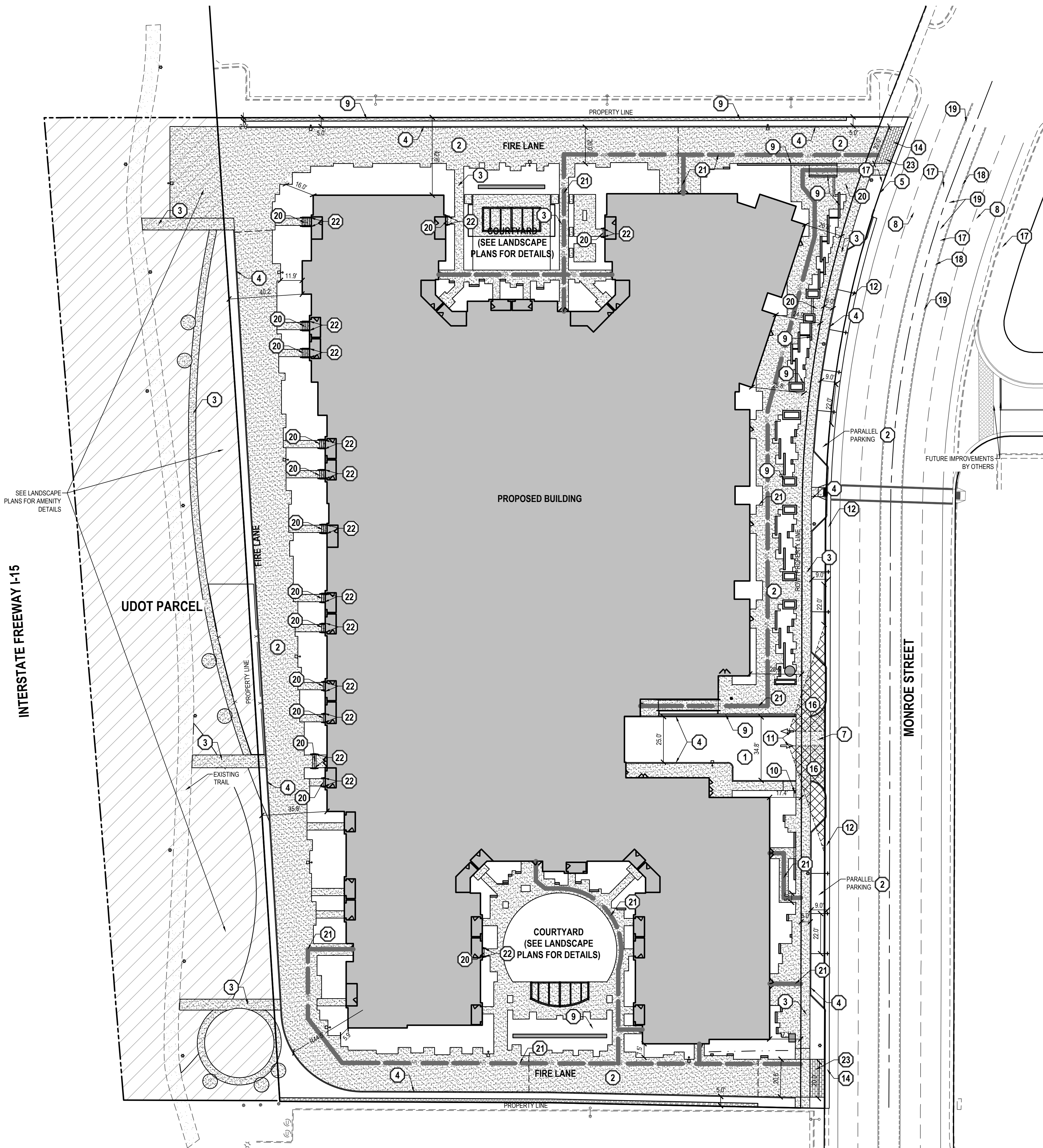


811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK
SOUTHEAST CORNER OF SECTION 12,
TOWNSHIP 3 SOUTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4443.33'



- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 - SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
 - ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
 - ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
 - ALL PARKING STALL AND DRIVE LANE DIMENSIONS ARE TO FACE OF CURB, WHERE APPLICABLE.

- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- ASPHALT PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 6/C-600.
 - 7" THICK CONCRETE PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 7/C-600.
 - 4" THICK CONCRETE SIDEWALK PER SANDY CITY STANDARD DETAIL SW-03.
 - 6" X 12" CONCRETE CURB WALL PER SANDY CITY STANDARD DETAIL CG-01.
 - PEDESTRIAN ACCESS RAMP WITH DETECTABLE WARNING SURFACE PER SANDY CITY STANDARD DETAIL SW-01.
 - DRIVEWAY APPROACH PER SANDY CITY STANDARD DETAIL DA-05.
 - DRIVEWAY APPROACH PER SANDY CITY STANDARD DETAIL DA-03.
 - WHITE CROSSWALK MARKING PER M.U.T.C.D. STANDARD PLANS.
 - LANDSCAPE WALL PER SANDY CITY STANDARD DETAIL WA-02. SEE GRADING PLAN FOR DETAILS.
 - "STOP" SIGN PER M.U.T.C.D. STANDARD PLANS AND SANDY CITY STANDARD DETAILS-N-01.
 - PAINTED LANE-USE ARROWS PER M.U.T.C.D. STANDARD PLANS.
 - 4" WATERWAY PER SANDY CITY STANDARD DETAIL CG-03.
 - 30" CONCRETE STANDARD CURB & GUTTER PER SANDY CITY STANDARD DETAIL CG-01.
 - 30" CONCRETE MODIFIED CURB & GUTTER PER SANDY CITY STANDARD DETAIL CG-01.
 - CONCRETE PAD FOR ELECTRICAL EQUIPMENT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - 20' X 60' CLEAR-VIEW TRIANGLE. NO OBSTACLES (INCLUDING VEGETATION) OVER THREE FEET HIGH, AS MEASURED FROM TOP BACK OF CURB, ARE ALLOWED WITHIN THE TRIANGLE.
 - PEDESTRIAN CROSSWALK SIGN PER M.U.T.C.D. STANDARD PLANS.
 - 6" TYPE "R" CURB PER APWA STANDARD PLAN NO. 209.
 - PLOWABLE END SECTION PER DETAIL 1/C-601.
 - STAIRS PER DETAIL 11/C-600.
 - ACCESSIBLE ACCESS ROUTE.
 - CHEEK WALL AND HANDRAIL PER DETAIL 1/C-600.
 - SEE LANDSCAPE PLANS FOR PARK STRIP PATTERN AND FINISH.

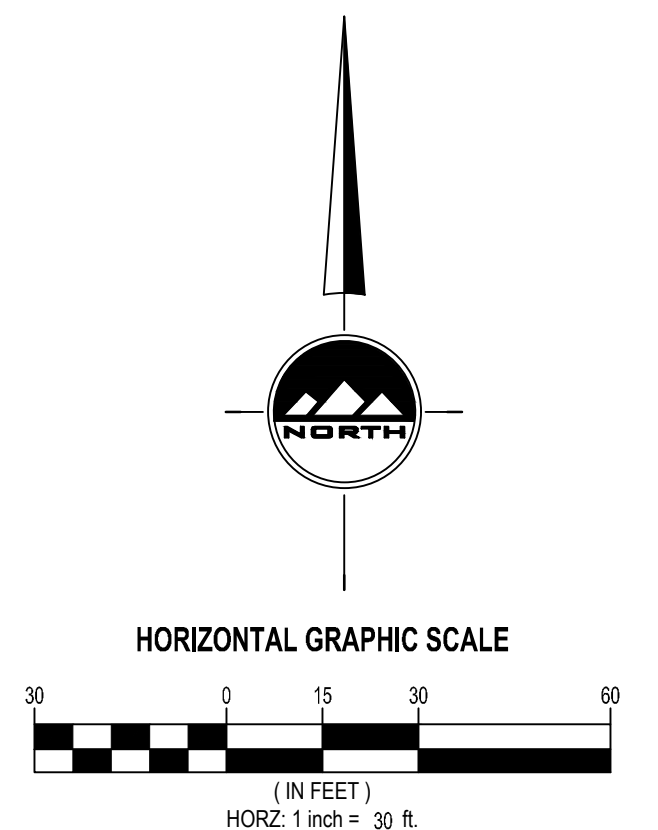
PROJECT AREA	
TOTAL UNITS	221
DENSITY (DU/AC)	57.6
OFFICE (S.F.)	4,500
COMMERCIAL (S.F.)	9,700
RETAIL (S.F.)	6,200
SITE AREA (AC)	3.84
UDOT PARCEL AREA (AC)	1.11
TYPE OF CONSTRUCTION	I-A & III-A

PARKING DATA TABLE	
GARAGE	393
PARALLEL PARKING	12
TOTAL STALLS	405

SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
BUILDING / ROADS / DRIVEWAY HARDSCAPE	111,723	67%
LANDSCAPE OPEN SPACE	55,568	33%
PEDESTRIAN HARDSCAPE	23,046	14%
LANDSCAPING	32,522	19%
TOTAL SITE	167,291 3.84 ACRES	100%

UNIT BREAKDOWN			
NAME	TYPE	COUNT	PARKING
S1	STUDIO	2	3
S2		8	12
A1		93	139.5
A2		28	42
A3		1	1.5
A4	1 BED	1	1.5
A5		1	1.5
B1		38	76
B2		14	28
B3		17	34
B4	2 BED	1	2
TH-1		1	1.5
TH-2		1	1.5
TH-3		11	16.5
TH-4		2	4
TH-5	3 BED	1	2.5
TH-6		1	2.5
TOTALS		221	369.5

NOTE: SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL UNIT INFORMATION



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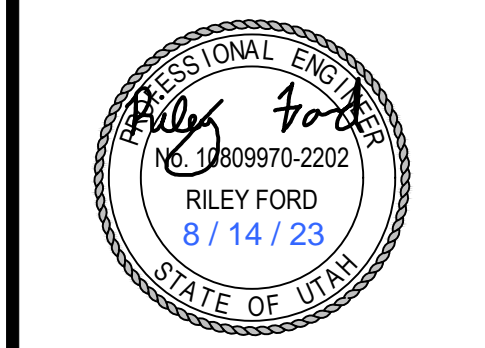
FOR:
GARDNER COMPANY
201 SOUTH MAIN, SUITE 2000
SALT LAKE CITY, UTAH 84111

CONTACT:
JOHN BANKHEAD
PHONE: (801) 750-4170

SANDY SHULSEN MIXED USE

10300 SOUTH MONROE STREET

SANDY, UTAH



SITE PLAN

PROJECT NUMBER: 7651B
PRINT DATE: 8/14/23

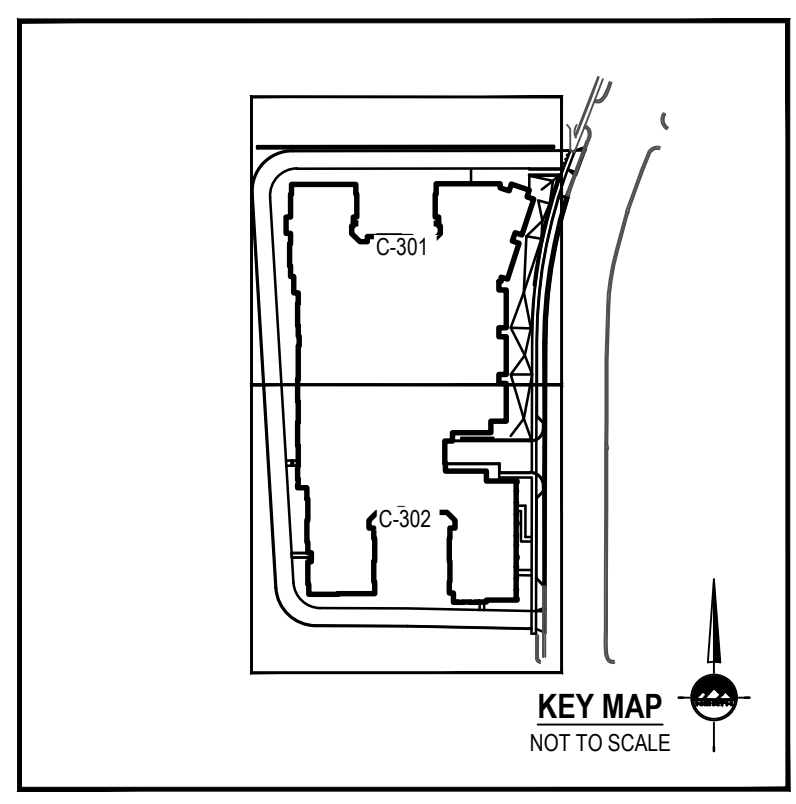
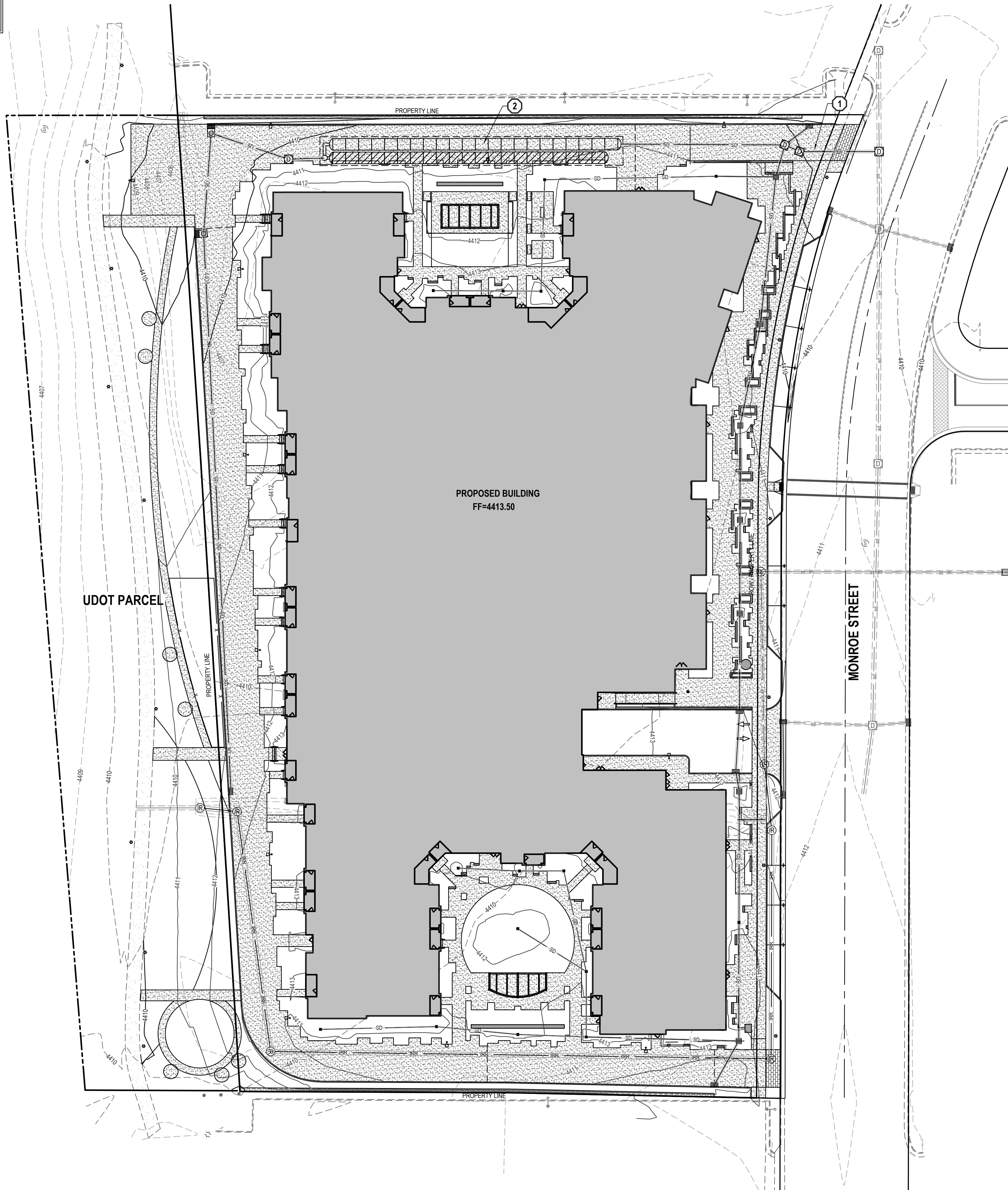
DRAWN BY: J. FORD
CHECKED BY: J. FORD

PROJECT MANAGER: J. FORD

C-200

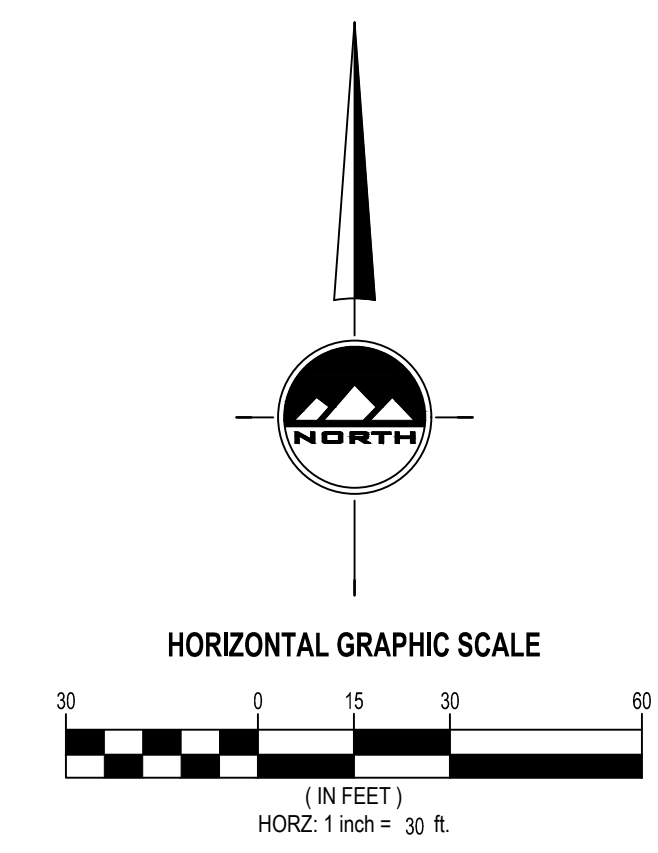
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- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- ORIFICE PLATE PER DETAIL 5/C-600 INSTALLED ON WEST SIDE OF STORM DRAIN BOX.
 - INSTALL (43) MC-3500 STORM DRAIN STORAGE CHAMBERS
TOP OF GRAVEL= 4408.28
TOP OF CHAMBERS= 4408.28
BOTTOM OF CHAMBERS= 4404.53
BOTTOM OF GRAVEL= 4393.78
STORAGE REQUIRED= 8,400 CF
STORAGE PROVIDED= 8,625 CF
 - ROOF DRAIN SEE MECHANICAL PLANS FOR CONTINUATION.
 - LID BIOSWALE PER DETAIL 9/C-600.
 - INSTALL STORM DRAIN SINGLE CURB INLET BOX PER SANDY CITY STANDARD DRAWING SD-02.
 - INSTALL STORM DRAIN COMBO BOX PER SANDY CITY STANDARD DRAWING SD-04.
 - INSTALL 3' X 3' STORM DRAIN WITH GRATE PER SANDY CITY STANDARD DRAWING SD-05.
 - INSTALL STORM DRAIN JUNCTION BOX PER SANDY CITY STANDARD DRAWING SD-05.

