



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

KURT BRADBURN
MAYOR

MATTHEW HUISH
CHIEF ADMINISTRATIVE OFFICER

MEMORANDUM

March 18, 2021

To: Planning Commission
From: Community Development Department
Subject: The School Yard Dumpster Addition (Preliminary Site Plan Review)
11020 South State Street CBD Zone
[South Town Commercial, *Community #9*] SPR-01-21-5986
3.07 Acres

Public Notice: In addition to the posting of the meeting agenda, this project was noticed for this meeting to property owners within 500 feet of the subject property, by U.S. Mail delivery. A Neighborhood meeting was not required or held on this project.

PROPERTY CASE HISTORY	
CASE NUMBER	CASE SUMMARY
SUB-06-18-5426	The School Yard Commercial Subdivision, approved 2018. Recorded Plat.
SPR-06-18-5425	The School Yard Commercial Site Plan. Approved 2018, 5.45 acre site consisting of three lots in subdivision. Phase 1 approved.

DESCRIPTION OF REQUEST

The applicant is requesting that the Planning Commission review and approve a modified commercial site plan impacting Phase 1 of a three phase Commercial Planned Development known as “The School Yard” project. The request is to modify the rear (West) parking lot area to add two additional dumpster enclosures to the existing site of the renovated Valley High School building (Shake Shack Restaurant). The Planning Commission is the land use approval body for this action, as designated in the Sandy City Development Code.

BACKGROUND

This approximately 3.07 acre site was previously approved by the Planning Commission in 2018 as Phase 1 of this development. The Phase 1 project involved the remodeling of the old school

building into a restaurant (Shake Shack in the southern one half of the school building) and a future retail or restaurant space in the northern half of the school building. Phase 1 also included a new building to the south along State Street. This property is located at 11020 South State Street, and is zoned Central Business District, (CBD). From 11000 S. Street, south to 11400 South Street is also zoned CBD. North of 11000 S. Street is Auto Mall (Commercial) zoning.

ANALYSIS

Existing Dumpster Inadequacy. The owners of the property, Wadsworth Development, have experienced over-use of the existing dumpster, by the volume and nature of the trash/garbage being generated by the sole tenant of the old school building, Shake Shack Burgers and Fries. More frequent dumping by the private garbage collection service has not helped and the owners are concerned that the garbage dumping is starting to cause an aesthetic and health issue for the planned commercial center. As part of the original phase 1 site plan review, a single dumpster enclosure was built to the west of the old school building, backing upon 11000 South Street, but behind the landscaped front yard setback.

Proposed solution. The owners and their consulting engineers have inquired of City Staff as to the possibility of adding two additional dumpster enclosures to the site, one on the east and one on the west of the existing dumpster enclosure. This is being proposed to both help the existing inadequacy and to provide additional trash capacity for the future tenant of the north part of the old school building, which has to date not been leased or occupied. The two new dumpster enclosures would be built exactly the same as the existing one, which was approved architecturally with the original project, to be compatible with the old building. There is nothing in the development code that limits the number or the volume of proposed dumpster enclosures. The CBD zoning district does require that the Planning Commission consider all site plan requests.

Staff Concerns. None of the City Departments have any major concerns about this modification of the site plan to add the two new dumpster enclosures, except Planning and the Transportation Engineer. The Transportation Engineer has some minor concerns about the maneuvering space and approach angles for the pick-up operations vehicles, which can be worked out at the staff level during final site plan review. Planning staff's only concern is the visual appearance from the street on 11000 S. Street. However, the location of the existing and proposed dumpster enclosures is also where an additional building could have been located and screening the streetscape view of surface parking lots is usually desirable from an aesthetic perspective.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission approve the addition of two new dumpster enclosures to the site as proposed by the applicant, based on this staff report, and the **three findings listed below and subject to the following four conditions:**

FINDINGS:

- A. That the various City Departments and Divisions, including the City Engineer and the Transportation Engineer, have preliminarily approved the proposed site plan.
- B. That the proposed dumpster enclosures will be built to match the original dumpster enclosure as approved with the prior Phase 1 site plan in design, materials and colors.
- C. That managing the existing and expected waste capacity, improving the general health and the aesthetics of the site by the addition of the new dumpster enclosures, benefits the long term viability of the new shopping center project and the City.

CONDITIONS:

- 1. That the developer proceed through the final site plan review process with staff prior to the start of any construction (including payment of development fees and posting of an appropriate bond to guarantee completion of all required improvements on and off the site), according to the Site Plan Review Procedures Handout. The final site plan shall be in compliance with all Development Code requirements and those modifications required by the Planning Commission.
- 2. That the Final Site plan will be revised to the satisfaction of the City Transportation Engineer and City Engineer to adjust the approach angles and maneuvering clearances that are determined necessary for the proper functioning of the new dumpster enclosures.
- 3. That the development comply with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.
- 4. That the architectural design, colors and materials proposed for the additional dumpster enclosures (and as approved by the Planning Commission as complying with the Sandy City Architectural Design Standards) shall be finalized with staff prior to the issuance of a building permit.

Planner:

Reviewed by:



