS (WHICH OCCUR ON OR OFF SITE) TO THE ARCHITECT'S AND OWNER'S SATISFACTION.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISH BY THE AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- ALL QUANTITIES SHOWN ARE APPROXIMATE AND ARE FURNISHED SOLELY FOR THE CONTRACTOR'S CONVENIENCE. THEY DO NOT NECESSARILY CORRESPOND TO BID SCHEDULE ITEMS. IN THE CASE OF ANY DISCREPANCIES, PLANS SHALL OVER-RIDE THE LANDSCAPE AND BID SCHEDULE QUANTITIES. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON THE PLANS AND BASE THEIR BID ACCORDINGLY.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE.
- ALL PLANTING AREAS TO HAVE TWO-INCH DEPTH OF COMPOSTED MULCH APPLIED AND TILLED IN TO A SIX-INCH DEPTH.
- REPAIR ALL LANDSCAPING WHERE NEW CONSTRUCTION MEETS EXISTING.
- PERFORM PERCOLATION TEST ON ALL TREE PLANTING HOLES AND PLANTING BEDS PRIOR TO PLANTING.
- LANDSCAPE CONTRACTOR SHALL COORDINATE AND ADJUST PLANT PLACEMENT WITH SPRINKLERS. PLANTS SHALL NOT BE PLACED WITHIN TWELVE INCHES OF A SPRINKLER HEAD.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL PLANT MATERIALS INCLUDING SOD AREAS IN A HEALTHY STATE DURING CONSTRUCTION. ANY DAMAGE TO PLANT MATERIAL DUE TO NEGLIGENCE BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.



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 Syracuse, UT 84075
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 EM: Thomas@HuntDay.co

9000 SOUTH C-STORE
 694 WEST 9000 SOUTH
 SANDY, UTAH 84070

LOCATED IN THE NORTHWEST QUARTER OF SECTION 1,
 TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

PROJECT TITLE

REV/ISSUES

SEAL

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1 2 3 4 5 6 7 8 9 10
 IF NOT ONE INCH ON THIS SHEET, ADJUST
 SCALES ACCORDINGLY

PROJECT INFO.

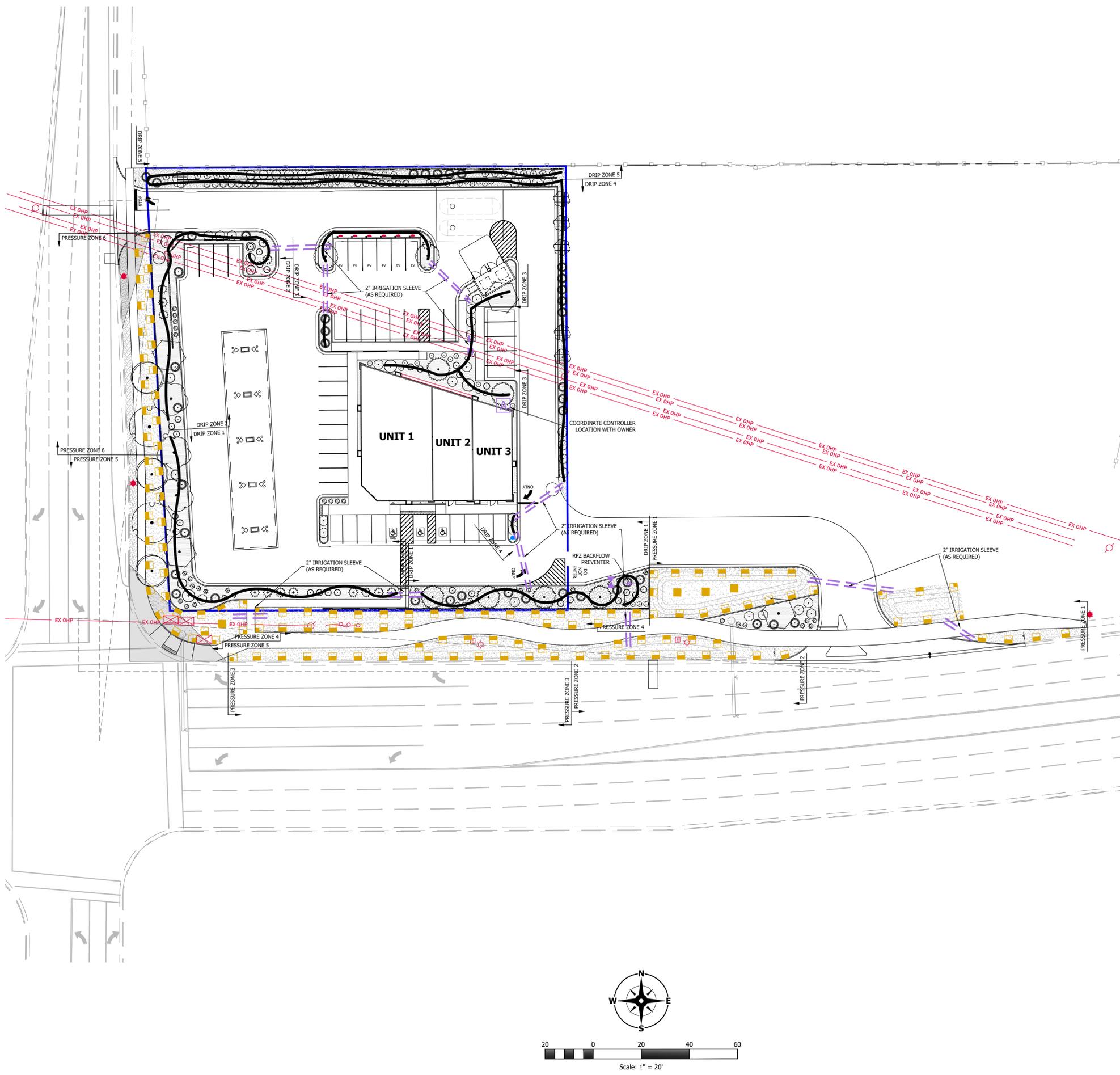
Engineer: T. Hunt
 Drawn: T. Pridemore
 Date: 09 / 19 / 2024
 Proj. No. 103-05

SHEET TITLE

**SITE
 IRRIGATION
 PLAN**

SHEET NO.

L1.10

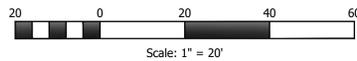


IRRIGATION LEGEND

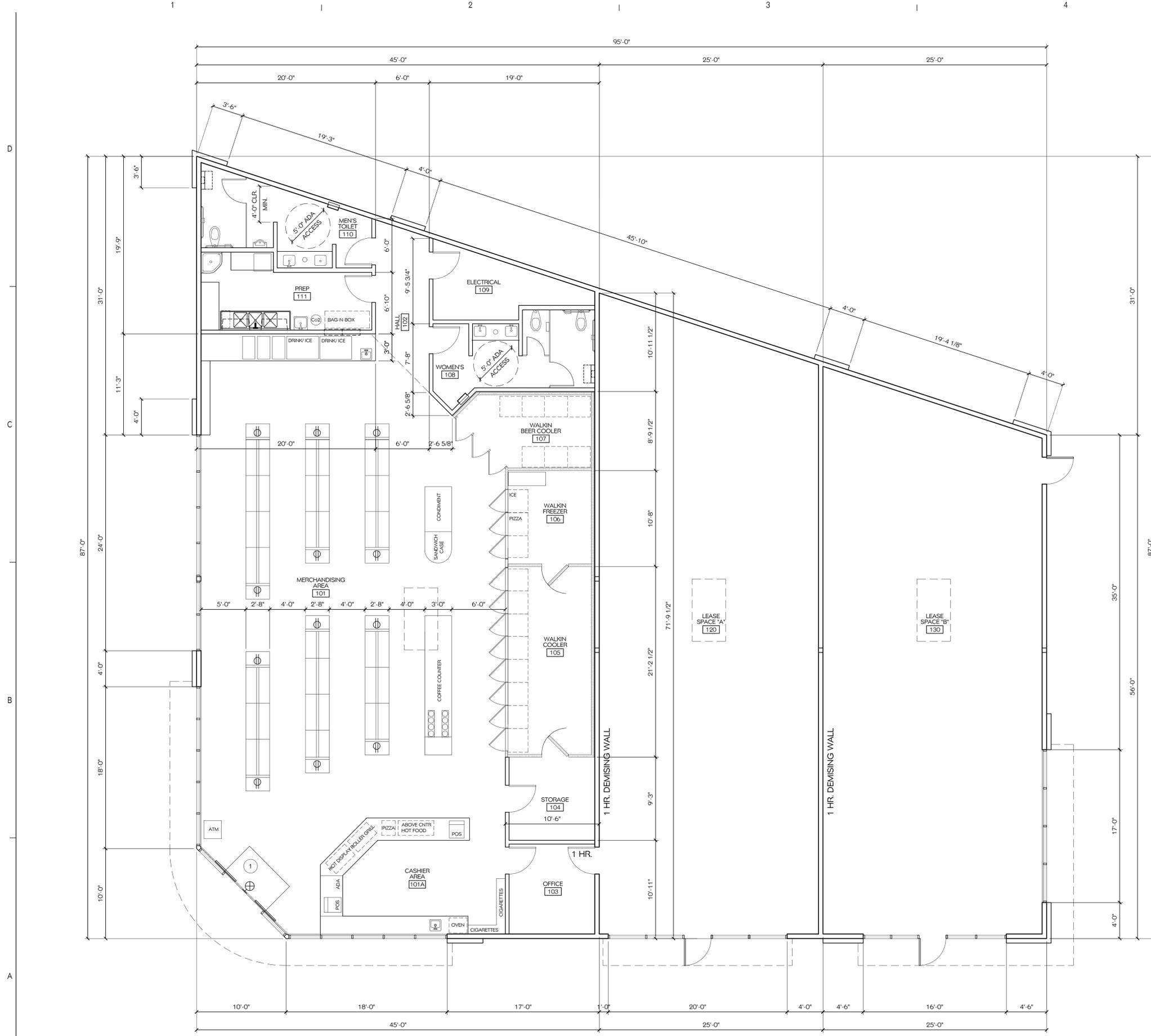
- RAINBIRD 10' 1/4 CIRCLE PATTERN NOZZLE
- RAINBIRD 10' HALF CIRCLE PATTERN NOZZLE
- RAINBIRD 10' FULL CIRCLE PATTERN NOZZLE
- RAINBIRD COMMERCIAL CONTROL ZONE KIT DRIP VALVE
- = DRIP LATERAL LINE - POLY PIPE MAY BE USED
- = THREADED IN-LINE WATER SOFTENER
- = RAINBIRD INDOOR/OUTDOOR MOUNT BASE CONTROLLER
- = RPZ BACKFLOW PREVENTION, SIZE PER CITY STANDARDS
- = LOW FLOW DRIP VALVE

LANDSCAPE / IRRIGATION NOTES

1. MULCH: AFTER COMPLETION OF ALL PLANTING, ALL IRRIGATED NON-TURF AREAS SHALL BE COVERED WITH A MINIMUM LAYER OF FOUR (4) INCHES OF MULCH TO RETAIN WATER, INHIBIT WEED GROWTH AND MODERATE SOIL TEMPERATURE. NON-POROUS MATERIAL SHALL NOT BE PLACED UNDER THE 4-INCH MULCH IN ALL IRRIGATED NON-TURF AREAS. IF ROCK MULCH, MINIMUM IS 3-INCH. BARK MULCH IS NOT ALLOWED IN PARK STRIP. ROCK MULCH IN PARK STRIP MUST BE A MINIMUM OF 3".
2. LANDSCAPE WATER METER: A WATER METER AND BACKFLOW PREVENTION ASSEMBLY THAT ARE IN COMPLIANCE WITH STATE CODE SHALL BE INSTALLED FOR LANDSCAPE IRRIGATION SYSTEMS. THE LANDSCAPE WATER METER AND BACKFLOW PREVENTION ASSEMBLY SHALL BE SEPARATE FROM THE WATER METER AND BACKFLOW PREVENTION ASSEMBLY INSTALLED FOR INDOOR USES. THE SIZE OF THE METER SHALL BE DETERMINED BASED ON IRRIGATION DEMAND.
3. PRESSURE REGULATION: A PRESSURE REGULATING VALVE SHALL BE INSTALLED AND MAINTAINED BY THE CONSUMER IF THE STATIC SERVICE PRESSURE EXCEEDS 80 POUNDS PER SQUARE INCH (PSI). THE PRESSURE-REGULATING VALVE SHALL BE LOCATED BETWEEN THE LANDSCAPE WATER METER AND THE FIRST POINT OF WATER USE, OR FIRST POINT OF DIVISION IN THE PIPE, AND SHALL BE SET AT THE MANUFACTURER'S RECOMMENDED PRESSURE FOR SPRINKLERS.
4. AUTOMATIC CONTROLLER: ALL IRRIGATION SYSTEMS SHALL INCLUDE AN ELECTRIC AUTOMATIC CONTROLLER WITH MULTIPLE PROGRAM AND MULTIPLE REPEAT CYCLE CAPABILITIES AND A FLEXIBLE CALENDAR PROGRAM. ALL CONTROLLERS SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN SHUT-OFF.
5. ON SLOPES EXCEEDING 30%, THE IRRIGATION SYSTEM SHALL CONSIST OF DRIP EMITTERS, BUBBLERS, OR SPRINKLERS WITH A MAXIMUM PRECIPITATION RATE OF 0.85 INCHES PER HOUR AND ADJUSTED SPRINKLER CYCLE TO ELIMINATE RUNOFF.
6. EACH VALVE SHALL IRRIGATE A LANDSCAPE WITH SIMILAR SITE, SLOPE AND SOIL CONDITIONS AND PLANT MATERIALS WITH SIMILAR WATERING NEEDS. TURF AND NON-TURF AREAS SHALL BE IRRIGATED ON SEPARATE VALVES.
7. DRIP EMITTERS OR A BUBBLER SHALL BE PROVIDED FOR EACH TREE WHERE PRACTICABLE. BUBBLERS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE PER DEVICE. BUBBLERS FOR TREES SHALL BE ON SEPARATE VALVE UNLESS SPECIFICALLY EXEMPTED BY SANDY CITY PUBLIC UTILITIES DUE TO THE LIMITED NUMBER OF TREES ON THE PROJECT SITE.
8. SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATE WITH EACH CONTROL VALVE CIRCUIT.
9. CHECK VALVES SHALL BE REQUIRED WHERE ELEVATION DIFFERENCES WILL CAUSE LOW-HEAD DRAINAGE. PRESSURE COMPENSATING VALVES AND SPRINKLERS SHALL BE REQUIRED WHERE A SIGNIFICANT VARIATION IN WATER PRESSURE WILL OCCUR WITHIN THE IRRIGATION SYSTEM DUE TO ELEVATION DIFFERENCES.
10. DRIP IRRIGATION LINES SHALL BE PLACED UNDERGROUND OR OTHERWISE PERMANENTLY COVERED, EXCEPT FOR DRIP EMITTERS AND WHERE APPROVED AS A TEMPORARY INSTALLATION. FILTERS AND END FLUSH VALVES SHALL BE PROVIDED AS NECESSARY.
11. IRRIGATION ZONES WITH OVERHEAD SPRAY OR STREAM SPRINKLERS SHALL BE DESIGNED TO OPERATE BETWEEN 6:00 P.M. AND 10:00 A.M. TO REDUCE WATER LOSS FROM WIND AND EVAPORATION. THIS WOULD EXCLUDE DRIP OR BUBBLER ZONES.
12. PROGRAM VALVES FOR MULTIPLE REPEAT CYCLES WHERE NECESSARY TO REDUCE RUNOFF, PARTICULARLY SLOPES AND SOILS WITH SLOW INFILTRATION RATES.
13. FOLLOWING CONSTRUCTION AND PRIOR TO RELEASE OF THE SECONDARY BOND GUARANTEE POSTED FOR THE PROJECT, A WATER USE EFFICIENCY REVIEW WILL BE CONDUCTED BY A LANDSCAPE IRRIGATION AUDITOR. THE AUDITOR SHALL BE INDEPENDENT OF THE CONTRACTOR, DESIGN ENGINEER, AND DEVELOPER/PROJECT OWNER. THE WATER PERFORMANCE AUDIT WILL VERIFY THAT THE IRRIGATION SYSTEM COMPLIES WITH THE MINIMUM STANDARDS REQUIRED BY SANDY CITY ORDINANCE. THE MINIMUM EFFICIENCY REQUIRED FOR THE IRRIGATION SYSTEM IS 60% FOR DISTRIBUTION EFFICIENCY FOR ALL FIXED SPRAY SYSTEMS AND 70% DISTRIBUTION EFFICIENCY FOR ALL ROTOR SYSTEMS. THE AUDITOR SHALL FURNISH A CERTIFICATE TO THE CITY, DESIGNER, INSTALLER AND DEVELOPER/PROJECT OWNER CERTIFYING COMPLIANCE WITH THE MINIMUM DISTRIBUTION REQUIREMENTS. ALSO, FORM SUBSTANTIAL COMPLETION OF WATER AUDIT MUST BE COMPLETED AND SENT TO PUBLIC UTILITIES. COMPLIANCE WITH THIS PROVISION IS REQUIRED BEFORE THE CITY WILL RELEASE THE BOND FOR THIS PROJECT.
14. PLANTS WHICH REQUIRE DIFFERENT AMOUNTS OF WATER SHALL BE IRRIGATED BY SEPARATE IF ONE VALVE IS USED FOR A GIVEN AREA, ONLY PLANTERS WITH SIMILAR WATER USE SHALL BE USED IN THAT AREA. LAWN AREAS AND PLANTERS SHALL BE IRRIGATED BY SEPARATE VALVES.
15. A SEPARATE BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED FOR THE IRRIGATION SYSTEM.
16. A RAIN SENSING OVERRIDING DEVICE SHALL BE UTILIZED SO THAT THE IRRIGATION SYSTEM WILL AUTOMATICALLY TURN OFF IN THE EVENT OF RAIN.
17. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT OVERSPRAY AND WATER RUN-OFF ONTO ADJACENT PROPERTY, NON-IRRIGATED AREAS, WALKS, ROADWAYS OR STRUCTURES.
18. AN AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLER HEADS SHALL BE REQUIRED FOR ALL NEW LANDSCAPES. LOW FLOW SPRINKLER HEADS SHALL BE USED WHEREVER POSSIBLE.
19. NO IRRIGATION OF WALKWAYS OR DRIVE.
20. WATER AUDIT IS REQUIRED PRIOR TO BOND BEING RELEASED. SUGGEST THE AUDIT BE DONE WITHIN 60 DAYS OF INSTALLING IRRIGATION AND LANDSCAPE.



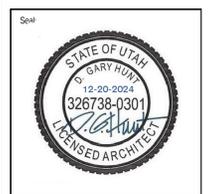
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KEY NOTES

| No. | DESCRIPTION: |
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| 1 | RECESSED CONCRETE WALK OFF MATT. |

| No. | Revision/Issue | Date |
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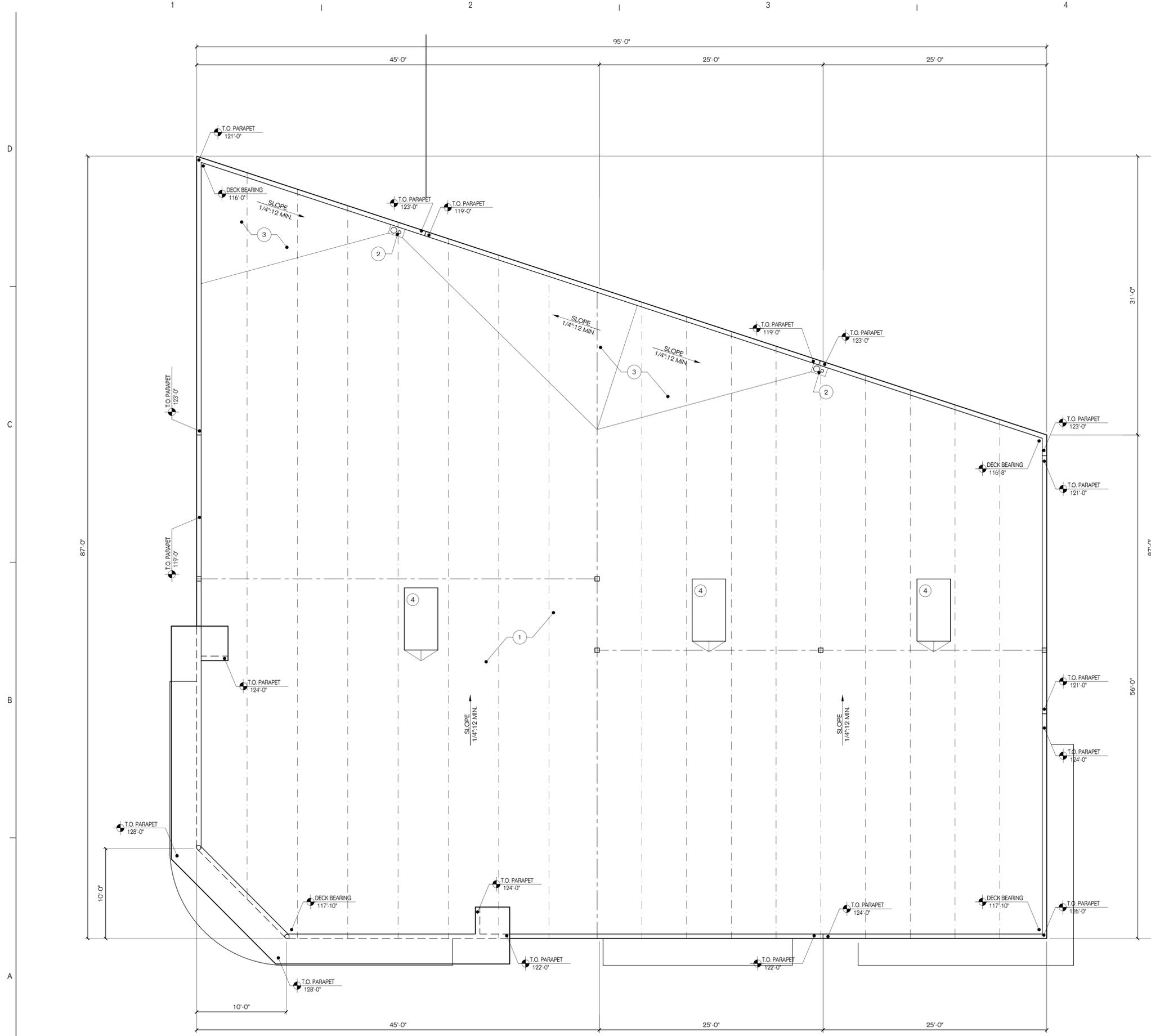


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 Architecture / Planning
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 e-mail: gary@gharchitect.com



| | |
|---------------|-----------------|
| Project Title | |
| Floor Plan | |
| Project No: | Date: 20 Dec 24 |
| 2024- | Scale: As Noted |
| Sheet No: | A1.1 |



KEY NOTES

- No. DESCRIPTION:
- 1 MECHANICALLY FASTENED SINGLE-PLY TAN TPO ROOFING SYSTEM OVER RIGID INSULATION R-30 MIN. SLOPE 1/4":12" DRAIN. ENTIRE ROOF COVERING SYSTEM INCLUDING FOAM PLASTIC ROOF INSULATION AND ROOFING MEMBRANE SHALL BE AN APPROVED UL OR EQUAL CLASS C ASSEMBLY.
 - 2 ROOF DRAIN AND OVER FLOW RE: B3/A5.1, PLUMBING PLANS AND CIVIL.
 - 3 TAPERED RIGID INSULATION CRICKETS, SHAPE AS REQUIRED TO MAINTAIN 1/4":12" SLOPE TO ROOF DRAINS.
 - 4 RTU RE: MECHANICAL PLANS AND RELATED DETAILS.

| No. | Revision/Issue | Date |
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 SANDY, UTAH 84070

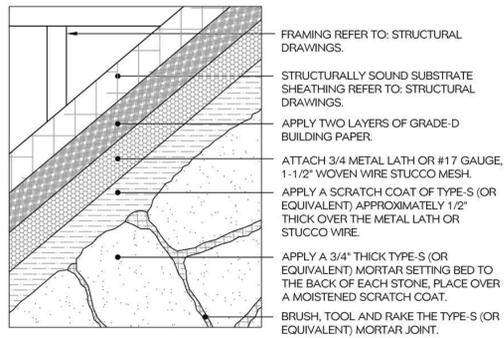
Gary Hunt, Architect PC
 Architecture / Planning
 3556 W. 910 S., Syracuse, Utah 84075
 Mobile: (801) 725-1922
 e-mail: gary@gharchitect.com



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|-------------|-----------------|
| Sheet Title | |
| Roof Plan | |
| Project No: | Date: 20 Dec 24 |
| 2024- | Scale: As Noted |
| Sheet No: | A1.3 |

1 PROVIDE A COMPLETE NATURAL CUT STONE SYSTEMS PER MANUFACTURES RECOMMENDATIONS, SUCH AS MERRILLSTONE VERIFY MANUFACTURE WITH OWNER.