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- ALL WORK TO COMPLY WITH THE SANDY CITY'S STANDARDS AND SPECIFICATIONS.
 - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 - ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
 - THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
 - ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XX.XX REPRESENTS AN ELEVATION OF 48XX.XX ON THESE PLANS.
 - LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 - SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
 - EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
 - ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER SANDY CITY STANDARD PLANS AND SPECIFICATIONS.
 - ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
 - ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
 - THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER SANDY CITY'S STANDARDS AND SPECIFICATIONS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
 - OBTAIN A PERMIT FROM THE SANDY CITY BUILDING DIVISION (801-568-7251) PRIOR TO CONSTRUCTING ANY RETAINING WALL THAT WILL BE 4.0 FEET HIGH OR HIGHER (FROM BOTTOM OF WALL FOOTING TO TOP OF WALL).
 - A PROFESSIONAL ENGINEER, CURRENTLY LICENSED IN UTAH, SHALL INSPECT DURING CONSTRUCTION, AND APPROVE AFTER CONSTRUCTION, ANY RETAINING WALLS THAT ARE 4.0 FEET HIGH OR HIGHER, FROM TOP OF WALL TO BOTTOM OF FOOTING. SAID ENGINEER SHALL SUBMIT A LETTER, STAMPED, WITH THE STAMP SIGNED AND DATED, AND INDICATING THAT THE WALL WAS INSTALLED ACCORDING TO THE APPROVED DESIGN, TO THE SANDY CITY ENGINEER, PRIOR TO RELEASE OF THE GUARANTEE FOR IMPROVEMENTS.
 - ALL IMPROVEMENTS WITHIN THE UTAH DEPARTMENT OF TRANSPORTATION (UDOT) RIGHT-OF-WAY/PROPERTY SHALL BE CONSTRUCTED AS REQUIRED BY UDOT REGION TWO.
 - BUILDER/OWNER SHALL OBTAIN AN EXCAVATION PERMIT FROM UTAH DEPARTMENT OF TRANSPORTATION (UDOT) REGION TWO PRIOR TO DOING ANY WORK WITHIN THE UDOT RIGHT-OF-WAY/PROPERTY.
 - MATERIALS, CONSTRUCTION, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION, ADDENDUMS, AND SPECIAL PROVISIONS THERETO AND AS DIRECTED BY THE CITY ENGINEER, OR HIS AUTHORIZED REPRESENTATIVE. THE CURRENT EDITION IS AVAILABLE ONLINE AT: [HTTP://SANDY.UTAH.GOV/GOVERNMENT/PUBLIC-WORKS/STANDARD-SPECIFICATIONS.HTML](http://sandy.utah.gov/government/public-works/standard-specifications.html)
 - CONCRETE SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTIONS 03000 AND 03300.
 - REINFORCING STEEL SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 03200.
 - PRECAST MANHOLES AND STRUCTURES SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 03400. COMBO AND JUNCTION BOXES SHALL BE CAST-IN-PLACE UNLESS SPECIFIED AND/OR APPROVED BY THE CITY REPRESENTATIVE.
 - BACKFILL SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 02240.
 - COMPACTION SHALL BE 96% PER SPECIFICATIONS IN SECTION 02240.
 - PIPE SIZE, ELEVATION, AND LOCATION SHALL BE SHOWN ON APPROVED CONSTRUCTION DRAWINGS.
 - MANHOLE RING AND COVER SHALL BE D&L SUPPLY MODEL A-1180 OR APPROVED EQUAL.
 - INLET FRAME, GRATE, AND HOOD SHALL BE D&L SUPPLY MODEL I-3517 (FOR SLOPES LESS THAN 2%) OR MODEL I-3518 (FOR SLOPES GREATER THAN 2%) OR APPROVED EQUAL.
 - THROAT OPENING HEIGHT OF CURB INLET SHALL BE A MIN. OF 4"
 - WHEN A CURB INLET BOX IS INSTALLED IN A LOCATION WITH EXISTING CURB AND GUTTER, THE CURB AND GUTTER SHALL BE REPLACED TO THE NEXT JOINT OR AS DIRECTED BY THE CITY REPRESENTATIVE.
 - REBAR SPLICE FOR CAST-IN-PLACE STRUCTURES SHALL BE MIN. 40 DIAMETERS.
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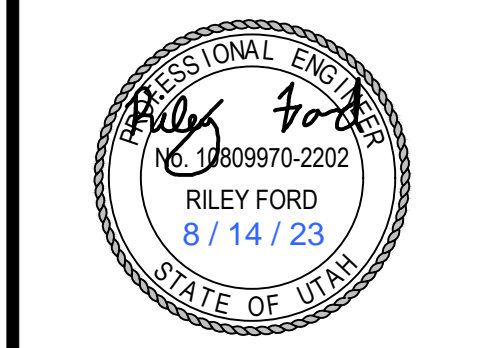
RICHFIELD
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FOR:
GARDNER COMPANY
201 SOUTH MAIN, SUITE 2000
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CONTACT:
JOHN BANKHEAD
PHONE: (801) 750-4170

SANDY SHULSEN MIXED USE
10300 SOUTH MONROE STREET
SANDY, UTAH



GRADING AND DRAINAGE PLAN

PROJECT NUMBER: 7651B
PRINT DATE: 8/14/23
DRAWN BY: J. FORD
CHECKED BY: J. FORD
PROJECT MANAGER: J. FORD

C-300

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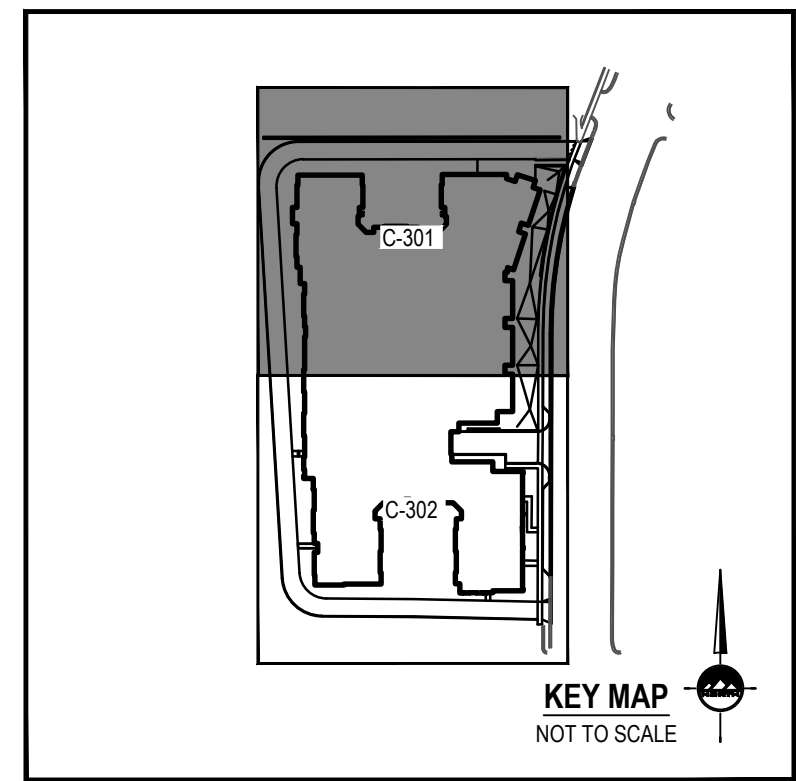
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- COMPACTION SHALL BE 95% PER SPECIFICATIONS IN SECTION 02240.
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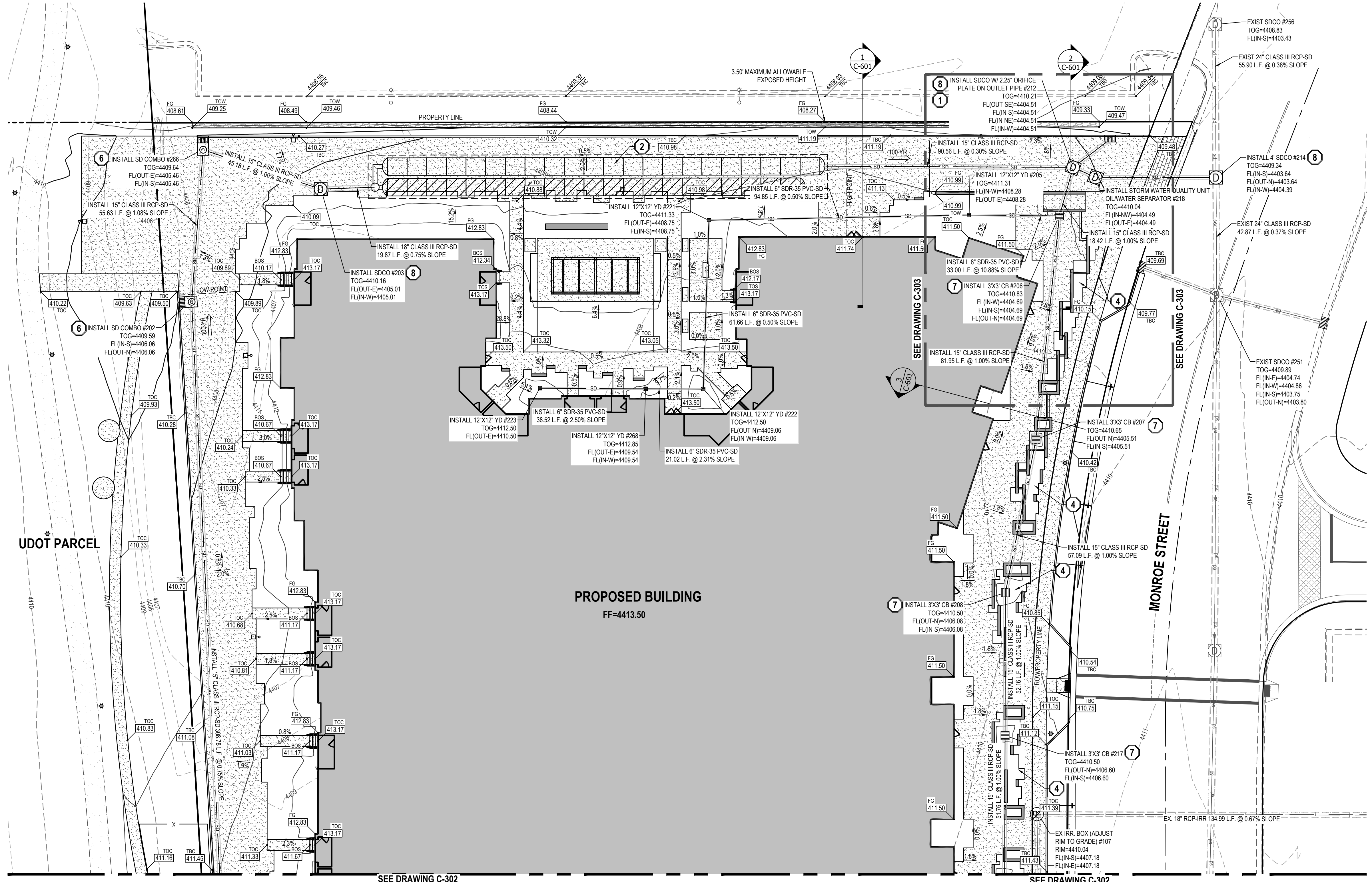
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SCOPE OF WORK:

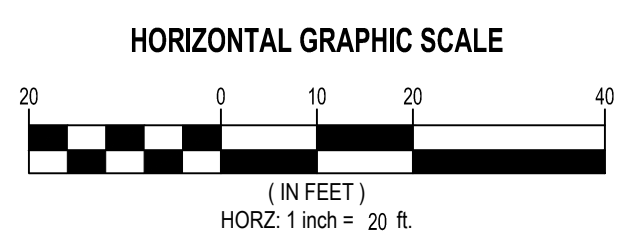
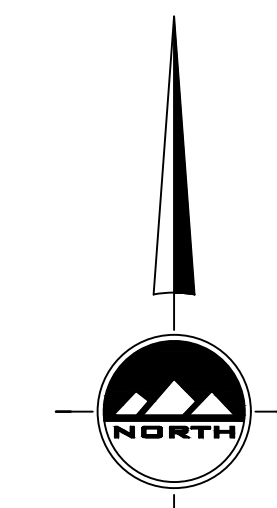
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- ORIFICE PLATE PER DETAIL 9/C-600 INSTALLED ON WEST SIDE OF STORM DRAIN BOX.
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TOP OF CHAMBERS= 4409.28
TOP OF CHAMBERS= 4404.53
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- INSTALL 3' X 3' STORM DRAIN WITH GRATE PER SANDY CITY STANDARD DRAWING SD-05.
- INSTALL STORM DRAIN JUNCTION BOX PER SANDY CITY STANDARD DRAWING SD-05.

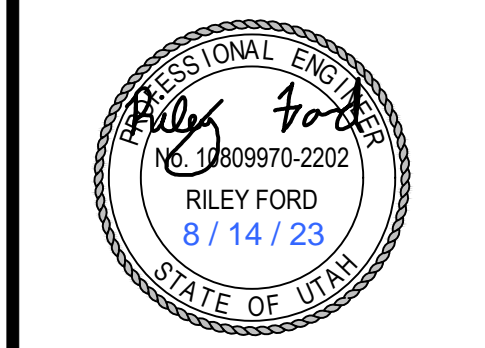


SEE DRAWING C-302

SEE DRAWING C-302



SANDY SHULSEN MIXED USE
10300 SOUTH MONROE STREET
SANDY, UTAH



GRADING AND DRAINAGE PLAN

PROJECT NUMBER: 7651B
PRINT DATE: 8/14/23
DRAWN BY: J. FORD
CHECKED BY: J. FORD
PROJECT MANAGER: J. FORD

C-301

811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK
SOUTHEAST CORNER OF SECTION 12,
TOWNSHIP 3 SOUTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4443.33

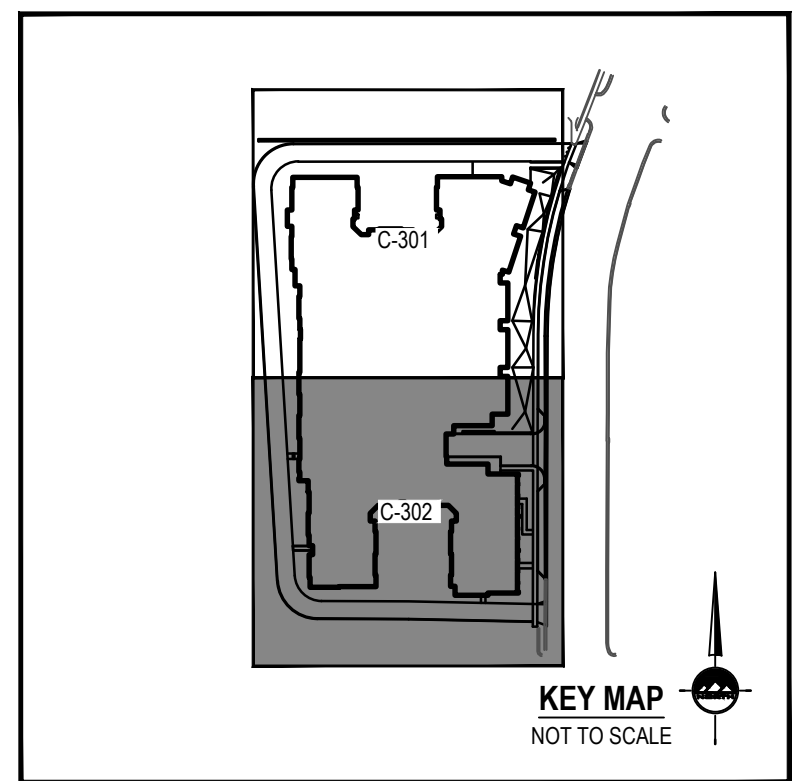
GENERAL NOTES

- ALL WORK TO COMPLY WITH THE SANDY CITY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
- ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XXXX REPRESENTS AN ELEVATION OF 48XX.XX ON THESE PLANS.
- LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.

- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER SANDY CITY STANDARD PLANS AND SPECIFICATIONS.
- ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
- ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER SANDY CITY'S STANDARDS AND SPECIFICATIONS.

- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
- OBTAIN A PERMIT FROM THE SANDY CITY BUILDING DIVISION (801-568-7251) PRIOR TO CONSTRUCTING ANY RETAINING WALL THAT WILL BE 4.0 FEET HIGH OR HIGHER FROM BOTTOM OF WALL FOOTING TO TOP OF WALL.
- A PROFESSIONAL ENGINEER, CURRENTLY LICENSED IN UTAH, SHALL INSPECT DURING CONSTRUCTION, AND APPROVE AFTER CONSTRUCTION, ANY RETAINING WALLS THAT ARE 4.0 FEET HIGH OR HIGHER, FROM TOP OF WALL TO BOTTOM OF FOOTING. SAID ENGINEER SHALL SUBMIT A LETTER, STAMPED, WITH THE STAMP SIGNED AND DATED, AND INDICATING THAT THE WALL WAS INSTALLED ACCORDING TO THE APPROVED DESIGN, TO THE SANDY CITY ENGINEER, PRIOR TO RELEASE OF THE GUARANTEE FOR IMPROVEMENTS.
- ALL IMPROVEMENTS WITHIN THE UTAH DEPARTMENT OF TRANSPORTATION (UDOT) RIGHT-OF-WAY/PROPERTY SHALL BE CONSTRUCTED AS REQUIRED BY UDOT REGION TWO.
- BUILDER/OWNER SHALL OBTAIN AN EXCAVATION PERMIT FROM THE UTAH DEPARTMENT OF TRANSPORTATION (UDOT) REGION TWO PRIOR TO DOING ANY WORK WITHIN THE UDOT RIGHT-OF-WAY/PROPERTY.
- MATERIALS, CONSTRUCTION, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION, ADDENDUMS, AND SPECIAL PROVISIONS THERE TO AND AS DIRECTED BY THE CITY ENGINEER, OR HIS AUTHORIZED REPRESENTATIVE. THE CURRENT EDITION IS AVAILABLE ONLINE AT: [HTTP://SANDY.UTAH.GOV/GOVERNMENT/PUBLIC-WORKS/STANDARD-SPECIFICATIONS.HTML](http://sandy.utah.gov/government/public-works/standard-specifications.html)

- CONCRETE SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTIONS 03000 AND 03300.
- REINFORCING STEEL SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 03200.
- PRECAST MANHOLES AND STRUCTURES SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 03400. COMBO AND JUNCTION BOXES SHALL BE CAST-IN-PLACE UNLESS SPECIFIED AND/OR APPROVED BY THE CITY REPRESENTATIVE.
- BACKFILL SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 02240.
- COMPACTION SHALL BE 95% PER SPECIFICATIONS IN SECTION 02240.
- PIPE SIZE, ELEVATION, AND LOCATION SHALL BE SHOWN ON APPROVED CONSTRUCTION DRAWINGS.
- MANHOLE RING AND COVER SHALL BE D&L SUPPLY MODEL A-1180 OR APPROVED EQUAL.
- INLET FRAME, GRATE, AND HOOD SHALL BE D&L SUPPLY MODEL L-3517 (FOR SLOPES LESS THAN 2%) OR MODEL L-3518 (FOR SLOPES GREATER THAN 2%) OR APPROVED EQUAL.
- THROAT OPENING HEIGHT OF CURB INLET SHALL BE A MIN. OF 4"
- WHEN A CURB INLET BOX IS INSTALLED IN A LOCATION WITH EXISTING CURB AND GUTTER, THE CURB AND GUTTER SHALL BE REPLACED TO THE NEXT JOINT OR AS DIRECTED BY THE CITY REPRESENTATIVE.
- REBAR SPICE FOR CAST-IN-PLACE STRUCTURES SHALL BE MIN. 40 DIAMETERS.
- PIPE TO STRUCTURE COLLAR (SEE SHEET SD-06) SHALL BE INSTALLED FOR ALL PIPE TO STRUCTURE CONNECTIONS FOR CURB INLET BOXES, COMBO BOXES, AND JUNCTION BOXES.



ENSIGN
THE STANDARD IN ENGINEERING

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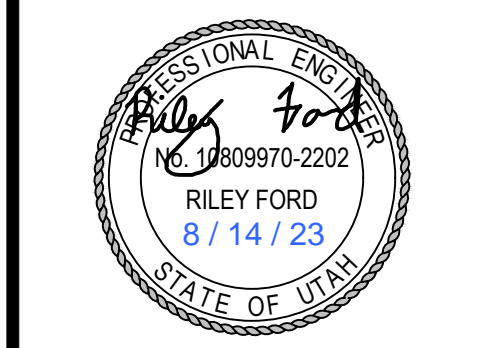
RICHFIELD
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FOR:
GARDNER COMPANY
201 SOUTH MAIN, SUITE 2000
SALT LAKE CITY, UTAH 84111

CONTACT:
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PHONE: (801) 750-4170

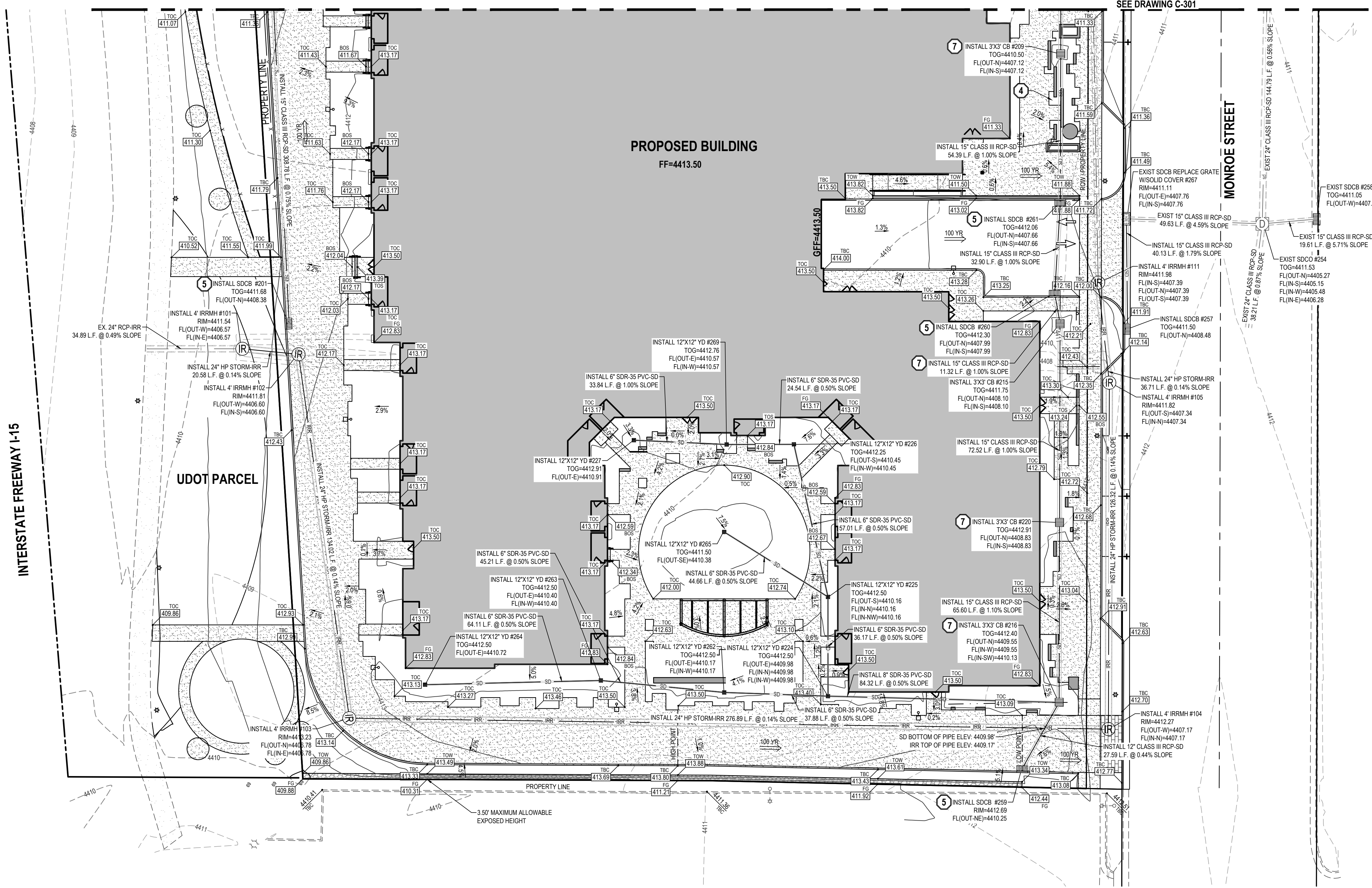
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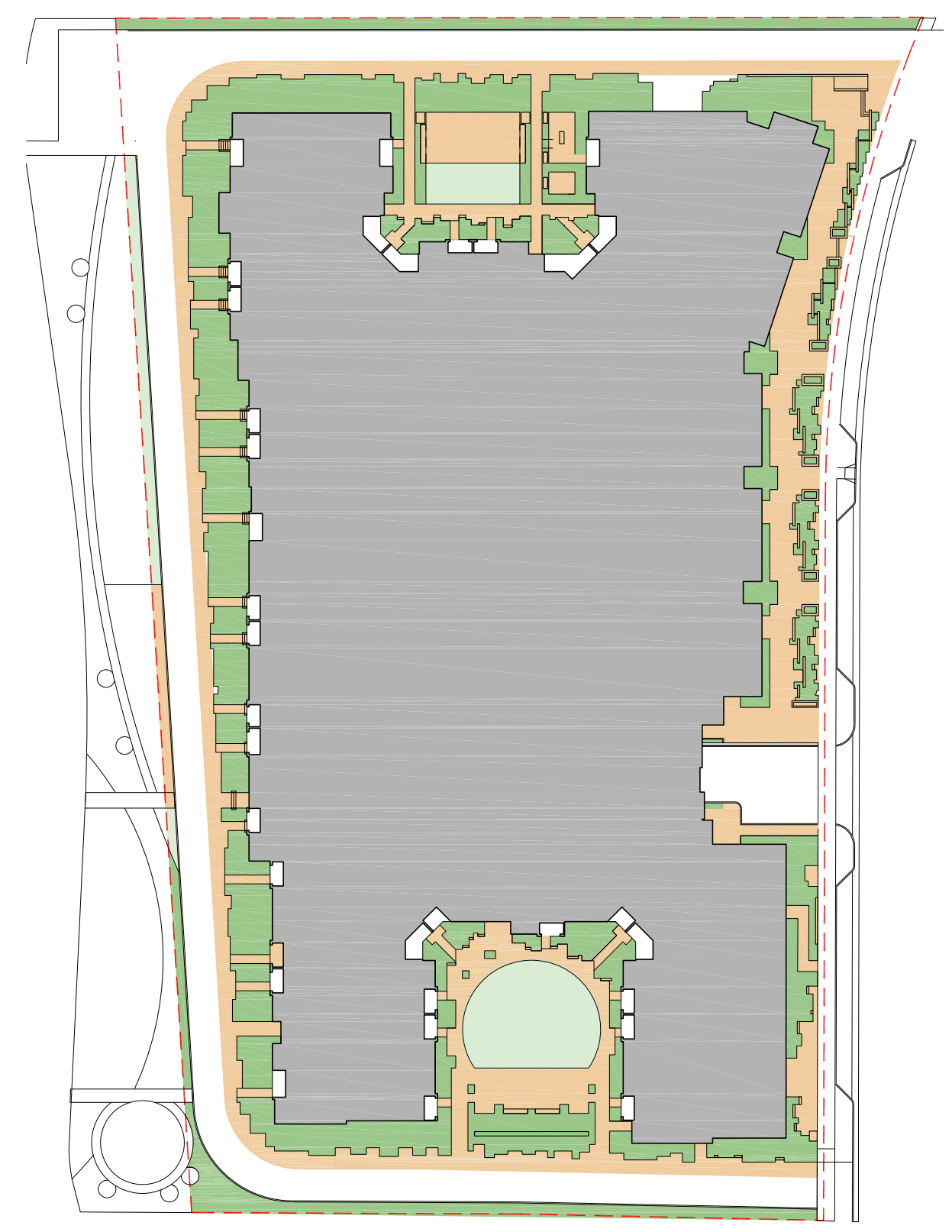
- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- ORIFICE PLATE PER DETAIL 9/C-600 INSTALLED ON WEST SIDE OF STORM DRAIN BOX.
 - INSTALL (43) MC-3500 STORM DRAIN STORAGE CHAMBERS
TOP OF GRAVEL= 4409.28
TOP OF CHAMBERS= 4408.28
BOTTOM OF CHAMBERS= 4404.53
BOTTOM OF GRAVEL= 4393.78
STORAGE REQUIRED= 8,400 CF
STORAGE PROVIDED= 8,625 CF
 - ROOF DRAIN SEE MECHANICAL PLANS FOR CONTINUATION.
 - LID BIOSWALE PER DETAIL 9/C-600.
 - INSTALL STORM DRAIN SINGLE CURB INLET BOX PER SANDY CITY STANDARD DRAWING SD-02.
 - INSTALL STORM DRAIN COMBO BOX PER SANDY CITY STANDARD DRAWING SD-04.
 - INSTALL 3' X 3' STORM DRAIN WITH GRATE PER SANDY CITY STANDARD DRAWING SD-05.
 - INSTALL STORM DRAIN JUNCTION BOX PER SANDY CITY STANDARD DRAWING SD-05.

LANDSCAPE CALCULATIONS - only private property

DESCRIPTION	TOTAL
TOTAL AREA OF PRIVATE PROPERTY	167,291 SF
50 FT OF TOTAL PRIVATE LANDSCAPE AREA AND PEDESTRIAN HARDSCAPE (SITE AREA NOT ENCUMBERED BY BUILDINGS, ROADS, OR DRIVEWAYS) - 33% MINIMUM AREA COVERAGE OF NON-HARDSCAPE AREAS	55,568 SF
PERCENTAGE OF TOTAL PRIVATE LANDSCAPE AREA AND PEDESTRIAN HARDSCAPE	33.2%
TOTAL AREA OF PEDESTRIAN HARDSCAPE	23,046 SF
TOTAL AREA OF LANDSCAPE (TURF AND SHRUB BED AREAS)	32,522 SF
PERCENTAGE OF LANDSCAPE AREA IN TURF	6,957 SF 21% OF LANDSCAPE

DESCRIPTION	PROPOSED LANDSCAPE WITHIN PRIVATE PROPERTY	PROPOSED TREES WITHIN PRIVATE PROPERTY	REQ. TREES - 1 PER 400 SF LANDSCAPED AREA	DESCRIPTION	REQ. TREES WITHIN PRIVATE PROPERTY	PROPOSED TREES WITHIN PRIVATE PROPERTY	REQUIRED - (MIN. 40% EVERGREEN)
TREES - REQUIRED 1 PER 400 SF *	32,522 SF	162	81	DECIDUOUS TREE	38	135	26
				EVERGREEN TREE	26	27	
				TOTAL	65	163	

* PER CAIRNS DISTRICT REQ. - 7.2



REFERENCE NOTE SCHEDULE

SYMBOL	DESCRIPTION	QTY
[Symbol]	FIRE HYDRANT - REFER TO CIVIL PLANS	
[Symbol]	SITE LIGHTING - REFER TO CIVIL AND ELECT. PLANS	
[Symbol]	SIGN WITH 200 SF OF PAVERS	
[Symbol]	STREET SIGN - REFER TO CIVIL PLANS	
[Symbol]	TURF AREAS - 6 INCH OF TOPSOIL	
[Symbol]	ART PIECE WITH 200 SF OF PAVERS	
[Symbol]	SCREEN WALL - 10'-0" HIGH	
[Symbol]	2' DEPTH OF BARK MULCH OVER 12" ROOF GARDEN SOIL MIX OR AS INDICATED ON THE DRAWINGS, TYP. REFER TO SHT. L-M501 DTL. F	2,059 sf
[Symbol]	SHADE STRUCTURE	
[Symbol]	POOL - REFER TO POOL ENGINEERS DNG.	
[Symbol]	3' DEPTH OF ROCK MULCH - 1" TO 3" ANGULAR - TAN COLOR - OVER WEED BARRIER FABRIC AND 12" AMENDED OF TOPSOIL MIX, TYP.	11,683 sf
[Symbol]	3' DEPTH OF BARK MULCH - OVER WEED BARRIER FABRIC AND 12" AMENDED OF TOPSOIL MIX, TYP.	20,516 sf
[Symbol]	RAISED PLANTER - CONCRETE, TYP.	
[Symbol]	20'x60' CLEAR-VIEW TRIANGLE. NO OBSTACLES, INCLUDING VEGETATION, OVER THREE FEET HIGH, AS MEASURED FROM TOP BACK OF CURB, ARE ALLOWED WITHIN THE TRIANGLE.	
SYMBOL	FENCING & PIPING DESCRIPTION	QTY
[FP-01]	DOG RUN FENCING - 4'-0" HIGH, TYP. - REFER TO SHT. L-L501 DTL. K	222 LF
[FP-02]	DOG RUN GATE - 4'-0" HIGH X 4'-0" WIDE , TYP. - REFER TO SHT. L-L501 DTL. K	
[FP-03]	HANDRAIL, TYP.	
SYMBOL	PAVING DESCRIPTION	QTY
[P-01]	STANDARD CONCRETE - REFER TO CIVIL PLANS, TYP.	
[P-02]	CONCRETE PAVING TYPE 1 - CHARCOAL WITH SANDBLAST FINISH - COORDINATE W/ CIVIL AND ARCH. PLANS, TYP.	
[P-03]	CONCRETE PAVING TYPE 2 - STANDARD CONCRETE WITH SANDBLAST FINISH - COORDINATE W/ CIVIL AND ARCH. PLANS, TYP.	
[P-04]	UNIT PAVERS TYPE 3 - COORDINATE W/ ARCH AND STRUCT. PLANS, TYP.	
[P-05]	UNIT PAVERS TYPE 4 - COORDINATE W/ ARCH AND STRUCT. PLANS, TYP.	
[P-06]	ARTIFICIAL TURF SAFETY SURFACING - INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE SAMPLE COLORS FOR APPROVAL-	981 sf
[P-07]	CONCRETE MOW CURB - 12 INCH - REFER TO SHT. L-M501 DTL. D	
[P-08]	ADA RAMP - REFER TO CIVIL PLANS	
[P-09]	CURB AND / OR GUTTER - REFER TO CIVIL PLANS	
SYMBOL	PLANTER DESCRIPTION	QTY
[FL-01]	PLANTER TYPE B - STONEYARD INC - BARRO P43-R2124 - 21" DIA X 24" H - FINISH AND COLOR TO BE APPROVED - ROOF GARDEN SOIL MIX, TYP.	5
[FL-02]	ROOF PLANTER WITH ROOF GARDEN SOIL MIX, TYP.	4
SYMBOL	SITE FURNISHINGS DESCRIPTION	QTY
[S-01]	PICNIC TABLE, TYP.	7
[S-02]	SITE FURNISHINGS, TYP.	
[S-03]	FIRE PIT	3
[S-04]	BBO GRILL STATION	
[S-05]	CONCRETE SEAT WALL - 18" HIGH, TYP.	
[S-06]	PLAY GROUND	
[S-07]	BASKETBALL STANDARD AND COURT	
[S-08]	BIKE RACK, TYP. - REFER TO SHT. L-L501 DTL. I	2
[S-09]	TRASH RECEPTACLE, TYP. - REFER TO SHT. L-L501 DTL. J	5