Douglas L. Wheelwright
Development Services Manager



SPR-01-21-5986
School Yard Dumpster Addition
11020 S State Street



PRODUCED BY DAVID RODGERS
THE COMMUNITY DEVELOPMENT DEPARTMENT

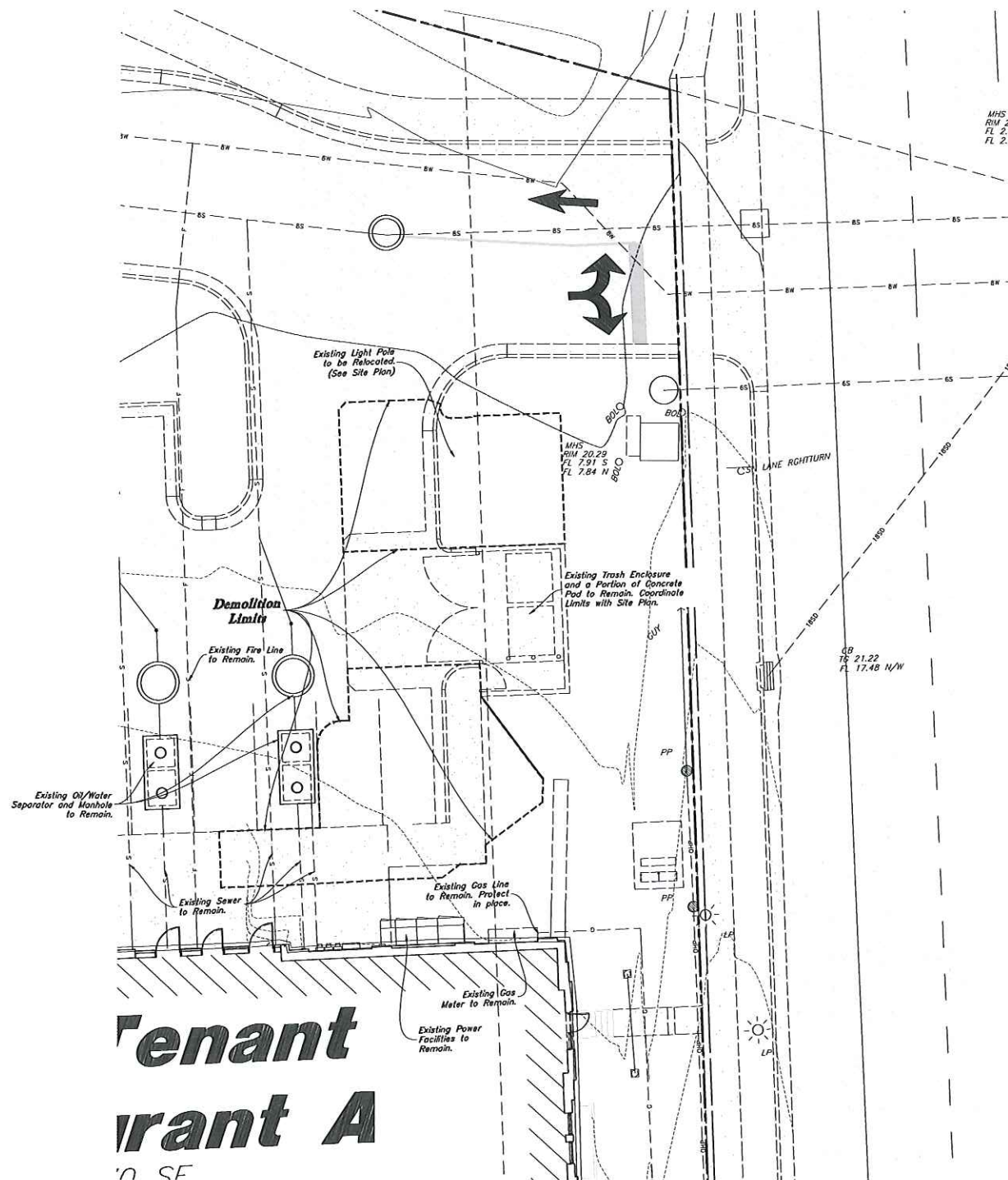
The School Yard

11020 S. State Street, Suite B,
Sandy, UT 84070



11000 South Street

Dumpster Screening Exhibit



General Demolition Notes:

1. Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
2. Refer to site improvement plans for more details on limits of removal.
3. All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cobbles, storm drain piping and structures to be cleared from site unless otherwise shown.
4. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
5. Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557-78. (Test results to be given to owner.) Excavated areas should be backfilled per the geotechnical report prepared for the project.
6. Clear and grub trees, shrubs, and vegetation within construction limits, disposal to be off-site except where noted otherwise.
7. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
8. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
9. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall conduct authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
10. Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
11. Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
12. Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
13. Install traffic warning devices as needed in accordance with local standards.
14. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
15. Demolish existing buildings and clear from site. (Including removal of all footings and foundations.)
16. If ASBESTOS is found in existing structures, the Asbestos must be removed in a legal manner by a contractor licensed to handle asbestos materials. (Not a part of contract)
17. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of solid materials or contaminated soil.

CAUTION:

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



Building 1 Trash Enclosure Demolition Plan

The School Yard
State Street & 11000 South Street
Sandy, Utah



28 Jan, 2021

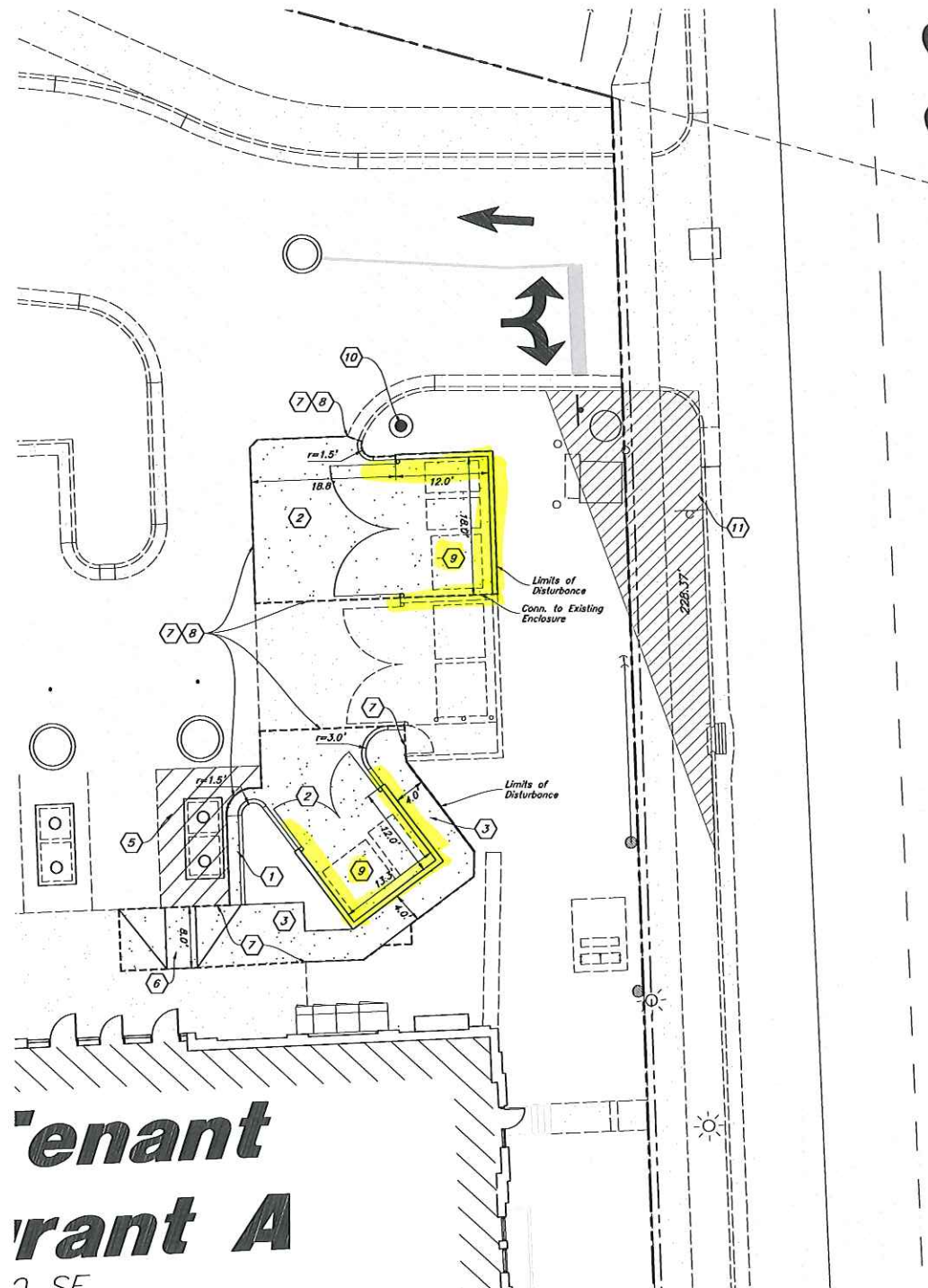
SHEET NO.