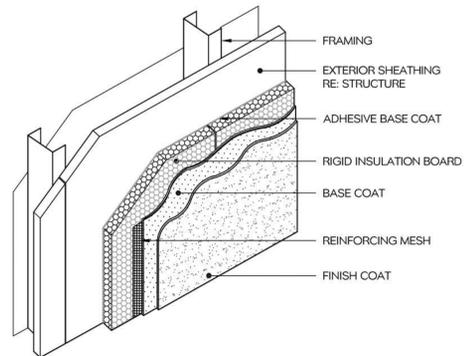
INSTALLATIONS MUST COMPLY WITH LOCAL BUILDING CODES AND MANUFACTURER'S SPECIFICATIONS.



Merrillstone System
SCALE: NONE

D1
A2.1

2 PROVIDE A COMPLETE EIFS SYSTEMS PER MANUFACTURES RECOMMENDATIONS, SUCH AS SENERGY PB CLASS.



EIFS System
SCALE: NONE

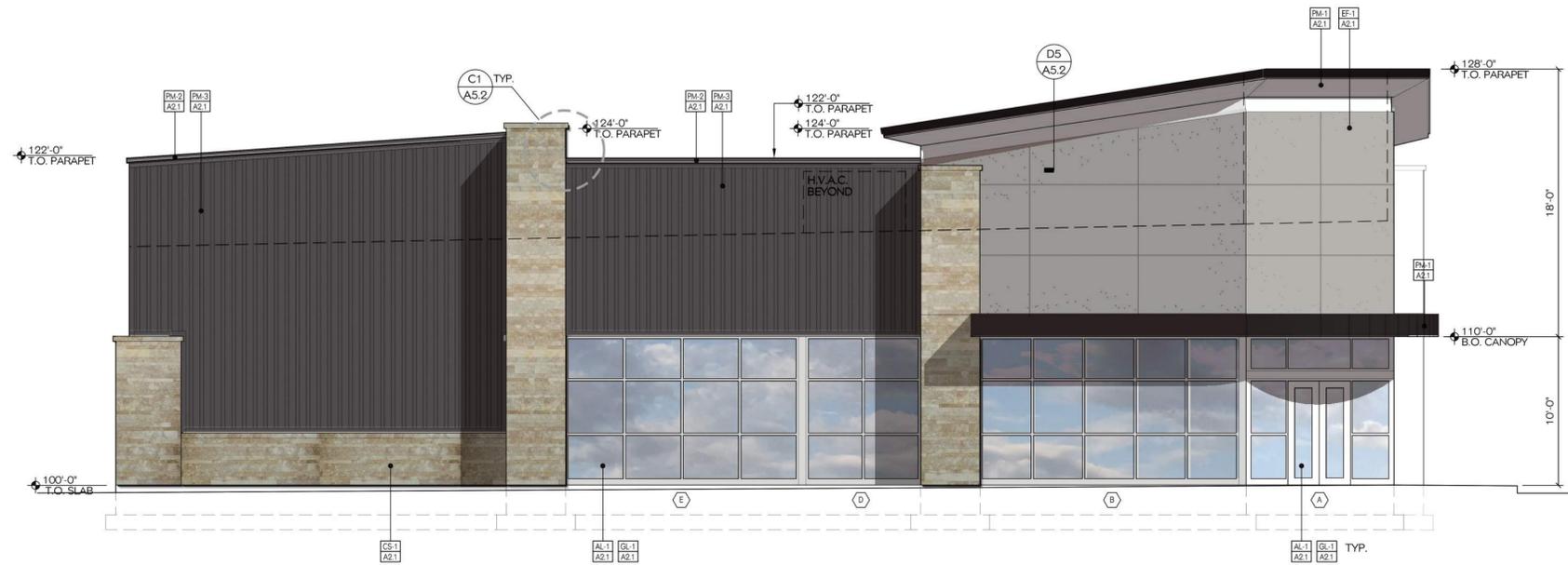
D2
A2.1

EXTERIOR FINISH SCHEDULE

| SYM | DESCRIPTION | MANUFACTURER | PRODUCT NUMBER | DIMENSION W x L x T OR H | COLOR | NOTES |
|--------------|---|---------------------|----------------|------------------------------------|------------------------|---|
| PM-1 A2.1 | PRE-FINISHED METAL COPING: FASCIA/ TRIM | MBCI | 29 GA. | PER MANUFACTURES ERECTION DRAWINGS | COBALT BLUE | |
| PM-2 A2.1 | PRE-FINISHED METAL COPING: FASCIA/ TRIM | MBCI | 29 GA. | PER MANUFACTURES ERECTION DRAWINGS | CHARCOAL GRAY | |
| PM-3 A2.1 | PRE-FINISHED METAL | ARCHITECTURAL PANEL | 29 GA. | PER MANUFACTURES ERECTION DRAWINGS | CHARCOAL GRAY VERTICAL | |
| AL-1 A2.1 | ALUMINUM STOREFRONT | KAWNEER | | | CLEAR ANODIZED | LOW "E" CLEAR VISION STOREFRONT SYSTEM, W/ BLACK ALUM. FRAME. RE: DETAIL D1/A2.1 |
| CS-1 A2.1 | NATURAL STONE | SUN VALLEY | | | STRATA | |
| CS-2 A2.1 | WATERTABLE/SILLS | OWENS CORNING | SWT-1371 | | GRAY | RE: DETAIL D3/A2.1 |
| EF-1 A2.1 | SENERGY PB CLASS. | OR APPROVED EQUAL | | PER MANUFACTURES SPECIFICATIONS | MORNING MIST | RE: DETAIL D3/A2.1 |
| GL-1 A2.1 | WINDOW GLAZING | PPG | | 1" THICK | | RE: SHEET A6.2 FOR WINDOW TYPES, AND SAFETY GLAZING LOCATIONS |
| GL-2 A2.1 | SPANDREL GLAZING | PPG | | INSULATED | | MATCH GLAZING GL-1 |
| PS-1 A2.1 | PAINTED | - | - | - | CHARCOAL GRAY | - |

West Exterior Surface Area

| MATERIAL | S.F. | Area % |
|----------|-----------|--------|
| STUCCO | 362 S.F. | 18.9 % |
| TOTAL | 1916 S.F. | 100% |



West Exterior Elevation (Left Side)

SCALE: 3/16" = 1'-0"

B1
A2.1

South Exterior Surface Area

| MATERIAL | S.F. | Area % |
|----------|-----------|--------|
| STUCCO | 362 S.F. | 17.7 % |
| TOTAL | 2043 S.F. | 100% |



South Exterior Elevation (Front)

SCALE: 3/16" = 1'-0"

A1
A2.1

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| No. | Revision/Issue | Date |
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| Project No: 2024-12 | | Date: 12 Feb 25 |
| Scale: As Noted | | |
| Sheet No: A2.1 | | |

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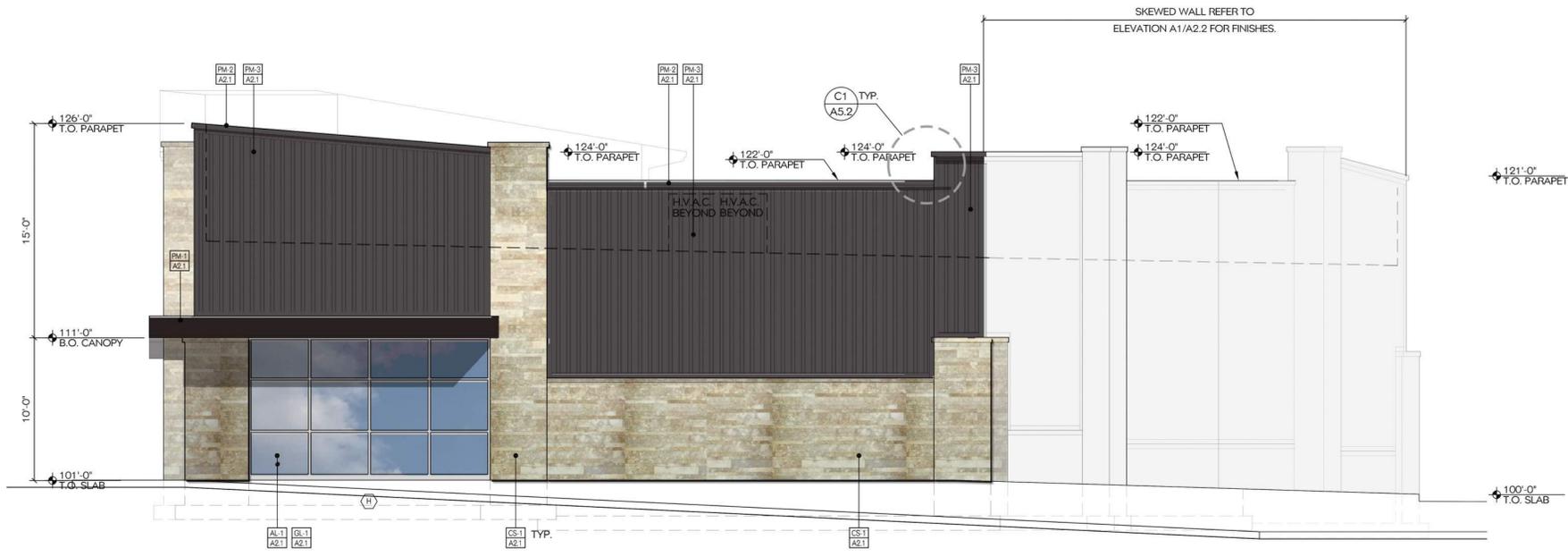
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B

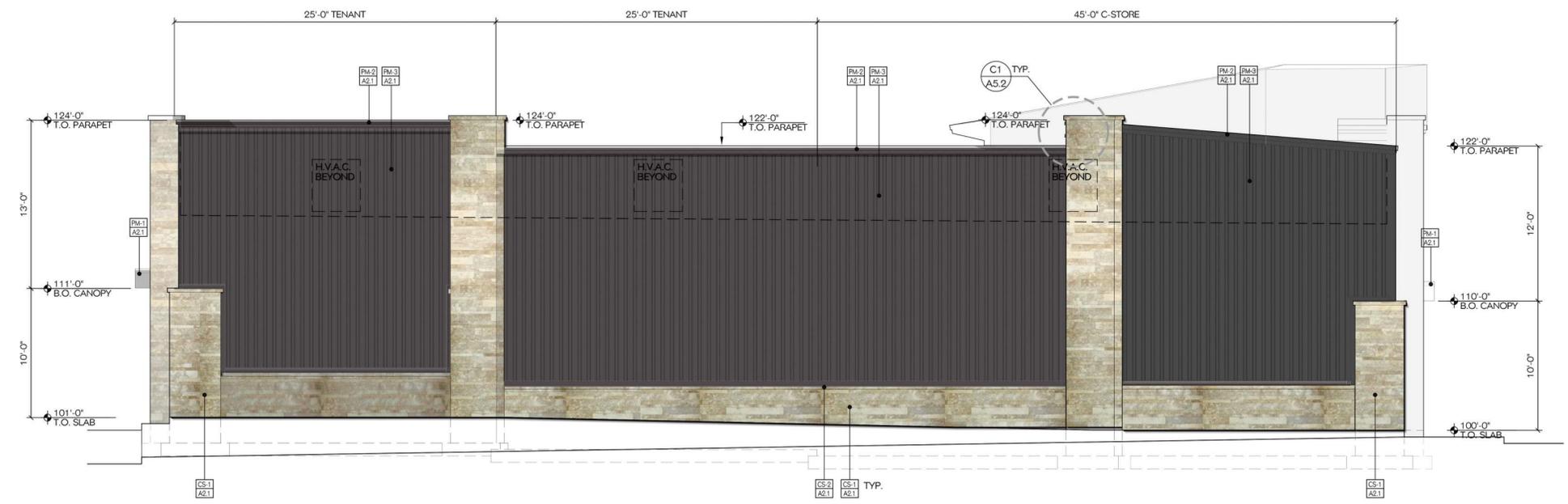
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East Exterior Elevation (Right Side)

SCALE: 3/16"=1'-0"

B1
A2.2



North Exterior Elevation (Rear)

SCALE: 3/16"=1'-0"

A1
A2.2

| | | |
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| No. | Revision/Issue | Date |
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Seal

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Sheet Title:
Exterior Elevations

Project No.: 2024-12
 Date: 12 Feb 25
 Scale: As Noted

Sheet No.: **A2.2**



Staff Report

File #:
SPR02032025-006911,
Version: 1

Date: 4/3/2025

Agenda Item Title:

Enbridge Gas Public Utility Station (Preliminary Site Plan Review)
9725 S. State St.
[Community # 5]

Presenter:

Douglas L. Wheelwright, Development Services Manager

Description/Background:

The applicant, Angela Barber, representing Questar Gas dba Enbridge Gas Utah (with permission of the land owner Canyons School District), is requesting Planning Commission review of a commercial site plan review (SPR) and approval of a conditional use permit (CUP) for a public utility station located at 9725 S. State St. "Public Utility Stations" are a conditional use in the Central Business District (CBD). The proposed public utility station request is for an above ground automatic gas line shut-off valve installation on a major gas transmission line, currently buried along the east side of State St. The applicant is leasing the southwest corner of a newly constructed parking lot at Jordan High School. Please see attached Exhibit A application materials and Exhibit B applicant's letter requesting the conditional use permit.

See attached site plan and exhibit for full information.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission determine preliminary site plan review is complete for the proposed Enbridge Gas Public Utility Station project, located at 9725 S. State St., based on the staff report, and the following findings and subject to the following conditions:

Findings:

1. That the proposed new automatic shut-off valving station will improve overall public safety relative to managing and preventing potential natural gas leaks within the overall gas infrastructure system.
2. That the proposed project will meet all the applicable requirements of the Sandy City Development Code with the reduction in the facility setbacks as proposed as has been determined by the Planning Commission under footnote #14 in the land use classification matrix.
3. The proposed deviations from the typical setback standards would not create any detrimental health, safety or general welfare of any persons residing or working in the vicinity of, or injurious to property or improvements in the vicinity

Conditions:

1. That the front landscape setback be reduced to 12.5 feet from the typical standard of 15 feet.
2. That the developer proceeds through the final site plan review process with staff prior to the start of any construction. The final site plan shall comply with all Sandy City Development Code requirements and those modifications required or allowed by the Planning Commission.
3. That the final landscape and irrigation plans include required street trees along State St. and must fully meet the waterwise planting and irrigation requirements of Sandy City Development Code Section 21-25.
4. That the development complies with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.
5. That the developer be responsible for the placement of a temporary 6-foot-high chain link fence around the perimeter of the project during the construction phase of the project for security. Said fencing shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the community development department during site plan review.
6. That the applicant complies with all department requirements as noted in all Preliminary Review comments prior to submittal for the final site plan review with staff.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE
OFFICER

Staff Report Memorandum April 3, 2025

To: Planning Commission
From: Community Development Department
Subject: Enbridge Gas Public Utility Station (Preliminary Site Plan Review & Conditional Use Permit)
9725 S. State St.
[Community # 5]

SPR02032025-006911
CUP01302025-006910
CBD Zoning District
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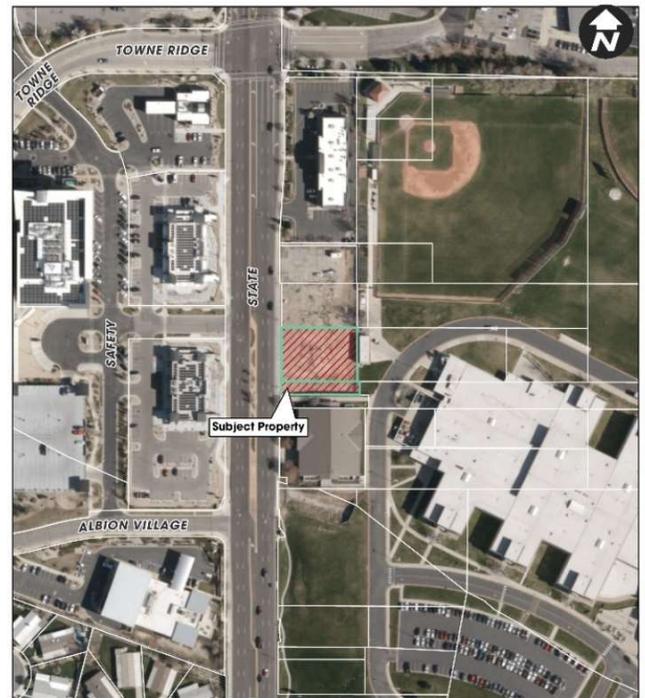
Public Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, and at public locations.

Request

The applicant, Angela Barber, representing Questar Gas dba Enbridge Gas Utah (with permission of the land owner Canyons School District), is requesting Planning Commission review of a commercial site plan review (SPR) and approval of a conditional use permit (CUP) for a public utility station located at 9725 S. State St. "Public Utility Stations" are a conditional use in the Central Business District (CBD). The proposed public utility station request is for an above ground automatic gas line shut-off valve installation on a major gas transmission line, currently buried along the east side of State St. The applicant is leasing the southwest corner of a newly constructed parking lot at Jordan High School. Please see attached Exhibit A application materials and Exhibit B applicant's letter requesting the conditional use permit.

Background

All the abutting properties and those located west, across the street are zoned CBD. The Jordan High School campus is located to the east and an LDS Church owned seminary building is located to the south. There is a sidewalk existing between the seminary building and this new parking lot, which provides pedestrian access for students.



Enbridge Gas Public Utility Station
SPR02032025-006911
CUP01302025-006910
9725 S STATE ST
Sandy City, UT
Community Development Department

| Property Case History | |
|------------------------------|--|
| Case Number | Case Summary |
| SPR # 93-36 | Joanna’s Kitchen Restaurant remodeling and parking lot expansion to adjoining property to the north with approximately 20 additional parking stalls created. Approved August, 1994 |

Public Notice and Outreach

This item has been noticed via mailed notices to all property owners located within 500 feet of the subject property. Public notice websites have also received notice of this project and this meeting. A neighborhood meeting was not required or held, and no notice sign was posted on the property, due to lack of proximity to residentially zoned property within 250 feet.

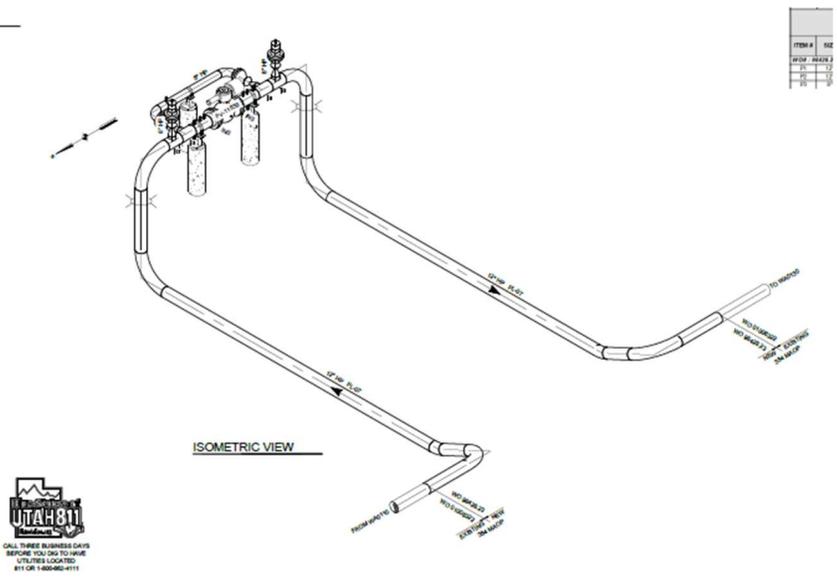


Analysis

This staff report includes two action items for consideration by the Planning Commission. The site plan review will be analyzed first, followed by an analysis of the conditional use request. Following the analysis of the two requests, staff will present two separate suggested motions, each to be considered and voted upon by the Planning Commission in sequence.

Commercial Site Plan Review

This small site is being leased from the Canyons School District and is in the southwest corner of a recently constructed vehicle parking lot, which the school district is developing as part of recent construction activities at the Jordan High School campus. Vehicle access to the station will be through the parking lot driveways and there will not be any new driveway approaches constructed on State St. Once the above ground shut-off valve station is constructed, it will not be attended by Enbridge employees, except for routine maintenance or emergencies. The operations of the shut-off valve will be controlled remotely linked by telecommunication equipment on site to a remote operations center.



The proposed shut-off valving station cannot be contained within a building, due to explosion risks in the event of a leak or vandalism. Therefore, the industry standard is to locate these valving stations along the major transmission lines above ground, within an open chain link fenced area with only gravel surfacing and no landscaping. In working with Enbridge representatives, staff has suggested that a screening wall be built between State St. and the above ground piping, to provide some screening from public view along State St. and to help protect the above ground pipes and equipment from potential errant State St. vehicle collision damage. The wall will be a post and panel masonry wall, eight feet in height on two- and one-half sides of the rectangular enclosure, with the other one and a half sides being fenced with tubular steel fencing of the same height, with an access gate in the fencing that fronts the parking lot driveway on the east side.

Staff concerns

Planning staff does not have any concerns with the utility station or its improvements with the determination of the Planning Commission that the setbacks for the fenced enclosure can be reduced to what is proposed without undue negative impacts.

Conditional Use Permit Analysis

As noted in the site plan sections above, the public utility station land uses proposed within this project are conditional uses subject to footnote number 14, allowing specification flexibility by the Planning Commission relative to the subjects listed in 3rd paragraph of the Enbridge Gas commercial site plan review section of this report. Therefore, a conditional use permit application is required as a companion to the site plan review process. As a part of the conditional use permit analysis, the city may impose conditions on a conditional use, based upon certain standards of review found in section 21-33-04, “*Conditional Use Permit*”, of the Sandy City Land Development Code. The following standards of review are applicable to this request and merit discussion or additional consideration by the Planning Commission before an approval can be given. (staff analysis responses are found below each item, and are written in italics):

Sec. 21-33-4. Conditions.