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LANDSCAPE NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COSTS INCURRED DUE TO DAMAGE OF SAID UTILITIES.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH THE LANDSCAPE CONSTRUCTION FOR THIS PROJECT.
- ALL PLANT MATERIAL SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE UPON DELIVERY TO THE SITE, AND PRIOR TO INSTALLATION.
- IF DISCREPANCIES ARISE BETWEEN ACTUAL PLANTING AREA SIZES IN THE FIELD AND THOSE SHOWN ON THE PLANS, CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN CONTRACTOR'S LIABILITY FOR MATERIALS RELOCATION.
- FINAL LOCATIONS OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPING THAT IS DESIGNATED TO REMAIN. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING OR OTHER APPROVED GUARDS OUTSIDE DRIP LINE (OUTER PERIMETER OF BRANCHES) OF TREES TO PROTECT FROM DAMAGE (SEE DETAIL). DO NOT STORE CONSTRUCTION MATERIALS, PERMIT VEHICULAR TRAFFIC OR PEDESTRIAN ACCESS WITHIN DRIP LINE TO AVOID SOIL COMPACTION. COORDINATE WITH ARCHS. AND CIVIL PLANS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE DEPTHS DESCRIBED FOR TURF AREAS AND SHRUB BEDS AS INDICATED IN SHT. L-L001 DTL. B. IF NECESSARY DIG SUBGRADE IN SHRUB BEDS AND SODDED AREAS DOWN AS SPECIFIED BEFORE PLACING AMENDED TOPSOIL. REFER TO GRADING PLAN FOR FINISH GRADE AND DRAINAGE.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE ONLY AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- TREES SHALL NOT BE PLANTED LESS THAN 5'-0" FROM CURBS OR HARD SURFACE AREAS UNLESS A ROOT BARRIER IS INSTALLED.
- A SOILS REPORT SHALL BE PROVIDED BY THE CONTRACTOR, AND SHALL DESCRIBE THE DEPTH, COMPOSITION, AND BULK DENSITY OF THE TOPSOIL AND SUBSOIL AT THE SITE AND SHALL INCLUDE RECOMMENDATIONS FOR SOIL AMENDMENTS. REFER TO SPECS.
- 24-HR MAXIMUM SLOPE IN LANDSCAPED AREAS
- NO TREES SHALL BE PLANTED IN PUBLIC PARK STRIPS LESS THAN EIGHT (8) FEET WIDE. CENTERLINE OF TREES SHALL BE PLANTED MINIMUM FOUR (4) FEET AWAY FROM BACK OF CURB AND EITHER SIDE OF SIDEWALK.
- EXISTING TREES IN SIGHT TRIANGLES SHALL BE TRIMMED UP TO A HEIGHT OF 8' (14' IF TREE CANOPY EXTENDS OVER.
- BACK OF CURB ALONG PUBLIC STREET) OR HIGHER, ABOVE TOP BACK OF CURB (TYPICAL).
- EXISTING SHRUBS AND OTHER LANDSCAPING SHALL BE TRIMMED DOWN TO A HEIGHT OF 3 FEET (OR LOWER) ABOVE TOP BACK OF CURB (TYPICAL).

CONCEPT PLANT SCHEDULE - INCLUDING JDOT

SYMBOL	DESCRIPTION	QTY
[Symbol]	DECIDUOUS TREES Acer glabrum / Rocky Mountain Maple Koeleria paniculata / Golden Rain Tree Quercus macrocarpa / Bur Oak Ulmus parvifolia / Lacebark Elm Zelkova serrata 'Green Vase' / Sawleaf Zelkova	2" CALIPER 19
[Symbol]	COLUMNAR TREES Populus tremula 'Erecta' / Swedish Aspen Zelkova serrata 'Musashino' / Columnar Zelkova	2" CALIPER 40
[Symbol]	SMALL ACCENT TREES Acer latianum / Tatarian Maple Amelanchier x grandiflora / Serviceberry Prunus virginiana 'Schubert' Canada Red Chokecherry Quercus gambelii / Gambel Oak	1.5" CALIPER 115
[Symbol]	EVERGREEN TREE Cedrus atlantica 'Fastigiata' / Columnar Blue Atlas Cedar Picea abies 'Cupressina' / Columnar Norway Spruce Picea pungens glauca 'Hoopsii' / Colorado Blue Spruce	6' HEIGHT 27
[Symbol]	EVERGREEN SHRUBS Mahonia aquifolium / Oregon Grape Holly Pinus densiflora 'Umbraculifera' / Japanese Red/Tanyosho Pine Pinus mugo 'Sloumound' / Sloumound Mugo Pine	5 CONT. 326
[Symbol]	GRASS Calamagrostis acutifolia 'Karl Foerster' / Foerster's Reed Grass Miscanthus sinensis 'Gracillimus' / Maiden Grass Miscanthus sinensis 'Zebrinus' / Zebra Grass Panicum virgatum 'Shenandoah' / Burgundy Switch Grass Pennisetum alopecuroides 'Hamelii' / Hamlin Dwarf Fountain Grass	5 CONT. 638
[Symbol]	LARGE DECIDUOUS SHRUBS Cornus sericea 'Isanti' / Isanti Redosier Dogwood Prunus besseyi / Sand Cherry Rhus typhina 'Tiger Eyes' / Tiger Eyes Sumac Viburnum lantana 'Mohican' / Mayfaring Tree	5 CONT. 185
[Symbol]	LOW SHRUBS Juniperus horizontalis 'Wiltoni' / Wilton Blue Rug Juniper Juniperus sabina 'Arcadia' / Arcadia Juniper Prunus besseyi 'Paunee Buttes' / Sand Cherry Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 CONT. 79
[Symbol]	SMALL DECIDUOUS SHRUBS Buddleia davidii / Butterfly Bush Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub Philadelphus microphyllus Littleleaf Mock Orange Potentilla fruticosa / Shrubby Cinquefoil Ribes alpinum / Alpine Currant Ribes alpinum 'Green Mound' / Green Mound Alpine Currant Rosa x 'Knockout' / Knockout Rose (Red)	5 CONT. 634
[Symbol]	PERENNIALS Achillea spp. / Yarrow varieties Alchemilla mollis / Lady's Mantle Anemone canescens / Leadplant Aquilegia spp. / Columbine varieties Echinacea purpurea / Purple Coneflower Gaura lindheimeri 'Crimson Butterfly' / Crimson Butterfly Wandflower Iris sibirica / Siberian Iris Penstemon spp. / Penstemon varieties Salvia superba 'May Knight' / Perennial Sage	1 CONT. 225
[Symbol]	GROUND COVER Ajuga reptans / Ajuga Cerastium plumbaginoides / Hardy Plumbago Juniperus horizontalis / Creeping Juniper varieties Mahonia repens / Creeping Oregon Grape	FLAT 2,348 sf
[Symbol]	TURF Turf-Grass / Chanshare Desert Sage	SOD 12,792 sf

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consultant:

project

SANDY SHULSEN MIXED USE

10300 SOUTH MONROE ST
SANDY, UT 84070

date August 14, 2023

revisions

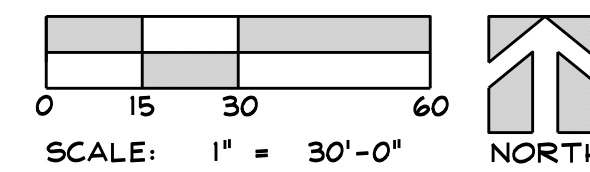
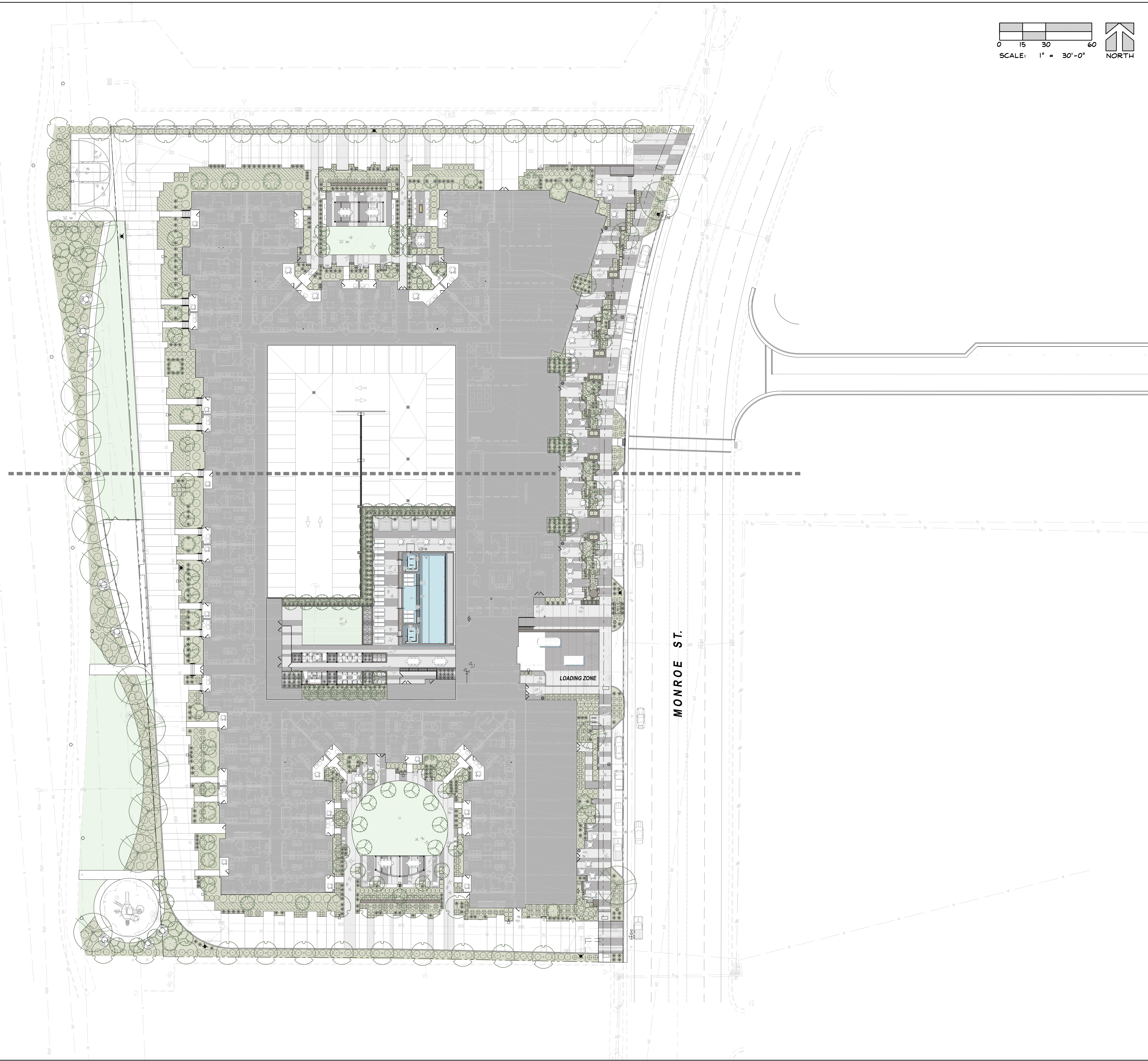
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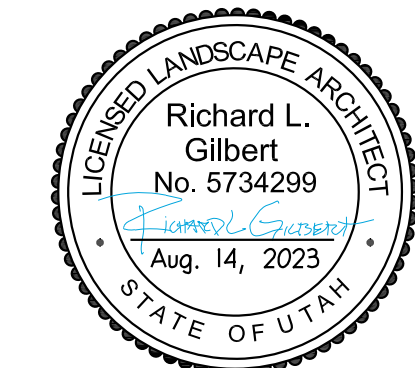
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project

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 MIXED USE**

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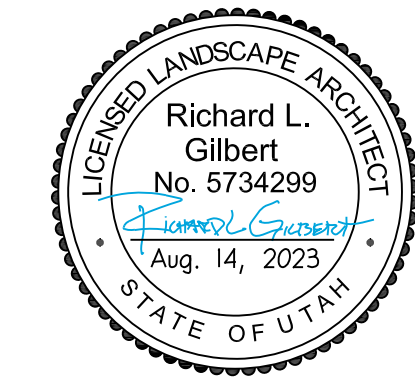
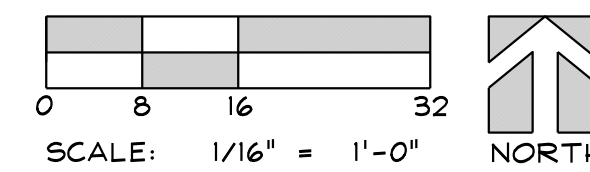
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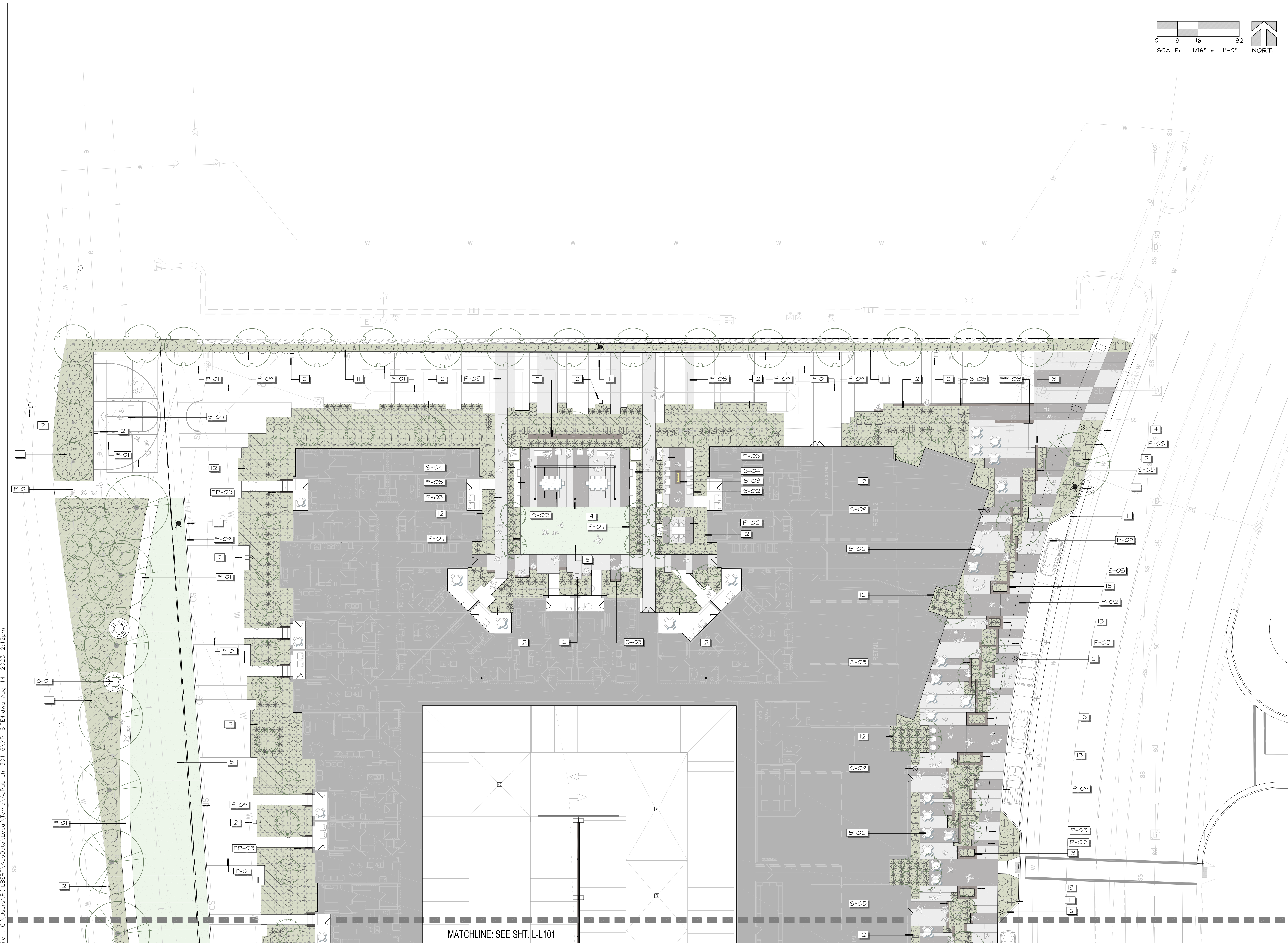
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**PRELIMINARY
 OVERALL
 LANDSCAPE PLAN**

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consultant:



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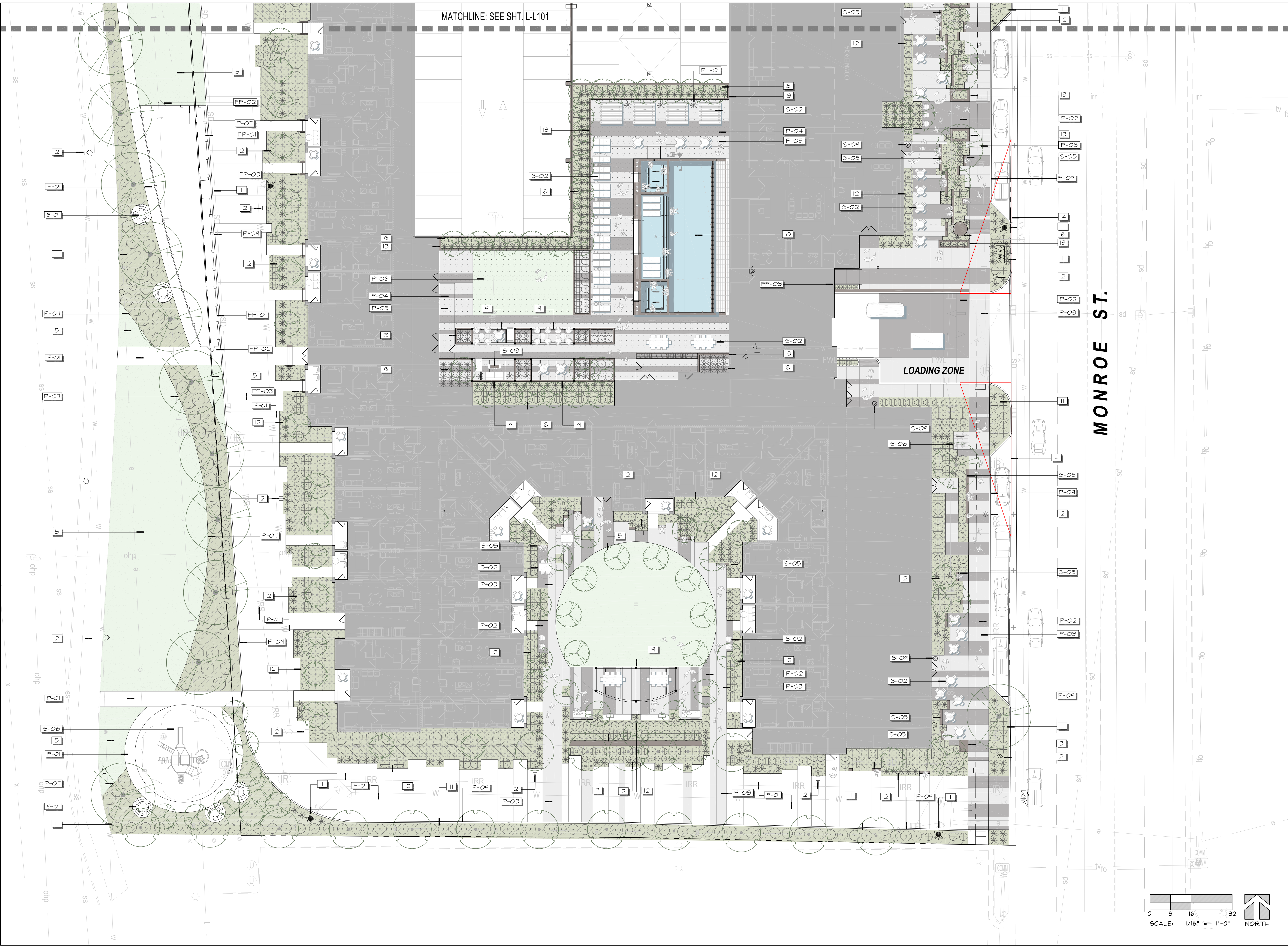
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PRELIMINARY LANDSCAPE PLAN

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L-L101

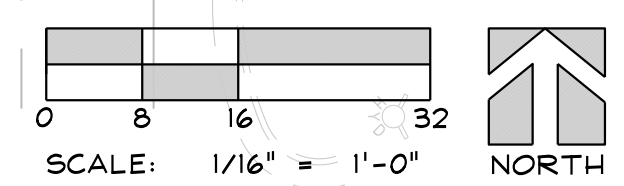
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MATCHLINE: SEE SHT. L-L101

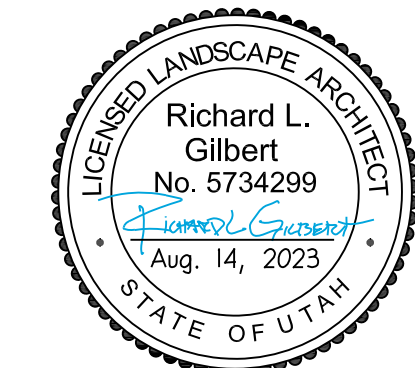


MONROE ST.



Arc Sitio
Design, Inc
Landscape Architecture &
Architectural Site Design

1058 East 2100 South
Salt Lake City, Utah 84106
office 801.487.4923
fax 801.466.3046
www.arcsitiodesign.com



consultant:

project

SANDY SHULSEN MIXED USE

10300 SOUTH MONROE ST
SANDY, UT 84070

date

August 14, 2023

revisions

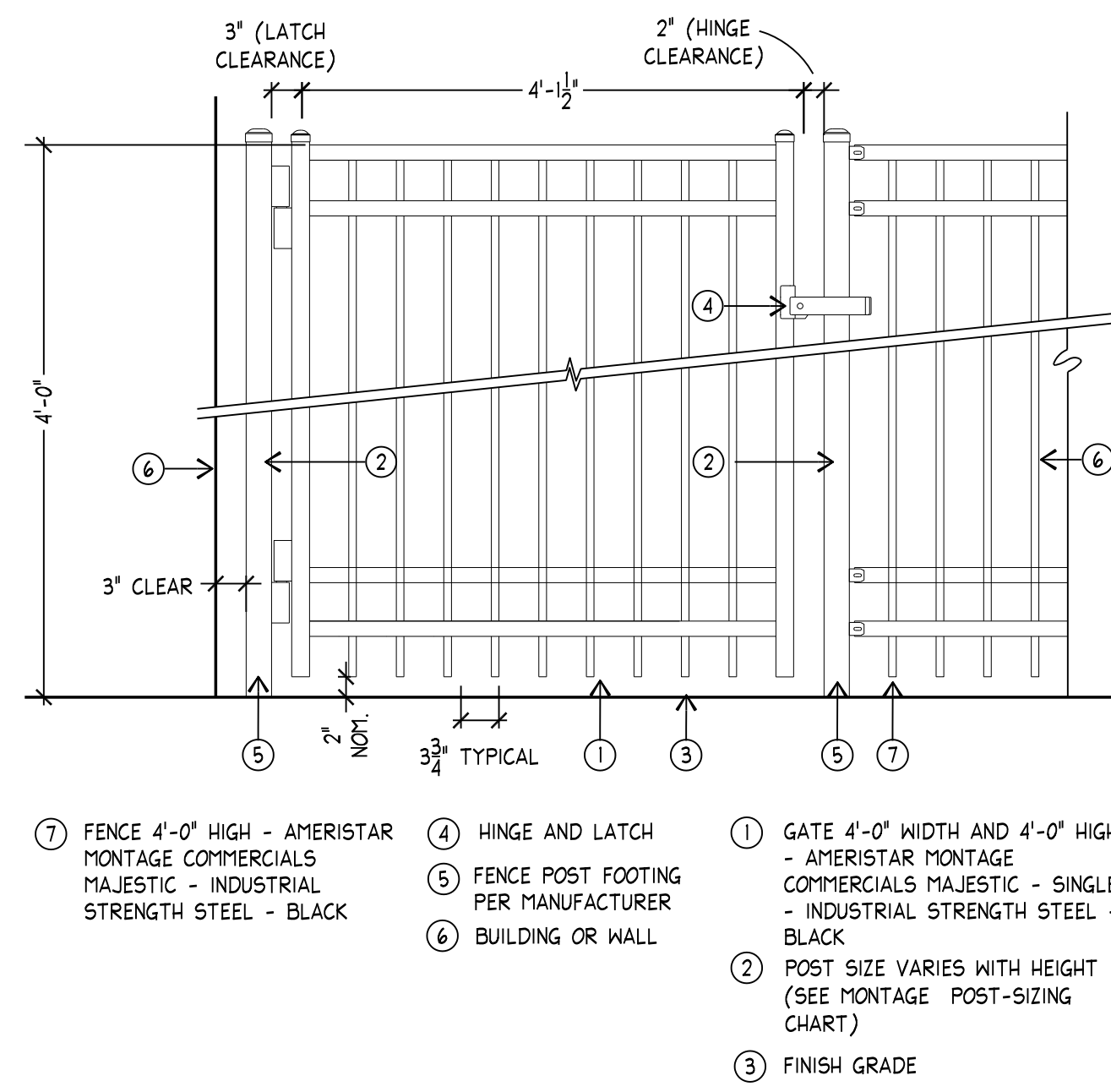
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asd project no: 22074

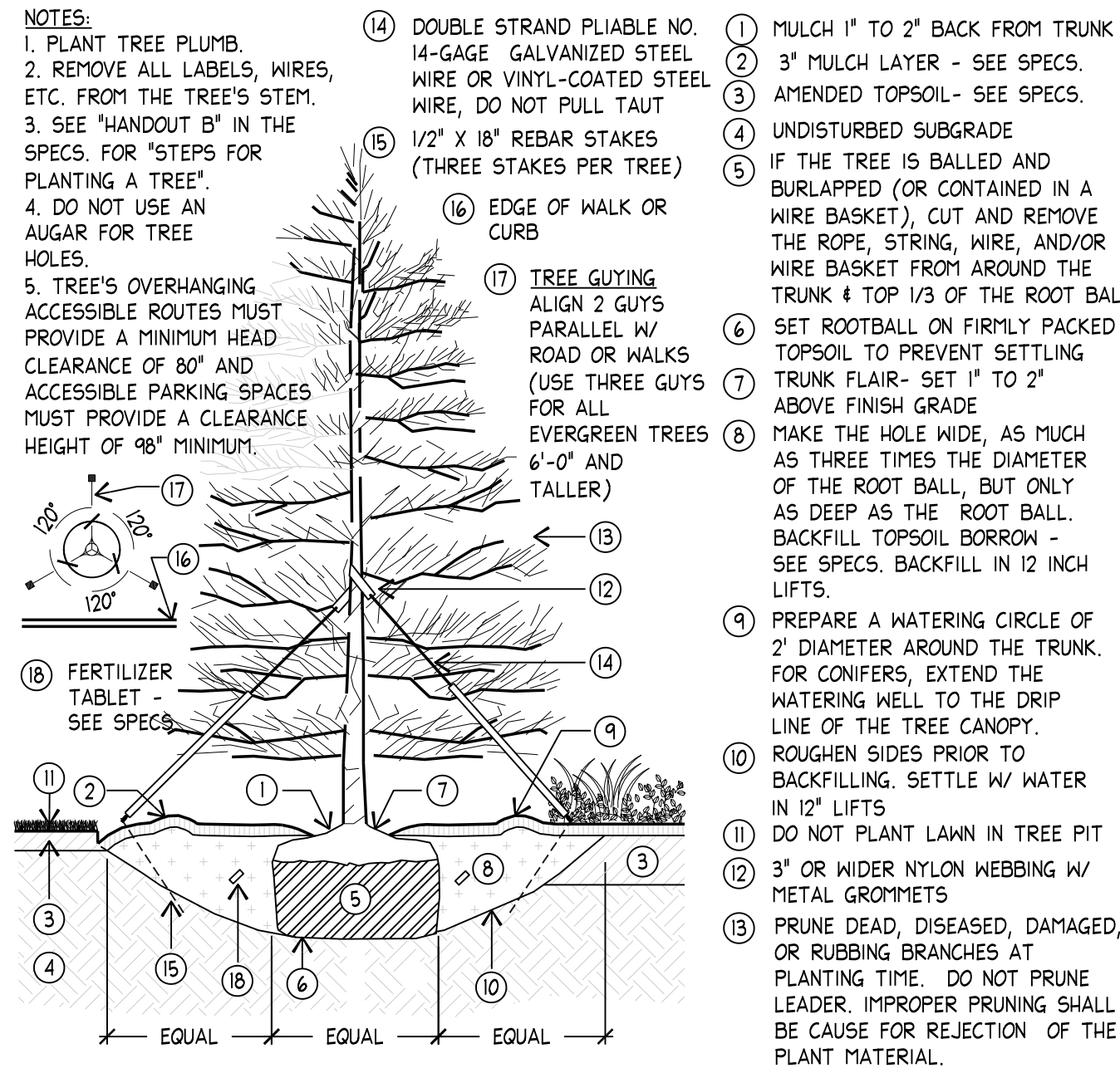
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PRELIMINARY LANDSCAPE PLAN

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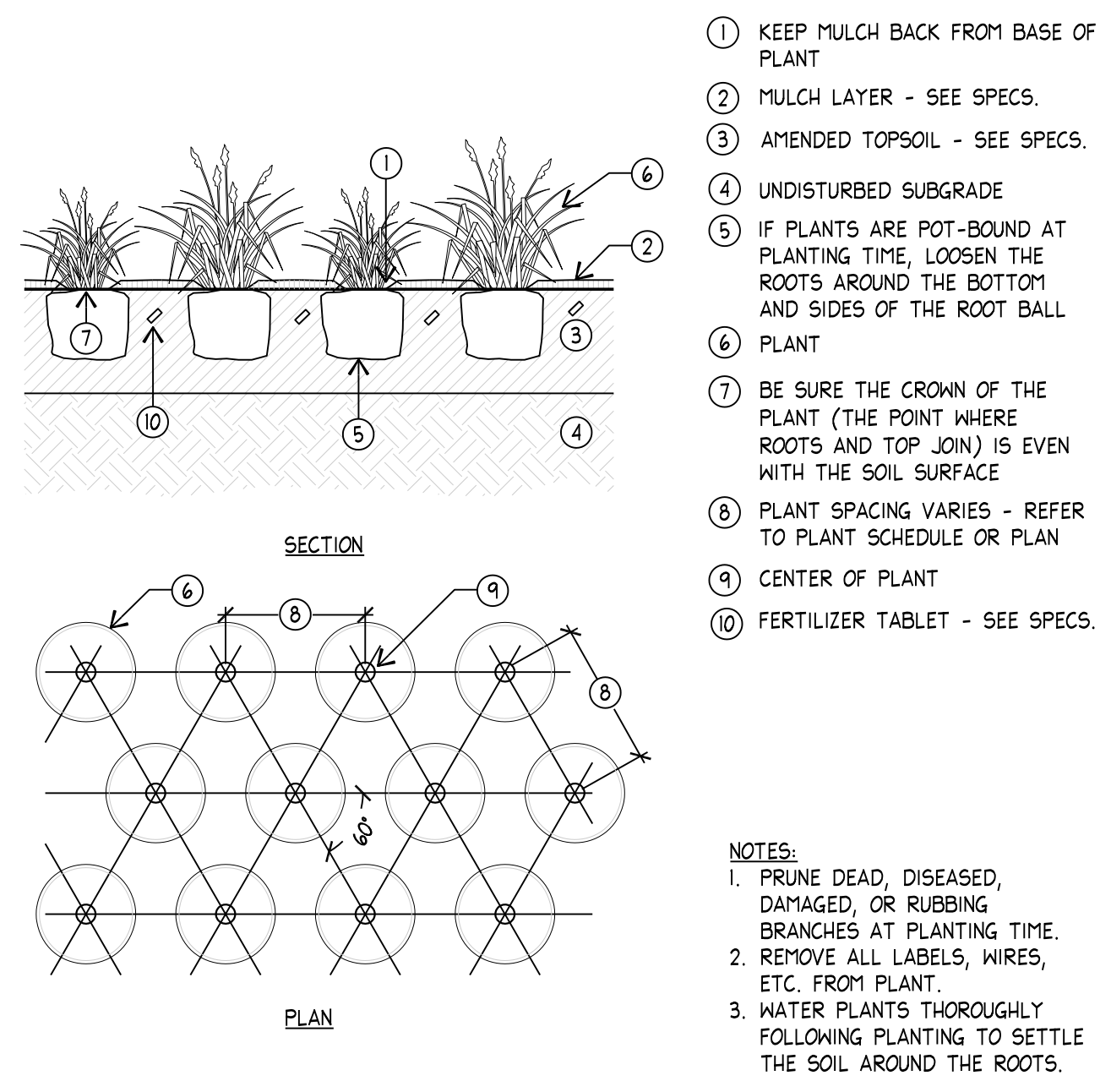
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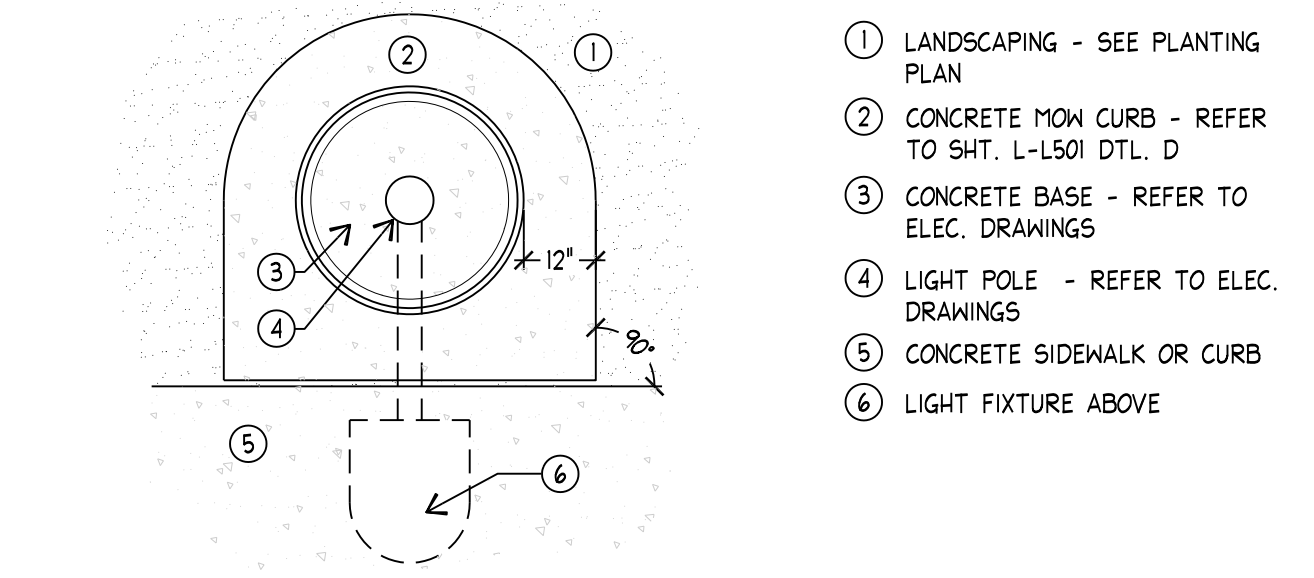
K FENCING AND PEDESTRIAN GATE - TYPICAL
SCALE: NTS ELEVATION



