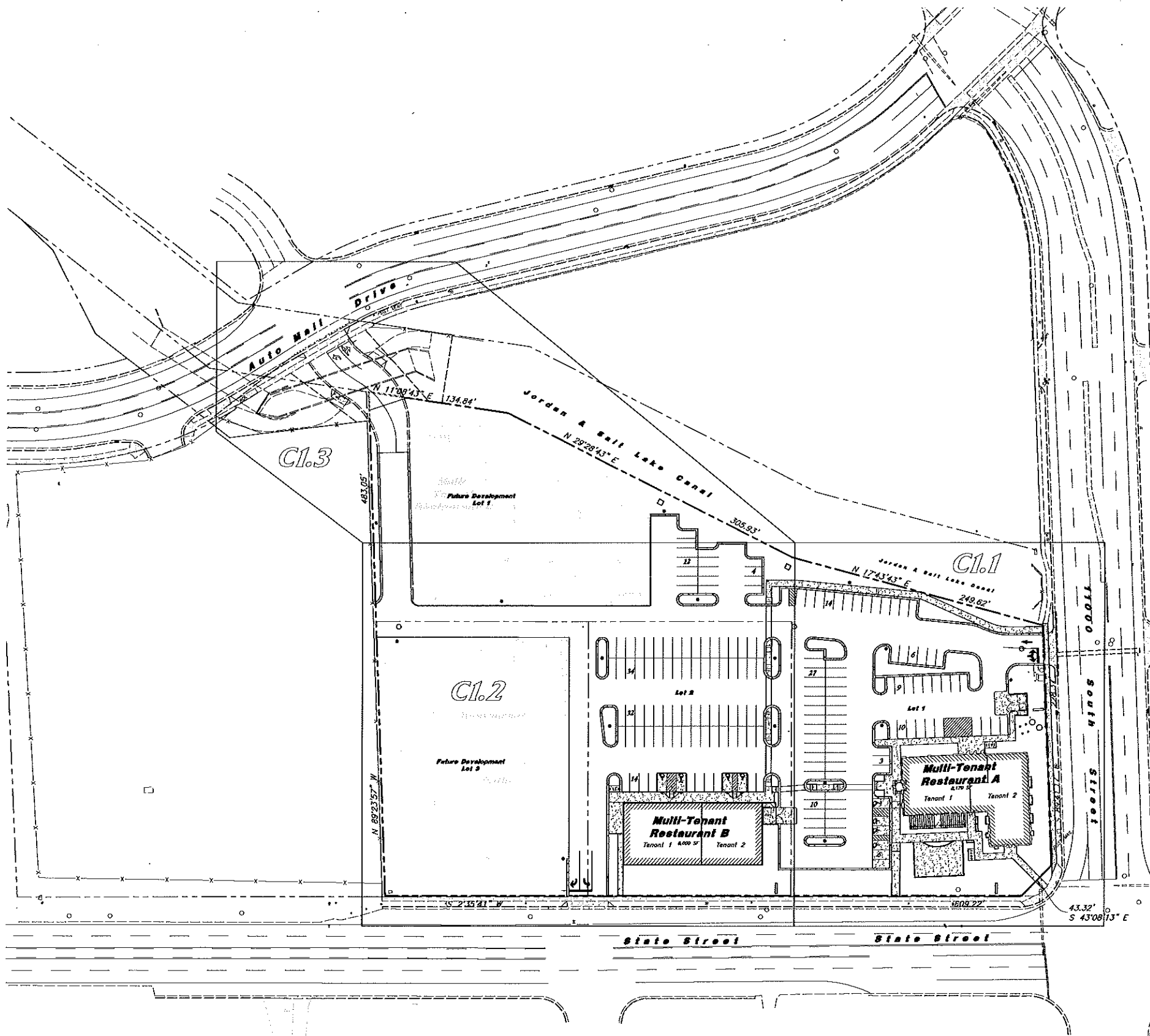


Scale: 1" = 50'



Site Data (Full Buildout)

Site Area = 237,526 s.f. (5.453 ac.)
 Building Area = 29,897 s.f. (12.60%)

Lot 1 Site Data

Site Area = 133,542 s.f. (3.066 ac.)
 Building Area = 8,170 s.f. (6.12%)
 Future Building Area = 7,850 s.f. (5.88%)
 Landscape Area Provided = 29,630 s.f. (22.11%)
 Impervious Area Provided = 89,192 s.f. (66.57%)

Lot 2 Site Data

Site Area = 51,020 s.f. (1.171 ac.)
 Building Area = 8,000 s.f. (15.68%)
 Landscape Area Provided = 6,220 s.f. (12.15%)
 Impervious Area Provided = 36,995 s.f. (72.23%)