In order to achieve compliance with the standards set forth herein, the city may impose conditions that address:

- (1) Size, configuration and location of the site and the proposed site plan layout.

The size of the site is minimally adequate to provide the required site improvements necessary to host the proposed new public utility gas shut-off valving facility use.

- (2) Proposed site ingress and egress to existing and proposed roads and streets.

The existing parking lot driveway improvements will provide adequate vehicle access to the site.

- (3) The adequacy, provision, relocation, or protection of public facilities and amenities, including roads and streets, culinary water, secondary water, sanitary sewer, storm drainage, public safety and fire protections, and other utilities.

All the necessary and existing utility infrastructure is present and available on site.

- (4) Design, location and amount of off-street parking, loading areas and solid waste disposal and collection areas.

The standard is not applicable as the site will not be occupied.

- (1) Site circulation patterns for vehicular, pedestrian, and other traffic.

The pedestrian and on-site vehicle circulation is adequate for the intended uses. Any vehicle traffic volumes generated by the project will be adequately handled by the existing arterial street and will not infill traffic into the residential neighborhood.

- (2) Mass, size, number, location, design, exterior features, materials, and colors of buildings, structures and other facilities.

This standard is not applicable.

- (3) The location and design of all site features, including proposed signage, lighting, and refuse collection.

These factors have been addressed in the proposed site improvement plans for the project. Commercial Signage is not being currently requested by the applicant. There will not be any waste or garbage generated by the use.

- (4) The provision of usable open space, public features, and recreational amenities.

This standard is not applicable to this project.

- (5) Fencing, screening and landscape treatments, and other features designed to increase the attractiveness and safety of the site and protect adjoining property owners from noise, visual, and other impacts.

The fencing will consist of the 8-foot-high masonry walls and the 8-foot-tall tubular metal fence and gates as shown on the proposed site plan.

- (6) Measures directed at minimizing or eliminating possible nuisance factors, including, but not limited to, noise, vibrations, smoke, dust, dirt, debris, plant materials, odors, gases, noxious matter, heat, glare, electromagnetic disturbances, and radiation.

There will not be any noise from the station during normal operations. Nor will the site emit dust, smoke or vibration.

- (7) The measures designed to protect the natural features of the site, including wetlands and drainage ways, ground water protection, soils, wildlife, and plant life.

This standard does not apply to this location.

- (8) The regulation of operating hours for activities affecting normal schedules and functions.

This standard is not applicable to this project.

- (9) Identifying a time for regular review and monitoring, as determined necessary, to ensure the use continues to operate in compliance with all conditions and requirements of approval.

Plan review processes are in place to review and monitor factors related to the CUP operations. Complaints will be investigated by the City Code Enforcement Staff and resolved or forwarded to the Planning Commission for reconsideration and possible revocation.

- (10) Measures to assure compliance with all conditions and requirements of approval, including, but not limited to, bonds, letters of credit, improvement agreements, agreements to conditions, road maintenance funds, and restrictive covenants.

All these relative requirements will be implemented by city staff during the final review and approval processes.

- (11) Such other conditions determined reasonable and necessary by the city to allow the operation of the proposed conditional use, at the proposed location in compliance with the requirements of this title.

None have been identified.

Recommendations:

Site Plan Review

Motion #1. Staff recommends that the Planning Commission determine preliminary site plan review is complete for the proposed Enbridge Gas Public Utility Station project, located at 9725 S. State St., based on the staff report, and the following findings and subject to the following conditions:

Findings:

1. That the proposed new automatic shut-off valving station will improve overall public safety relative to managing and preventing potential natural gas leaks within the overall gas infrastructure system.
2. That the proposed project will meet all the applicable requirements of the Sandy City Development Code with the reduction in the facility setbacks as proposed as has been determined by the Planning Commission under footnote #14 in the land use classification matrix.
3. The proposed deviations from the typical setback standards would not create any detrimental health, safety or general

welfare of any persons residing or working in the vicinity of, or injurious to property or improvements in the vicinity

Conditions:

1. That the front landscape setback be reduced to 12.5 feet from the typical standard of 15 feet.
2. That the developer proceeds through the final site plan review process with staff prior to the start of any construction. The final site plan shall comply with all Sandy City Development Code requirements and those modifications required or allowed by the Planning Commission.
3. That the final landscape and irrigation plans include required street trees along State St. and must fully meet the waterwise planting and irrigation requirements of Sandy City Development Code Section 21-25.
4. That the development complies with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.
5. That the developer be responsible for the placement of a temporary 6-foot-high chain link fence around the perimeter of the project during the construction phase of the project for security. Said fencing shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the community development department during site plan review.
6. That the applicant complies with all department requirements as noted in all Preliminary Review comments prior to submittal for the final site plan review with staff.

Conditional Use Permit

Motion #2. S taff recommends that the Planning Commission approve a conditional use permit to allow the propose public utility station for Enbridge Gas Co., located at 9725 S. State St., based upon the following finding and subject to the following conditions:

Findings:

1. Reasonably anticipated negative impacts associated with the proposed development will be adequately mitigated with site improvements.
2. That overall public safety will be improved with the installation of the shut-off valve facility on a major natural gas transmission line.

Conditions:

1. That the site plan approval conditions and the proposed site improvements be further refined through the final site plan review process with city staff and installed as part of the SPR process finalization.

Planner:



Douglas L. Wheelwright
Development Services Manager

File Name: S:\Users\PLN\STAFFRPT\2025\SPR02032025-006911 - Enbridge Line Break Valve

Exhibit "B"

Sandy City Planning Commission
1000 Centennial Pkway
Sandy, UT 84070

Subject: Request for Conditional Use for at 9725 State St. Sandy, UT 84070

Dear Members of the Planning Commission,

This letter is to formally request a Conditional Use Permit for the installation of natural gas pipeline facilities at 9725 State St. Sandy, UT 84070. The proposed use will not pose any significant risks to the public health, safety, or welfare. To remain consistent with zoning character, the design and operation of the proposed use includes the following features:

- Drought-resistance shrubbery and decorative rock will be installed as landscaping to increase the curb appeal of the proposed use. Vegetative coverage is expected to achieve 34% at full maturity. Existing water infrastructure will be utilized for irrigation needs.
- Perimeter fencing will be installed to prevent public access to the proposed use. During operation, all gates, doors, pipeline valves and electrical cabinets will be secured with locks to prevent any unauthorized use of equipment. An eight-foot-tall pre-cast concrete fence will be installed on the State St. side of the proposed use to offer additional protection from pedestrian traffic and ensure the facility remains unobtrusive.
- Anti-graffiti wall coatings will be utilized to improve the resiliency to vandalism.
- No gas service interruptions are expected due to the construction or operation of this proposed use.
- The proposed use will not contribute to any additional traffic, noise, dust, or light pollution beyond current levels in the vicinity.
- The proposed use is not expected to have any adverse impacts on the surrounding businesses, parking lots, or public buildings.

If there are any questions on this proposed conditional use, feel free to contact me at any time.

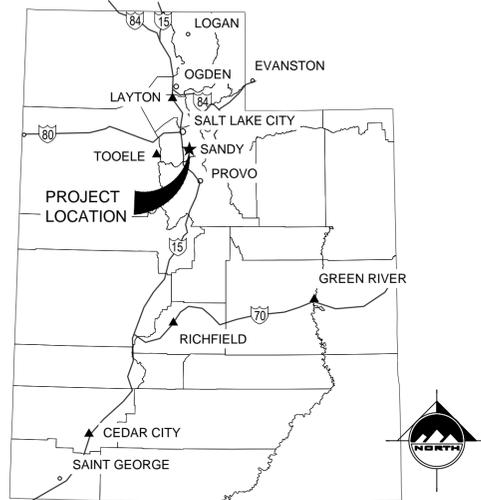
Sincerely,

Chad Laiho
chad.d.laiho@dominionenergy.com
Enbridge Gas
Engineering & Project Management

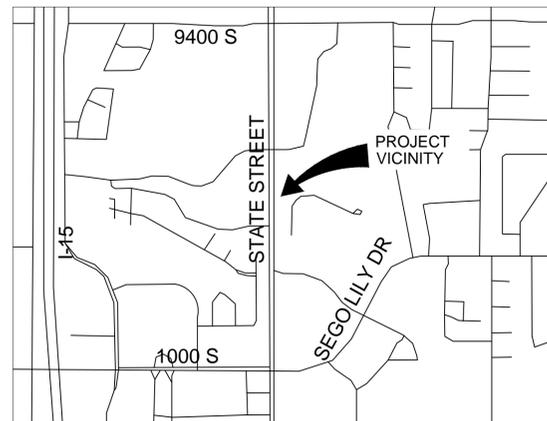
ENBRIDGE GAS

CANYONS SCHOOL DISTRICT LINE BREAK VALVE SITE

9725 STATE STREET SANDY, UTAH 84070



LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE

| PROJECT DRAWINGS | | |
|--------------------------------------|-----|----------------------------------|
| GENERAL DRAWINGS | | |
| DRAWING | REV | DESCRIPTION |
| ENB-B-FV11839-CCS-001 SHEET 01 OF 08 | 0 | COVER SHEET |
| ENB-B-FV11839-CCS-001 SHEET 02 OF 08 | 0 | GENERAL NOTES |
| CIVIL DRAWINGS | | |
| ENB-B-FV11839-CCS-001 SHEET 03 OF 08 | 0 | SITE PLAN |
| ENB-B-FV11839-CCS-001 SHEET 04 OF 08 | 0 | GRADING PLAN |
| ENB-B-FV11839-CCS-001 SHEET 05 OF 08 | 0 | UTILITY PLAN |
| ENB-B-FV11839-CCS-001 SHEET 06 OF 08 | 0 | DETAILS |
| ENB-B-FV11839-CCS-001 SHEET 07 OF 08 | 0 | LANDSCAPE AND IRRIGATION PLAN |
| ENB-B-FV11839-CCS-001 SHEET 08 OF 08 | 0 | LANDSCAPE AND IRRIGATION DETAILS |

NOTICE TO DEVELOPER/CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER OR CONTRACTOR, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTOR'S AND SUBCONTRACTOR'S COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

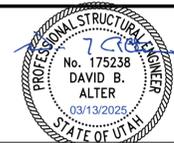
THE CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

PROJECT CONTACTS

| ROLE | NAME | PHONE |
|-------------------------------|----------------|--------------|
| PROJECT MANAGER | CHAD LAIHO | 906-251-0259 |
| PROJECT ENGINEER | CHAD LAIHO | 906-251-0259 |
| CATHODIC PROTECTION | KELLY FACER | 801-201-5528 |
| HP SURVEYOR | ENOCH CLEMENCE | 801-793-7950 |
| LEAD INSPECTOR | TBD | |
| IHP SUPERVISOR | TBD | |
| RIGHT OF WAY AGENT | ANGELA BARBER | 385-418-2557 |
| MARKETING | N/A | |
| ENVIRONMENTAL HEALTH & SAFETY | STEPHAN RYDER | 330-813-8805 |

| POINT # | SURVEY CONTROL STAKEOUT TABLE | | | DESCRIPTION |
|---------|-------------------------------|-------------|-----------|---------------------------|
| | NORTHING | EASTING | ELEVATION | |
| 40000 | 7380427.633 | 1531756.559 | 4474.010 | FND 4" BRASS CAP NW SEC7 |
| 40001 | 7380427.224 | 1531847.264 | 4475.806 | FND 3" BRASS CAP ST. MON. |
| 40002 | 7377787.530 | 1531843.579 | 4443.585 | FND 3" BRASS CAP ST. MON. |
| 40047 | 7378402.008 | 1531887.640 | 4472.541 | BENCHMARK MAG NAIL |
| 10010 | 7378424.350 | 1531870.764 | N/A | NORTH PIPELINE TIE IN |
| 10011 | 7378387.853 | 1531871.040 | N/A | SOUTH PIPELINE TIE IN |
| 10012 | 7378377.070 | 1531897.390 | N/A | ROW CORNER P.O.B. |
| 10013 | 7378402.055 | 1531897.420 | N/A | ROW CORNER |
| 10014 | 7378402.043 | 1531899.850 | N/A | ROW CORNER |
| 10015 | 7378421.052 | 1531899.868 | N/A | ROW CORNER |
| 10016 | 7378420.938 | 1531932.443 | N/A | ROW CORNER |
| 10017 | 7378376.949 | 1531932.382 | N/A | ROW CORNER |

ISSUED FOR CONSTRUCTION



DATE PRINTED
03/11/2025

| REFERENCE DRAWINGS | | WORK ORDERS | | REVISIONS | | | | ENGINEERING RECORD | | |
|--------------------|-----|---------------------|-----------|---------------------------------|----|-------------------------|------------|--------------------|-------|------------------------|
| DRAWING NUMBER | REV | DRAWING DESCRIPTION | WO NUMBER | DESCRIPTION | NO | DESCRIPTION | DATE | BY | CHECK | DRAWN BY: |
| | | | 98428.23 | INSTALL NEW BLOCK VALVE FV11839 | 0 | ISSUED FOR CONSTRUCTION | 03/13/2025 | JOL | ERB | ENBRIDGE |
| | | | | | | | | | | CHECKED BY: ERIC BUSH |
| | | | | | | | | | | PROJECT ENGR: D. ALTER |
| | | | | | | | | | | SURVEYOR: E. CLEMENCE |
| | | | | | | | | | | ENGR MNGR: S. MCGEE |
| | | | | | | | | | | CONSTR MNGR: S. PALMER |
| | | | | | | | | | | MEAS & CTRLS: |
| | | | | | | | | | | AUTOM ENGR: |

| | | | |
|---------------------------------------|--|------------------------------------|--|
| LINE NUMBER: FLO07 | | FACILITY: 12" BLOCK VALVE ASSEMBLY | |
| TITLE: LINE BREAK VALVE FV 11839 | | DESCRIPTION: COVER SHEET | |
| ADDRESS: 9725 STATE STREET | | CITY SANDY | |
| COUNTY SALT LAKE | | STATE UTAH | |
| DRAWING NUMBER: ENB-B-FV11839-CCS-001 | | SHEET 01 OF 08 | |
| REVISION: 0 | | REVISION: 0 | |

THE INFORMATION AND CONCEPTS CONTAINED IN THIS DOCUMENT ARE CONFIDENTIAL AND THE PROPERTY OF ENBRIDGE GAS AND/OR THE CLIENT IDENTIFIED. DUPLICATION OR USE OF THIS INFORMATION AND/OR CONSTRUCTION OF SYSTEMS BASED ON THIS DOCUMENT ARE STRICTLY PROHIBITED WITHOUT WRITTEN AUTHORIZATION FROM ENBRIDGE GAS.

ENBRIDGE GAS-ANSLD

PUBLIC WORKS GENERAL CONSTRUCTION NOTES

- CURB AND GUTTER AND PAVING IMPROVEMENTS WITHIN THE UTAH STATE DEPARTMENT OF TRANSPORTATION (U.D.O.T.) RIGHT-OF-WAY SHALL BE CONSTRUCTED AS REQUIRED BY U.D.O.T. REGION TWO.
- THE CONTRACTOR SHALL OBTAIN PERMISSION (ENCROACHMENT PERMIT) TO WORK IN THE STATE STREET U.D.O.T. RIGHT-OF-WAY FROM U.D.O.T. REGION TWO. CONTACT THE U.D.O.T. REGION TWO PERMITS OFFICER, SHANE SAFFORD (801-975-4809, LSAFFORD@UTAH.GOV) FOR REQUIREMENTS PRIOR TO DOING ANY WORK WITHIN THE U.D.O.T. RIGHT-OF-WAY.
- THE SIDEWALK REPLACEMENT SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION). THE SPECIFICATIONS CAN BE FOUND IN PDF FORMAT ON LINE AT WWW.SANDY.UTAH.GOV (SEARCH FOR "STANDARD SPECIFICATIONS"). [Sec. 21-2-25(d)]
- THE CONTRACTOR SHALL OBTAIN A PERMIT TO WORK IN THE PUBLIC WAY (ROAD CUT PERMIT) FROM THE PUBLIC WORKS DEPARTMENT. CONTACT MONICA PETERSEN (801-568-2960, MPETERSEN@SANDY.UTAH.GOV) FOR REQUIREMENTS. TRAFFIC PLAN, BONDING, AND INSURANCE WILL BE REQUIRED. [Sec. 10-1]
- NOTIFY SANDY CITY PUBLIC WORKS INSPECTION DEPARTMENT, 801-568-2999, 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF ANY ROADWAY IMPROVEMENTS. ALL INSPECTIONS MUST BE DONE PRIOR TO OR CONCURRENT WITH CONSTRUCTION. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE UNCOVERING AND/OR REMOVAL OF ALL ITEMS INSTALLED WITHOUT NOTIFICATION, AT THE DISCRETION OF THE CITY ENGINEER. [Sec. 21-21-2]
- PROVIDE A PROCTOR TEST, FOR ROADBASE MATERIAL THAT IS TO BE PLACED IN THE PUBLIC RIGHT-OF-WAY, TO THE SANDY CITY PUBLIC WORKS INSPECTOR, WHEN DELIVERED OR PLACED ON SITE.
- DUST, MUD, AND EROSION SHALL BE ADEQUATELY CONTROLLED, BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS, AT ALL TIMES. HOWEVER, THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS, FOR DUST SUPPRESSION, IS ABSOLUTELY PROHIBITED.
- ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.

GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (CURRENT EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (95% DENSITY PER ASTM D-1557) SUB GRADE.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND/OR UTILITY MAPPING PROVIDED TO THE ENGINEER, AND THEREFORE UTILITIES MAY NOT BE LOCATED CORRECTLY, EITHER HORIZONTALLY OR VERTICALLY, AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR IS REQUIRED TO FOLLOW THE PROCEDURE OUTLINED BELOW:
 - CONTRACTOR IS REQUIRED TO LOCATE AND POTHOLE ALL EXISTING UTILITY LINES (BOTH HORIZONTALLY AND VERTICALLY) THAT AFFECT THE PROJECT CONSTRUCTION, EITHER ON-SITE OR OFF-SITE, AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE DESIGN OF THE SITE AS SHOWN ON THE APPROVED PLANS PRIOR TO ANY CONSTRUCTION. IF IT IS DETERMINED THAT CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) THE ENGINEER MUST BE NOTIFIED IMMEDIATELY TO CORRECT THE CONFLICTS BEFORE ANY WORK CAN BEGIN. IF THE CONTRACTOR FAILS TO FOLLOW THIS ABSOLUTE REQUIREMENT AND CONFLICTS ARISE DURING CONSTRUCTION THE CONTRACTOR WILL BEAR THE SOLE RESPONSIBILITY TO FIX THE CONFLICTS.
 - CONTRACTOR IS REQUIRED TO VERIFY THAT PROPER COVER AND PROTECTION OF EXISTING UTILITY LINES IS MAINTAINED OR ATTAINED WITHIN THE DESIGN ONCE VERIFICATION OF THE EXISTING UTILITIES IS COMPLETED AS OUTLINED IN 17.1 ABOVE.
 - IN ADDITION TO 17.1 AND 17.2 ABOVE THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY "POT-HOLING" A MINIMUM OF 300 FEET AHEAD OF PROPOSED PIPELINE CONSTRUCTION TO AVOID POTENTIAL CONFLICTS WITH DESIGNED PIPELINE ALIGNMENT AND GRADE AND EXISTING UTILITIES.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) AS DETERMINED UNDER 17.1, 17.2 OR 17.3 THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO IDENTIFY AND/OR "POTHOLE" EXISTING UTILITIES AS REQUIRED IN 17.1, 17.2 AND 17.3 ABOVE, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
- ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN THE CITY RIGHT-OF-WAY.
- CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

GRADING AND DRAINAGE NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
- ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
- THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
- THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THESE PLANS AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
- THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

STEEL REINFORCING NOTES

- TYPICAL REINFORCING BAR STRENGTHS
 - A. REINFORCING (NON-WELDABLE) = ASTM#615, DEFORMED, F_y = 60 KSI (420 MPa)
 - B. REINFORCING (WELDABLE) = ASTM#706, DEFORMED, F_y = 60 KSI (420 MPa)
- TYPICAL CLEAR CONCRETE COVERAGES:
 - A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3" FORMED
 - B. CONCRETE EXPOSED TO EARTH OR WEATHER = (#6 AND LARGER) 2" (#5 AND SMALLER) 1-1/2"
 - C. ALL OTHERS PER LATEST EDITION OF ACI 318.
- ALL BARS PER CRSI SPECIFICATIONS AND HANDBOOK, LATEST ACI CODE AND DETAILING MANUAL APPLY. SECURELY TIE ALL BARS IN LOCATION BEFORE PLACING CONCRETE. REINFORCING BAR SPACINGS GIVEN ARE MAXIMUM ON CENTERS.
- ALL REINFORCING TO BE WELDED SHALL BE WELDED IN ACCORDANCE WITH AWS D1.4 NO TACK WELDING OF REINFORCING BARS IS ALLOWED WITHOUT PRIOR REVIEW OF PROCEDURE BY STRUCTURAL ENGINEER.
- EPOXY COATED REINFORCING STEEL REQUIREMENTS: BARS SHALL CONFORM TO ASTM A775.