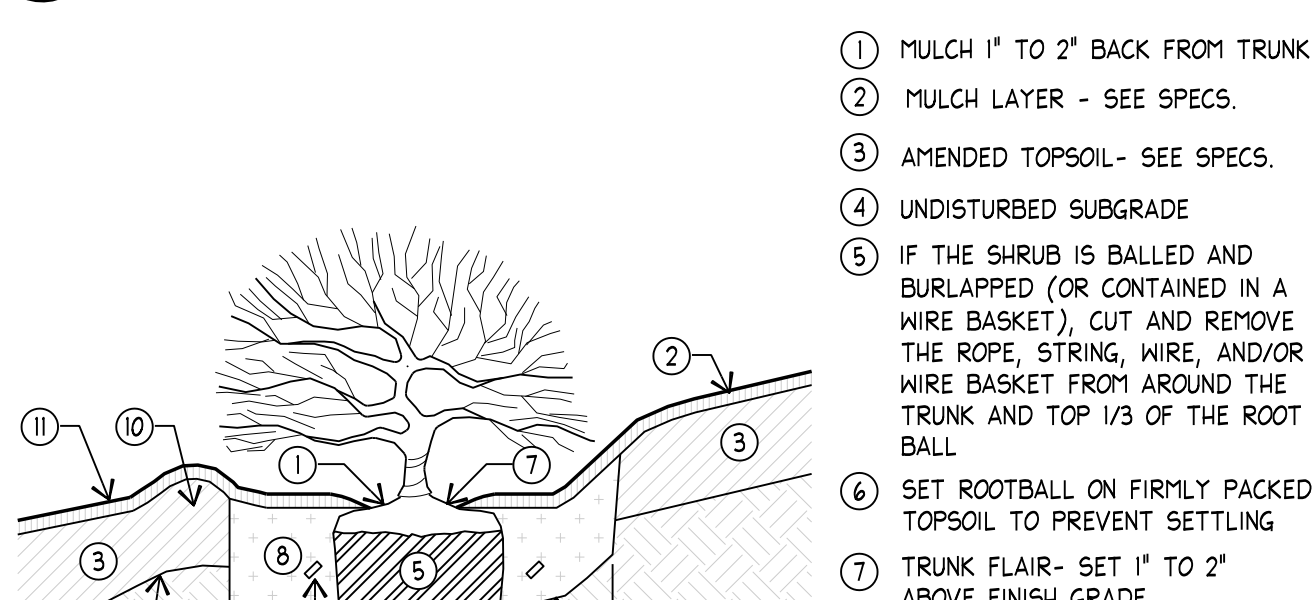
H EVERGREEN TREE WITH GUYING
SCALE: NTS SECTION



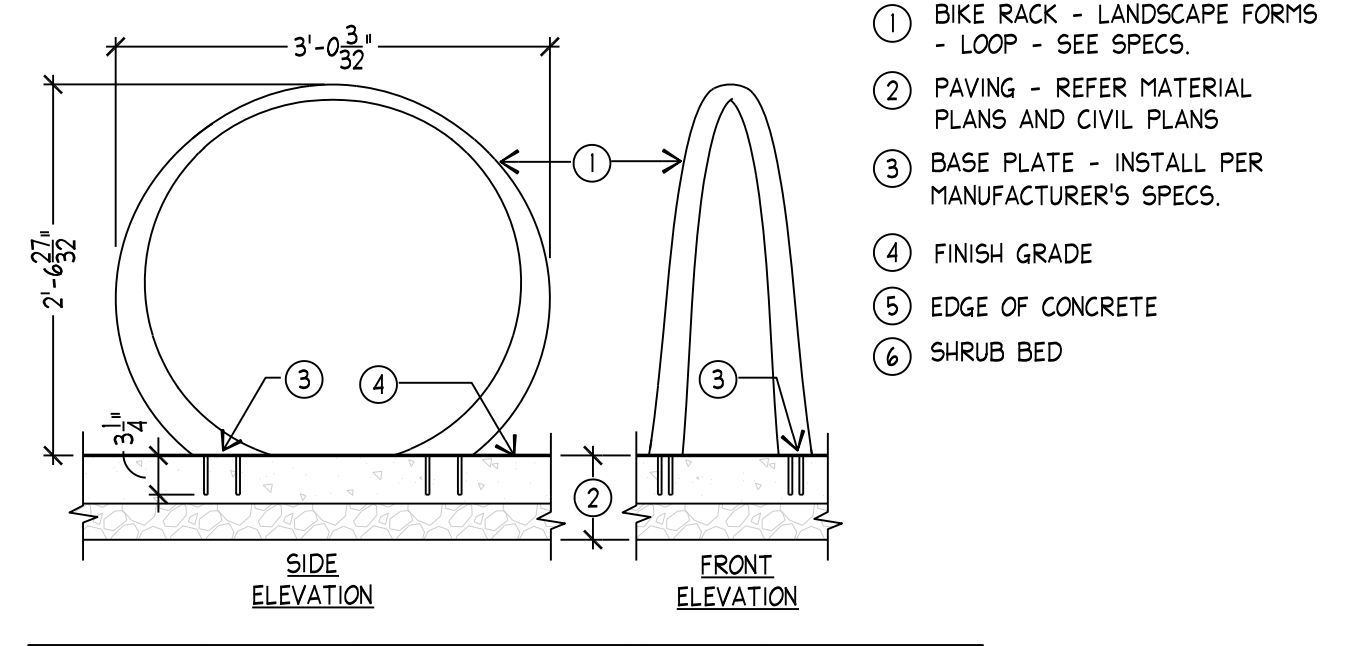
E PERENNIAL / GROUNDCOVER
SCALE: NTS SECTION/PLAN



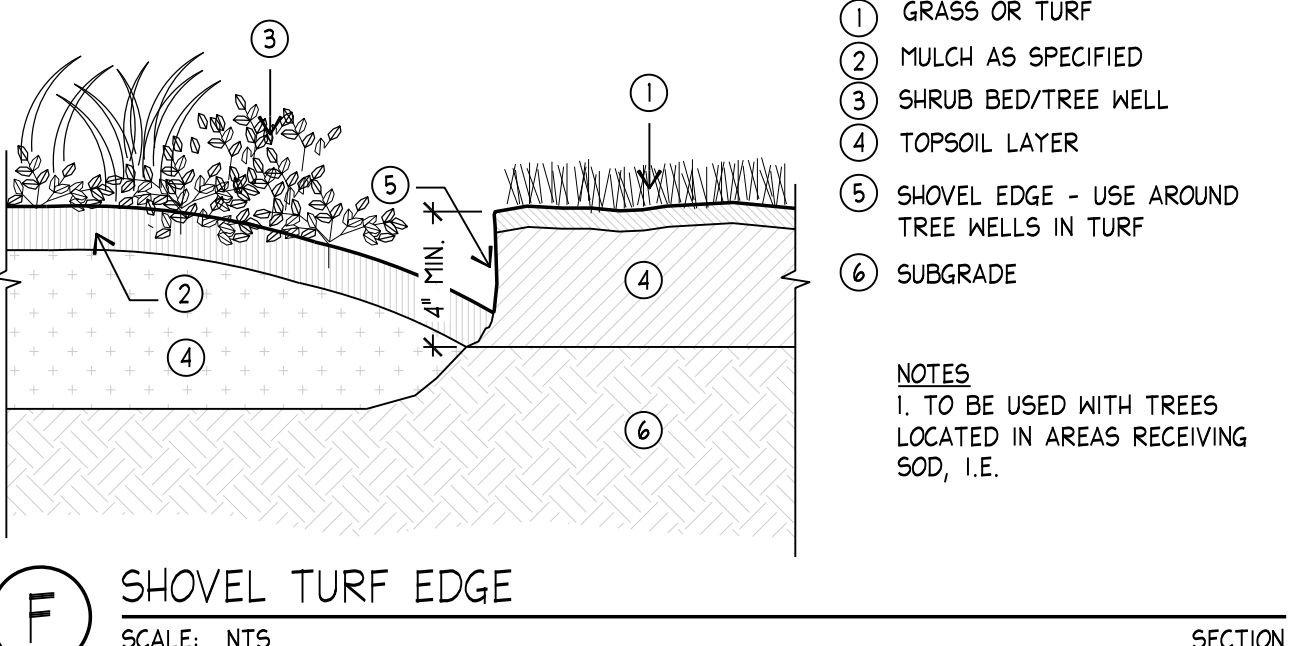
A LIGHT POLE MOW CURB (TO BE USED WITH TURF)
SCALE: NTS PLAN



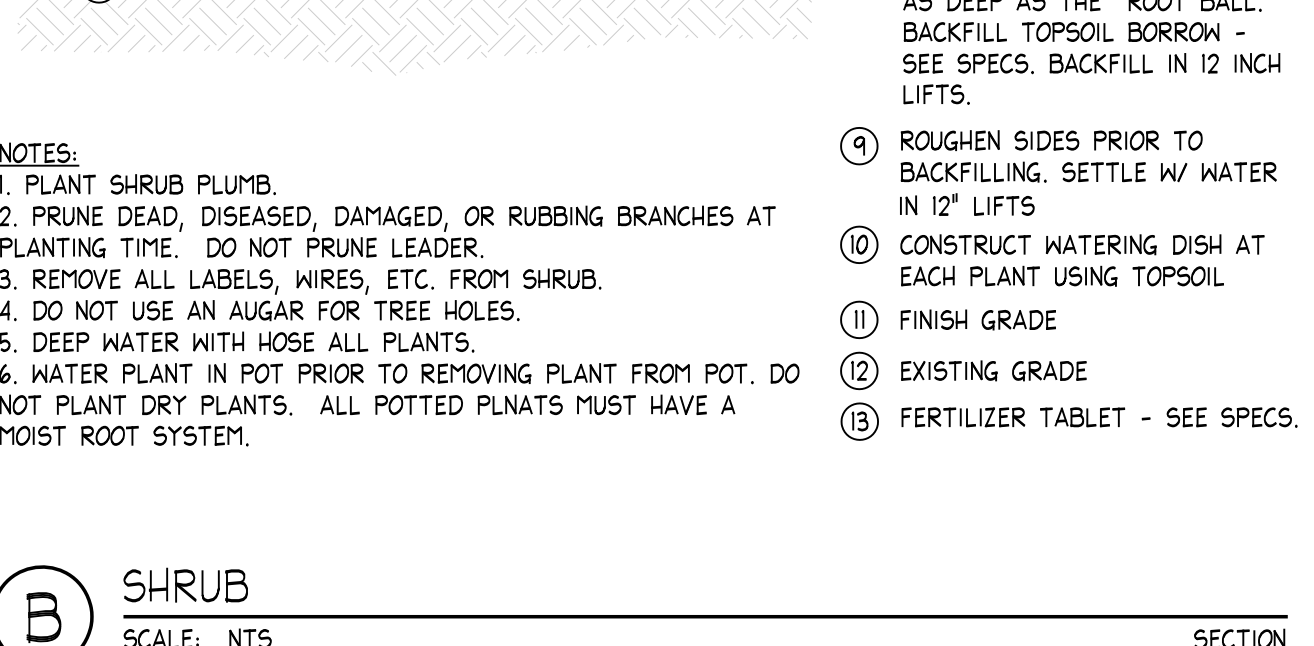
B SHRUB
SCALE: NTS SECTION



I BIKE RACK - TYPICAL
SCALE: NTS SECTION



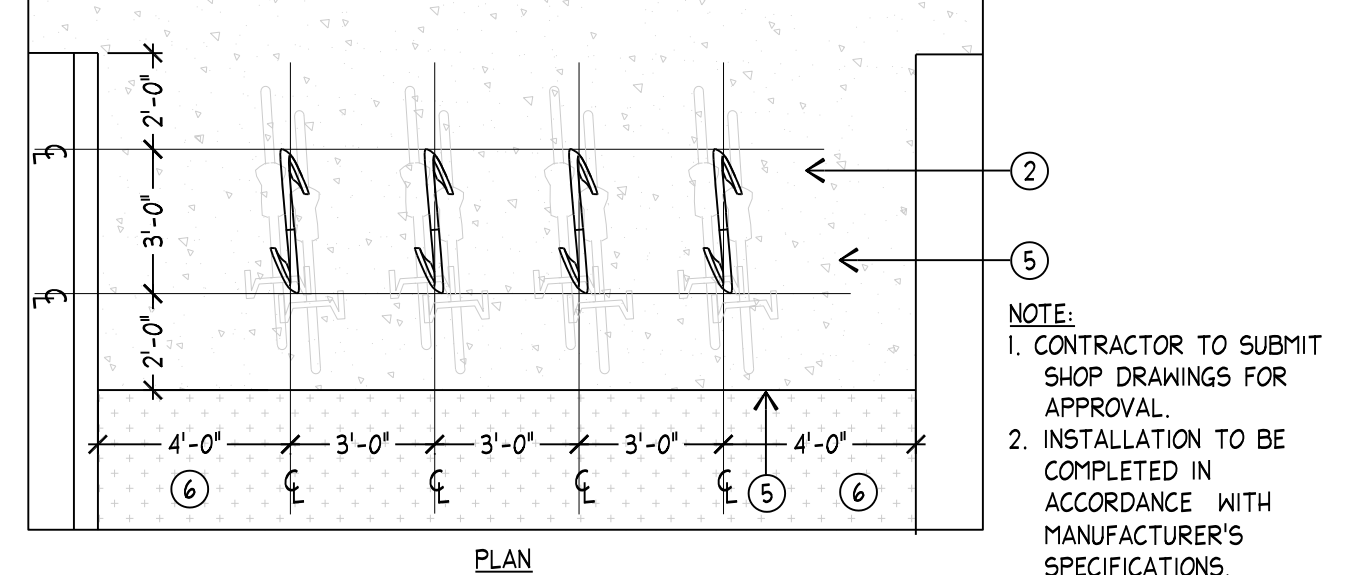
F SHOVEL TURF EDGE
SCALE: NTS SECTION



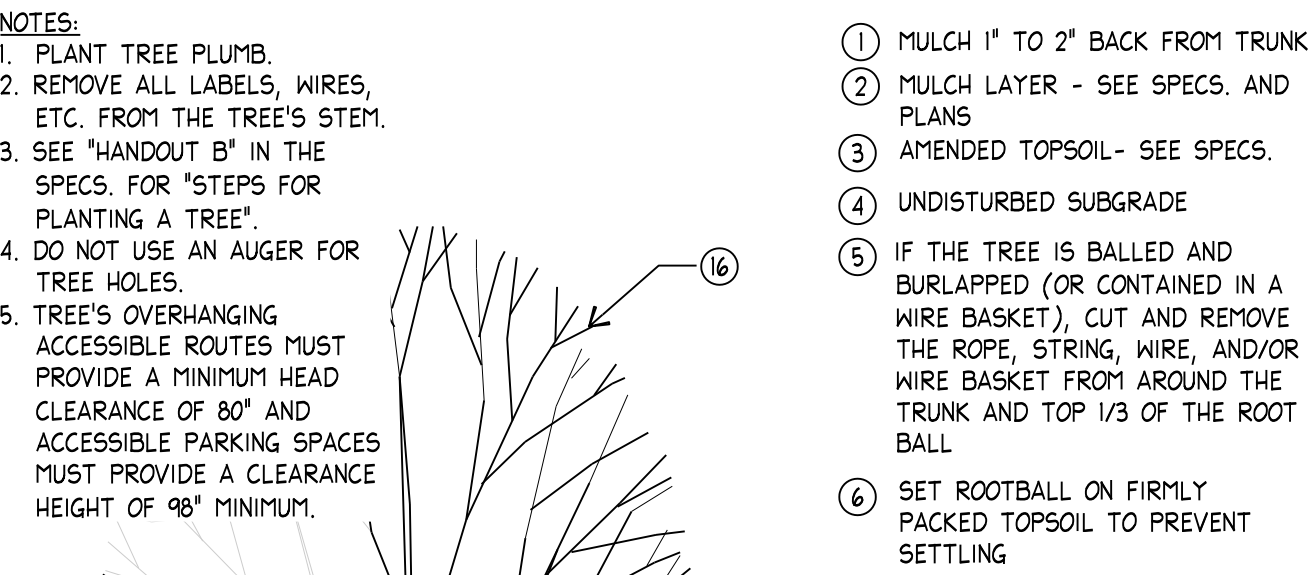
C MULCH IN SHRUB BEDS
SCALE: NTS SECTION