Lot 3 Site Data

Site Area = 52,125 s.f. (1.197 ac.)
 Future Building Area = 5,877 s.f. (11.10%)

Phase 1 Parking Break Down

Lot 1:

Restaurant A-1 (Sit Down Restaurant; 137 Seats, 10 Employees)
 Parking Required (1 Stall/3 Seats + 0.5 Employees) = 51 Stalls
 Restaurant A-2 (Sit Down Restaurant; 160 Seats, 10 Employees)
 Parking Required = 59 Stalls

Total Parking Required Lot 1, Phase 1 = 110 Stalls
 Total Parking Provided Lot 1, Phase 1 = 104 Stalls

Lot 2:

Restaurant B-1 (Sit Down Restaurant; 94 Seats, 10 Employees)
 Parking Required = 37 Stalls
 Restaurant B-2 (Sit Down Restaurant; 90 Seats, 6 Employees)
 Parking Required = 33 Stalls

Total Parking Required Lot 2, Phase 1 = 70 Stalls
 Total Parking Provided Lot 2, Phase 1 = 80 Stalls

Phase 1 Parking Required = 180 Stalls
 Phase 1 Parking Provided = 184 Stalls

Building Types

Multi-Tenant Restaurant A = II-B
 Multi-Tenant Restaurant B = V-B



ANDERSON WAHLEN & ASSOCIATES
 2010 North Redwood Road, Salt Lake City, Utah 84116
 801-521-8529 - awahlen@awahlen.com

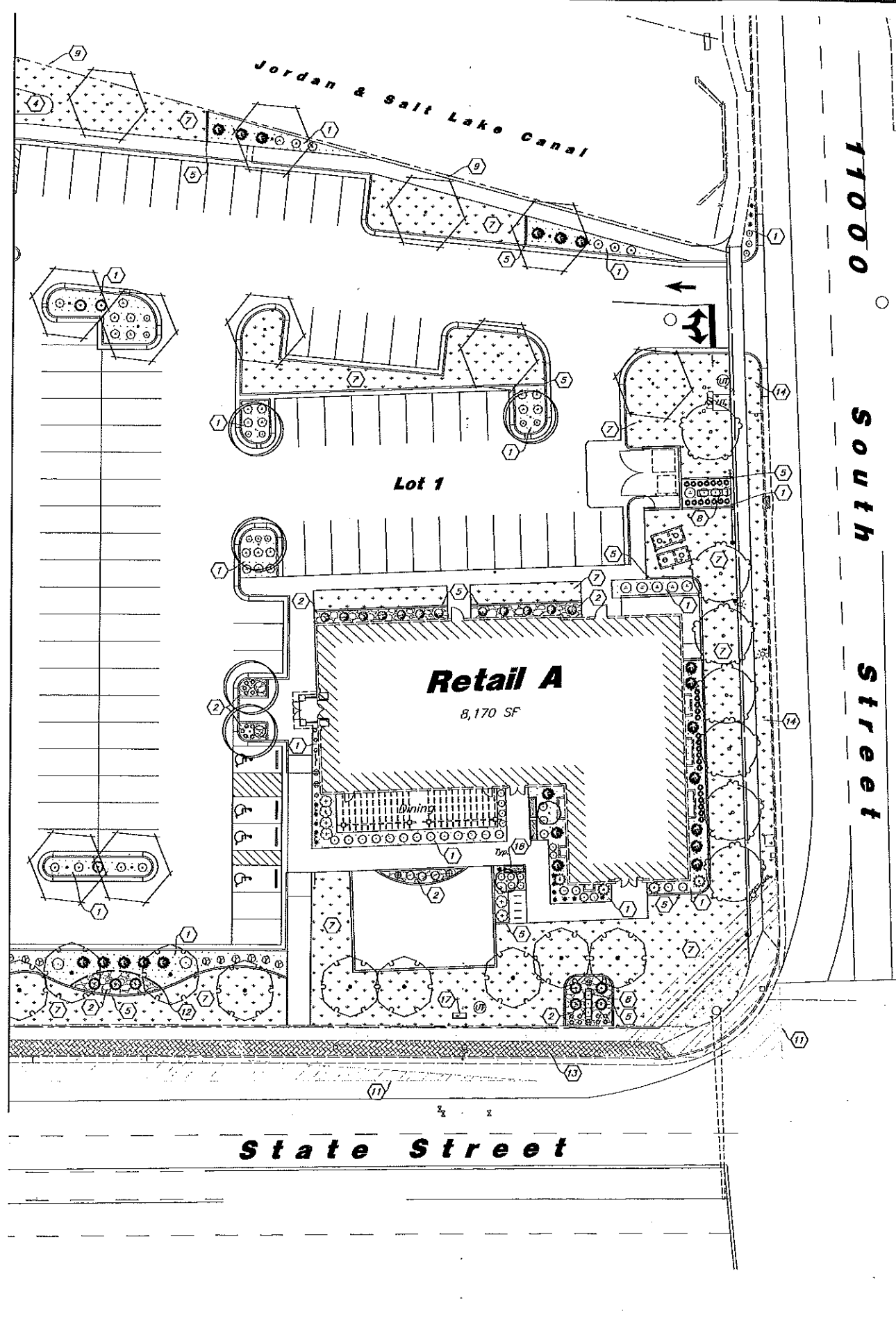
Overall Site Plan
The School Yard
 State Street & 11000 South Street
 Sandy, Utah