ABBREVIATIONS

| | | | |
|-------|--|---------|--------------------------------------|
| APWA | AMERICAN PUBLIC WORKS ASSOCIATION | NIC | NOT IN CONTRACT |
| AR | ACCESSIBLE ROUTE | NO | NUMBER |
| ASTM | AMERICAN SOCIETY FOR TESTING AND MATERIALS | OC | ON CENTER |
| AWWA | AMERICAN WATER WORKS ASSOCIATION | OC EW | ON CENTER EACH WAY |
| BOS | BOTTOM OF STEP | OHP | OVERHEAD POWER |
| BVC | BEGIN VERTICAL CURVE | PC | POINT OF CURVATURE OR PRESSURE CLASS |
| C | CURVE | PCC | POINT OF COMPOUND CURVATURE |
| CB | CATCH BASIN | PI | POINT OF INTERSECTION |
| CF | CURB FACE OR CUBIC FEET | PIV | POST INDICATOR VALVE |
| CL | CENTER LINE | PL | PROPERTY LINE |
| CO | CLEAN OUT | PRC | POINT OF REVERSE CURVATURE |
| COMM | COMMUNICATION | PRO | PROPOSED |
| CONC | CONCRETE | PT | POINT OF TANGENCY |
| CONT | CONTINUOUS | PVC | POINT OF VERTICAL CURVATURE |
| DIA | DIAMETER | PVI | POINT OF VERTICAL INTERSECTION |
| DIP | DUCTILE IRON PIPE | PVT | POINT OF VERTICAL TANGENCY |
| ELEC | ELECTRICAL | R | RADIUS |
| ELEV | ELEVATION | RD | ROOF DRAIN |
| EOA | EDGE OF ASPHALT | ROW | RIGHT OF WAY |
| EVC | END OF VERTICAL CURVE | S | SLOPE |
| EW | EACH WAY | SAN SWR | SANITARY SEWER |
| EXIST | EXISTING | SD | STORM DRAIN |
| FF | FINISH FLOOR | SEC | SECONDARY |
| FG | FINISH GRADE | SS | SANITARY SEWER |
| FH | FIRE HYDRANT | STA | STATION |
| FL | FLOW LINE OR FLANGE | SW | SIDEWALK |
| GB | GRADE BREAK | SWL | SECONDARY WATER LINE |
| GF | GARAGE FLOOR | TBC | TOP BACK OF CURB |
| GV | GATE VALVE | TOA | TOP OF ASPHALT |
| HC | HANDICAP | TOC | TOP OF CONCRETE |
| HP | HIGH POINT | TOF | TOP OF FOUNDATION |
| IRR | IRRIGATION | TOG | TOP OF GRATE |
| K | RATE OF VERTICAL CURVATURE | TOP | TOP OF PIER |
| LD | LAND DRAIN | TOS | TOP OF STEP |
| LF | LINEAR FEET | TOW | TOP OF WALL |
| LP | LOW POINT | TYP | TYPICAL |
| MH | MANHOLE | VC | VERTICAL CURVE |
| MJ | MECHANICAL JOINT | WIV | WALL INDICATOR VALVE |
| NG | NATURAL GROUND | WL | WATER LINE |

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

| | | | |
|--|-------------------------------------|--|--------------------------------------|
| | SECTION CORNER | | EXISTING EDGE OF ASPHALT |
| | EXISTING MONUMENT | | PROPOSED EDGE OF ASPHALT |
| | PROPOSED MONUMENT | | EXISTING STRIPING |
| | EXISTING REBAR AND CAP | | PROPOSED STRIPING |
| | SET ENSIGN REBAR AND CAP | | EXISTING FENCE |
| | EXISTING WATER METER | | PROPOSED FENCE |
| | PROPOSED WATER METER | | EXISTING FLOW LINE |
| | EXISTING WATER MANHOLE | | PROPOSED FLOW LINE |
| | PROPOSED WATER MANHOLE | | GRADE BREAK |
| | EXISTING WATER BOX | | EXISTING STORM DRAIN LINE |
| | EXISTING WATER VALVE | | PROPOSED STORM DRAIN LINE |
| | PROPOSED WATER VALVE | | ROOF DRAIN LINE |
| | EXISTING FIRE HYDRANT | | HIGHWATER LINE |
| | PROPOSED FIRE HYDRANT | | EXISTING SANITARY SEWER |
| | PROPOSED FIRE DEPARTMENT CONNECTION | | PROPOSED SANITARY SEWER LINE |
| | EXISTING SECONDARY WATER VALVE | | PROPOSED SAN. SWR. SERVICE LINE |
| | PROPOSED SECONDARY WATER VALVE | | EXISTING LAND DRAIN LINE |
| | EXISTING IRRIGATION BOX | | PROPOSED LAND DRAIN LINE |
| | EXISTING IRRIGATION VALVE | | PROPOSED LAND DRAIN SERVICE LINE |
| | PROPOSED IRRIGATION VALVE | | EXISTING CULINARY WATER LINE |
| | EXISTING SANITARY SEWER MANHOLE | | PROPOSED CULINARY WATER SERVICE LINE |
| | PROPOSED SANITARY SEWER MANHOLE | | EXISTING SECONDARY WATER LINE |
| | EXISTING SANITARY CLEAN OUT | | PROPOSED SECONDARY WATER LINE |
| | EXISTING STORM DRAIN CLEAN OUT BOX | | PROPOSED SEC. WATER SERVICE LINE |
| | PROPOSED STORM DRAIN CLEAN OUT BOX | | EXISTING IRRIGATION LINE |
| | EXISTING STORM DRAIN INLET BOX | | PROPOSED IRRIGATION LINE |
| | EXISTING STORM DRAIN CATCH BASIN | | PROPOSED IRRIGATION LINE |
| | PROPOSED STORM DRAIN CATCH BASIN | | EXISTING OVERHEAD POWER LINE |
| | EXISTING STORM DRAIN COMBO BOX | | EXISTING ELECTRICAL LINE |
| | PROPOSED STORM DRAIN COMBO BOX | | EXISTING GAS LINE |
| | EXISTING STORM DRAIN CLEAN OUT | | EXISTING TELEPHONE LINE |
| | EXISTING STORM DRAIN CULVERT | | ACCESSIBLE ROUTE |
| | PROPOSED STORM DRAIN CULVERT | | SAW CUT LINE |
| | TEMPORARY SAG INLET PROTECTION | | TEMPORARY SILT FENCE |
| | TEMPORARY IN-LINE INLET PROTECTION | | LIMITS OF DISTURBANCE |
| | ROOF DRAIN | | EXISTING WALL |
| | EXISTING ELECTRICAL MANHOLE | | PROPOSED WALL |
| | EXISTING ELECTRICAL BOX | | EXISTING CONTOURS |
| | EXISTING TRANSFORMER | | PROPOSED CONTOURS |
| | EXISTING LIGHT | | BUILDABLE AREA WITHIN SETBACKS |
| | PROPOSED LIGHT | | PUBLIC DRAINAGE EASEMENT |
| | EXISTING GAS METER | | EXISTING ASPHALT TO BE REMOVED |
| | EXISTING GAS MANHOLE | | PROPOSED ASPHALT |
| | EXISTING GAS VALVE | | EXISTING CURB AND GUTTER |
| | EXISTING TELEPHONE MANHOLE | | PROPOSED CURB AND GUTTER |
| | EXISTING TELEPHONE BOX | | CONCRETE TO BE REMOVED |
| | EXISTING TRAFFIC SIGNAL BOX | | EXISTING CONCRETE |
| | EXISTING CABLE BOX | | PROPOSED CONCRETE |
| | EXISTING BOLLARD | | BUILDING TO BE REMOVED |
| | PROPOSED BOLLARD | | EXISTING BUILDING |
| | EXISTING SIGN | | PROPOSED BUILDING |
| | PROPOSED SIGN | | |
| | EXISTING SPOT ELEVATION | | |
| | PROPOSED SPOT ELEVATION | | |

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.

ISSUED FOR CONSTRUCTION

PROFESSIONAL STRUCTURAL ENGINEER
 No. 175238
 DAVID B. ALTER
 03/13/2025
 STATE OF UTAH

ENBRIDGE
 THE STANDARD IN ENGINEERING

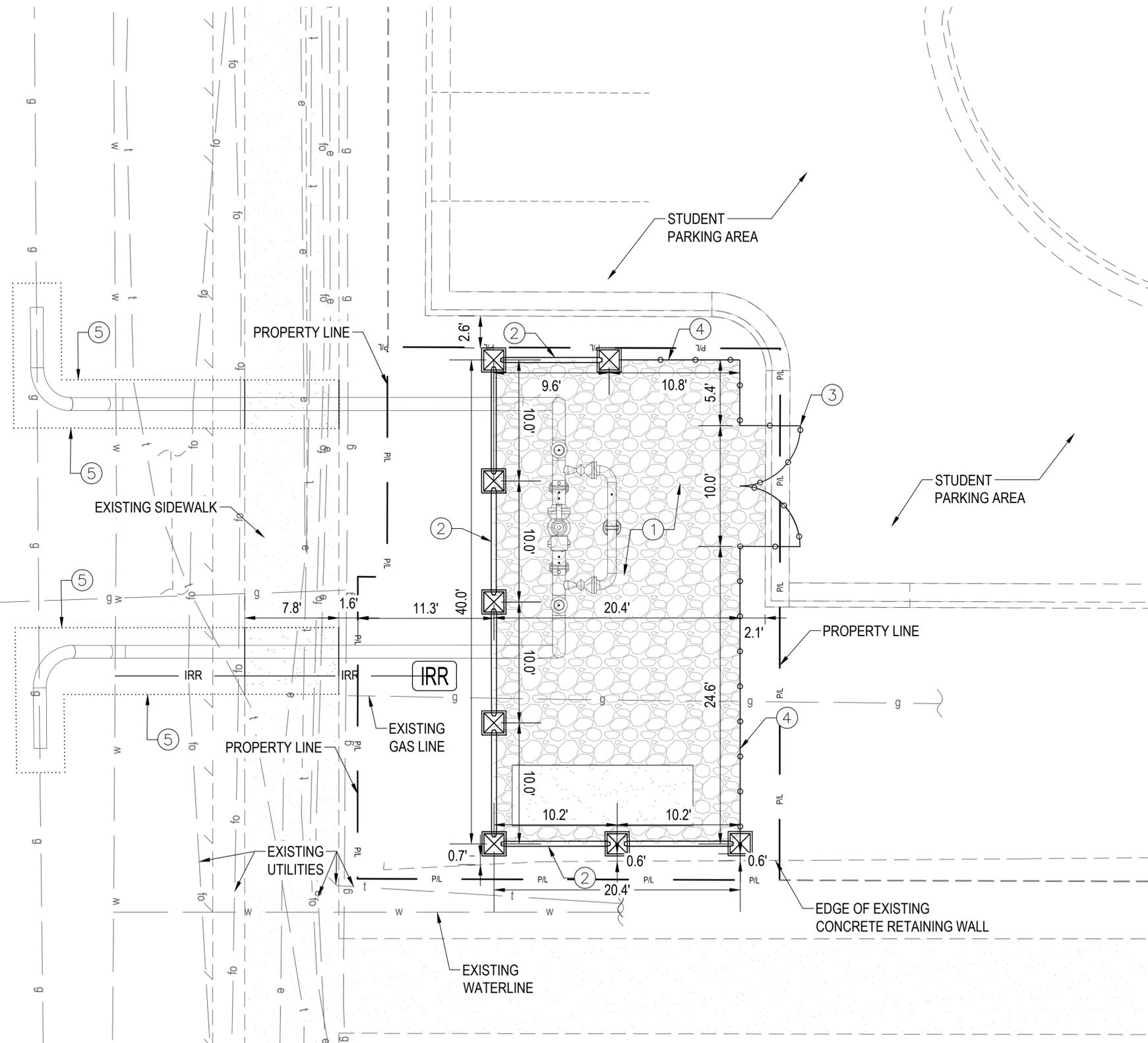
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| DRAWING NUMBER | REV | DRAWING DESCRIPTION | WO NUMBER | DESCRIPTION | NO | DESCRIPTION | DATE | BY | CHECK | DRAWN BY: | ENBRIDGE | CHECKED BY: | ENBRIDGE |
| | | | 98428.23 | INSTALL NEW BLOCK VALVE FV11839 | 0 | ISSUED FOR CONSTRUCTION | 03/13/2025 | JOL | ERB | ENBRIDGE | ENBRIDGE | ENBRIDGE | ENBRIDGE |



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| SECTION: 07 | T3S | R 1E |
| ELEVATION: 4477' | | |
| LAT: 40.5751 | LONG: -111.8904 | |
| SCALE: AS SHOWN | | |

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|-----------------------|---------------------------|----------|-----------|-------|------|
| LINE NUMBER: | FL007 | | | | |
| FACILITY: | 12" BLOCK VALVE ASSEMBLY | | | | |
| TITLE: | LINE BREAK VALVE FV 11839 | | | | |
| DESCRIPTION: | GENERAL NOTES | | | | |
| ADDRESS: | 9725 STATE STREET | | | | |
| CITY | SANDY | COUNTY | SALT LAKE | STATE | UTAH |
| DRAWING NUMBER | | SHEET | REVISION | | |
| ENB-B-FV11839-CCS-001 | | 02 OF 08 | 0 | | |

STATE STREET



GENERAL NOTES:

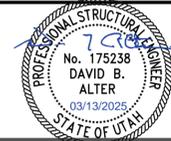
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① GRAVEL SECTION PER DETAIL 2/SHEET 5.
- ② PRECAST CONCRETE FENCE AND POSTS PER DETAIL 4/SHEET 5.
- ③ WROUGHT IRON GATE PER DETAIL 1/SHEET 5.
- ④ WROUGHT IRON FENCE PER DETAIL 3/SHEET 5.
- ⑤ SAWCUT EXISTING SIDEWALK AND ASPHALT TO NEAREST JOINT AND REMOVE AND REPLACE AS NEEDED PER SANDY CITY STANDARDS AND SPECIFICATIONS. MATCH EXISTING.

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| REFERENCE DRAWINGS | | WORK ORDERS | | REVISIONS | | | | ENGINEERING RECORD | | | | | | |
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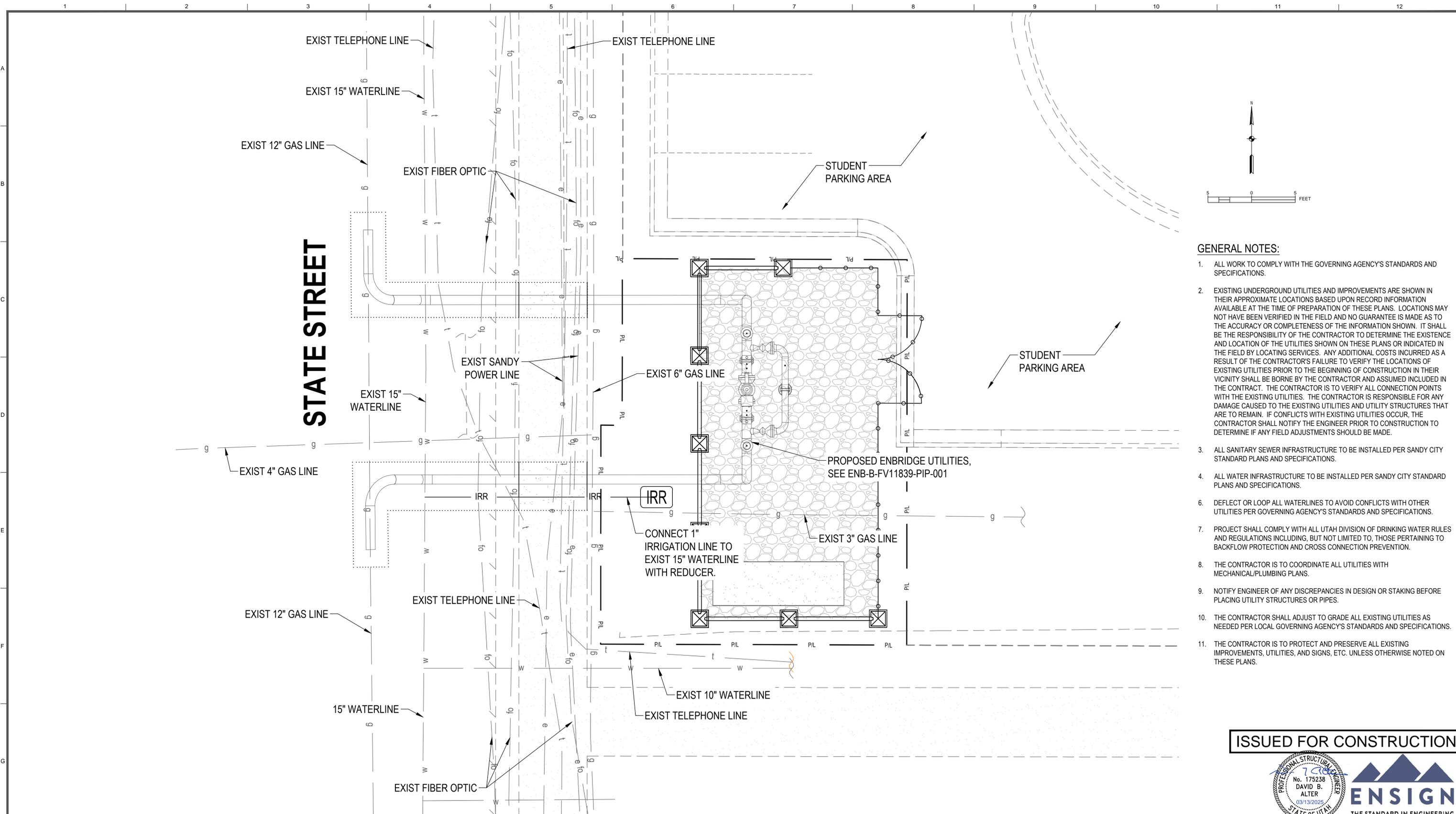
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| SECTION: 07 | | T3S | | R 1E | |
| ELEVATION: 4477' | | | | | |
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| LINE NUMBER: | | FL007 | |
| FACILITY: | | 12" BLOCK VALVE ASSEMBLY | |
| TITLE: | | LINE BREAK VALVE FV 11839 | |
| DESCRIPTION: | | SITE PLAN | |
| ADDRESS: | | 9725 STATE STREET | |
| CITY | COUNTY | STATE | |
| SANDY | SALT LAKE | UTAH | |
| DRAWING NUMBER | | SHEET | REVISION |
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ENBRIDGE GAS_ANS1.D



GENERAL NOTES:

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER SANDY CITY STANDARD PLANS AND SPECIFICATIONS.
- ALL WATER INFRASTRUCTURE TO BE INSTALLED PER SANDY CITY STANDARD PLANS AND SPECIFICATIONS.
- DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
- THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

ISSUED FOR CONSTRUCTION



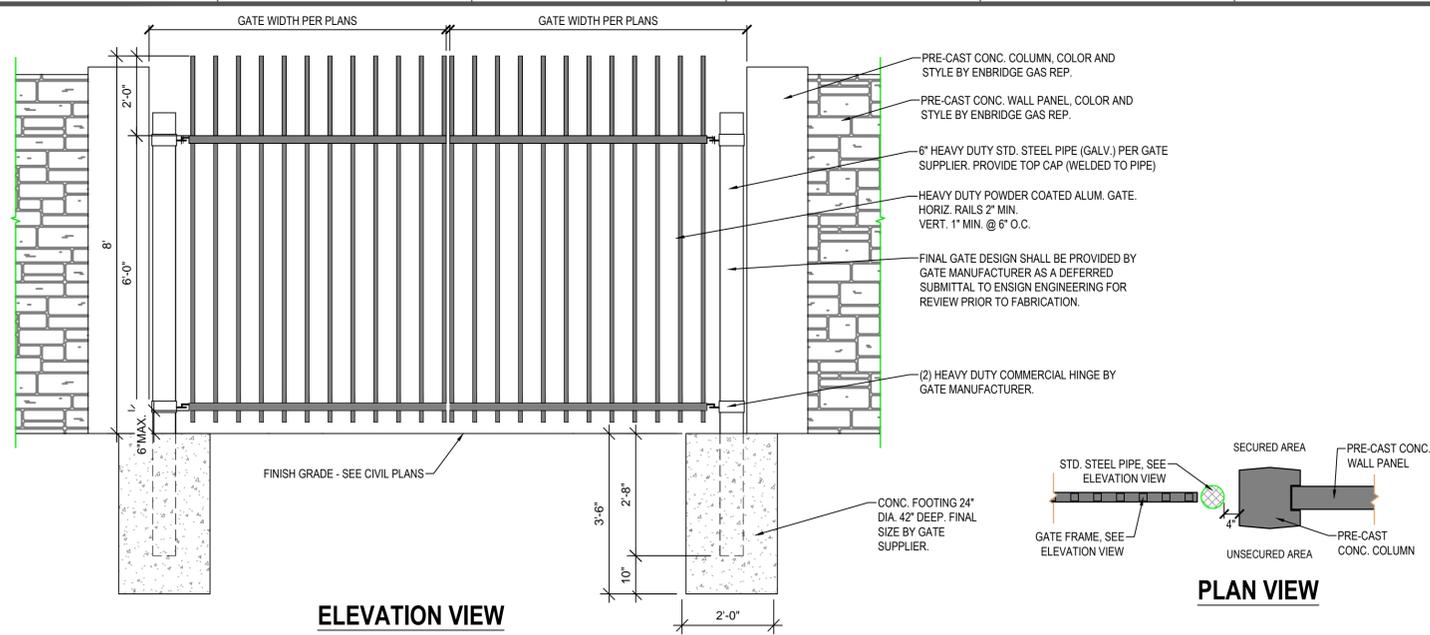
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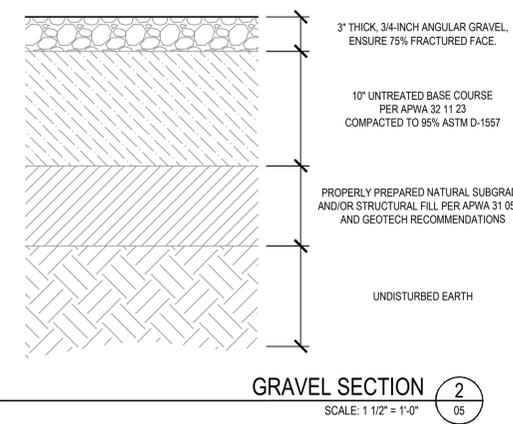
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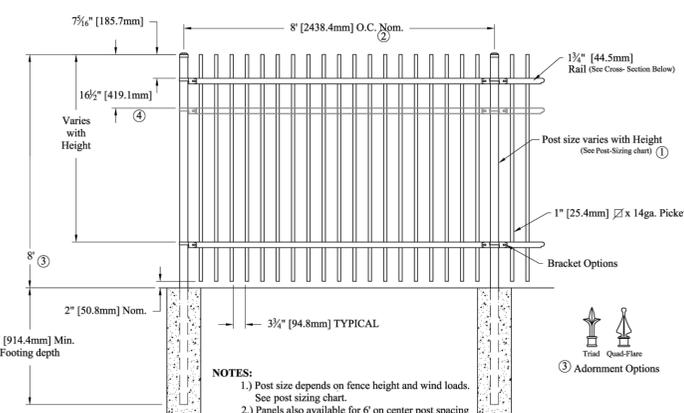
ELEVATION VIEW

PLAN VIEW

DOUBLE SWING GATE DETAIL 1/05

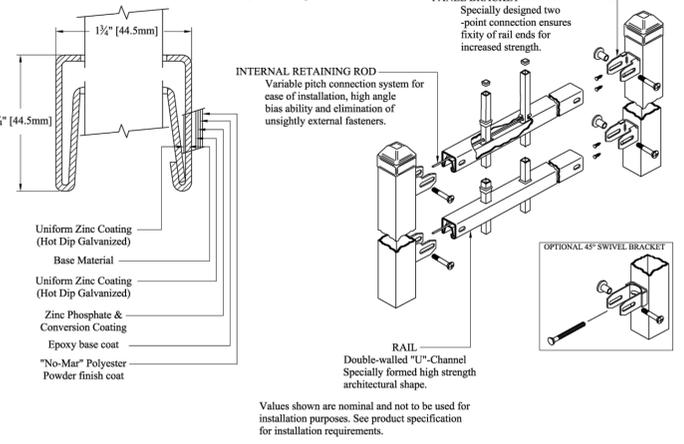


GRAVEL SECTION 2/05
SCALE: 1 1/2\"/>

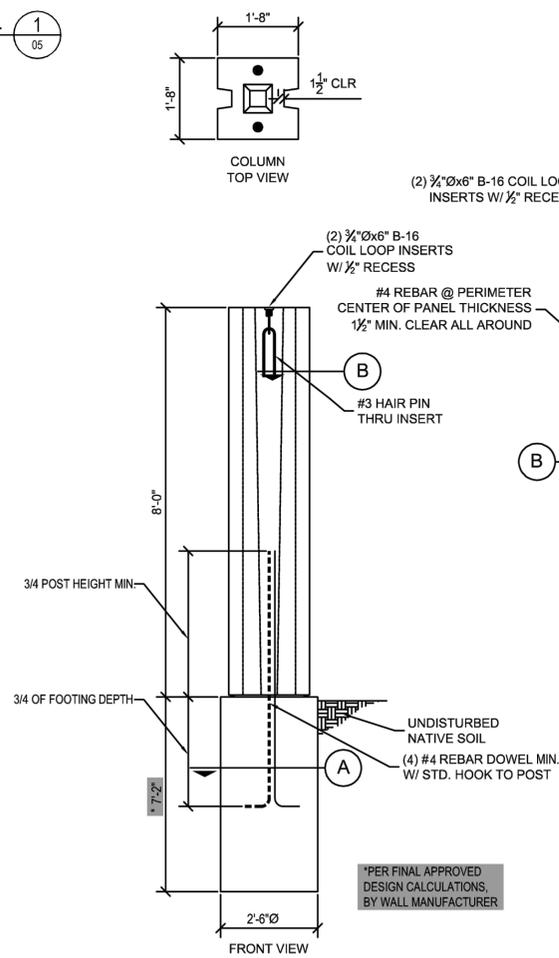


NOTES:

1. Post size depends on fence height and wind loads. See post sizing chart.
2. Panels also available for 6' on center post spacing.
3. Additional heights available on request. Post height will change with Adornment installation.
4. Third rail optional.