C0.1

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801.521.8520 - awh@andwh.com

Designed by: JT
Drafted by: NN
Client Name:
Wadsworth Dev. Group
16-0370M_trashexhibit

REV	DATE	DESCRIPTION



Scale: 1" = 10'

Site Construction Notes

- 1 Const. 24" Curb & Gutter
- 2 Const. Concrete Paving
- 3 Const. Conc. Sidewalk
- 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Editions)
- 6 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition)
- 7 Conn. and Match to Existing
- 8 Sawcut, Provide Smooth Clean Edge
- 9 Dumpster Enclosure
- 10 Relocated Light Pole
- 11 20'x60' Clear View Triangle - No Obstacles Over Three Feet High, as Measured From Top of Back of Curb, are Allowed Within the Clear View Triangle, Trim Low Growing Branches to Preserve Views

Construction Notes

1. Builder/Owner shall remove the existing four-foot-wide sidewalk and replace it with a five-foot-wide sidewalk, while still maintaining a five-foot-wide park strip along 11000 South Street.
2. Follow all recommendations of the approved geotechnical report. Sandy City Standard Specifications and Details shall govern, however, unless geotechnical report recommendations are more stringent.
3. Provide a proctor test, for roadbase material that is to be placed in the public right-of-way, to the Sandy City Public Works Inspector, when delivered or placed on site.
4. Builder/Owner shall obtain an excavation permit from Sandy City Public Works department prior to doing any work in Sandy City right of way. Traffic plan, bonding, and insurance will be required.
5. All public improvements, which are to be owned and maintained by Sandy City, shall be constructed according to the Sandy City Standard Specifications and Details for Municipal Construction (latest edition). The Specifications can be found in .pdf format online at www.sandy.utah.gov (click on "Departments", the "Public Works", the "Standard Specifications").
6. Notify Sandy City Public Works Inspection Department, 801-568-2999, 48 hours prior to beginning construction of any roadways or public improvements, including sewer facilities. All inspections must be done prior to, or concurrent with, construction. Failure to make this notification may result in the uncovering and/or removal of all construction done without notification, at the discretion of the City Engineer.
7. The use of motor oils and other petroleum-based or toxic liquids, for dust suppression, is absolutely prohibited.
8. Builder/Owner shall replace any existing sidewalk or curb/gutter along the frontage of this project, that is found to be tilted, chipped, cracked, spalled, or not properly draining, as directed by the Sandy City Inspector.
9. Dust, mud, and erosion shall be adequately controlled by whatever means necessary, and the roadway shall be kept free of mud and debris, at all times.
10. Any proposed changes to the approved design shall be reviewed and approved by the engineer or architect of record and the City Engineer.
11. 2:1V maximum slope in landscaped areas.
12. Provide slope away from buildings that complies with the requirements of the International Building Code (2% minimum/12% maximum on hard surfaces; 5% minimum/2:1 maximum in landscape areas - for minimum 10 feet in any case).

General Site Notes:

1. Sloths designated as Accessible will require a painted Accessible symbol and sign. (See Details)
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Able markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. All dimensions are to back of curb unless otherwise noted.
5. Const. curb transition at all points where curb abuts sidewalk, see detail.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Accessible Note:

Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately. The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the (ICC/ANSI A117.1-Latest Edition) and/or FMA.

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

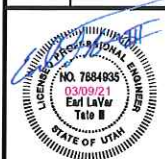
Tenant
Trant A

2 SF

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801.521-8529 - awahlem@awahlem.com