7 Jun, 2018
 SHEET NO.
C1.0

REV	DATE	DESCRIPTION
20	Jul, 2018	Plan Case Comments Submitted

Designed by: JT
 Drafted by: NN
 Client Name:
 Wadsworth Dev. Group

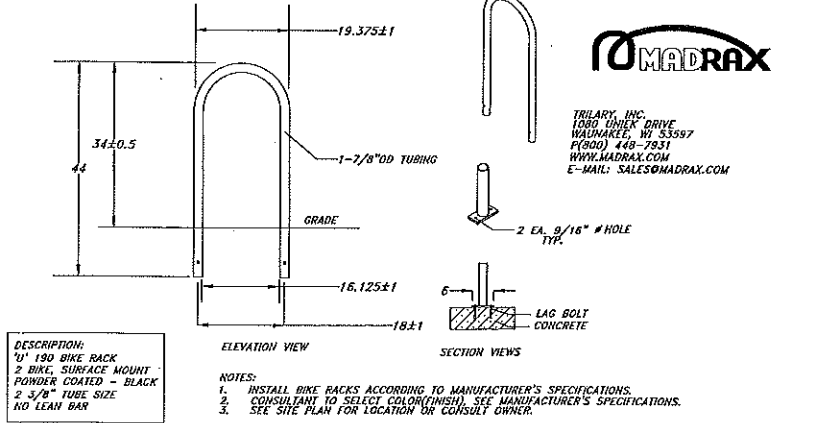


PLANT SCHEDULE

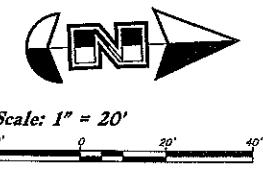
TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
7	7	Acer tomentosum 'Hot Wings' / Hot Wings Tatarian Maple	2" Cal. / 8-10' Ht.	Detail: 2/L1.2
2	2	Fagus sylvatica 'Purpurea Pendula' / Weeping Purple Beech	6-8' Ht.	Detail: 2/L1.2
4	4	Picea pungens glauca 'Blue Tatum' / Blue Tatum Spruce	6-8' Ht.	Detail: 6/L1.3
10	10	Pyrus calleryana 'Chanticleer' / Chanticleer Pear	2" Cal. / 6-8' Ht.	Detail: 2/L1.2
15	15	Tilia cordata 'Chancellor' / Chancellor Linden	2" Cal. / 8-10' Ht.	Detail: 2/L1.2
24	24	Zelkova serrata 'Musoshino' / Musoshino Zelkova	2" Cal. / 8-10' Ht.	Detail: 2/L1.2
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
6	6	Barberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Barberry	5 gal	Detail: 1/L1.2
25	25	Buxus x 'Green Mound' / Green Mound Boxwood	5 gal	Detail: 1/L1.2
27	27	Calamagrostis x acutiflora 'Karl Foerster' / Foerster Reed Grass	1 gal	Detail: 1/L1.2
26	26	Cornus alba 'Bohobala' TM / Ivory Halo Dogwood	5 gal	Detail: 1/L1.2
11	11	Cornus sericea 'Kelsayi' / Kelsayi Dogwood	5 gal	Detail: 1/L1.2
22	22	Hemerocallis x 'Baja' / Daylily	1 gal	Detail: 1/L1.2
13	13	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal	Detail: 1/L1.2
19	19	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper	5 gal	Detail: 1/L1.2
14	14	Ligustrum vicaryi / Golden Privet	5 gal	Detail: 1/L1.2
40	40	Mehadia opulifolium 'Compacta' / Compact Oregon Grape	2 gal	Detail: 1/L1.2
27	27	Nepeta x faassenii 'Dropmore' / Catmint	1 gal	Detail: 1/L1.2
2	2	Panicum virgatum 'Shenandoah' / Burgundy Switch Grass	1 gal	Detail: 1/L1.2
15	15	Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark	5 gal	Detail: 1/L1.2
6	6	Picea pungens 'Globoosa' (Drafted) / Dwarf Globe Blue Spruce	10 gal	Detail: 1/L1.2
10	10	Prunus x cistena / Purple Leaf Sand Cherry	5 gal	Detail: 1/L1.2
6	6	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal	Detail: 1/L1.2
46	46	Ribes alpinum 'Green Mound' / Green Mound Alpine Currant	5 gal	Detail: 1/L1.2
21	21	Rosa Maidland series 'Red' / Red Maidland Rose	5 gal	Detail: 1/L1.2
48	48	Rosa x 'Meigalpis' / Red Drift Rose	2 gal	Detail: 1/L1.2
38	38	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea	5 gal	Detail: 1/L1.2
12	12	Spiraea x bumalda 'Goldflame' / Goldflame Spiraea	2 gal	Detail: 1/L1.2
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	TYPE	REMARKS
26,132 sf		Poa pratensis / Kentucky Bluegrass Blend	sod	Detail: 3/L1.2