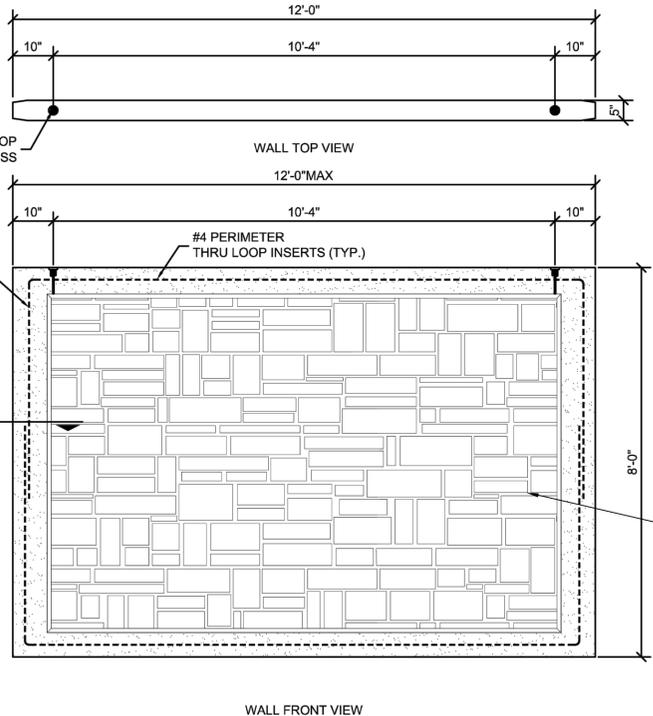


WROUGHT IRON FENCE 3/05



COLUMN TOP VIEW

FRONT VIEW

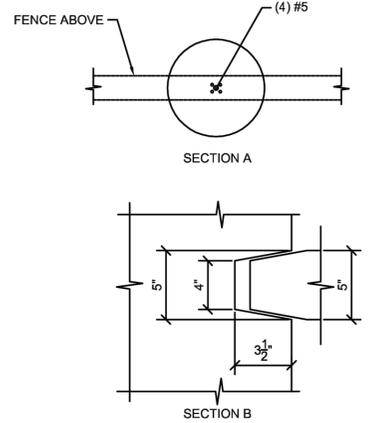


WALL TOP VIEW

WALL FRONT VIEW

NOTES:

1. POST AND PANEL CONCRETE TO BE 5000 PSI.
2. FOOTING CONCRETE TO BE 3000 PSI.
3. MINIMUM SOIL LATERAL BEARING ALLOWABLE: 150 PSF/FT. OF DEPTH BELOW GRADE.
4. MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2000 PSF.
5. DIMENSIONS MAY BE REDUCED TO FIT PROJECT REQUIREMENTS.
6. GROUT BETWEEN POST AND FOOTING TO BE 2500 PSI.
7. CONTRACTOR SHALL SUBMIT PRE-CAST WALL DESIGN CALCULATIONS AND SHOP DRAWINGS FOR REVIEW BY ENSIGN PRIOR TO INSTALLATION.
8. FENCE AND FOUNDATIONS TO BE DESIGNED FOR 2'-0\"/>



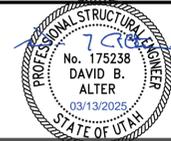
SECTION A

SECTION B

AFTER INSTALLATION, PROVIDE ANTI-GRAFFITI COATING TO WALL SURFACES

PRE-CAST CONCRETE WALL 4/05

ISSUED FOR CONSTRUCTION



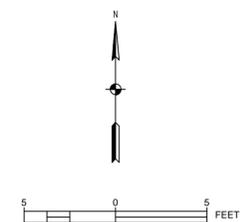
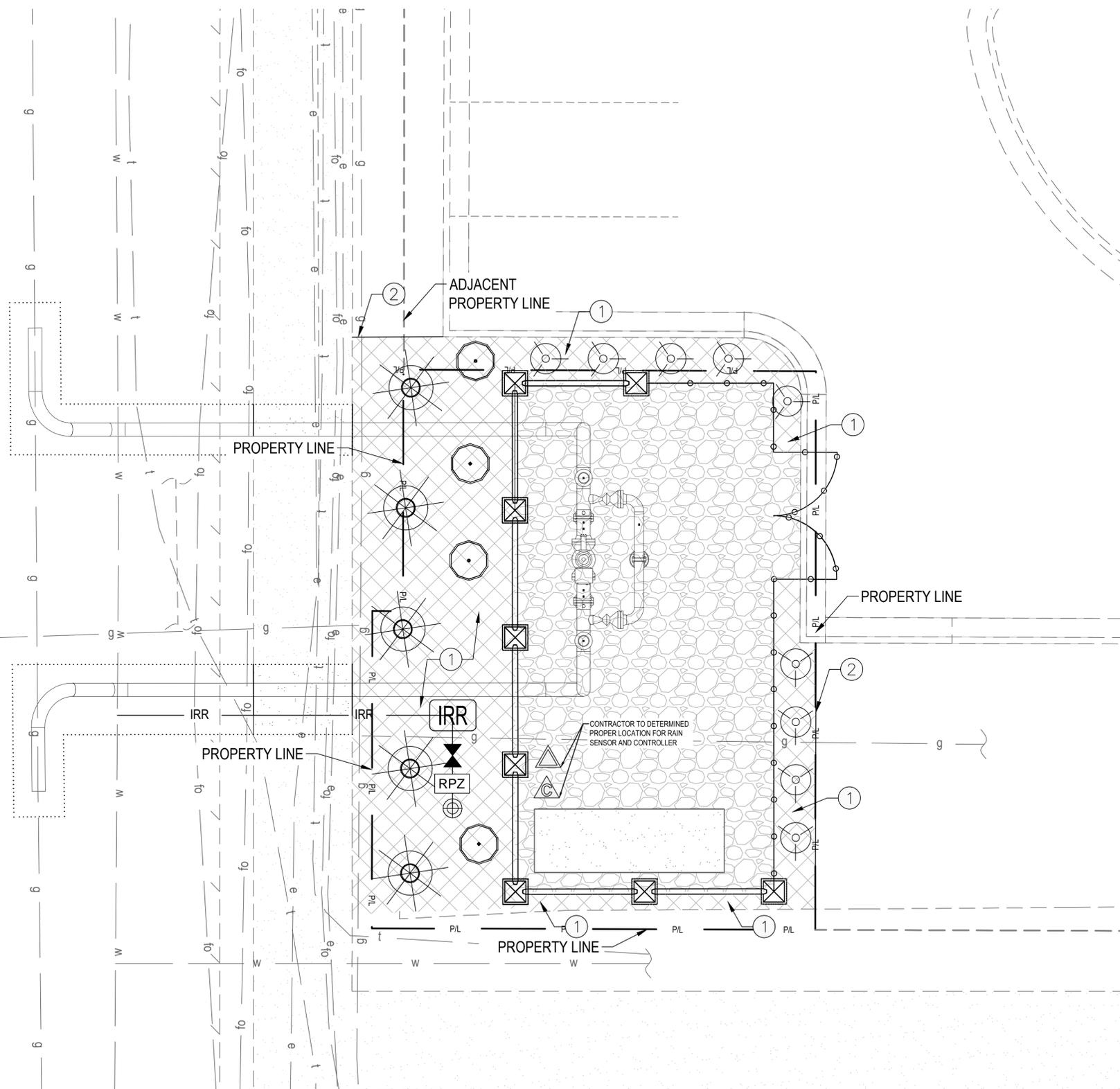
| REFERENCE DRAWINGS | | | WORK ORDERS | | REVISIONS | | | | ENGINEERING RECORD | | | | |
|--------------------|-----|---------------------|-------------|---------------------------------|-----------|-------------------------|------------|-----|--------------------|-----------|-------|-------------|-------|
| DRAWING NUMBER | REV | DRAWING DESCRIPTION | WO NUMBER | DESCRIPTION | NO | DESCRIPTION | DATE | BY | CHECK | DRAWN BY: | ENGIN | CHECKED BY: | ENGIN |
| | | | 98428.23 | INSTALL NEW BLOCK VALVE FV11839 | 0 | ISSUED FOR CONSTRUCTION | 03/13/2025 | JOL | ERB | ENGIN | ENGIN | ERIC BUSH | ENGIN |

| | | | | | | | | | |
|------------------|--|------------------------------|--|----------------|--|------------------|--|------------|--|
| ENBRIDGE | | SECTION: 07 T3S R 1E | | CITY SANDY | | COUNTY SALT LAKE | | STATE UTAH | |
| ELEVATION: 4477' | | LAT: 40.5751 LONG: -111.8904 | | DRAWING NUMBER | | SHEET | | REVISION | |
| SCALE: AS SHOWN | | ENB-B-FV11839-CCS-001 | | 06 OF 08 | | 0 | | | |

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ENBRIDGE GAS_ANS1D

STATE STREET



Landscape Shrubs

| Qty | Symbol | Common Name | Botanical Name | Plant Size |
|-----|--------|---------------------------|---------------------------------------|------------|
| 9 | ☉ | Barberry, 'Crimson Pygmy' | Berberis thunbergii atropurpurea nana | 5 Gallon |
| 4 | ☉ | Barberry, 'Crimson Pygmy' | Berberis thunbergii atropurpurea nana | 5 Gallon |
| 5 | ☉ | Pine, Mugo | Pinus mugo 'Compacta' | 5 Gallon |

- ① In all planter bed areas, install 4" deep 2'-3" dia. Nephi Rock & Gravel color 'Southtown' or equiv. decorative rock over weed barrier, typ.
 - ② Install 4" metal edging.
- Total Landscape Area = 767 sq. ft.
Vegetative Coverage Area Required = 253 sq. ft. (33%)
- Vegetative Coverage Calculations
Ice Plant Coverage = 9 x 7 sq. ft. = 63 sq. ft.
Barberry Vegetative Coverage = 3 x 13 sq. ft. = 52 sq. ft.
Creeping Juniper Coverage = 4 x 28 sq. ft. = 140 sq. ft.
Total Vegetative Coverage Provided = 255 sq. ft. (33%)

Irrigation

| Qty | Symbol | Description |
|-----|--------|--|
| 1 | ☉ | Rain Bird X CZ-100 COM |
| | — | Mainline - 1" Schedule 40 PVC |
| 1 | ☉ | 1" inch meter |
| 1 | ☉ | Rain Bird RSD-BEx Rain Sensor |
| 1 | ☉ | Rain Bird ESP-LX Plus Controller |
| 1 | ☉ | Mueller 3/4" Brass Stop and Waste |
| 1 | ☉ | RPZ Backflow Prevention Device |
| | ☉ | Rain Bird XBS Black Stripe Tubing with Rain Bird XB-10 Emitters* |

*Install 2 emitters per shrub, 4 emitters per tree

** NOTES **
THIS IRRIGATION SYSTEM WAS DESIGNED AT AN 60 (WORKING) PSI AT THE POINT OF CONNECTION. IF THESE MINIMUM REQUIREMENTS CAN NOT BE MET, PLEASE CONTACT THE DESIGNER. THIS PLAN WAS DRAWN FOR GRAPHIC CLARITY ONLY. PLEASE PLACE ALL MAINLINE AND LATERAL LINES IN ADJACENT LANDSCAPE AREAS. SOME FIELD MODIFICATIONS MAY BE NEEDED TO AVOID ON SITE OBSTRUCTIONS.

COORDINATE IRRIGATION CONTROLLER WITH OWNERS'S FACILITY OPERATION DEPARTMENT.

ISSUED FOR CONSTRUCTION



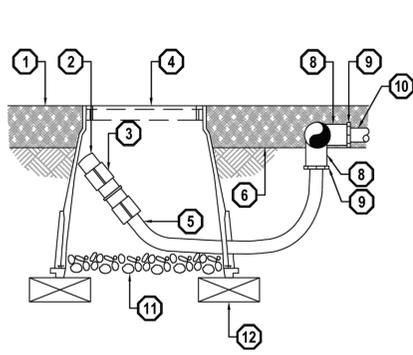
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|--------------------|-----|---------------------|-------------|---------------------------------|-----------|-------------------------|------------|-----|--------------------|-----------|-------------|-----------|------------|--------------|
| DRAWING NUMBER | REV | DRAWING DESCRIPTION | WO NUMBER | DESCRIPTION | NO | DESCRIPTION | DATE | BY | CHECK | DRAWN BY: | CHECKED BY: | SURVEYOR: | ENGR MNGR: | CONSTR MNGR: |
| | | | 98428.23 | INSTALL NEW BLOCK VALVE FV11839 | 0 | ISSUED FOR CONSTRUCTION | 03/13/2025 | JOL | ERB | ENBRIDGE | ERIC BUSH | D. ALTER | S. MCGEE | S. PALMER |



| | | |
|--------------------------------------|------------------|----------------|
| LINE NUMBER: FL007 | | |
| FACILITY: 12" BLOCK VALVE ASSEMBLY | | |
| TITLE: LINE BREAK VALVE FV 11839 | | |
| DESCRIPTION: LANDSCAPE PLAN | | |
| ADDRESS: 9725 STATE STREET | | |
| CITY SANDY | COUNTY SALT LAKE | STATE UTAH |
| DRAWING NUMBER ENB-B-FV11839-CCS-001 | | SHEET 07 OF 08 |
| SECTION: 07 T3S R 1E | | REVISION 0 |
| ELEVATION: 4477' | | |
| LAT: 40.5751 LONG: -111.8904 | | |
| SCALE: AS SHOWN | | |

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ENBRIDGE GAS-ANS1.D

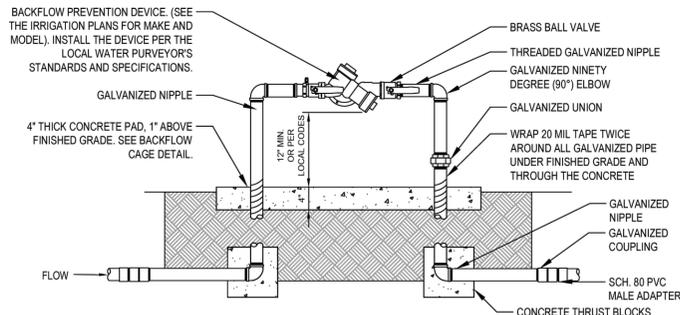


NOTE: ALLOW A MINIMUM OF 6-INCHES OF DRIPLINE TUBING IN VALVE BOX IN ORDER TO DIRECT FLUSHED WATER OUTSIDE VALVE BOX.

10 ON-SURFACE DRIPLINE FLUSH POINT DETAIL

SCALE: NONE

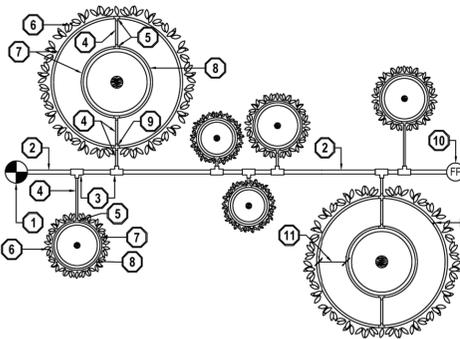
- 1 MULCH
- 2 FLUSH CAP FOR EASY FIT COMPRESSION FITTINGS: POTABLE: RAIN BIRD MDCFCAP
- 3 EASY FIT COUPLING: RAIN BIRD MDCFCOUP
- 4 SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
- 5 1/2" POLYETHYLENE TUBING: RAIN BIRD XF BLANK TUBING
- 6 FINISH GRADE
- 7 PVC EXHAUST HEADER
- 8 PVC SCH 40 TEE OR EL
- 9 BARB X MALE FITTING: RAIN BIRD XFF-MA FITTING (TYPICAL)
- 10 ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFCV DRIPLINE
- 11 3-INCH MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- 12 BRICK (1 OF 2)



NOTE:
 1- ALL ASSEMBLY PARTS (THREADED NIPPLES, FITTINGS, ETC.) SHALL BE GALVANIZED OR BRASS PER LOCAL CODES AND REQUIREMENTS.
 2- GALVANIZED NIPPLE SHALL EXTEND 12" PAST THE EDGE OF THE CONCRETE FOOTING.
 3- SCH. 80 PVC MALE ADAPTER SHALL BE USED IN CONNECTION FROM GALVANIZED TO THE MAINLINE.
 4- BACKFLOW PREVENTION DEVICE SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THE LANDSCAPE METER.
 5- BACKFLOW PREVENTION DEVICE SHALL BE LOCATED IN PLANTING AREA UNLESS APPROVED BY OWNER'S REPRESENTATIVE.
 6- SEE DETAIL FOR BACKFLOW CAGE INSTALLATION.
 7- ALL BACKFLOW PREVENTION DEVICES SHALL HAVE FREEZE BLANKET INCLUDED UPON INSTALLATION.
 8- ALL GALVANIZED CONNECTIONS SHALL TO BE MADE USING PIPE THREAD SEALANT. ALL SCH. 80 PVC TO GALVANIZED CONNECTIONS TO BE MADE USING TEFLON TAPE.

7 BACKFLOW PREVENTER

SCALE: NONE

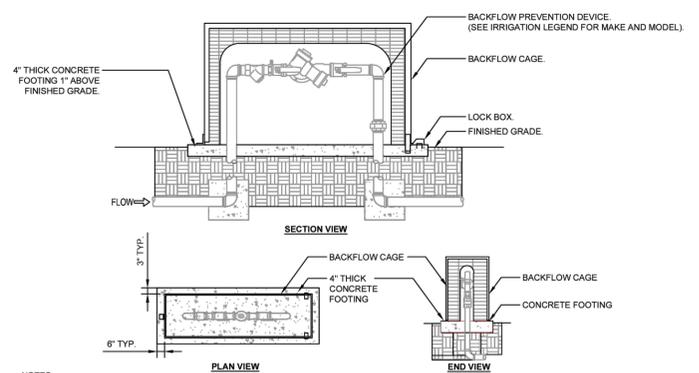


NOTES:
 1. INSTALL MULTIPLE RINGS AS REQUIRED TO PROVIDE IRRIGATION COVERAGE FROM ROOT BALL TO PROJECTED TREE CANOPY. REFER TO RAIN BIRD DESIGN GUIDELINES AND SPECIFICATIONS FOR RECOMMENDED SPACING BETWEEN RINGS.
 2. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 3. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

4 ON-SURFACE DRIPLINE TREE/SHRUB DETAIL

SCALE: NONE

- 1 RAIN BIRD CONTROL ZONE KIT (SIZED TO ACCOMMODATE LATERAL FLOW DEMAND)
- 2 PVC DRIPLINE MANIFOLD PIPE
- 3 PVC SCH 40 TEE OR EL (TYPICAL)
- 4 1/2" POLYETHYLENE TUBING: RAIN BIRD XF SERIES BLANK TUBING (TYPICAL)
- 5 BARB X BARB INSERT TEE: RAIN BIRD XFF-TEE (TYPICAL)
- 6 PROJECTED CANOPY LINE OF TREE OR SHRUB (TYPICAL)
- 7 ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFCV SERIES PLACE AS SHOWN (LENGTH AS REQUIRED, TYPICAL)
- 8 ROOT BALL (TYPICAL)
- 9 BARB X BARB INSERT CROSS: RAIN BIRD XFD-CROSS (TYPICAL)
- 10 DRIPLINE FLUSH POINT (SEE RAIN BIRD DETAIL: XFCV DRIPLINE FLUSH POINT WITH BALL VALVE)
- 11 SPACING PER SPECIFICATION
- 12 TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (QUANTITY AS REQUIRED, SEE NOTES 2-3)

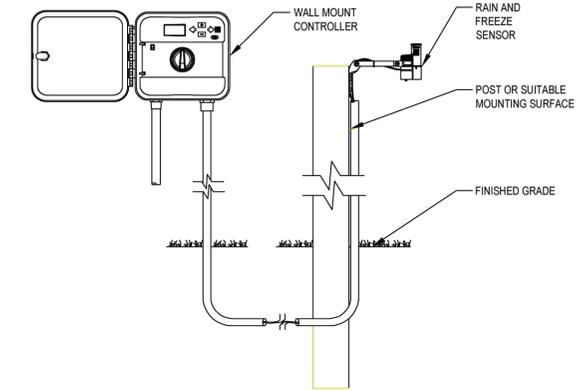


NOTES:
 1- INSTALL BACKFLOW CAGE PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
 2- SEE BACKFLOW PREVENTION DEVICE DETAIL FOR REFERENCE.
 3- LOCK BOX SHALL BE LOCATED ABOVE CONCRETE FOOTING.
 3- CONTRACTOR SHALL PROVIDE A LOCK AS APPROVED BY THE OWNER'S REPRESENTATIVE.

1 BACKFLOW CAGE

SCALE: NONE

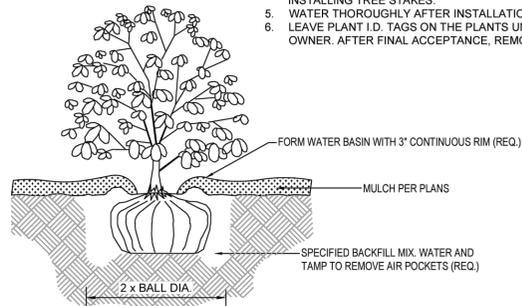
- 1 FINISH GRADE/TOP OF MULCH
- 2 VALVE BOX WITH COVER: RAIN BIRD VB-STD
- 3 30-INCH LINEAR LENGTH OF WIRE, COILED
- 4 WATERPROOF CONNECTION: RAIN BIRD DB SERIES
- 5 1-INCH BALL VALVE (INCLUDED IN XCZ-PRB-100-COM KIT)
- 6 ID TAG
- 7 REMOTE CONTROL VALVE: RAIN BIRD PESB (INCLUDED IN XCZ-PRB-100-COM KIT)
- 8 PRESSURE REGULATING QUICK CHECK BASKET FILTER: RAIN BIRD PRB-QKCHK-100 (INCLUDED IN XCZ-PRB-100-COM KIT)
- 9 PVC SCH 40 FEMALE ADAPTOR
- 10 LATERAL PIPE
- 11 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 12 PVC SCH 40 ELL
- 13 PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- 14 PVC SCH 40 TEE OR ELL
- 15 MAINLINE PIPE
- 16 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 17 PVC SCH 80 NIPPLE, CLOSE (INCLUDED IN XCZ-PRB-100-COM KIT)



11 RAIN AND FREEZE SENSOR WITH CONTROLLER

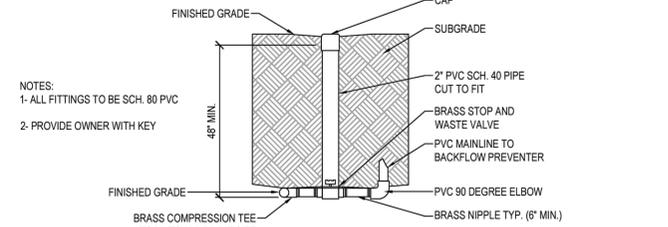
SCALE: NONE

NOTES:
 1. IF PLANT IS BALL AND BURLAP, CUT AND REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
 2. IF PLANT IS CONTAINERIZED, SCARIFY ROOT BALL PRIOR TO PLANTING.
 3. BACKFILL MIX: 1/2 SANDY LOAM + 1/4 ORGANIC MULCH + 1/4 NATIVE SOILS IF NATIVE SOILS ARE SUITABLE.
 4. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
 5. WATER THOROUGHLY AFTER INSTALLATION.
 6. LEAVE PLANT I.D. TAGS ON THE PLANTS UNTIL ACCEPTANCE BY THE OWNER. AFTER FINAL ACCEPTANCE, REMOVE I.D. TAGS.