Building 1 Trash Enclosure Site Plan

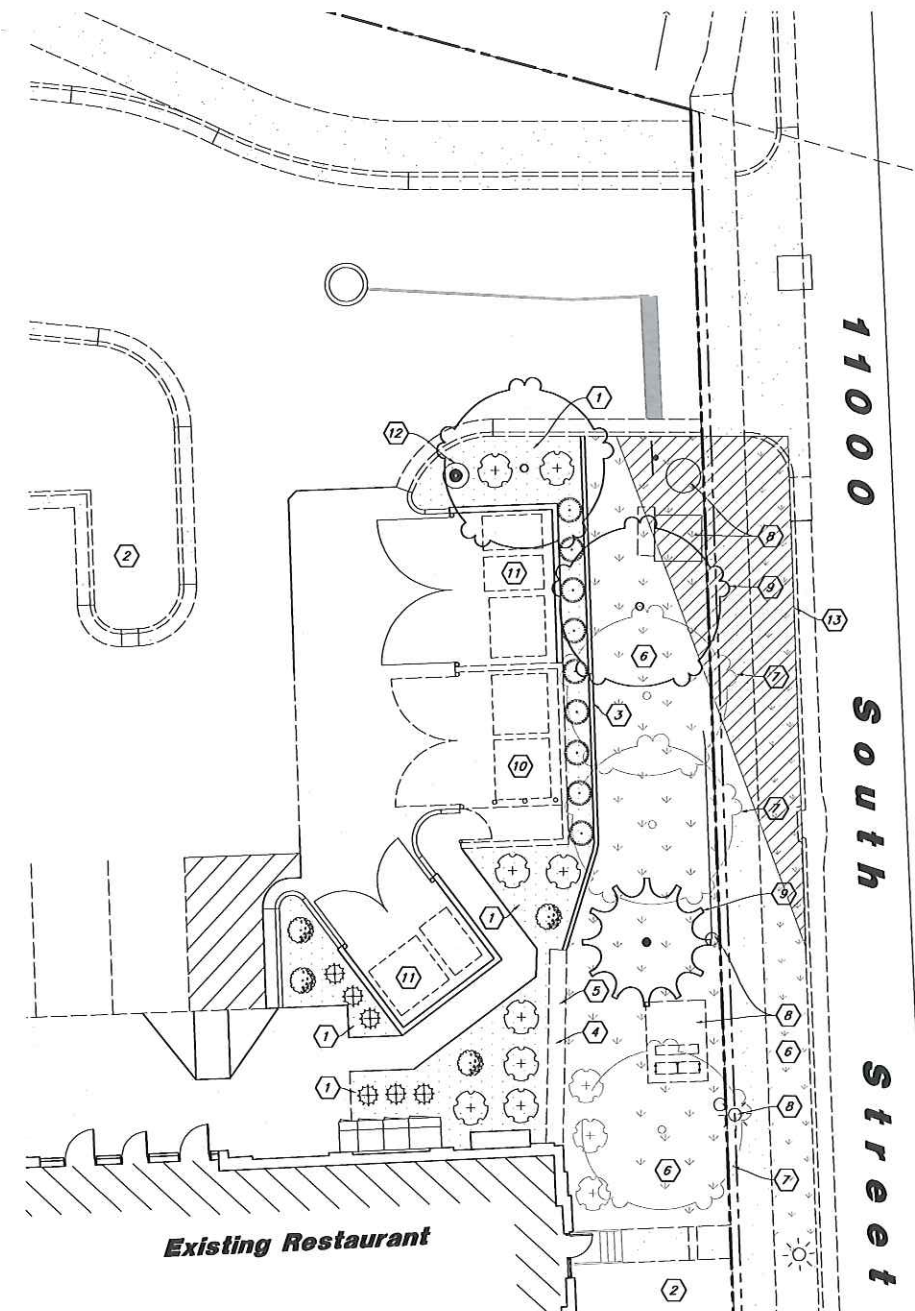
The School Yard
State Street & 11000 South Street
Sandy, Utah



9 Mar, 2021

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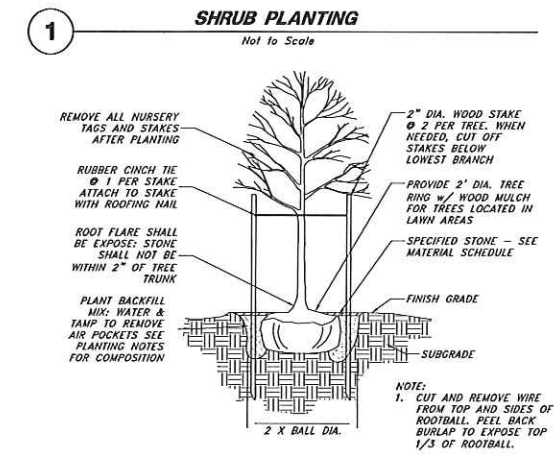
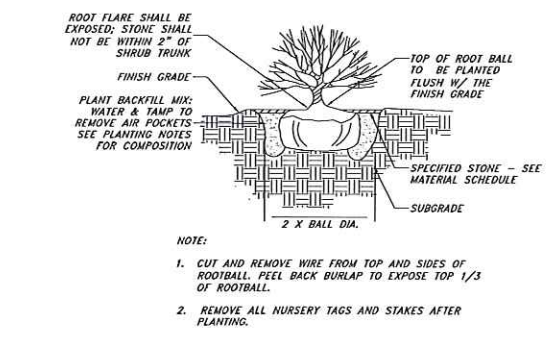


PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	REMARKS
2	1	Acer tataricum 'Hot Wings' / Hot Wings Tatarian Maple	2" Cal. / 8-10' Ht.	Detail: 1/L1.1
1	1	Pinus strobus 'Fastigiata' / Columnar Eastern White Pine	25 gal	Detail: 4/L1.1
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	REMARKS
6	1	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	1 gal	Detail: 2/L1.1
8	1	Prunus x cistena / Purple Leaf Sand Cherry	5 gal	Detail: 2/L1.1
9	1	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn	5 gal	Detail: 2/L1.1
4	1	Spiraea x bumalda 'Goldflame' / Goldflame Spiraea	2 gal	Detail: 2/L1.1

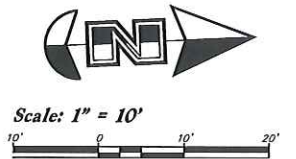
MATERIAL SCHEDULE

- Decorative Stone - Install a Four (4) Inch Depth Over Dwell Pro5 Weed Barrier or Approved Equal. Stone Shall be Used in all Specified Planting Areas; Washed Stone After Installation. Stone shall be 2" dia., Crushed & Fractured Tan Rust Color (Major) Stone From Staker Parson (801-819-9089); Match Existing
- 4" x 6" Landscape Concrete Curbing - Install Flush to all Concrete Edges Between Lawn and Planting Areas Where Specified on Plan



Sandy City Landscape / Irrigation Notes:

- Mulch: After completion of all planting, all irrigated non-turf areas shall be covered with a minimum layer of four (4) inches of mulch to retain water, inhibit weed growth and moderate soil temperature. Non-porous material shall not be placed under the mulch. 4" mulch in all irrigated non-turf areas. If rock mulch, minimum is 3".
 - Landscape Water Meter: A water meter and backflow prevention assembly that are in compliance with state code shall be installed for landscape irrigation systems, and the landscape water meter and backflow prevention assembly shall be separate from the water meter and backflow prevention assembly installed for indoor uses. The size of the meter shall be determined based on irrigation demand.
 - Pressure Regulation: A pressure regulating valve shall be installed and maintained by the consumer if the static service pressure exceeds 80 pounds per square inch (psi). The pressure-regulating valve shall be located between the landscape water meter and the first point of water use, or first point of division in the pipe, and shall be set at the manufacturer's recommended pressure for sprinklers.
 - Automatic controller: All irrigation systems shall include an electric automatic controller with multiple program and multiple repeat cycle capabilities and a flexible calendar program. All controllers shall be equipped with an automatic Rain Shut-off Device.
 - On slopes exceeding 30%, the irrigation system shall consist of Drip Emitters, Bubblers, or sprinklers with a maximum precipitation rate of 0.85 inches per hour and adjusted sprinkler cycle to eliminate runoff.
 - Each valve shall irrigate a landscape with similar site, slope and soil conditions and plant materials with similar watering needs. Turf and non-turf areas shall be irrigated on separate valves.
 - Drip Emitters or a Bubbler shall be provided for each tree where practicable. Bubblers shall not exceed 1.5 gallons per minute per device. Bubblers for trees shall be on separate valve unless specifically exempted by the Sandy City Public Utilities Department due to the limited number of trees on the project site.
 - Sprinklers shall have matched Precipitation Rate with each control valve circuit.
 - Check valves shall be required where elevation differences will cause low-head drainage. Pressure compensating valves and sprinklers shall be required where a significant variation in water pressure will occur within the irrigation system due to elevation differences.
 - Drip irrigation lines shall be placed underground or otherwise permanently covered, except for Drip emitters and where approved as a temporary installation. Filters and end flush valves shall be provided as necessary.
 - Irrigation zones with overhead spray or stream sprinklers shall be designed to operate between 6:00 p.m. and 10:00 a.m. to reduce water loss from wind and evaporation. This would exclude drip or bubbler zones.
 - Program valves for multiple repeat cycles where necessary to reduce runoff, particularly slopes and soils with slow infiltration rates.
 - Following construction and prior to release of the secondary bond guarantee posted for the project, a Water Use Efficiency Review will be conducted by a Landscape Irrigation Auditor. The auditor shall be independent of the contractor, design firm, and owner/developer of the project. The water performance audit will verify that the irrigation system complies with the minimum standards required by Sandy City ordinance. The minimum efficiency required for the irrigation system is 60% for distribution efficiency for all fixed spray systems and 70% distribution efficiency for all rotor systems. The auditor shall furnish a certificate to the City, designer, installer and owner/developer certifying compliance with the minimum distribution requirements. Compliance with this provision is required before the City will release the bond for this project.
 - Plants which require different amounts of water shall be irrigated by separate valves. If one valve is used for a given area, only planters with similar water use shall be used in that area. Lawn areas and planters shall be irrigated by separate valves.
 - A separate backflow prevention device shall be installed for the irrigation system.
 - A rain sensing overriding device shall be utilized so that the irrigation system will automatically turn off in the event of rain.
 - The irrigation system shall be designed to prevent overspray and water run-off onto adjacent property, non-irrigated areas, walks, roadways or structures.
 - An automatic irrigation system using pop-up sprinkler heads shall be required for all new landscapes. Low flow sprinkler heads shall be used wherever possible.
 - No irrigation of walkways or drive.
 - Water audit is required prior to bond being released. Suggest the audit be done within 60 days of installing irrigation and landscape.
- If you have any questions with these requirements, please contact Choleum "Lennie" Chanthaphuang, P.E. at 801-568-7293.

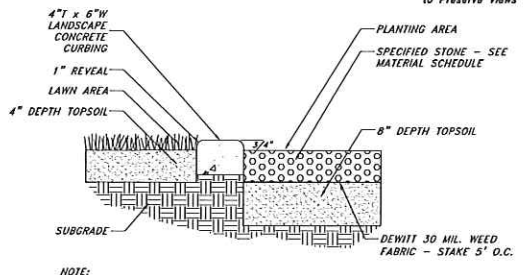


General Landscape Notes:

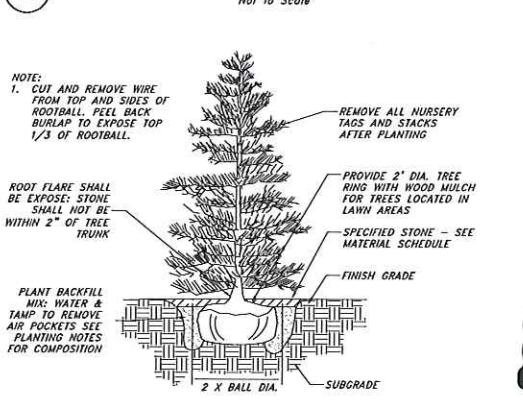
- See Sheet L1.3 for Plant and Sandy City Notes. See Sheet L1.2 for Details. See Sheet L1.1 for Plant & Material Schedule.
- All Landscape Material shall be Fully Irrigated by an Automatic Irrigation System. See Sheet L2.1-L2.3 for Irrigation Layout & Details.
- All New Landscaping Shall Provide 70% Coverage at Maturity.
- Maximum Slope in Landscape Areas Shall be 2:1:1.
- Street Trees = 1 Tree per 30 L.L. - All Street Trees Have Been Adopted From the Sandy Street Trees List.
- No Trees Shall be Planted in Public Park Strips Less Than 8 Feet Wide. Centerline of Trees Shall be Planted a Minimum of 4 Feet Away From Back of Curb and Either Side of Sidewalk.
- All Areas Disturbed by Construction Shall Receive Some Type of Landscape Treatment & Shall Not be Left Undone. Areas in Question, Please Contact the LA.