MATERIAL SCHEDULE

Decorative Stone #1 - Install a Four (4) inch Depth Over Daxell Pro5 Weed Barrier or Approved Equal. Stone Shall be Used in all Specified Planting Areas and Washed After Installation. Stone Shall be 2" Dia., Crushed & Fractured Tan Rust Color (Majava) Stone From Staker Parson (801-819-9089); Submit Sample for Approval. See Keynote #1	Detail: 3/L1.2
Decorative Stone #2 - Install a Three (3) inch Depth Over Daxell Pro5 Weed Barrier or Approved Equal. Stone Shall be Used in all Specified Planting Areas and Washed After Installation. Stone Shall be 1 1/2" Dia., Washed Gray Stone From Staker Parson (801-819-9089); Submit Sample for Approval. See Keynote #2	Detail: 3/L1.2
4" x 6" Landscape Concrete Curbing - Install Flush to all Concrete Edges Between Lawn and Planting Areas Where Specified on Plan	Detail: 3/L1.2
3/16" x 4" Steel Edging - Install Flush to all Concrete Edges between Different Types of Decorative Stone. See Plan for Specified Areas; Manufacturer Shall be Sure-Loc Inc.; Color Shall be Black. Edging Shall be Continuous; Modify Edging Alignment as Needed to Avoid Existing & New Utilities & Irrigation Boxes	Detail: 4/L1.2



BIKE RACK
Not to Scale



Landscaping Data
 Total Site Area = 23,526 s.f. (545 s.f.)
 Total Landscape Area = 14,850 s.f. (325 s.f.)
 Lot 1 Site Area = 11,000 s.f. (240 s.f.)
 Landscape Area Provided = 59,430 s.f. (23%)
 1 Tree per 500 s.f. of Landscape = 58 Trees (50 Provided)
 Parking Lot Area Provided = 24,879 s.f.
 Parking Lot Landscape Required = 1,044 s.f. (5% of Parking Lot)
 Parking Lot Landscape Provided = 2,367 s.f. (11.5%)
 Lot 2 Site Area = 5,215 s.f. (118 s.f.)
 Landscape Area Provided = 6,210 s.f. (12%)
 1 Tree per 500 s.f. of Landscape = 12 Trees (12 Provided)
 Parking Lot Area Provided = 14,019 s.f.
 Parking Lot Landscape Required = 701 s.f. (5% of Parking Lot)
 Parking Lot Landscape Provided = 1,041 s.f. (7.4%)
 Lot 3 Site Area = 52,319 s.f. (1,210 s.f.)
 Landscape Area Provided = 0 s.f.
 1 Tree per 30 s.f. of Roadway (State Street) @ 445 LF = 15 Trees (15 Provided)
 1 Tree per 30 s.f. of Roadway (100 South) @ 196 LF = 6 Trees (6 Provided)

Designed by: JT
 Drafted by: HV
 Client Name: Wadsworth Dev. Group

*Lot Shall be Developed at a Later Date & Shall Comply With All Sandy City Landscape Requirements
 **Eight More Trees Shall be Planted When the Future Retail Pad is Developed