8 SHRUB PLANTING

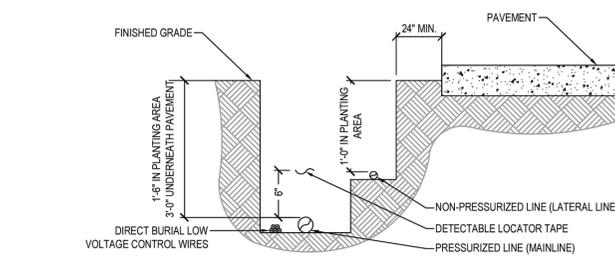
SCALE: NONE



9 STOP AND WASTE VALVE ASSEMBLY

SCALE: NONE

NOTES:
 1- ALL FITTINGS TO BE SCH. 80 PVC
 2- PROVIDE OWNER WITH KEY



NOTES:
 1- SEE IRRIGATION LEGEND FOR MAINLINE AND LATERAL LINE PIPE SIZE AND TYPE.
 2- DIRECT BURIAL CONTROL WIRES SHALL BE INSTALLED IN SCH. 40 PVC ELECTRICAL CONDUIT IF REQUIRED.
 3- 2-WIRE IRRIGATION WIRE SHALL BE INSTALLED IN SCH. 40 PVC ELECTRICAL CONDUIT.
 4- DETECTABLE LOCATOR TAPE SHALL BE LOCATED SIX INCHES (6") ABOVE THE ENTIRE MAINLINE RUN.

5 IRRIGATION TRENCHING

SCALE: NONE

- 1 TWO-WIRE CONTROLLER: RAIN BIRD ESP-LXVM/PRO WITH LXMM METAL CABINET RECOMMENDATIONS.
- 2 CONCRETE PAD 6-INCH MINIMUM THICKNESS, 6-INCHES LARGER ON ALL SIDES THAN PEDESTAL FOOTPRINT.
- 3 FINISH GRADE
- 4 POWER SUPPLY WIRE
- 5 1-INCH SCH 40 PVC CONDUIT, FITTINGS AND SWEEP ELL FOR POWER SUPPLY
- 6 2-INCH SCH 40 PVC CONDUIT, FITTINGS AND SWEEP ELL FOR TWO-WIRE CABLE
- 7 MAXICABLE TWO-WIRE PATH TO FIELD DEVICES. USE DIFFERENT CABLE JACKET COLOR FOR EACH PATH.
- 8 COMPACTED SUBGRADE
- 9 1-INCH SCH 40 PVC CONDUIT, FITTINGS AND SWEEP ELL FOR GROUND.

NOTES:
 1. ESP-LXVM CONTROLLER IS AVAILABLE IN TWO MODELS, THE LXVM WITH 60 STATIONS AND THE LXVM-PRO WITH 240 STATIONS. REFER TO THE CHART ON THE RIGHT FOR DIFFERENCES BETWEEN THE TWO MODELS.
 2. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.

| FEATURE | LX-VM | LX-VM PRO |
|-----------------|-------|-----------|
| MAX PROGRAMS | 10 | 80 |
| MAX STATIONS | 60 | 240 |
| MAX SIMULATIONS | 5 | 15 |
| MASTER VALVES | 5 | 5 |
| FLOW SENSORS | 5 | 4 |
| WEATHER SENSORS | 5 | 8 |

6 IRRIGATION CONTROLLER

SCALE: NONE

2 DRIP CONTROL ZONE KIT

SCALE: NONE

- 1 FINISH GRADE
- 2 SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
- 3 1/2" AIR RELIEF VALVE: RAIN BIRD ARV050 TO BE INSTALLED AT HIGH POINTS IN DRIP ZONE
- 4 PVC SCH 40 FEMALE ADAPTER
- 5 PVC SCH 80 RISER
- 6 BRICK (1 OF 2)
- 7 PVC HEADER PIPE
- 8 PVC SCH 40 TEE
- 9 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL

3 AIR RELIEF VALVE DETAIL

ISSUED FOR CONSTRUCTION



| REFERENCE DRAWINGS | | | WORK ORDERS | | REVISIONS | | | | ENGINEERING RECORD | | | LINE NUMBER: | | |
|--------------------|-----|---------------------|-------------|---------------------------------|-----------|-------------------------|------------|-----|--------------------|------------------------------|-------|--------------|-------|--|
| DRAWING NUMBER | REV | DRAWING DESCRIPTION | WO NUMBER | DESCRIPTION | NO | DESCRIPTION | DATE | BY | CHECK | DRAWN BY: | CITY | COUNTY | STATE | |
| | | | 98428.23 | INSTALL NEW BLOCK VALVE FV11839 | 0 | ISSUED FOR CONSTRUCTION | 03/13/2025 | JOL | ERB | ENBRIDGE | SANDY | SALT LAKE | UTAH | |
| | | | | | | | | | | FL007 | | | | |
| | | | | | | | | | | 12" BLOCK VALVE ASSEMBLY | | | | |
| | | | | | | | | | | LINE BREAK VALVE FV 11839 | | | | |
| | | | | | | | | | | LANDSCAPE DETAILS | | | | |
| | | | | | | | | | | 9725 STATE STREET | | | | |
| | | | | | | | | | | DRAWING NUMBER | | | | |
| | | | | | | | | | | ENB-B-FV11839-CCS-001 | | | | |
| | | | | | | | | | | SECTION: 07 T3S R 1E | | | | |
| | | | | | | | | | | ELEVATION: 4477' | | | | |
| | | | | | | | | | | LAT: 40.5751 LONG: -111.8904 | | | | |
| | | | | | | | | | | SCALE: AS SHOWN | | | | |
| | | | | | | | | | | SHEET | | | | |
| | | | | | | | | | | 08 OF 08 | | | | |
| | | | | | | | | | | REVISION | | | | |
| | | | | | | | | | | 0 | | | | |

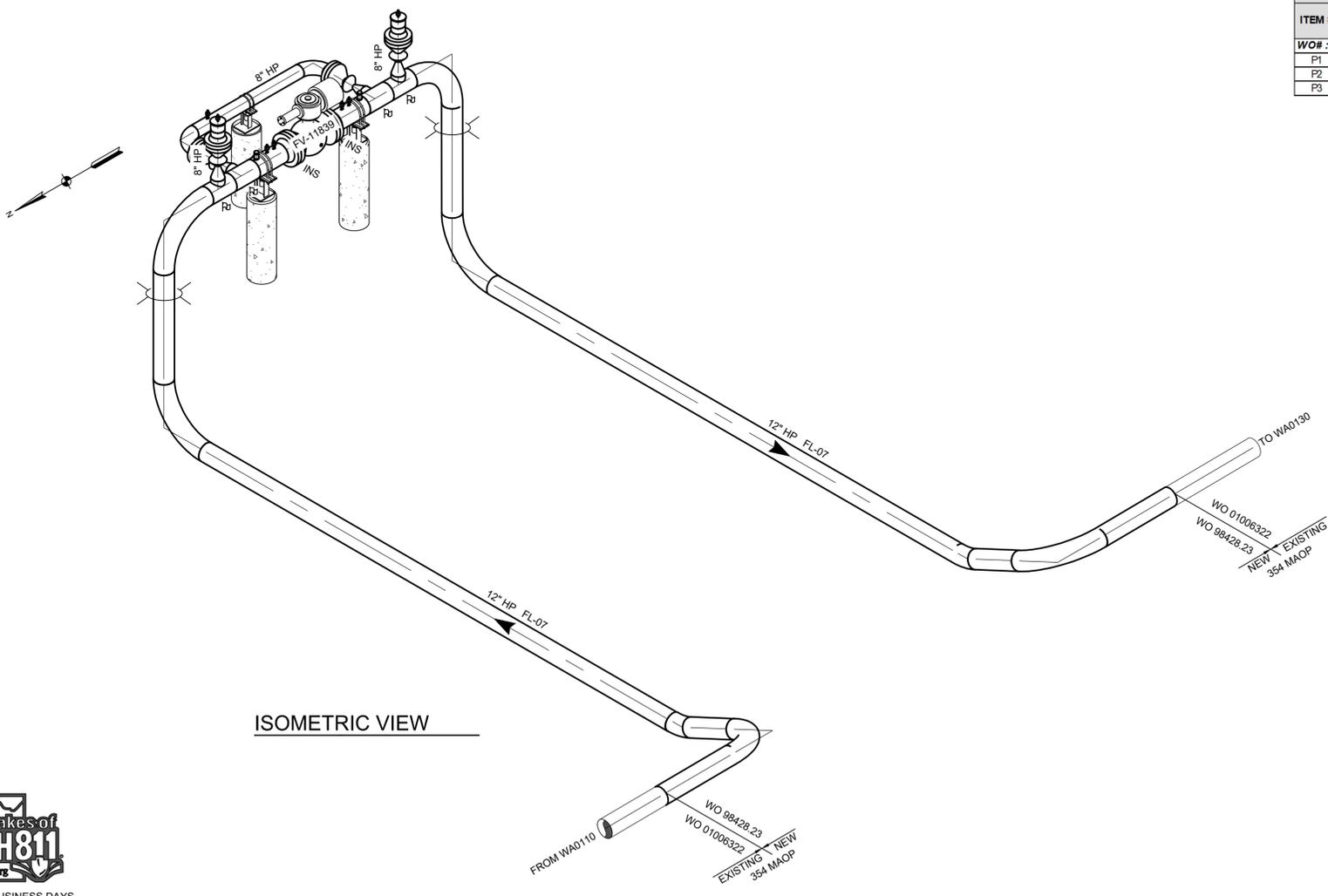
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ENBRIDGE GAS-ANSI-D



VICINITY MAP

| PROJECT CONTACTS | | |
|--|-----------------------|----------------|
| PROJECT MANAGER: | CHAD LAIHO | (906) 251-0259 |
| PROJECT ENGINEER: | CHAD LAIHO | (906) 251-0259 |
| CATHODIC PROTECTION: | KELLY FACER | (385) 530-7616 |
| MEASUREMENT & CONTROLS: | JACE ANDERSON | (801) 243-8302 |
| HP SURVEYOR: | ENOCH CLEMENCE | (801) 793-7950 |
| LEAD INSPECTOR: | TBD | |
| IHP SUPERVISOR: | N/A | |
| RIGHT OF WAY AGENT: | | |
| ACCOUNT MANAGEMENT / BUSINESS DEVELOPMENT: | N/A | |
| ENVIRONMENTAL COMPLIANCE: | BRIAN NOSICH | (307) 371-9321 |
| SAFETY: | CARRIE CHRISTOFFERSON | (801) 324-3712 |



ISOMETRIC VIEW

- NOTES**
(ALL NOTES MAY OR MAY NOT PERTAIN TO THIS DRAWING)
- BOLD LINES AND/OR CLOUDS REPRESENT NEW PIPING.
 - Ⓜ IDENTIFIES GUIDE BARRED TEES.
 - ANY MATERIAL SUBSTITUTION OR FIELD DESIGN CHANGES REQUIRE ENGINEERING APPROVAL.
 - SEE SPECIFICATION 9-00-01 FOR MATERIAL NOTE NUMBERS LISTED.
 - LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
 - CORROSION CONTROL: BURIED FABRICATION PIPING SHALL BE CLEANED AND COATED PER SP 2-13-10. THE RECOMMENDED FIELD APPLIED COATING FOR BURIED FBE PIPING IS 2-PART EPOXY AND FOR BURIED ARO PIPING POWERCRETE J APPLIED COATING. COATING TRANSITIONS ARE TO BE APPLIED PER ENB-TYP-GEN-PIP-001. SOIL TO AIR INTERFACES (TRANSITIONS FROM BELOW TO ABOVE GROUND) REQUIRE AN OVERCOAT OF TRENTON WAX TAPE NUMBER 2 APPLIED PER SP 2-13-11. ALL BURIED PIPING TO BE CATHODICALLY PROTECTED WITHIN ONE YEAR OF INSTALLATION. ABOVE GROUND PIPING IS TO BE COATED PER SP 2-13-11. CONSULT CORROSION ENGINEERING FOR PIPELINE COATING EQUIVALENTS.
 - FIELD VERIFY WALL THICKNESS AT ALL TIE-IN LOCATIONS.
 - ALL VALVES MUST HAVE APPROPRIATE LOCKING DEVICES.
 - BALL VALVES - REMOVE ALL MANUFACTURER VENT PLUGS AND REPLACE WITH SMALL BALL VALVES.
 - ALL CHECK VALVES TO BE VENTED.
 - INSULATE GAUGE AND CONTROL LINES, RELIEF STACK, SUPPORT BRACKETS, ETC.
 - ENSURE INSULATION POINTS ARE NOT SHORTED /BYPASSED THROUGH FUEL GAS PIPING, ELECTRICAL CONDUIT, ETC. THAT ARE ATTACHED TO THE PIPE SUPPORTS.
 - ALL PIPE SHALL HAVE MILL TEST REPORTS (MTR'S) AS DEFINED WITHIN STANDARD PRACTICE 3-95-01.
 - THE FORMULA USED TO CALCULATE THE MAWP FOR ALL STEEL PIPE AND NON-RATED FITTINGS IS $P=(2St/D) \times F \times E \times T$, WHERE F=0.5 FOR A CLASS 3 LOCATION, E=1, AND T=1.
 - 2" IN SERVICE FILLET WELDS SHALL RECEIVE 100% NDE.
 - PIPE IS DESIGNED TO WITHSTAND ANTICIPATED EXTERNAL PRESSURES AND LOADS FOLLOWING SP 1-01-02.



CALL THREE BUSINESS DAYS BEFORE YOU DIG TO HAVE UTILITIES LOCATED 811 OR 1-800-862-4111

| MATERIAL LIST | | | | | | |
|-----------------------|-----|--------|---|--------------|-------------------|----------|
| NOTE 3 | | | | | | |
| ITEM # | QTY | SIZE | DESCRIPTION | MAWP NOTE 14 | MATL NOTES NOTE 4 | WH # |
| WO# : 98428.23 | | | | | | |
| 1 | 40 | 12" | BOLT, STUD, 1-1/4 x 9 1/4" LG, ASTM A193 GR-B7, W2 HEX NUTS, 1-1/4, ASTM A194 GR-2H | N/A | 7 | Q3481040 |
| 2 | 2 | 12" | ELL, CS, 45 DEG 3R, BW, 12.750 OD 0.375 WT, Y-65 SEGMENTABLE, ASTM A694, MSS SP75 | 1911 | 3 | 42337597 |
| 3 | 6 | 12" | ELL, CS, 90 DEG 3R, BW, 12.750 OD 0.375 WT, Y-65 SEGMENTABLE, ASTM A694, MSS SP75 | 1911 | 3 | SO |
| 4 | 2 | 12" | FLANGE, RFWN, CL600, 12 NPS, 0.375 WT, F-65, ASTM A694, MSS SP44 | 1480 | 6 | 42217743 |
| 5 | 2 | 12" | GASKET, INSULATING, CL600, RF, 12 NPS, GEORG FISCHER TYP F, PHENOLIC GASKET, MINLON SLEEVE, 1 PHENOLIC WASHER PER BOLT (675 FT LBS) | 1480 | 10 | Q4442061 |
| 6 | 4 | 12"x8" | TEE, CS, RDCD, BW, BARRED, 12.750 OD 0.375 WT x 8.625 OD 0.322 WT, Y-65, ASTM A694, MSS SP75 | 1911 | 3 | 42505253 |
| 7 | 1 | 12" | VALVE, CS, BALL, CL600, 12 NPS, FULL PORT, RF x RF, CAMERON, FIG 800601-2-1, API 6D | 1480 | 1 | Q2705121 |
| 8 | 48 | 8" | BOLT, STUD, 1-1/8 x 7 1/2" LG, ASTM A193 GR-B7, W2 HEX NUTS, 1-1/8, ASTM A194 GR-2H | N/A | 7 | Q3400336 |
| 9 | 2 | 8" | CAP, CS, BLANKING, BW, CL600, 8 NPS, 0.322 WT, HUBER-YALE W/FACTORY BLEED FLUG & 1/2" TAP | 1480 | 16 | Q1188006 |
| 10 | 2 | 8" | ELL, CS, 90 DEG LR, BW, 8.625 OD 0.322 WT, Y-52, ASTM A694, MSS SP75 | 1941 | 3 | Q1758005 |
| 11 | 4 | 8" | FLANGE, RFWN, CL600, 8 NPS, 0.322 WT, F-52, ASTM A694, MSS SP44 | 1480 | 6 | Q1808025 |
| 12 | 4 | 8" | GASKET, 8" ND, 600 LB, GARLOCK 9900 (614 FT LBS) | 1333 | 9 | Q1908006 |
| 13 | 4 | 8" | VALVE, CS, PLUG, CL600, 8 NPS, BW x RF, NORDSTROM, FIG 2249 1/4 | 1480 | 1 | Q2748229 |
| 14 | 2 | 2" | PIG SIG, 3000# ENDURO, PIG POPPER, FIG 200-19-10826, 4" NIPPLE, FOR RUN SIZE 6-24 | 3000 | 4 | C5329000 |
| 15 | 1 | 1" | NIPPLE, CS, NPT x NPT, 1 NPS x 2 LG, 0.358 WT, GR-B A106 SMLS | 7692 | 19 | Q2001010 |
| 16 | 1 | 1" | PARKER BLEED PLUG, CS, 10000#, MNPT, 1", BV10N8-80 | 10000 | 17 | Q2701010 |
| 17 | 1 | 1" | VALVE, CS, BALL, 2200 CWP, 1 NPS, FNPT x FNPT, SWAGelok, S-65TF16, W/ LOCKING DEVICE | 2200 | N/A | Q2701022 |
| 18 | 7 | 1/2" | NIPPLE, CS, NPT x NPT, 1/2 NPS x 2 LG, XXH, 0.294 WT, GR-B A106 SMLS | 9875 | 19 | Q2000553 |
| 19 | 7 | 1/2" | PARKER BLEED PLUG, CS, 10000#, MNPT, 1/2", BV10N4-80 | 10000 | 17 | Q2700510 |
| 20 | 5 | 1/2" | THREAOLET, 1/2 NPS 3000# OUTLET, F-52, FOR RUN SIZES 3/4 TO 36, ASTM A694, MSS SP97 | 3000 | 4 | Q1250510 |
| 21 | 7 | 1/2" | VALVE, CS, BALL, 2200 CWP, 1/2 NPS, FNPT x FNPT, SWAGelok, S-63TF8, W/ LOCKING DEVICE | 2200 | N/A | Q2700522 |
| 22 | 1 | 8" | PIPE SUPPORT, EZ LINE, 8" DOUBLE U-BOLT, MODEL# 510-FR ("D" = 1'-6 3/8") | N/A | N/A | 42331215 |
| 23 | 2 | 12" | PIPE SUPPORT, EZ LINE, 12" DOUBLE U-BOLT, MODEL# 1218-FR ("D" = 1'-10 3/8") | N/A | N/A | 42331437 |

| PRESSURE PIPING | | | | | | |
|-----------------------|------|---|---------|--------|--------|--------|
| NOTE 6 | | | | | | |
| ITEM # | SIZE | DESCRIPTION | FOOTAGE | O.D. | SMYS | W.T. |
| WO# : 98428.23 | | | | | | |
| P1 | 12" | PIPE, CS, BARE, 12.750 OD, 0.375 WT, X65, API 5L PSL2, ERW | 5' | 12.75" | 65,000 | 0.375" |
| P2 | 12" | PIPE, CS, FBE CTG, 12.750 OD, 0.375 WT, X65, API 5L PSL2, ERW | 96' | 12.75" | 65,000 | 0.375" |
| P3 | 8" | PIPE, CS, BARE, 8.625 OD, 0.322 WT, X52, API 5L PSL2, ERW | 10' | 8.625" | 52,000 | 0.322" |

| MAOP DETERMINATION | | TEST SPECIFICATION | |
|--|---------------------------------------|---|----------------------------|
| (STANDARD PRACTICES 1-01-02, 1-90-01, 1-97-04) | | (STANDARD PRACTICE 1-90-01 FOR HP OR 3-10-04 FOR IHP) | |
| MAOP SEGMENT NAME: | 354 MAOP | TEST SPECIFICATION DESIGNATION: | TS-1 |
| PIPELINE FACILITY CLASSIFICATION: | PIPELINE | PRESSURE-TEST PRESSURES: | PSIG %SMYS |
| DESIGN CLASS LOCATION: | CLASS 3 | MINIMUM REQUIRED: | 1080 26.58% |
| MINIMUM TEST PRESSURE: | 531 | MAXIMUM (WATER): | 1200 29.54% |
| TEST FACTOR: | 1.5 | MAXIMUM (NITROGEN): | N/A N/A |
| PRESSURE LIMITS | PSIG %SMYS | MAXIMUM (ONG): | N/A N/A |
| A. PIPE = (2St/D) x F x E x T | 1911 49.98% | PRESSURE-TEST DURATIONS: | SHOP FIELD |
| | S=65000 t=0.375 D=12.75 F=0.5 E=1 T=1 | MINIMUM DURATION: | 1 HR 1 HR |
| B. FITTING = (2St/D) x F x E x T | 1911 49.98% | SMYS CALCULATION INPUTS: | S = 65000 t = 0.375 D = 12 |
| | S=65000 t=0.375 D=12.75 F=0.5 E=1 T=1 | FABRICATION SPECIFICATION (STANDARD PRACTICE 2-10-01) | |
| C. RATED ITEM | 1333 N/A | WELD REQUIREMENTS: | API 1104 |
| | GASKET | POST WELD HEAT TREATMENT: | NO |
| D. MAXIMUM DESIGN PRESSURE | 720 9.26% | WELD INSPECTION: | VISUAL NDE |
| E. REGION PRESSURE LIMITATION | 354 9.26% | GD-OM-E-010-001 | 100% 100% > 2" |
| MAOP (MIN A, B, C, D, E) | 354 9.26% | INSPECTION AND TESTING OF WELDS | 100% 100% > 2" |
| | | ALL IN-SERVICE WELDING SHALL BE COMPLETED UTILIZING LOW HYDROGEN ELECTRODES (SP 2-10-01 AND SP 2-10-02) | |

| REFERENCE DRAWINGS | | WORK ORDERS | | REVISIONS | | | | ENGINEERING RECORD | |
|-----------------------|-----|--|-----------|---|----|------------------------|-----------|--------------------|-------|
| DRAWING NUMBER | REV | DRAWING DESCRIPTION | WO NUMBER | DESCRIPTION | NO | DESCRIPTION | DATE | BY | CHECK |
| ENB-B-FV11839-PID-001 | 0 | PIPING AND INSTRUMENTATION DIAGRAM | 98428.23 | INSTALL 12" BLOCK VALVE ASSEMBLY LBV FV-11839 | 0 | ISSUE FOR CONSTRUCTION | 2/18/2025 | BJP | IAT |
| ENB-B-FV11839-CCS-001 | 0 | SITE AND GRADING PLAN | | | | | | | |
| ENB-STD-GEN-CCS-002 | 3 | STANDARD DRAWING - EZ LINE PIPE SUPPORTS | | | | | | | |