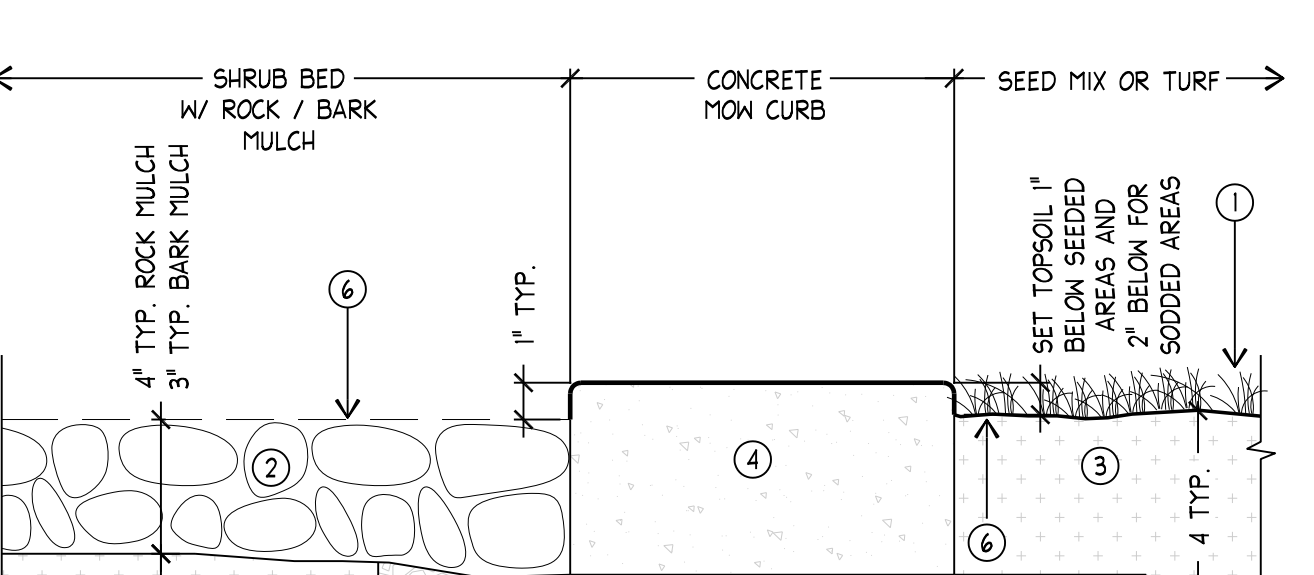
K FENCING AND PEDESTRIAN GATE - TYPICAL
SCALE: NTS PLAN



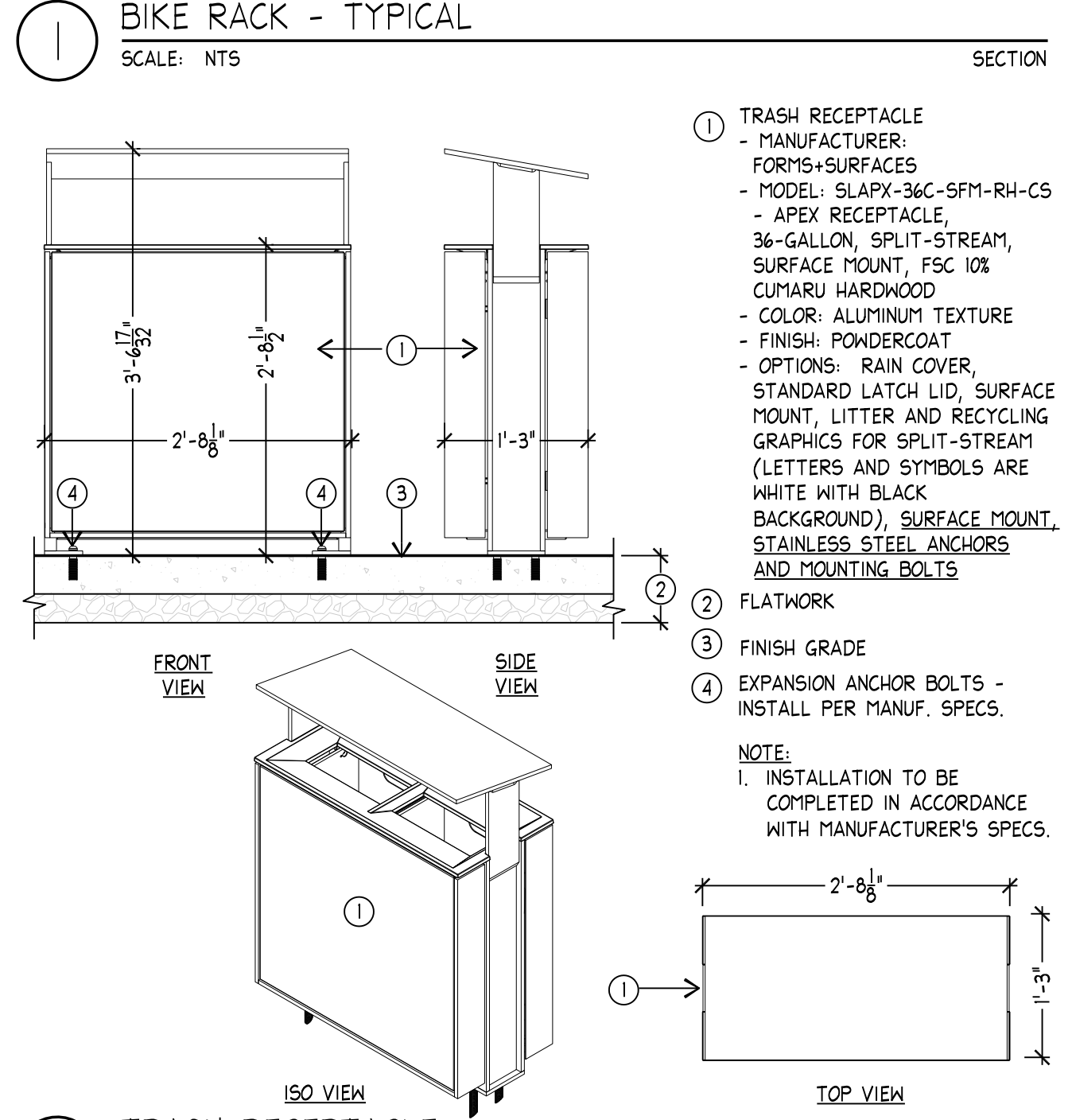
H EVERGREEN TREE WITH GUYING
SCALE: NTS PLAN



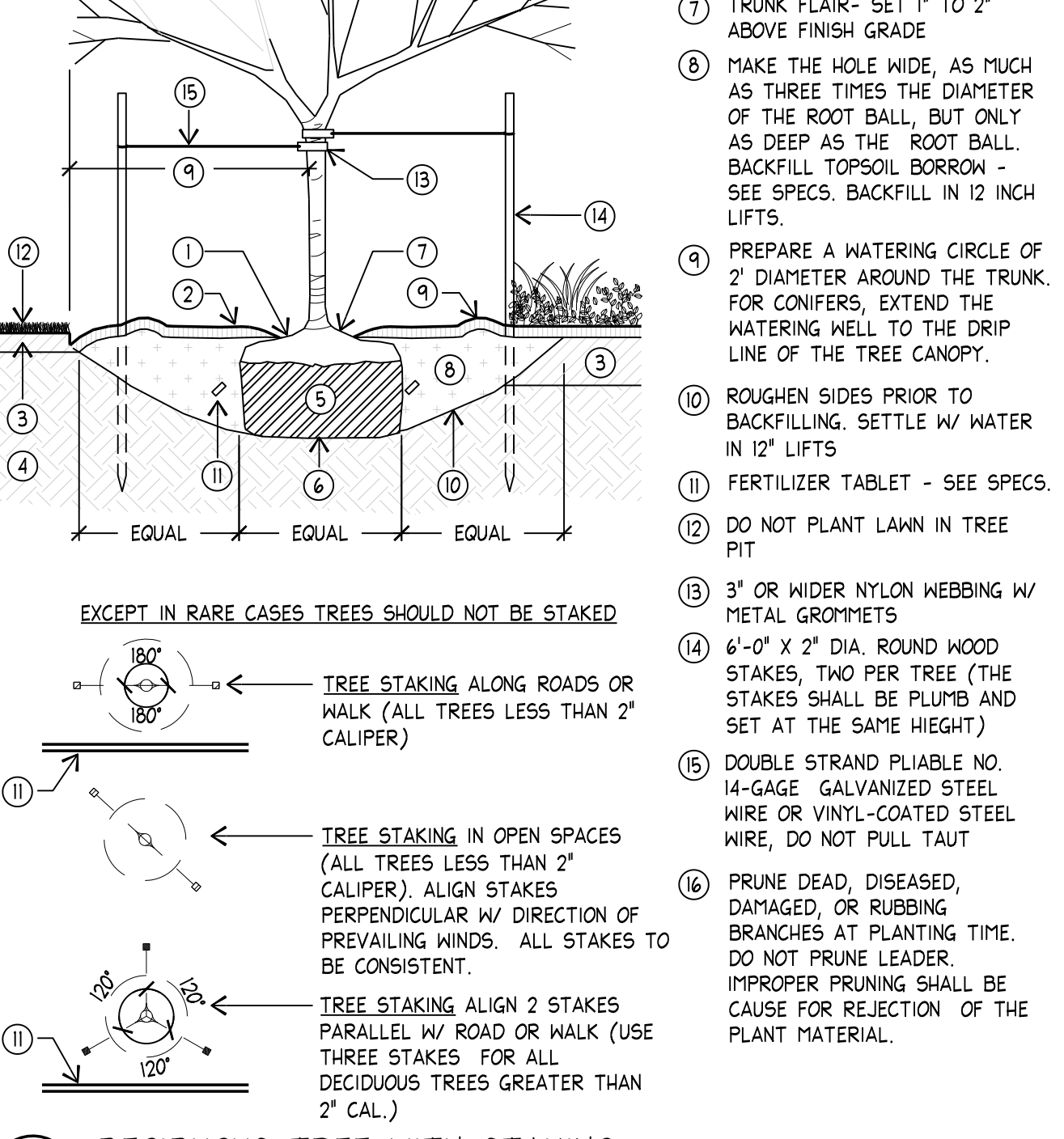
E PERENNIAL / GROUNDCOVER
SCALE: NTS PLAN



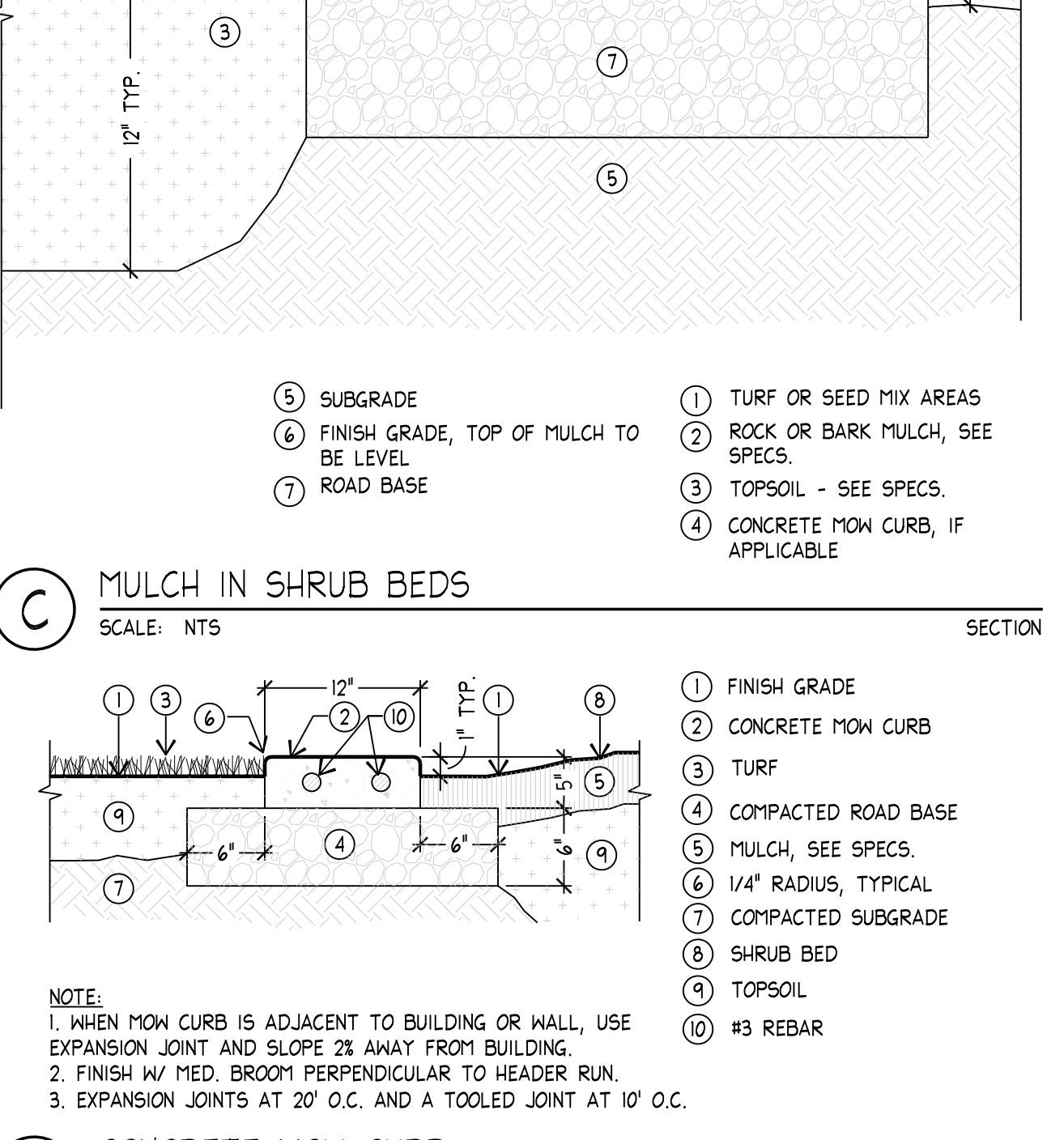
B SHRUB
SCALE: NTS PLAN



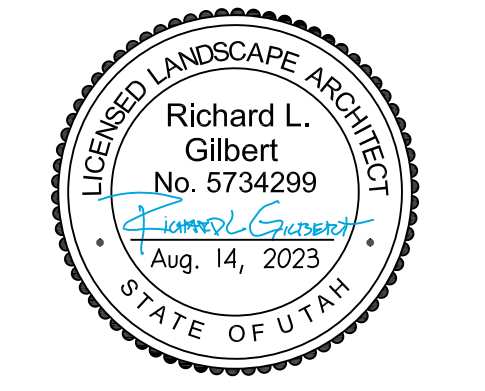
J TRASH RECEPTACLE
SCALE: NTS SECTION



G DECIDUOUS TREE WITH STAKING
SCALE: NTS SECTION



D CONCRETE MOW CURB
SCALE: NTS SECTION



consultant:

project
SANDY SHULSEN MIXED USE
10300 SOUTH MONROE ST
SANDY, UT 84070

date
August 14, 2023

revisions

data
asd project no: 22074

title
PRELIMINARY LANDSCAPE DETAILS
sheet

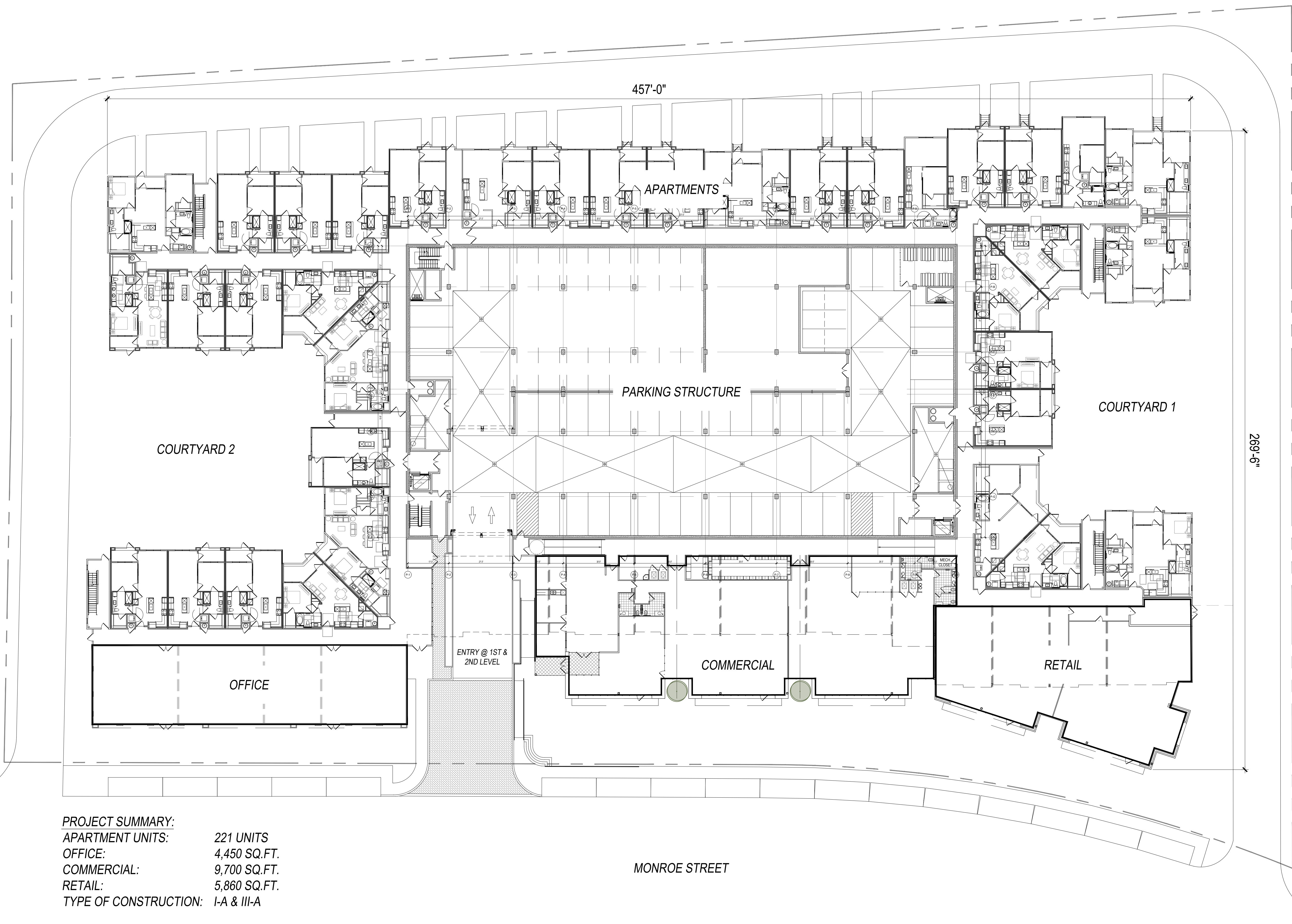
L-L100





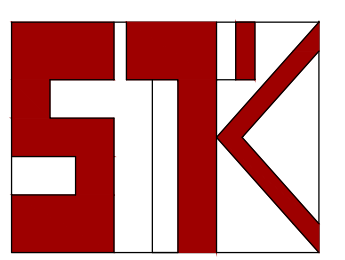
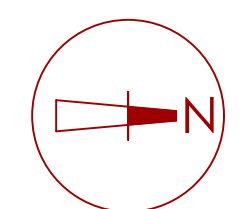