General Landscape Notes:
 1. See Sheet L1.3 for Plant and Sandy City Notes. See Sheet L1.2 for Details. See Sheet L1.1 for Plant & Material Schedule.
 2. All Landscape Material shall be Fully Irrigated by an Automatic Irrigation System. See Sheet L2.1-L2.3 for Irrigation Layout & Details.
 3. All New Landscaping Shall Provide 70% Coverage at Maturity.
 4. Maximum Slope in Landscape Areas Shall be 2:1.
 5. Street Trees = 1 Tree per 30 LF. - All Street Trees Have Been Adopted From the Sandy Street Trees List.
 6. No Trees Shall be Planted in Public Park Strips Less Than 8 Feet Wide. Centerline of Trees Shall be Planted a Minimum of 4 Feet Away From Back of Curb and Either Side of Sidewalk.
 7. All Areas Disturbed by Construction Shall Receive Same Type of Landscape Treatment & Shall Not be Left Undone. Areas in Question, Please Contact the LA.

- Landscape Keynotes**
- 1 New Shrub Planter w/ Decorative Stone #1 - See Material Sch.
 - 2 New Shrub Planter w/ Decorative Stone #2 - See Material Sch.
 - 3 Crushed Stone to Stabilize Future Retail Pad - See Material Sch.
 - 4 Lawn Detention Pond - See Civil Plans for Grading
 - 5 Landscape Concrete Curbing - See Material Sch.
 - 6 Existing Trees on Property Shall be Removed & Understory Vegetation; Existing Trees Off of Property & Hanging Over Site Shall be Limbed Up to 20'; Coordinate w/ SLC Public Utilities Department
 - 7 New Lawn - See Plant Sch.
 - 8 Monument Sign by Separate Permit; Plant Material Shall be Installed in Sign Location Temporarily Remove Plant Material When Sign Shall be Installed
 - 9 Provide Nice Clean Edge Between New & Undeveloped Area; Remove All Construction Debris
 - 10 Backflow Preventer; Backflow Shall be Incorporated into Landscape Area & to Blend; Coordinate w/ Irrigation Plan for Location
 - 11 Sight Triangle - No Obstacles Over Three Feet High, as Measured From Top of Back of Curb, are Allowed Within the Sight Triangle
 - 12 Decorative Steel Edging - See Material Sch.
 - 13 Existing Landscape Shall Remain & be Protected
 - 14 Existing Lawn Shall be Grubbed Out & Trees Removed in the Park Strip; Install New Landscape & Irrigation as Shown on Plan
 - 15 Decorative Steel Edging - See Material Sch. for More Detail
 - 16 6' High Decorative Wall - See Arch. Plans
 - 17 Existing Backflow Preventer & Meter
 - 18 Const. Bike Rack - See Detail 5/L1.1
 - 19 Const. 6' Decorative Bench - See Detail 6/L1.3
- UT - Existing or New Utility