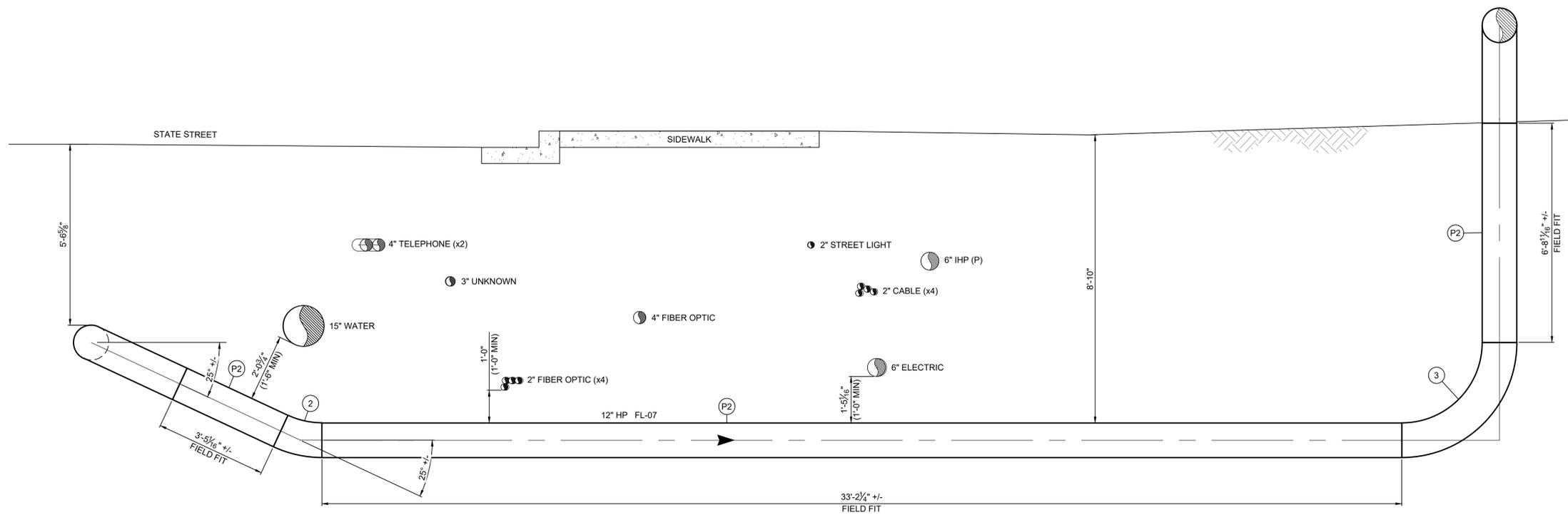
ENBRIDGE

SECTION: 7 T3S R 1E
ELEVATION: 4477'
LAT: 40.5751 LONG: -111.8904
SCALE: NONE

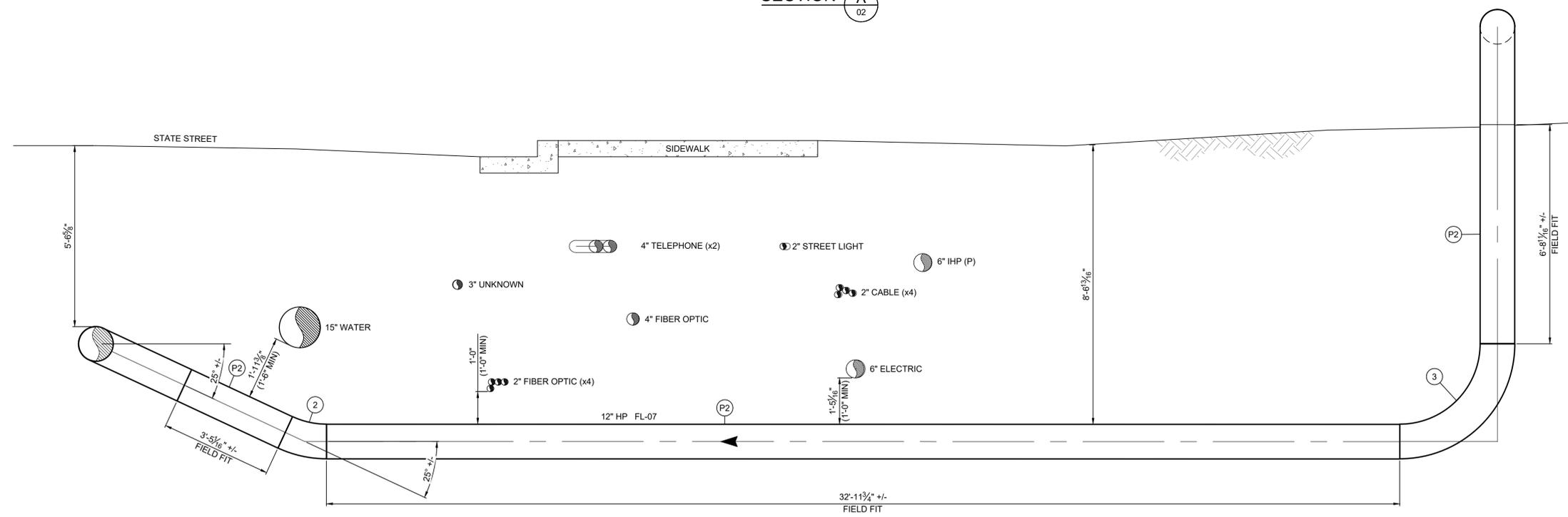
LINE NUMBER: FL-07
FACILITY: 12" BLOCK VALVE ASSEMBLY
TITLE: LINE BREAK VALVE FV-11839
DESCRIPTION: VICINITY MAP, ISOMETRIC, AND MATERIALS
ADDRESS: 9725 STATE STREET

CITY SANDY COUNTY SALT LAKE STATE UTAH

DRAWING NUMBER ENB-B-FV11839-PIP-001 SHEET 1 OF 4 REVISION 0



SECTION A
02



SECTION B
02

ISSUED FOR CONSTRUCTION

| DRAWING NUMBER | | REV | DRAWING DESCRIPTION | WO NUMBER | DESCRIPTION | NO | DESCRIPTION | DATE | BY | CHECK | ENGINEERING RECORD |
|-----------------------|--|-----|--|-----------|---|----|------------------------|-----------|-----|-------|--------------------------|
| ENB-B-FV11839-PIP-001 | | 0 | PIPING AND INSTRUMENTATION DIAGRAM | 98428.23 | INSTALL 12" BLOCK VALVE ASSEMBLY LBV FV-11839 | 0 | ISSUE FOR CONSTRUCTION | 2/18/2025 | BJP | IAT | DRAWN BY: B POWELL |
| ENB-B-FV11839-CCS-001 | | 0 | SITE AND GRADING PLAN | | | | | | | | CHECKED BY: I TORRES |
| ENB-STD-GEN-CCS-002 | | 3 | STANDARD DRAWING - EZ LINE PIPE SUPPORTS | | | | | | | | PROJECT ENGR: C LAIHO |
| | | | | | | | | | | | SURVEYOR: E CLEMENCE |
| | | | | | | | | | | | ENGR MNGR: W RADFORD |
| | | | | | | | | | | | CONSTR MNGR: D FRANCIS |
| | | | | | | | | | | | MEAS & CTRLS: D MCDONALD |
| | | | | | | | | | | | AUTOM ENGR: |

| REFERENCE DRAWINGS | WORK ORDERS | REVISIONS | ENGINEERING RECORD |
|---------------------|-------------|-------------|--------------------------|
| DRAWING NUMBER | WO NUMBER | NO | DRAWN BY: B POWELL |
| REV | DESCRIPTION | DESCRIPTION | CHECKED BY: I TORRES |
| DRAWING DESCRIPTION | | DATE | PROJECT ENGR: C LAIHO |
| | | BY | SURVEYOR: E CLEMENCE |
| | | CHECK | ENGR MNGR: W RADFORD |
| | | | CONSTR MNGR: D FRANCIS |
| | | | MEAS & CTRLS: D MCDONALD |
| | | | AUTOM ENGR: |

ENBRIDGE

SECTION: 7 T3S R 1E
 ELEVATION: 4477'
 LAT: 40.5751 LONG: -111.8904
 SCALE: 1/2" = 1'-0"

| | |
|----------------|---------------------------|
| LINE NUMBER: | FL- 07 |
| FACILITY: | 12" BLOCK VALVE ASSEMBLY |
| TITLE: | LINE BREAK VALVE FV-11839 |
| DESCRIPTION: | SECTION VIEWS |
| ADDRESS: | 9725 STATE STREET |
| CITY | SANDY |
| COUNTY | SALT LAKE |
| STATE | UTAH |
| DRAWING NUMBER | ENB-B-FV11839-PIP-001 |
| SHEET | 3 OF 4 |
| REVISION | 0 |

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ENBRIDGE GAS-ANSLD



Staff Report

File #:
CUP01302025-006910,
Version: 1

Date: 4/3/2025

Agenda Item Title:
Enbridge Gas Public Utility Station (Conditional Use Permit)
9725 S. State St.
[Community # 5]

Presenter:
Douglas L. Wheelwright, Development Services Manager

Description/Background:
The applicant, Angela Barber, representing Questar Gas dba Enbridge Gas Utah (with permission of the land owner Canyons School District), is requesting Planning Commission review of a commercial site plan review (SPR) and approval of a conditional use permit (CUP) for a public utility station located at 9725 S. State St. "Public Utility Stations" are a conditional use in the Central Business District (CBD). The proposed public utility station request is for an above ground automatic gas line shut-off valve installation on a major gas transmission line, currently buried along the east side of State St. The applicant is leasing the southwest corner of a newly constructed parking lot at Jordan High School. Please see attached Exhibit A application materials and Exhibit B applicant's letter requesting the conditional use permit.

See the attached staff report and exhibits in the related site plan review file SPR02033035-006911.

Recommended Action and/or Suggested Motion:
Staff recommends that the Planning Commission approve a conditional use permit to allow the propose public utility station for Enbridge Gas Co., located at 9725 S. State St., based upon the following finding and subject to the following conditions:

Findings:

1. Reasonably anticipated negative impacts associated with the proposed development will be adequately mitigated with site improvements.
2. That overall public safety will be improved with the installation of the shut-off valve facility on a major natural gas transmission line.

Conditions:

1. That the site plan approval conditions and the proposed site improvements be further refined through the final site plan review process with city staff and installed as part of the SPR process finalization.



Staff Report

File #: 25-089, **Version:** 1

Date: 4/3/2025

Minutes from March 20, 2025 Meeting



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Minutes

Planning Commission

Dave Bromley
Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
LaNiece Davenport
Craig Kitterman (Alternate)
Jennifer George (Alternate)

Thursday, March 20, 2025

6:15 PM

Council Chambers and Online

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

https://us02web.zoom.us/webinar/register/WN_ti42pUn-Tom1Fg2hLWkiWA

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/85461436572>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866
(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/85461436572>

Webinar ID: 854 6143 6572

Passcode: 530328

4:30 PM FIELD TRIP

1. [25-071](#) Map

Attachments: [03202025.pdf](#)

6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

- Present** 7 - Commissioner Cameron Duncan
Commissioner David Hart
Commissioner Ron Mortimer
Commissioner Daniel Schoenfeld
Commissioner Steven Wrigley
Commissioner Jennifer George
Commissioner LaNiece Davenport
- Absent** 2 - Commissioner Dave Bromley
Commissioner Craig Kitterman

Public Meeting Items

DRAFT

2. [SPR0424202](#) Rasht Development (Commercial Site Plan Review)
[4-006758](#) 8475 S. State St.
[Community # 3, Sandy Woods]

Attachments: [Staff Report](#)
[Exhibit B](#)

Doug Wheelwright introduced this item to the Planning Commission.

Ramin Nasrabadi offered to answer any questions from the Planning Commission.

Doug Wheelwright presented this item to the Planning Commission.

David Hart asked if the adjacent property owners will use the second driveway as an entry and exit.

Doug Wheelwright replied that commercial properties are required to stub parking lot driveways for future development and the stub will go to the property line with an 8' wall at the end.

Cameron Duncan asked if rezoning the property, south parcel, is an option to get the lots into the same commercial zone.

Doug Wheelwright replied that it's a potential but beyond the scope of the request.

LaNiece Davenport asked what types of light industrial businesses can exist in the RC Zone.

Doug Wheelwright said that the types of businesses could include wood working shops that build furniture, assembly of electronic components and wholesale distributors.

Ron Mortimer said he appreciates this type of development on this side of the city on State Street.

David Hart opened this item for public comment.

Sandy Resident asked if the applicant can provide privacy.

David Hart closed this item to public comment.

Doug Wheelwright said the 8' masonry wall will help with sound, visual and any potential fire spread along with the 10' landscape buffer strip, the buildings are on the north property line that's 50 feet away and the uses are contained within the buildings.

A motion was made by Cameron Duncan, seconded by Daniel Schoenfeld, that the Planning Commission determine preliminary site plan review is complete for the proposed Rasht Development Commercial Site Plan, located at 8475 S State Street, based on the two findings and subject to the eight conditions detailed in the staff report. The motion carried by the following roll call vote:

Yes: 7 - Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
Jennifer George
LaNiece Davenport

Absent: 2 - Dave Bromley
Craig Kitterman

Nonvoting: 0

3. [CUP0311202](#) Rasht Development (Conditional Use Permit)
[5-006923](#) 8475 S. State St.
[Community # 3, Sandy Woods]

Presenter:

Douglas L. Wheelwright, Development Services Manager

A motion was made by Cameron Duncan, seconded by Jennifer George, that the Planning Commission approve a Conditional Use Permit to allow the location of warehouse/wholesale and light industrial uses within 250 feet distance of existing residential zoning, for the proposed Rasht Development project, based on the one finding and subject to the two conditions detailed in the staff report. The motion carried by the following roll call vote:

Yes: 7 - Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
Jennifer George
LaNiece Davenport

Absent: 2 - Dave Bromley
Craig Kitterman

Nonvoting: 0

- 4. [CUP0217202](#) Inkt Window Tinting (Conditional Use Permit)
[5-006915](#) 720 E. 10600 S. Ste. 6
 [Community #12]

Attachments: [Staff Report](#)

Sarah Stringham introduced this item to the Planning Commission.

Jorge Saavedra, owner of Inkt Window Tinting, presented his item to the Planning Commission.

Sarah Stringham further presented this item.

Cameron Duncan asked if the parking plan will work for future applicants.

Sarah Stringham said it should.

David Hart opened this item for public comment.

David Hart closed this item to public comment.

A motion was made by Jennifer George, seconded by Steven Wrigley, that the Planning Commission approve a Conditional Use Permit for non-mechanical automotive service use and as described in the staff report for the property located at 720 E 10600 S based on the two findings and subject to the five conditions detailed in the staff report. The motion carried by the following roll call vote:

- Yes:** 7 - Cameron Duncan
 David Hart
 Ron Mortimer
 Daniel Schoenfeld
 Steven Wrigley
 Jennifer George
 LaNiece Davenport

- Absent:** 2 - Dave Bromley
 Craig Kitterman

Nonvoting: 0

Administrative Business

1. Minutes

An all in favor motion was made by LaNiece Davenport to approve the meeting minutes from 02.20.2025.

[25-072](#) Minutes

Attachments: [02.20.2025 PC Minutes \(DRAFT\)](#)

2. Sandy City Development Report

[25-073](#) Development Report

Attachments: [03.01.2025 DEV REPORT](#)

3. Director's Report

Adjournment

An all in favor motion was made by Jennifer George to adjourn.

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Staff Report

File #: 25-088, **Version:** 1

Date: 4/3/2025

Development Report

| PROJECT NAME | ADDRESS | CASE NUMBER | APPROVED | LOTS | ACRES | ZONE | CONTACT | CONTACT # | PLANNER | STATUS |
|---|--------------------------|--------------------|------------|------|-------|-----------|-----------------------|----------------|--------------|--------------------|
| Pending | | | | | | | | | | |
| Bicentennial Park Localscapes Conversion | 552 E 8680 S | SPR01242024-006702 | 03/12/2024 | | | OS | Ben Rodes | 2088607297 | sstringham | Pending |
| Storm Mountain Park Localscapes Conversio | 11426 S 1000 E | SPR01242024-006703 | 03/08/2024 | | | OS | Ben Rodes | 2088607297 | sstringham | Pending |
| Band Fire Warehouse | 9618 S 500 W | SPR01272023-006477 | | | 0.51 | ID | Jesse Reynolds | | dwheelwright | Open |
| EOS Fitness Sandy | 10291 S 1300 E | SPR02162024-006713 | | | 2.99 | CC | Art Babcock | | dwheelwright | Open |
| Compass Apartments | 179 West 9270 South | SPR02212024-006719 | 09/27/2024 | | | RC | David Denison | 801-836-6235 | mwilcox | Pending |
| Rasht Development Project | 8475 S STATE ST | SPR04242024-006758 | | | 0.99 | RC | Ramin Nasrabadi | | dwheelwright | Pending |
| Willow Creek Country Club - Maintenance A | 8505 S WILLOW CREEK DR | SPR05172024-006771 | 12/19/2024 | | 11.09 | OS | James B Glascock | | dwheelwright | Pending |
| Classic Fun Center | 9151 S MONROE ST | SPR06142024-006783 | | | 5.12 | RC | David Henderson | | dwheelwright | Pending |
| Smith's Altaview Fuel Center | 10315 S 1300 E | SPR07202021-006107 | | | 0.46 | CC | Anderson Wahlen & A | 801-913-8406 | dwheelwright | Open |
| MACU Event Cenenter/ SLCO | 9575 S STATE ST | SPR09062024-006841 | | | 0.24 | CBD | Jordan Gray | 3582145760 | dwheelwright | Pending |
| Stage Office Storage Building | 8238 700 E, 84070 | SPR09212022-006407 | 12/07/2023 | | | BC | Ross Drummond | 8015737620 | dwheelwright | Open |
| MedVet Urgent Care - Modified Site Plan Rev | 10291 S STATE ST | SPR10022024-006862 | | | | CBD | Michelle Martin | | sstringham | Fees Due |
| Hansen Warehouse Modified | 9127 S 255 W | SPR11142024-006887 | | | 1.31 | RC | Reid Wintersteen | 6083862723 | dwheelwright | Pending |
| Under Review | | | | | | | | | | |
| SWIG - Sandy, UT | 10101 S STATE ST | SPR01062025-006903 | | | 0.67 | CBD | Pranavi Koka - Bowma | | mwilcox | Preliminary Review |
| WM Fuel #5235 Sandy, UT | 9081 S QUARRY BEND DR | SPR03112022-006282 | 01/03/2023 | | | SD(X) | Ryan Alvarez | | dwheelwright | Under Review |
| The Orchards at Dimple Dell | 10216 S DIMPLE DELL RD | SPR03262024-006738 | 05/01/2024 | | 5.80 | R-1-10 | Brett Lovell | 8017064693 | tirvin | Final Review |
| Latin Grill | 1289 E 8600 S | SPR04182024-006756 | | | 1.23 | CN | Robert Dance | | dwheelwright | Final Review |
| Thackeray Towns Site Plan | 10760 S 700 E | SPR06242021-006083 | 06/24/2021 | | 4.00 | PUD(10) | John Sawyer | | tirvin | Under Review |
| JVWCD 700 East Well House | 7618 S 700 E | SPR08212023-006589 | | | 0.49 | PUD(12) | Kevin Rubow | 8015654377 | dwheelwright | Final Review |
| Meadows at Cy Road Site Plan | 8777 S 700 E | SPR10162024-006872 | 02/25/2025 | | 4.32 | PUD(10) | Brad Reynolds | | tirvin | Final Review |
| OneTen Apartments | 109 W 11000 S | SPR10242022-006427 | 08/18/2023 | | 2.84 | CBD | Corey Solum | | mwilcox | Final Review |
| Intermountain South Sandy Clinic Expansion | 955 E 11400 S | SPR11132024-006886 | | | 2.40 | PO | Gerrit Timmerman | 8015586015 | dwheelwright | Final Review |
| Centennial Village | 235 W SEGO LILY DR | SPR12282021-006237 | 07/28/2022 | | 0.49 | CBD-A&C | Dan Simons | (801) 230-1339 | mwilcox | Under Review |
| Resubmit | | | | | | | | | | |
| Sandy Shulsen Mixed Use | 10116 S MONROE ST, 84070 | SPR02082023-006482 | 12/14/2023 | | | CBD-A&C | Howard Cooke | 801-664-8132 | mwilcox | Resubmit |
| Sandy City Fire Station #31 | 9295 S MONROE ST | SPR02132024-006711 | 04/19/2024 | | | RC | Ryan McConaghie | | mwilcox | Resubmit |
| Quick Quack Car Wash | 7708-7720 S 700 E | SPR05142024-006769 | | | | CN | Hailey Peterson | | tirvin | Resubmit |
| Creek Rd Office Condos - 5th AMD | 7410 CREEK RD 301 84093 | SPR07072021-006096 | 09/23/2021 | | | PO | Marcus Green | | tirvin | Resubmit |
| Sandy City Public Utilities Vac Truck Water C | 9140 S 150 E | SPR07252024-006802 | | | 6.23 | ID | Tyler Shelley | 8019151082 | dwheelwright | Resubmit |
| ECLAIR FRENCH PASTRY | 7948 S 1300 E | SPR08092024-006809 | | | | SD(Smart) | KARRAR ALJEWARI | 3852295300 | dwheelwright | Resubmit |
| Office Building at 11000 South | 65 E 11000 S | SPR09202023-006624 | | | 0.18 | LC | Alta Construction | | dwheelwright | Resubmit |
| Wasatch Pain Solutions | 1420 E SEGO LILY DR | SPR10072024-006865 | 01/28/2025 | | 0.66 | CC | Robert Howell | | dwheelwright | Resubmit |
| Kuwahara Wholesale | 8575 STATE ST, 84070 | SPR10162023-006639 | | | | SD(FM-HS) | Alex Kuwahara | 8016916592 | tirvin | Resubmit |
| Mountain America Credit Union | 9446 S HIGHLAND DR | SPR10222024-006875 | | | 0.70 | SD(Magna) | Michael Shane Sanders | | dwheelwright | Resubmit |
| Casa Brazil Market | 8671 S STATE ST | SPR11112024-006884 | | | 0.22 | CN(HSN) | Patricia Jacobs | 8017358513 | dwheelwright | Resubmit |
| Smith's 153 Fuel Center | 10305 S 1300 E | SPR11112024-006885 | | | 10.38 | CC | AWA - Jalaine Gibson | 8018970849 | dwheelwright | Resubmit |
| Red Sky Apartments | 10145 S CENTENNIAL PKWY | SPR12062022-006452 | 05/08/2023 | | 1.45 | CBD | Corey Solum | | mwilcox | Resubmit |
| 90th South C-Store | 694 W 9000 S | SPR12172024-006901 | | | 3.38 | RC | Thomas Hunt | 8016644724 | dwheelwright | Resubmit |
| On Hold | | | | | | | | | | |
| Summit Two - Phase 1 | 10250 MONROE ST, 84070 | SPR03292022-006291 | | | | CBD-O | Raddon Summit Hotel, | | dwheelwright | On Hold |
| Sandy Park Center retail pad | 9835 S MONROE ST | SPR04152022-006306 | | | 0.73 | CBD-O | LeeAnn Miller | 3852996262 | dwheelwright | On Hold |
| Master Muffler | 9235 S 700 E | SPR06292022-006355 | | | 0.44 | CC | Brandy Donecker | 2103716751 | dwheelwright | On Hold |
| Harmons Landscape Improvements | 7755 S 700 E | SPR07262022-006365 | | | 7.12 | CN | Frank Lunquist | | dwheelwright | On Hold |
| Summit Two at the Cairns | 10250 S CENTENNIAL PKWY | SPR08032021-006124 | | | 5.07 | CBD-O | Anthony Lyman | 8012304582 | dwheelwright | On Hold |
| Under Construction | | | | | | | | | | |
| Cyprus Credit Union | 8955 S 700 E | SPR01032022-006241 | 08/17/2022 | | 0.78 | BC | Cyprus Credit Union | | dwheelwright | Under Construction |