Landscape Keynotes

1. Install Shrub Planter With Decorative Stone
2. Existing Landscape
3. Install Landscape Concrete Curbing - See Material Sch.
4. Existing Wall
5. Install Soil, Weed Barrier and Stone on Top of Wall
6. Existing Lawn
7. Existing Tree
8. Existing Transformer
9. New Tree
10. Existing Dumpster
11. New Dumpster
12. Relocated Light Pole
13. 20'x60' Clear View Triangle - No Obstacles Over Three Feet High, as Measured From Top of Back of Curb, are Allowed Within the Clear View Triangle; Trim Low Growing Branches to Preserve Views



LANDSCAPE CONCRETE CURBING



EVERGREEN TREE PLANTING

Landscape Notes:

- Plant material quantities are provided for bidding purposes only. It is the contractors responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
- Contractor shall call Blue Stake before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appearances, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractors responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
- The contractor shall install all landscape material per plan, notes and details.
- All existing and relocated trees shall be properly protected. Trees damaged during construction shall be replaced at no cost to the owner.
- Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet or frozen.
- Existing topsoil shall be stripped and stockpiled for landscape use. Contractor shall verify existing topsoil amounts and quality with the general contractor. The landscape contractor shall perform a soil test on existing & imported topsoil and amend per soil test recommendations. Soil test shall be done by certified soil testing agency. Provide new imported topsoil as needed from a local source. Imported topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. Topsoil shall be installed in all landscaping areas.
- Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by aerifying the soil to a depth of 8 inches in order to create a transition layer between existing and new soils.

- Provide an 8 inch depth of stockpiled or imported topsoil in all shrub areas and 12" depth in all parking islands. Remove all construction debris from parking islands.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
- Plant backfill mix shall be composed of 3 parts topsoil to 1 part Soil Pop. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
- All new plants shall be balled and burlapped or container grown, unless otherwise noted on plant schedule.
- Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive a specified stone over Dwell Pro5 weed barrier or approved equal. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas. All stone shall be washed after installation.
- All deciduous trees shall be double staked per tree staking details. It is the contractors responsibility to remove tree staking in a timely manner once staked trees have taken root. Tree ties shall be V.I.T. Cinche Ties #CT32.
- Install landscape concrete curbing between lawn and planting areas. Curbing shall be installed level and uniform and shall match top finish grades of concrete walks and curbs. See landscape concrete curbing detail.
- Provide a 4 inch depth of stockpiled or imported topsoil in all lawn areas.
- Soil must be premium quality, evenly cut, established, healthy, weed and disease free, and from an approved source.
- All lawn areas to have uniform grades by floor raking. Prior to laying sod, apply a starter fertilizer at a rate recommended by the manufacturer. Sod must be laid with no gaps between pieces on a carefully prepared topsoil layer. Sod to be slightly below finish grade and concrete walks and curbing. The laid sod must be immediately watered after installation. Any burned areas will require replacement. Adjust sprinkler system to assure healthy green survival of the sod without water waste.
- All trees located in lawn areas shall have a 24 inch diameter tree ring w/ wood mulch.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.

Building 1 Trash Enclosure Landscape Plan

The School Yard
State Street & 11000 South Street
Sandy, Utah

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801-321-8629 - awh@andersonwahlen.com