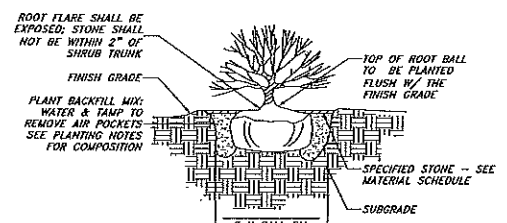
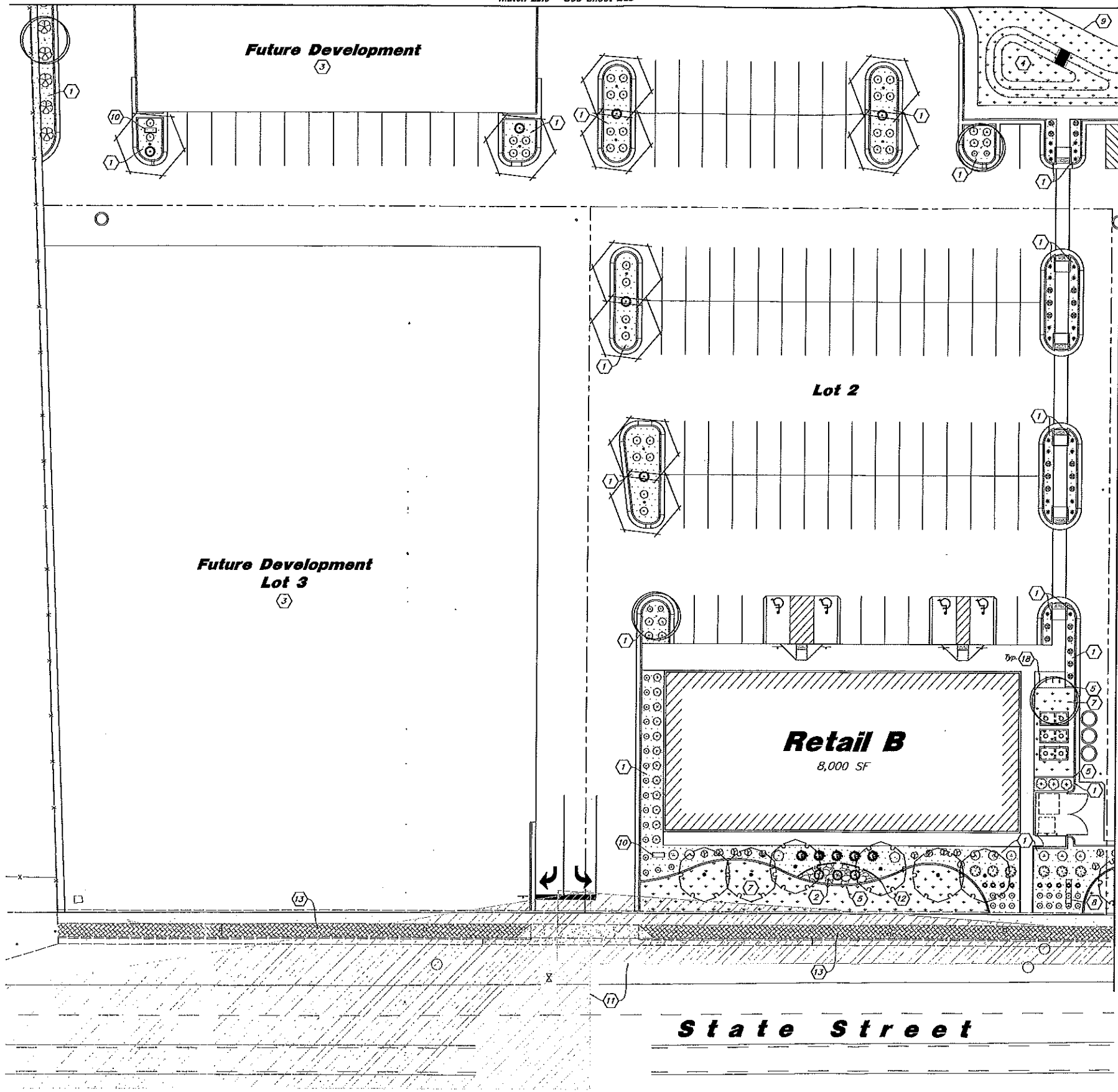


Landscape Plan
 The School Yard
 State Street & 11000 South Street
 Sandy, Utah

ANDERSON WAHLEN & ASSOCIATES
 2010 North Riverside Road, Salt Lake City, Utah 84116
 801-521-8829 - awh@andwh.com

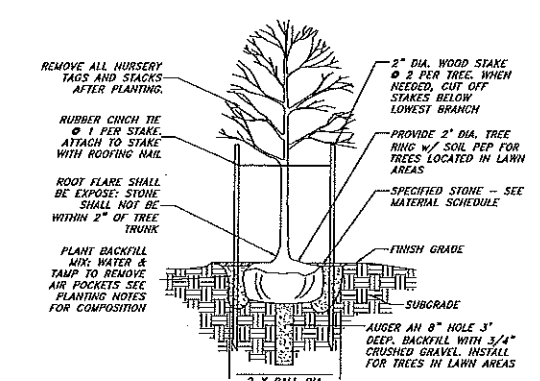
7 Jun, 2018
 SHEET NO.
L1.1

Match Line - See Sheet L13

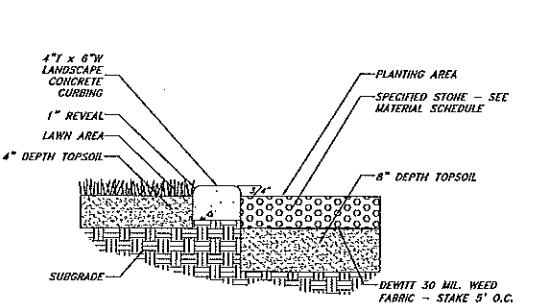


- NOTE:
- CUT AND REMOVE WIRE FROM TOP AND SIDES OF ROOTBALL. PEEL BACK BURLAP TO EXPOSE TOP 1/3 OF ROOTBALL.
 - REMOVE ALL NURSERY TAGS AND STACKS AFTER PLANTING.