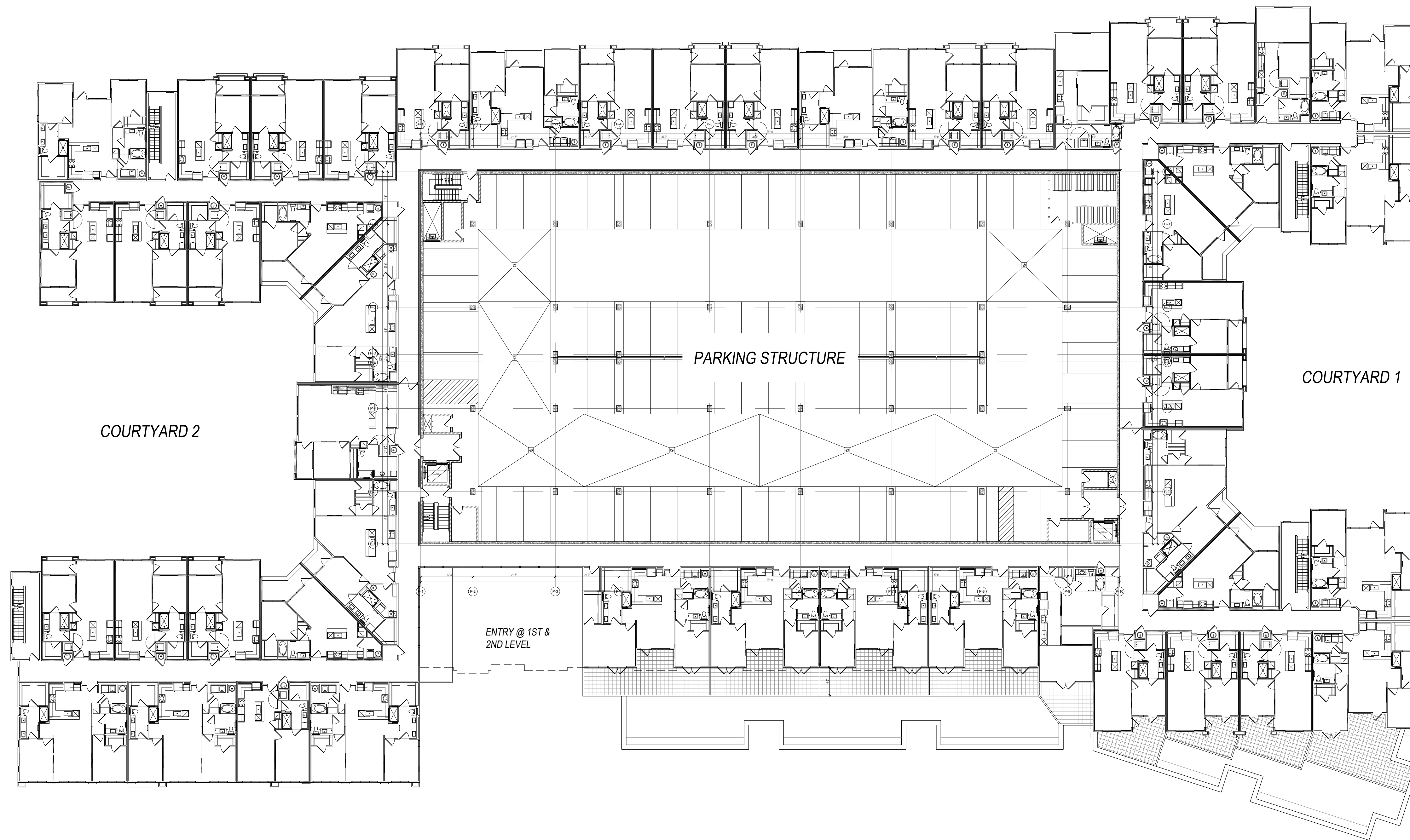




PROJECT SUMMARY:
 APARTMENT UNITS: 221 UNITS
 OFFICE: 4,450 SQ.FT.
 COMMERCIAL: 9,700 SQ.FT.
 RETAIL: 5,860 SQ.FT.
 TYPE OF CONSTRUCTION: I-A & III-A

MONROE STREET



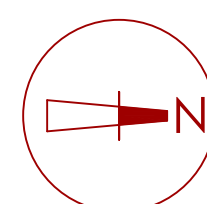


SANDY SHULSEN

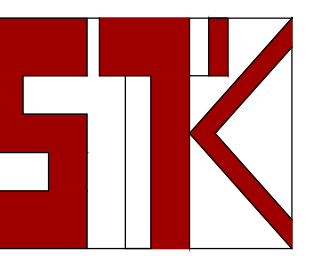
WRG & GARDNER GROUP

OVERALL BUILDING FLOOR PLAN - 2F

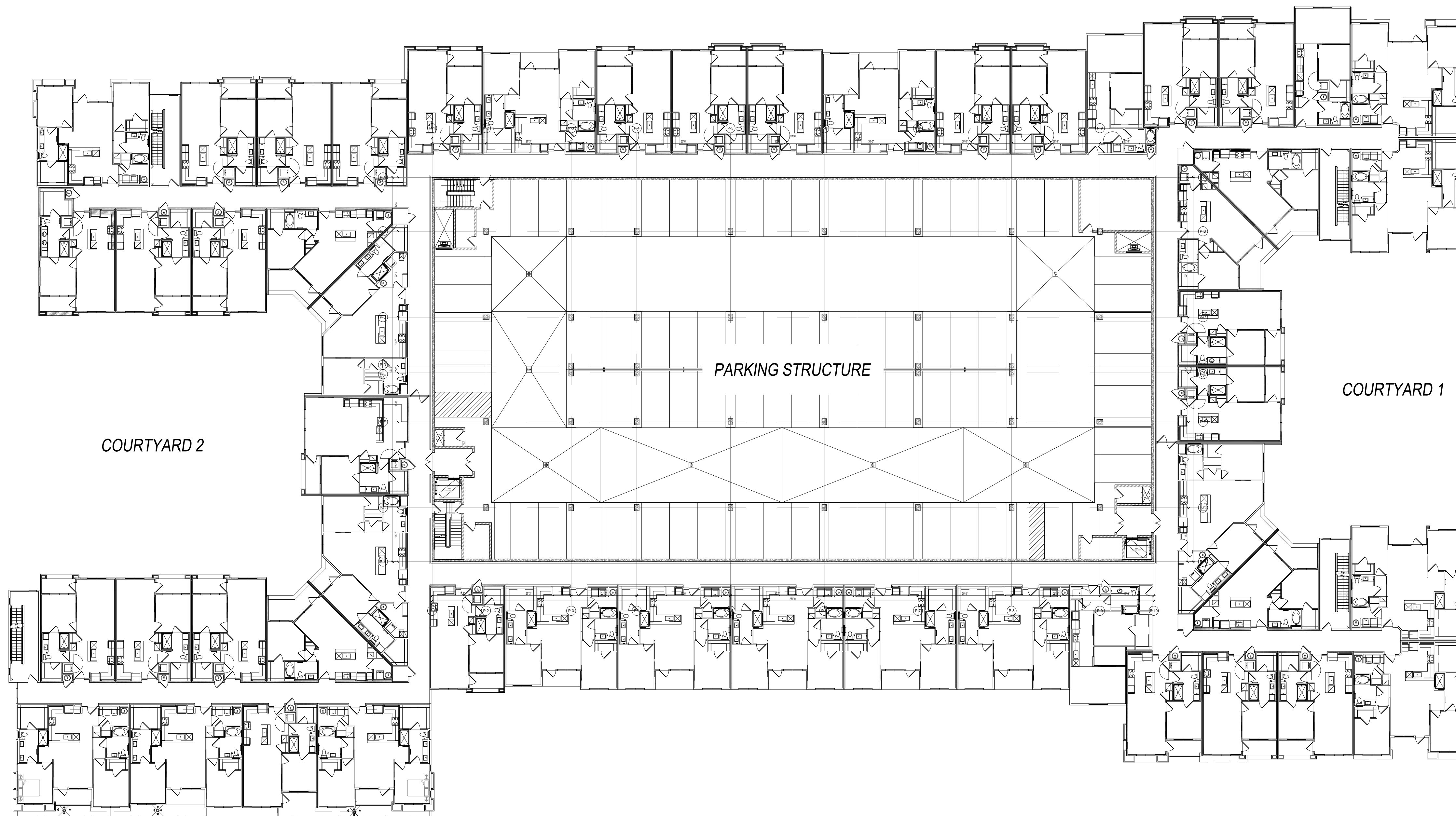
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August 15, 2023



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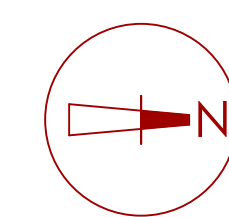


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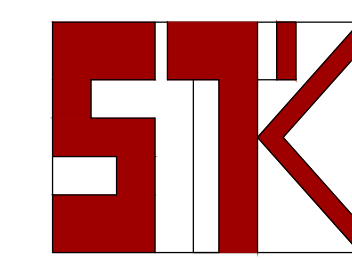
WRG & GARDNER GROUP

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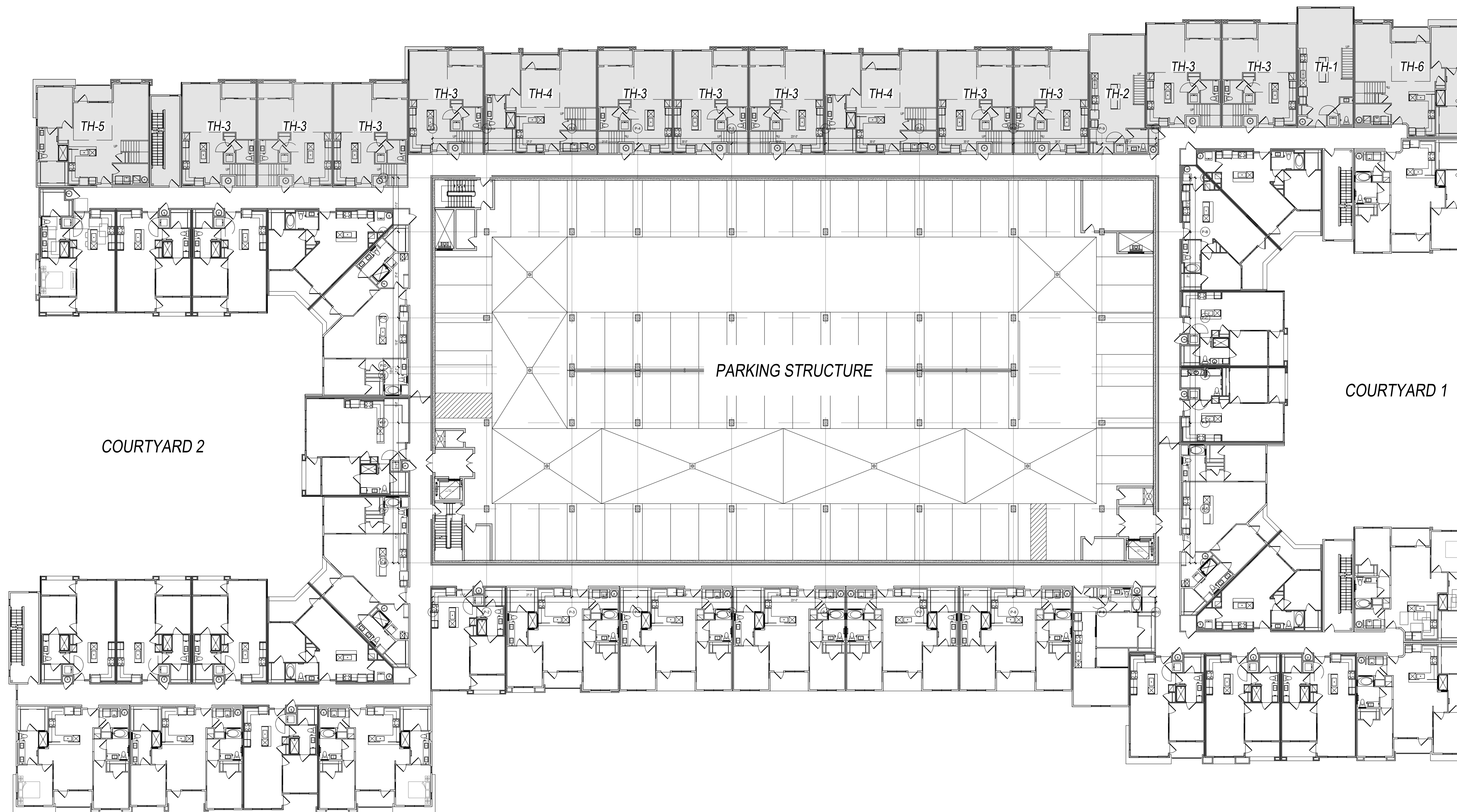
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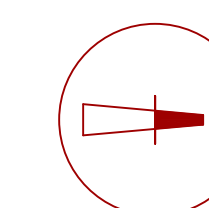


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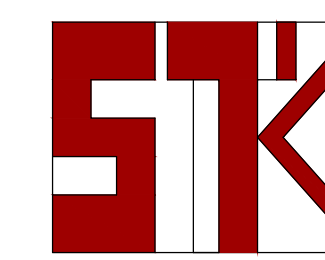
WRG & GARDNER GROUP

OVERALL BUILDING FLOOR PLAN - 4F

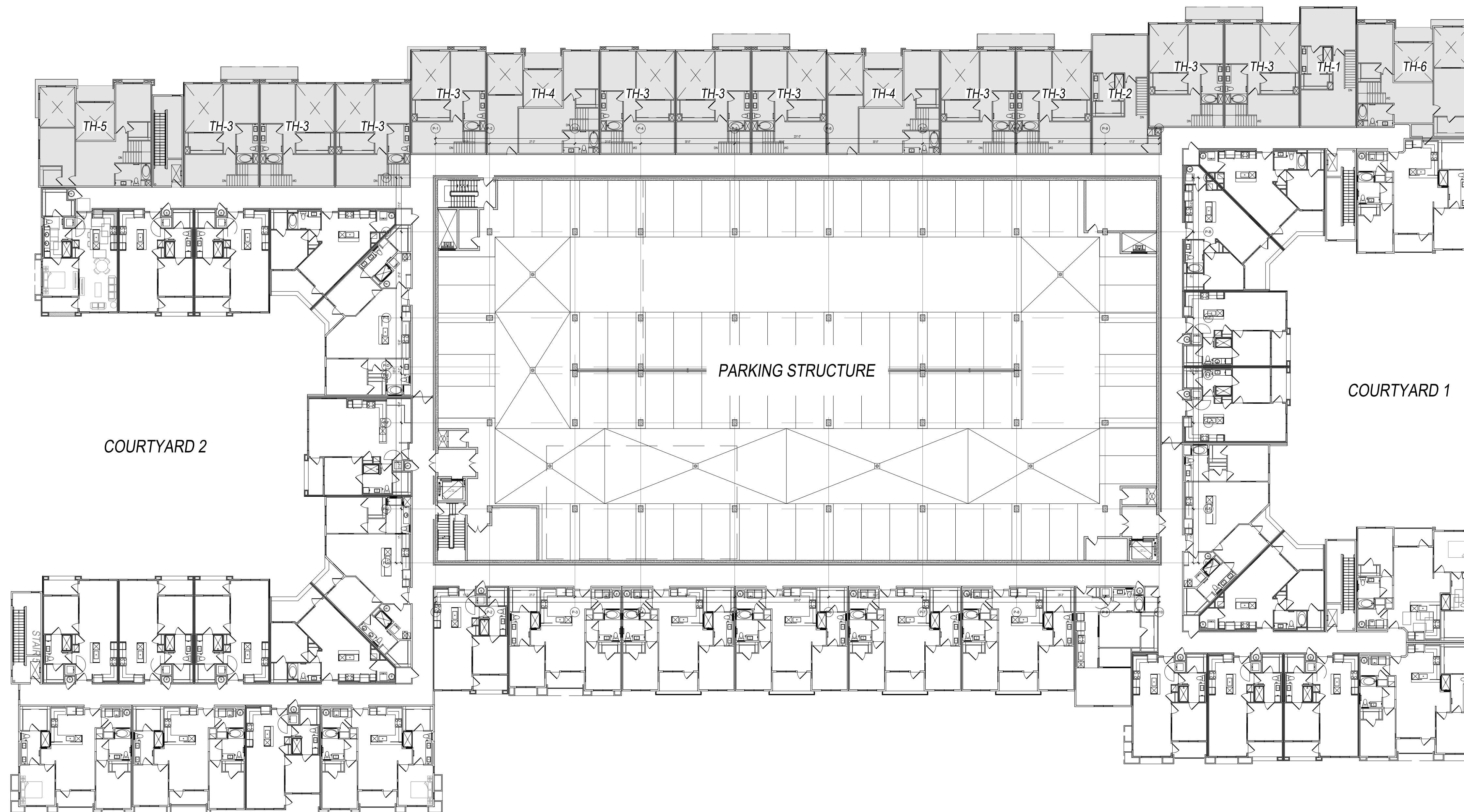
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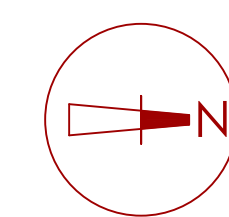


SANDY SHULSEN

WRG & GARDNER GROUP

OVERALL BUILDING FLOOR PLAN - 5F

SCALE : 1" = 20'-0" ON 36x24 SHEET



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