| PROJECT NAME | ADDRESS | CASE NUMBER | APPROVED | LOTS | ACRES | ZONE | CONTACT | CONTACT # | PLANNER | STATUS |
|--|-------------------------|--------------------|------------|------|-------|-------------|-----------------------|--------------|--------------|--------------------|
| Woodhaven Estates | 7613 S 300 E | SPR01102023-006464 | 12/18/2023 | | 0.98 | PUD (12) | Brandon Fry | | tirvin | Under Construction |
| Sandy Urban Fishery Wetlands | 850 W SHIELDS LN | SPR01182022-006255 | 02/22/2022 | | 61.17 | OS | DAN MEDINA | | dwheelwright | Under Construction |
| The Rio at 94th | 115 W 9400 S | SPR01242023-006473 | | | 0.38 | RM(12) | Jacob Toombs | 8017879344 | tirvin | Under Construction |
| St. Anna Greek Orthodox Church | 9201 S 1300 E | SPR01262022-006258 | 03/25/2022 | | 3.00 | CN | James Derby | 8016801385 | dwheelwright | Under Construction |
| MACU Event Cenenter/ SLCO | 9575 S STATE ST | SPR01292024-006706 | | | 0.24 | CBD | Jordan Gray | 3582145760 | dwheelwright | Under Construction |
| Sandy Public Works Phase II | 8775 S 700 W | SPR02152023-006485 | | | 16.92 | ID | Taylor Smith | 8016368327 | dwheelwright | Under Construction |
| UTA Civic Center Station - Site Modification | 10015 S BEETDIGGER BLVD | SPR02172023-006487 | | | | MU | Nick Duerksen | 8012012050 | mwilcox | Under Construction |
| Garden of Resurrection Larkin Sunset Garder | 1950 E DIMPLE DELL RD | SPR04172024-006752 | 07/23/2024 | | 69.19 | R-1-20A | Rob Larkin | 8015414184 | dwheelwright | Under Construction |
| Sandy Amphitheater Plaza Expansion | 1245 E 9400 S | SPR04242023-006523 | 07/21/2023 | | 7.13 | SD(MU) | Mearle Marsh | | mwilcox | Under Construction |
| Dimple Dell Park - 300 East Trailhead | 321 E 10195 S | SPR05132022-006318 | 07/12/2022 | | 5.00 | OS | Dan Sonntag | 8012058201 | tirvin | Under Construction |
| Dimple Dell Park - Badger Cove Trailhead | 1651 E BADGER CV | SPR05132022-006320 | 08/25/2022 | | 4.63 | OS | Dan Sonntag | | tirvin | Under Construction |
| Dimple Dell Park - Wrangler Trailhead | 10305 S 1300 E | SPR05132022-006324 | 08/25/2022 | | 10.38 | CC | Dan Sonntag | | tirvin | Under Construction |
| South Towne II | 10150 S CENTENNIAL PKWY | SPR05302024-006777 | | | 7.63 | CBD-O | Logan Prete | | dwheelwright | Under Construction |
| SLCo Household Hazardous Waste Facility | 8775 S 700 W | SPR06042021-006065 | 01/05/2022 | | 16.92 | ID | Jordan Gray | 3852146750 | dwheelwright | Under Construction |
| AFCU Sandy Landscape Remodel | 2104 E 9400 S | SPR07262022-006364 | 08/16/2022 | | 2.23 | PO | Brad Illingsworth | | dwheelwright | Under Construction |
| Bicentennial Park Improvements | 530 E 8680 S | SPR07272023-006575 | 10/17/2023 | | | OS | Jeremy Garcia | | sstringham | Under Construction |
| Standard Plumbing | 9150 S 300 W | SPR08012022-006374 | | | 3.31 | ID | Chad Spencer | 8014505113 | dwheelwright | Under Construction |
| The Ridges at Dimple Dell | 1405 E 10600 S | SPR08032021-006125 | 11/19/2021 | | 0.02 | MU | Brad Reynolds Constru | 8015980246 | mwilcox | Under Construction |
| Utah HPC - Phase 1 Pad Prep | 10450 S STATE ST 1234 | SPR08052024-006806 | | | | CBD | Larry Oldham | 8018243351 | dwheelwright | Under Construction |
| AFCU Sandy ADA Site Improvements | 2104 E 9400 S | SPR08112023-006586 | | | 2.23 | PO | Brad Illingsworth | | dwheelwright | Under Construction |
| Hansen Dental Office | 9872 S 700 E | SPR08162023-006587 | | | 0.32 | CN | Pete Meuzelaar | | dwheelwright | Under Construction |
| Veterinary Emergency Group (VEG) | 11084 S STATE ST | SPR08262022-006388 | 08/23/2023 | | 1.20 | CBD | Tahesha Silva | | dwheelwright | Under Construction |
| Medically Vulnerable Peoples Program (MVF) | 8955 S HARRISON ST | SPR08282024-006825 | | | 1.50 | RC | Shasta Galyon | 9079038553 | manderson | Under Construction |
| Utah HPC - Phase 2 | 10450 S STATE ST | SPR09062024-006844 | 09/19/2024 | | 1.34 | CBD | Larry Oldham | 8015311144 | dwheelwright | Under Construction |
| Hale Centre Beehive Academy | 9900 S MONROE ST | SPR10112023-006636 | | | | CBD-O | Bradley Beecher | 8015974589 | dwheelwright | Under Construction |
| WHW Engineering New Office Building | 733 W 9000 S | SPR10172022-006421 | 05/08/2023 | | 0.82 | CvC | Win Packer | 8015803301 | dwheelwright | Under Construction |
| Cedarwood at Sandy - Expansion | 575 E 11000 S | SPR11172022-006447 | 02/21/2023 | | 3.87 | SD(EH) | Ryan Griffiths | 8019102756 | tirvin | Under Construction |
| Trans-Jordan Waste Facility | 8815 S 700 W | SPR11232022-006449 | | | | ID | Trans-Jordan Cities | | dwheelwright | Under Construction |
| Main Street Park | 70 E 8760 S | SPR12032021-006220 | 01/28/2022 | | 0.92 | R-1-7.5(HS) | DAN MEDINA | 801-201-2202 | mwilcox | Under Construction |
| Goodwill | 8550 S 1300 E | SPR12202023-006675 | | | 4.39 | CN | Jeffery Jensen | | dwheelwright | Under Construction |
| Complete | | | | | | | | | | |
| Betos Mexican Restaurant | 255 W 9000 S | SPR01042022-006242 | | | | RC | Brennan Alldredge | 8013054869 | dwheelwright | Complete |
| Waterford School Science Center | 1480 E 9400 S | SPR01112022-006245 | 03/10/2022 | | 8.07 | PO | Greg Miles | | dwheelwright | Complete |
| Waterford School Sports Field and Parking A | 9502 1700 E, 84092 | SPR03022023-006493 | 05/26/2023 | | | PO | Greg Miles | | dwheelwright | Complete |
| Dimple Dell Park - Lone Peak Trailhead | 10042 S 700 E | SPR05132022-006322 | 08/25/2022 | | 4.05 | OS | Dan Sonntag | | tirvin | Complete |
| TrenzOil | 9750 S 700 E | SPR05272022-006335 | 10/27/2022 | | 0.65 | CN | Jonathan Flores | | dwheelwright | Complete |
| Zions Bank Sandy/Southtowne | 125 W 10600 S | SPR07272022-006367 | 05/08/2023 | | 1.14 | AM | Angelica Fierro | | dwheelwright | Complete |
| RT & CL Investment Properties | 9580 S 500 W | SPR07282022-006370 | 10/27/2022 | | 1.00 | ID | Chris Liddell | 8018705841 | dwheelwright | Complete |
| Parkland Industrial Building/Greenlaw Partne | 565 W PARKLAND DR | SPR11292021-006217 | 06/28/2022 | | 6.70 | ID | Niko Hardman | | dwheelwright | Complete |
| Parkland Waterline Loop to 700 W | 565 W PARKLAND DR | SPR11292022-006450 | | | 6.70 | ID | Niko Hardman | | dwheelwright | Complete |
| Waterford School Student Commons | 1590 E 9400 S | SPR12022022-006451 | 06/22/2023 | | 8.83 | PO | Greg Miles | 8018162289 | dwheelwright | Complete |
| Others | | | | | | | | | | |
| 90th South Mixed Use Master Plan Amendm | 8925 S HARRISON ST | SPR01022025-006902 | 02/07/2025 | | 1.36 | RC | David Kelly | 3852835285 | mwilcox | Approved |
| Sandy East Village Ph 3 & Dry Creek Apartm | 166 E MIDVILLAGE BLVD | SPR11142022-006445 | | | | MU | IBI Group | | mwilcox | Approved |

| PROJECT NAME | ADDRESS | CASE NUMBER | APPROVED | LOTS | ACRES | ZONE | CONTACT | CONTACT # | PLANNER | STATUS |
|--|-----------------------------|--------------------|------------|-------|-------|------------|-----------------------|--------------|--------------|--------------|
| Pending | | | | | | | | | | |
| Woodhaven Estates Subdivision | 7613 S 300 E | SUB01182023-006471 | 12/18/2023 | 24.00 | 0.98 | PUD (12) | Brandon Fry | | tirvin | Pending |
| Fur Breeders | 8800 S 700 W | SUB03122025-006925 | | | | ID | Josh Vance | | tirvin | Open |
| Dimple Dell Ridge Consolidation | 1727 DIMPLE DELL RD 84092 | SUB03192024-006733 | | | | R-1-20A | Efren Lopez | | tirvin | Received |
| Lot 4 Jason K Circle | 182 E 9000 S | SUB04102024-006745 | 12/20/2024 | 2.00 | 0.85 | R-1-8 | Jill Kinder | 8017184622 | tirvin | Pending |
| Myers-Long Lot Line Adjustment | 3035 E HIDDENWOOD DR | SUB05192024-006772 | | | 0.71 | PUD(1.62) | David Myers | 5102195349 | tirvin | Pending |
| Sierra Estates 2-3 | 3677 E LITTLE COTTONWOOD RD | SUB05232024-006773 | | | | R-1-10 | S. SCOTT CARLSON | 8014503511 | tirvin | Received |
| The Rio at 94th Subdivision | 115 W 9400 S | SUB05312024-006779 | | 3.00 | 0.38 | RM(12) | Jacob Toombs | | tirvin | Open |
| East Town Village Condo Plat | 8327 STATE ST 84070 | SUB06132023-006550 | | 1.00 | | MU | Charles Akerlow | | tirvin | Fees Due |
| Quick Quack Sandy Harmons | 7708 700 E | SUB06252024-006790 | | 3.00 | | CN | Russ Nelson | | tirvin | Fees Paid |
| Myers/Long property line adjustment | 3035 E HIDDENWOOD DR | SUB07022024-006793 | | | 0.71 | PUD(1.62) | David Myers | 5102195349 | tirvin | Open |
| Alta Canyon 2 Subdivision | 9855 S 3100 E | SUB07132023-006568 | 07/12/2024 | 4.00 | 1.79 | R-1-15 | Dana Conway | 8018914880 | tirvin | Pending |
| Smith's Altaview SUB | 10315 S 1300 E | SUB07202021-006108 | 09/23/2021 | 4.00 | 0.46 | CC | Anderson Wahlen & As | | dwheelwright | Open |
| Sandy City Centre Plat Second Amended and | 215 W 10000 S, 84070 | SUB08152022-006383 | | 4.00 | | CBD-A&C | David A Jenkins | 8016312999 | mwilcox | Open |
| Cole 825 E 8600 S Consolidation | 825 E 8600 S | SUB08232024-006817 | | | 0.71 | R-1-8 | Tyler Cole | 8019139315 | tirvin | Open |
| JVWCD 700 East Well House | 7618 S 700 E | SUB09062024-006840 | | | 0.49 | PUD(12) | Kevin Rubow | | tirvin | Received |
| Brandon Park 3 Amended Plat | 1960 E BRANDON PARK WAY | SUB09242024-006855 | | | | R-1-12 | Scott Hancock | 8015974833 | tirvin | Open |
| School Yard Subdivision Amended | 11020 S STATE ST | SUB10232024-006877 | 01/09/2025 | | 3.07 | CBD | X Development, LLC / | | tirvin | Pending |
| 8600 S. 700 E. Consolidation | 8600 S 700 E | SUB11022024-006882 | | | 0.18 | BC | Myron McDonald | | tirvin | Received |
| Under Review | | | | | | | | | | |
| Crescent Wood Estates | 543 E 10735 S | SUB02032022-006262 | 02/03/2022 | | 0.50 | R-1-20A | Arthur J. (A.J.) Kim | 8019133400 | tirvin | Under Review |
| Aspen Plaza Condo Amendment | 849 E 9400 S | SUB03262024-006735 | | | | SD(CC)-Ti | SCOTT A DILLEY | 8017067384 | tirvin | Under Review |
| OneTen Apartments | 109 W 11000 S | SUB03292023-006511 | 08/18/2023 | 1.00 | 2.84 | CBD | Corey Solum | | mwilcox | Final Review |
| Lambert - Magleby construction | 11489 S OBERLAND RD | SUB06052023-006543 | 08/04/2023 | 1.00 | 2.10 | PUD(2) | Laura Bunker | 8014928087 | manderson | Under Review |
| KV Larson Subdivision | 963 E 8600 S | SUB06132023-006549 | 02/02/2024 | 8.00 | 2.50 | SD(R-1-7) | Ronald K. Larson | 2067137789 | tirvin | Final Review |
| GEORGE LAKE SUBDIVISION AMENDE | 8644 S HARVARD PARK DR | SUB06132024-006782 | 11/05/2024 | 2.00 | | R-1-8 | Brent Lake | 8015189776 | tirvin | Under Review |
| Sierra Estates III | 3677 E LITTLE COTTONWOOD RD | SUB06172024-006786 | | 2.00 | | R-1-10 | Robert Grow | | tirvin | Under Review |
| Sandy East Village Lot 2, Second Amended | 10020 S BEETDIGGER BLVD | SUB09102021-006149 | 11/19/2021 | 2.00 | | MU | Ken Shields | | tirvin | Under Review |
| Sandy Station Block 59 Subdivision | 8810 S 90 E | SUB09232022-006408 | 09/15/2023 | 2.00 | 0.23 | R-1-7.5(HS | Mark stephenson | 8015148797 | tirvin | Under Review |
| The Meadows at Cy Road | 8777 S 700 E | SUB10162024-006871 | 02/25/2025 | 33.00 | 4.32 | PUD(10) | Brad Reynolds Constru | | tirvin | Final Review |
| Pepperwood Phase 10C Amended | 3 S COBBLEWOOD CV | SUB11012021-006197 | 11/19/2021 | 2.00 | 0.71 | PUD(1.62) | David Jenkins | 8016312999 | mwilcox | Under Review |
| South Towne Market Place Subdivision | 10130 S STATE ST | SUB12182023-006671 | 04/03/2024 | 2.00 | 4.89 | CBD | Jason Boal | | mwilcox | Under Review |
| Jiffy Lube | 2039 E 9400 S | SUB12192022-006457 | 04/02/2024 | 2.00 | 5.60 | CN | Daniel Canning | | dwheelwright | Under Review |
| Resubmit | | | | | | | | | | |
| Corner Bend Subdivision | 2186 E POWDERKEG DR | SUB01142022-006249 | 06/21/2022 | | 0.18 | R-1-8 | Dan Moore | 801-554-8920 | tirvin | Resubmit |
| Dimple Dell Ridge Lot 1 Amended Plat | 1703 E DIMPLE DELL RD | SUB01182022-006256 | 07/05/2022 | 1.00 | 0.69 | R-1-20A | Mark Goodsell | 801-361-0909 | tirvin | Resubmit |
| GSL Electric New Production Facility | 595 W SANDY PKWY | SUB01252024-006704 | | 1.00 | 1.70 | CR-PUD | Carl Greene | 8016413894 | dwheelwright | Resubmit |
| Southeast Industrial Park Amended Condomiu | 8496 S HARRISON ST | SUB02222022-006272 | 04/08/2022 | 16.00 | 1.95 | RC | David McKinney | | tirvin | Resubmit |
| Meek Subdivision | 3761 E LITTLE COTTONWOOD LN | SUB02282024-006722 | 04/23/2024 | 2.00 | | R-1-8 | Robert Meek | 3854810189 | tirvin | Resubmit |
| Dimple Dell Ridge Consolidation | 1727 E DIMPLE DELL RD | SUB04012024-006741 | | | 0.81 | R-1-20A | Efren Lopez | | tirvin | Resubmit |
| Red Sky Apartments | 10140 S CENTENNIAL PKWY | SUB04102023-006516 | 05/08/2023 | 1.00 | | CBD-P | Corey Solum | | mwilcox | Resubmit |
| Sandy Park Center Lot 3 Amended | 9835 S MONROE ST | SUB04152022-006305 | 06/07/2022 | 2.00 | 0.73 | CBD-O | LeeAnn Miller | 3852996262 | tirvin | Resubmit |
| Crabtree Subdivision | 2845 E LITTLE COTTONWOOD RD | SUB06142022-006347 | | 2.00 | | R-1-15 | Tami Crabtree | 8012314484 | tirvin | Resubmit |
| Thackeray Towns Subdivision | 10760 S 700 E | SUB06242021-006082 | 06/24/2021 | 41.00 | 4.00 | PUD(10) | John Sawyer | | tirvin | Resubmit |
| Oberland Road Subdivision | 2900 E OBERLAND RD | SUB06282022-006352 | | 3.00 | | R-1-40A | Dustin Freckleton | 5127796368 | tirvin | Resubmit |
| Tagg N Go Express Car Wash | 7750 S 700 E | SUB06282023-006557 | | 1.00 | 0.42 | CN | Thomas Hunt | 8016644724 | dwheelwright | Resubmit |
| 9272 Office Condominiums | 9272 S 700 E | SUB08212024-006814 | | | 3.03 | CC | Brook Hintze | 8018601515 | tirvin | Resubmit |
| Edgemont Elementary Subdivision | 1085 E GALENA DR | SUB08232021-006136 | | 1.00 | 6.68 | R-1-8 | Leon Wilcox | 8015415372 | tirvin | Resubmit |

| PROJECT NAME | ADDRESS | CASE NUMBER | APPROVED | LOTS | ACRES | ZONE | CONTACT | CONTACT # | PLANNER | STATUS |
|--|-----------------------------|--------------------|------------|-------|-------|-------------|------------------------|--------------|--------------|--------------------|
| Transwest Estates No. 1 Amended Subdivisio | 1479 E LONGDALE DR | SUB08232024-006818 | | | | R-1-10 | Carson Fairbourn | 3853549995 | tirvin | Resubmit |
| Oneelevensandy Subdivision No 2 | 11114 S STATE ST | SUB09062024-006845 | | | 2.37 | CBD | David Mortensen | 8017556891 | tirvin | Resubmit |
| Badger Cove | 1651 E BADGER COVE | SUB09132023-006609 | | | | OS | Dustin Wiberg | 8018287865 | tirvin | Resubmit |
| Sandy Station Block 20 Subdivision | 8982 S 250 E | SUB09282022-006410 | 09/15/2023 | 2.00 | | R-1-7.5(HS) | Mark stephenson | 8015148797 | tirvin | Resubmit |
| Fox Hollow Plat Amendment | 9476 S FOX CIR | SUB10142024-006868 | | 1.00 | 0.22 | R-1-8 | Craig Lawrence | 8015732516 | tirvin | Resubmit |
| Kuwahara Wholesale | 8575 STATE ST, 84070 | SUB10162023-006638 | | 1.00 | | SD(FM-HS) | Alex Kuwahara | 8016916592 | tirvin | Resubmit |
| Classic Fun Center | 9151 S MONROE ST | SUB10262024-006878 | | 2.00 | 5.12 | RC | David Henderson | 8016084007 | tirvin | Resubmit |
| On Hold | | | | | | | | | | |
| Raddon Summit Subdivision | 10250 MONROE ST, 84070 | SUB08312022-006390 | | 3.00 | | CBD-O | Raddon Summit Hotel, | | dwheelwright | On Hold |
| Under Construction | | | | | | | | | | |
| Little Cottonwood Estates (aka Alana Meado | 3170 E LITTLE COTTONWOOD RD | SUB01042023-006461 | 06/15/2023 | 12.00 | | R-1-15 | Skylar Tolbert | | tirvin | Under Construction |
| Cyprus Credit Union Subdivision | 8955 S 700 E | SUB01122022-006248 | 07/05/2023 | 2.00 | 0.78 | BC | Cyprus Credit Union | | dwheelwright | Under Construction |
| Monte Cristo at LaCaille | 9701 S 3775 E | SUB04262021-006034 | 11/29/2021 | 13.00 | | R-1-15 | Chris McCandless | 8015974575 | mwilcox | Under Construction |
| Crescent View Peaks | 137 E 11000 S | SUB04272021-006035 | 06/18/2021 | | | R-1-40A | Kyle Simons | 8013814687 | tirvin | Under Construction |
| Hagan Road Subdivision | 11523 S HAGAN | SUB05072021-006045 | 06/02/2021 | | | R-1-20A | Blair Johnson | 8013011078 | tirvin | Under Construction |
| Alta Park Subdivision | 11190 S 1000 E | SUB05072024-006766 | 07/02/2024 | 4.00 | | R-1-8 | Hayley Pratt, Castlewo | 407-617-0698 | tirvin | Under Construction |
| Park Lane Amended | 1775 E 11400 S | SUB07082022-006359 | 09/21/2022 | 2.00 | 0.35 | SD(R-2-A) | Laine Fluekiger | 8015715541 | tirvin | Under Construction |
| Longpath Subdivision | 11510 S HAGAN RD | SUB08292022-006389 | 11/21/2022 | 1.00 | 0.56 | R-1-20A | Kyle Simons | 8013814687 | tirvin | Under Construction |
| Brand Estates Subdivision | 285 E 11000 S | SUB10112022-006417 | 08/31/2023 | 12.00 | 4.46 | R-1-15 | Kyle Denos | 8017937660 | tirvin | Under Construction |
| Sandy Oaks Subdivision Phase 5 | 8449 S 300 E | SUB11222022-006448 | 02/22/2023 | 2.00 | | R-1-7.5(HS) | Greg Larsen | 8016081600 | tirvin | Under Construction |
| Complete | | | | | | | | | | |
| Somerset Villas | 625 E 8100 S | SUB04042022-006297 | 07/27/2022 | 6.00 | | RM(12) | Clayton Homes, Inc. | 8018599995 | tirvin | Complete |
| Windflower Townhomes | 9349 S WINDFLOWER | SUB06142021-006075 | 06/14/2021 | 3.00 | | PUD(12) | Randy Moore | | tirvin | Complete |