1 SHRUB PLANTING
Not to Scale

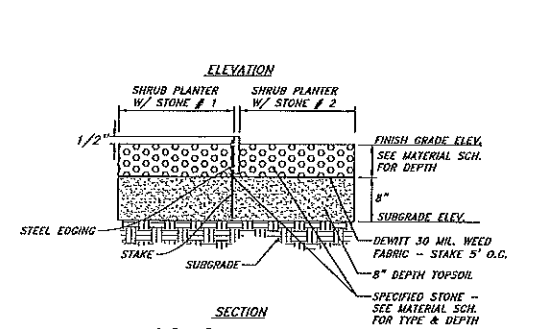


2 DECIDUOUS TREE PLANTING
Not to Scale



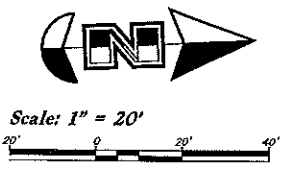
- NOTE:
- SMOOTH GRADE ENTIRE AREA PRIOR TO PLACEMENT OF CURBING AND SPECIFIED STONE.
 - CONTROL JOINTS SHALL BE PLACED AT 3' O.C.

3 LANDSCAPE CONCRETE CURBING
Not to Scale



- NOTE:
- STEEL EDGING SHALL BE CONSTRUCTED IN STRAIGHT LINES.
 - CONTRACTOR SHALL INSTALL PER MFR.'S SPECIFICATIONS.

4 DECORATIVE STEEL EDGING
Not to Scale



General Landscape Notes:

- See Sheet L1.3 for Plant and Sandy City Notes. See Sheet L1.2 for Details. See Sheet L1.1 for Plant & Material Schedule.
- All Landscape Material shall be Fully Irrigated by an Automatic Irrigation System. See Sheet L2.1-L2.3 for Irrigation Layout & Details.
- All New Landscaping Shall Provide 70% Coverage of Mortality.
- Maximum Slope in Landscape Areas Shall be 2:1.
- Street Trees = 1 Tree per 30 LL. - All Street Trees Have Been Adopted From the Sandy Street Trees List.
- No Trees Shall be Planted in Public Park Strips Less Than 9 Feet Wide. Centerline of Trees Shall be Planted a Minimum of 4 Feet Away From Back of Curb and Either Side of Sidewalk.
- All Areas Disturbed by Construction Shall Receive Some Type of Landscape Treatment & Shall Not be Left Unstable. Areas in Question, Please Contact the LA.

Landscape Keynotes

- New Shrub Planter w/ Decorative Stone #1 - See Material Sch.
 - New Shrub Planter w/ Decorative Stone #2 - See Material Sch.
 - Crushed Stone to Stabilize Future Retail Pad - See Material Sch.
 - Lawn Detention Pond - See Civil Plans for Grading
 - Landscape Concrete Curbing - See Material Sch.
 - Existing Trees on Property Shall be Removed & Understory Vegetation; Existing Trees Off of Property & Hanging Over Site Shall be Limbed Up to 20'; Coordinate w/ SLC Public Utilities Department
 - New Lawn - See Plant Sch.
 - Monument Sign by Separate Permit; Plant Material Shall be Installed in Sign Location Temporarily; Remove Plant Material When Sign Shall be Installed
 - Provide Nice Clean Edge Between New & Undeveloped Area; Remove All Construction Debris
 - Backflow Preventer; Backflow Shall be Incorporated into Landscape Area & to Blend; Coordinate w/ Irrigation Plan for Location
 - Sight Triangle - No Obstacles Over Three Feet High, as Measured From Top of Back of Curb, are Allowed Within the Sight Triangle
 - Decorative Steel Edging - See Material Sch.
 - Existing Landscape Shall Remain & be Protected
 - Existing Lawn Shall be Grubbed Out & Trees Removed in the Park Strip; Install New Landscape & Irrigation as Shown on Plan
 - Decorative Steel Edging - See Material Sch. for More Detail
 - 6' High Decorative Wall - See Arch. Plans
 - Existing Backflow Preventer & Meter
 - Const. Bike Rack - See Detail 5/1.1.1
 - Const. 6' Decorative Bench - See Detail 6/1.1.3
- UT - Existing or New Utility

Anderson Whalen & Associates
2010 North Riverside Road, Salt Lake City, Utah 84118
BOJ 521-8228 - AIA/USGBC/LEED