Designed by: JF
Drafted by: NN
Client Name:
Wodsworth Dev. Group

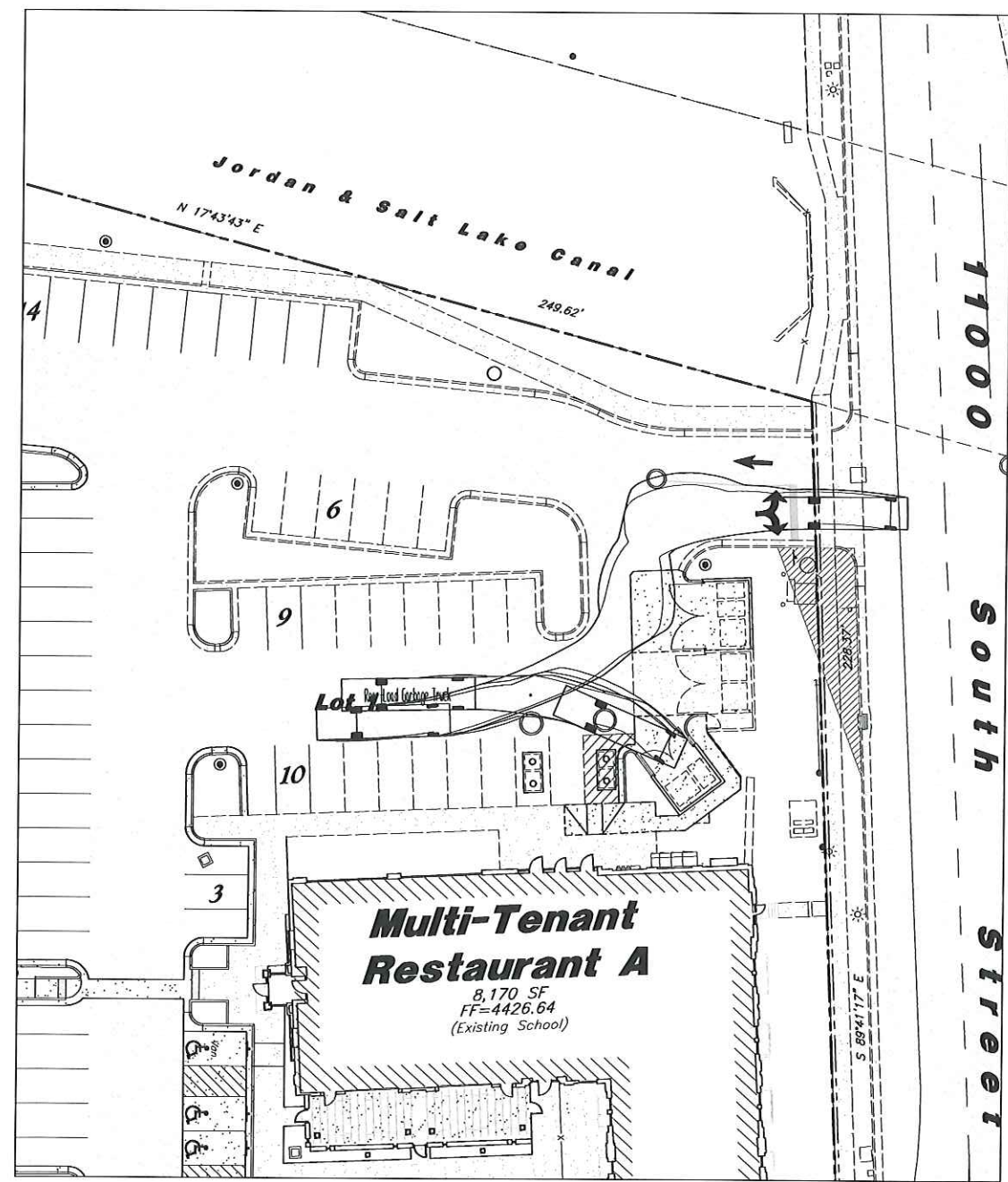
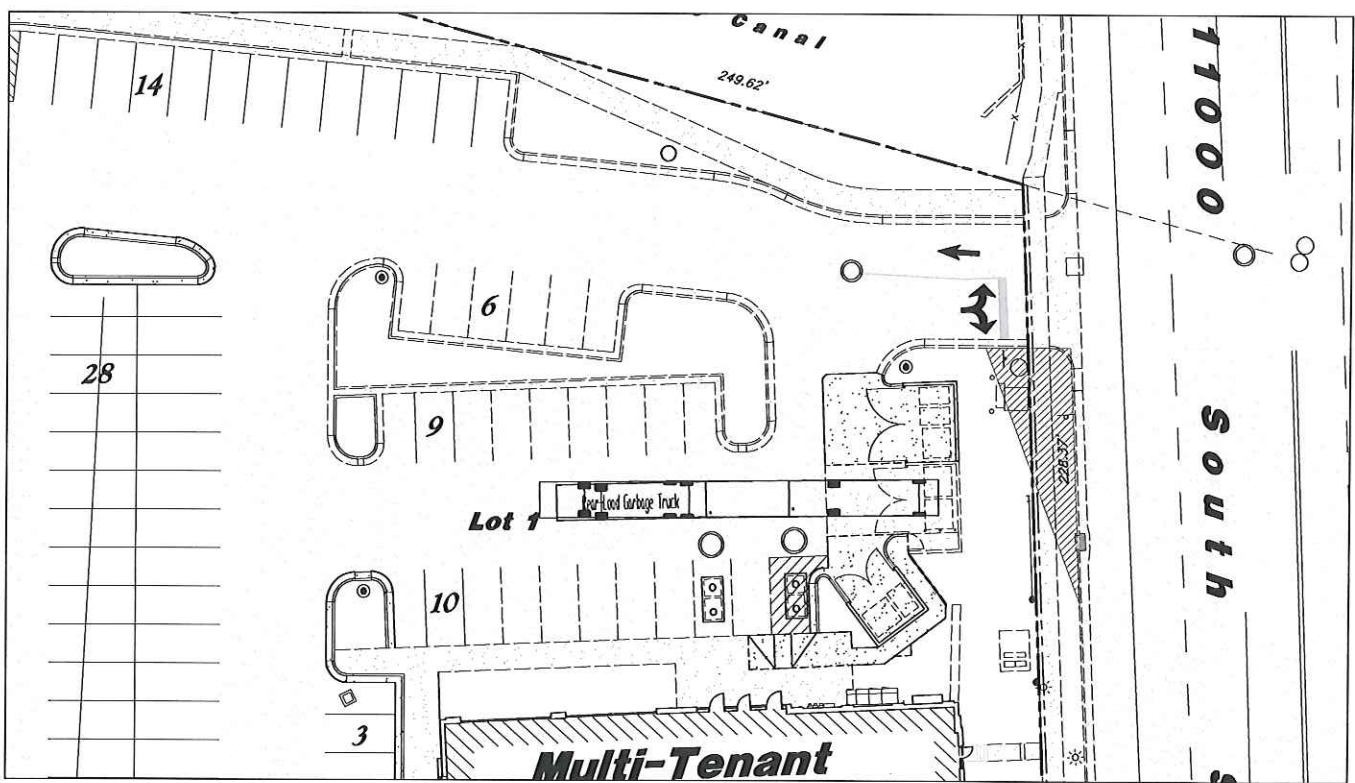
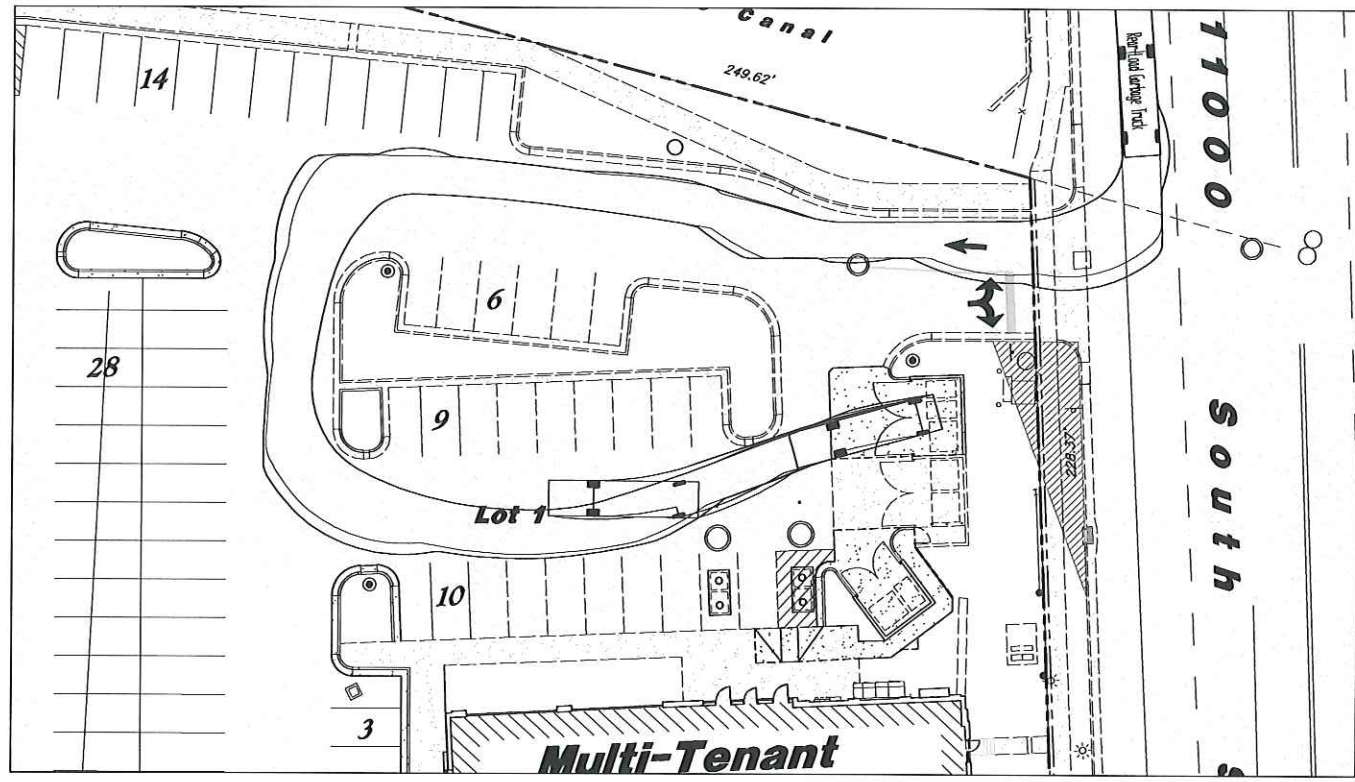
State of Utah
Jared R. Mansch
No. 770408-300
03/09/2021
Professional Landscape Architect

28 Jan, 2021
SHEET NO.

L1.1



Scale: 1" = 20'



Designed by: JT
Drafted by: NN
Client Name:
Wadsworth Dev. Group

ANNA
ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84115
801-521-8529 - [ahengineering.net](http://www.ahengineering.net)

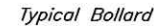
Building 1 Trash Enclosure Site Plan Truck Turn

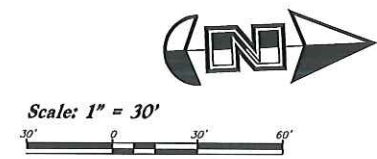
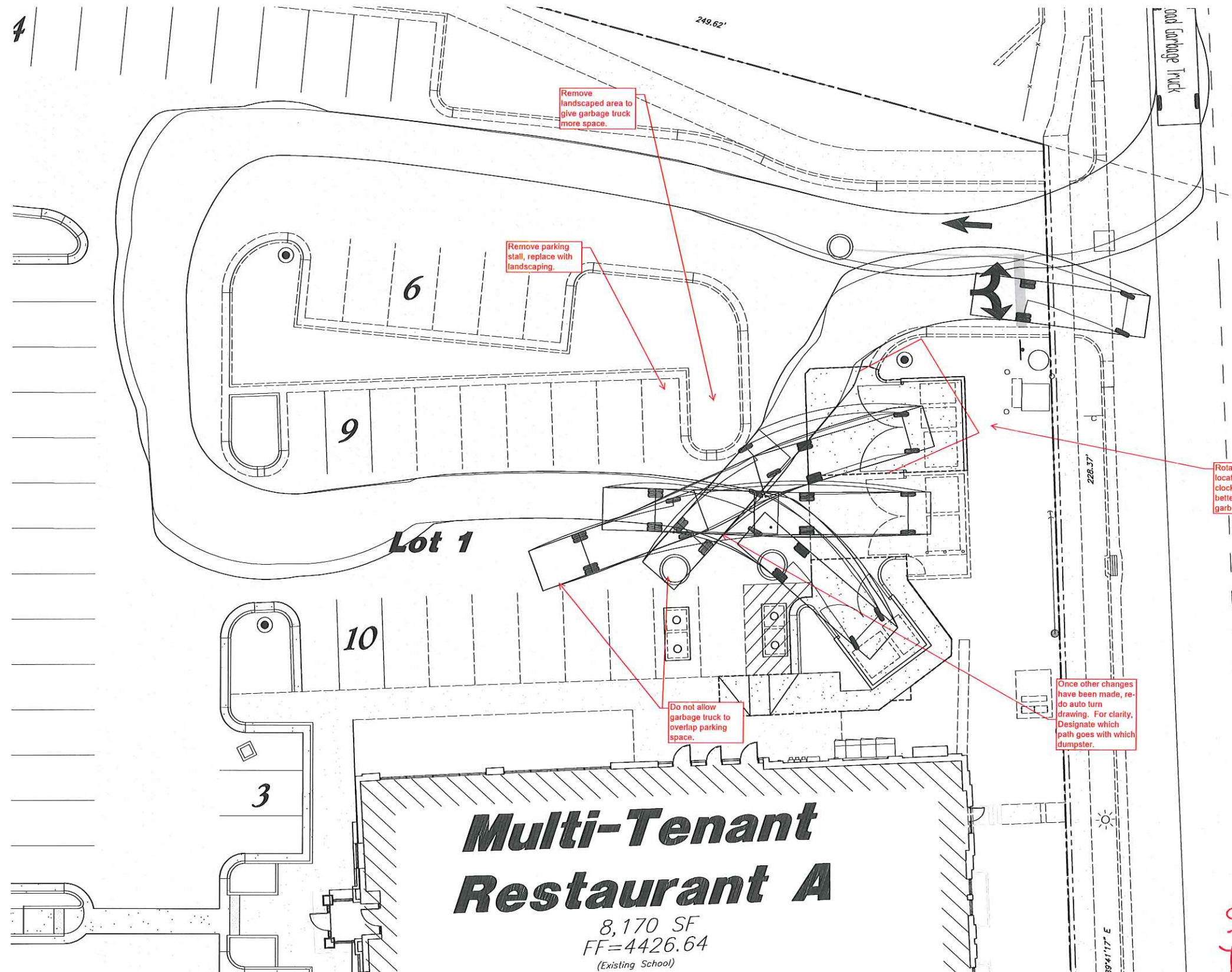
The School Yard
State Street & 11000 South Street
Sandy, Utah



9 Mar, 2021

SHEET NO.
C1.2





Remove landscaped area to give garbage truck more space.

Remove parking stall, replace with landscaping.

Rotate dumpster location counter-clockwise to give better access for garbage truck.

Once other changes have been made, re-do auto turn drawing. For clarity, designate which path goes with which dumpster.

Do not allow garbage truck to overlap parking space.

Multi-Tenant Restaurant A

8,170 SF
FF=4426.64
(Existing School)

Sandy City
Transportation
Engineer's Comments

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Client Name: Wadsworth Dev. Group	
ANDERSON WAHLEN & ASSOCIATES 2010 North Redwood Road, Salt Lake City, Utah 84116 801 521-8529 - AWEngineering.net	
Building 1 Trash Enclosure Site Plan Truck Turn	
The School Yard State Street & 11000 South Street Sandy, Utah	
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SHEET NO. C1.2	