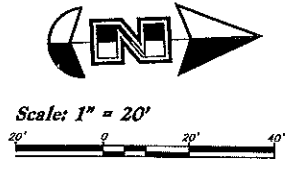
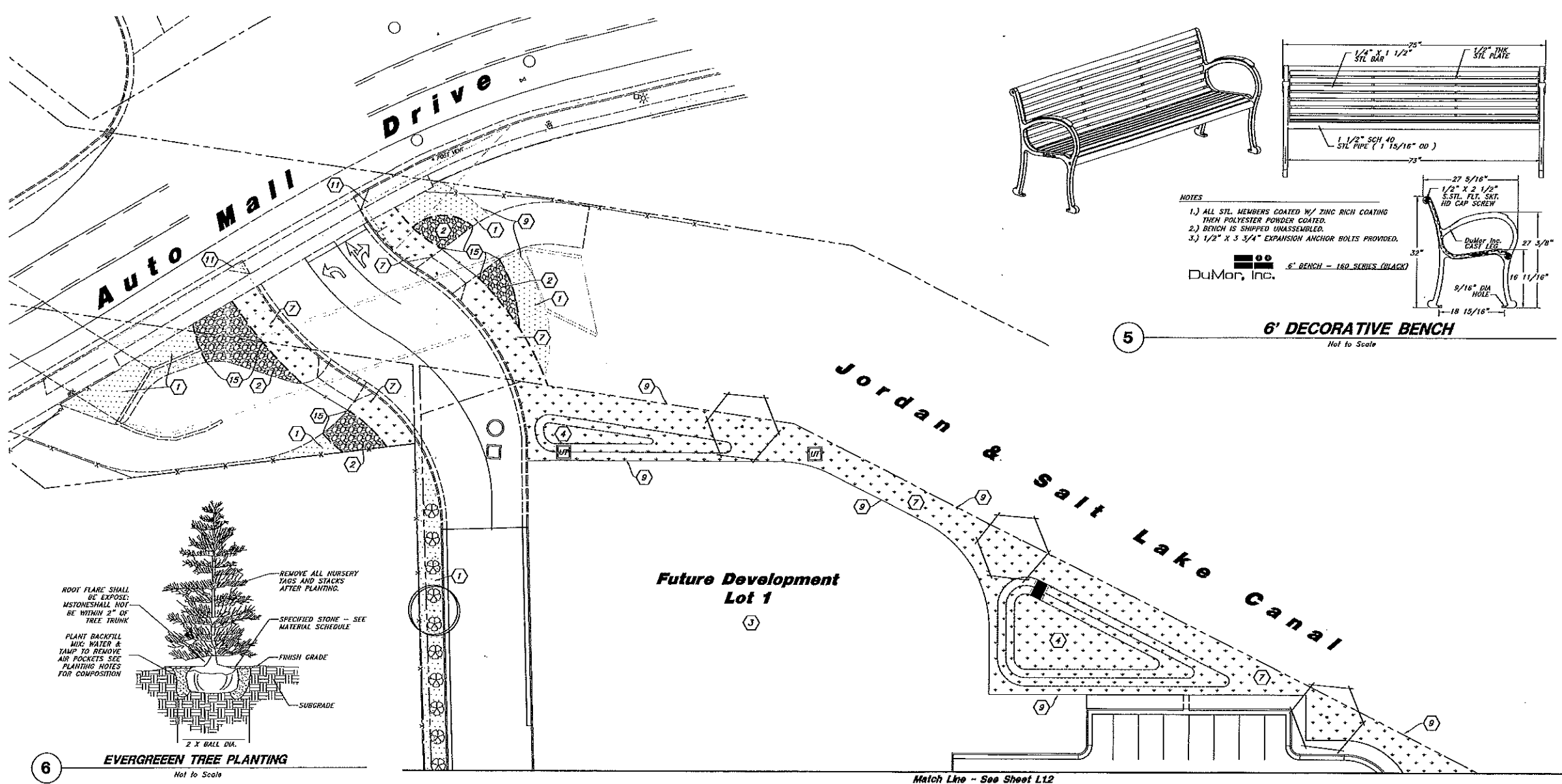
Designed by: JT
Drafted by: HN
Client Name: Woodworth Dev. Group

Landscape Plan
The School Yard
State Street & 11000 South Street
Sandy, Utah

Professional Seal
Jared R. Monson
Landscape Architect
06/07/2018

811 Know what's below. Call before you dig.

7 Jun, 2018
SHEET NO. L1.2



- General Landscape Notes:**
- See Sheet L1.3 for Plant and Sandy City Notes. See Sheet L1.2 for Details. See Sheet L1.1 for Plant & Material Schedule.
 - All Landscape Material shall be fully irrigated by an Automatic Irrigation System. See Sheet L2.1-L2.3 for Irrigation Layout & Details.
 - All New Landscaping Shall Provide 70% Coverage of Maturity.
 - Maximum Slope in Landscape Areas Shall be 2:1.
 - Street Trees = 1 Tree per 30 LL. - All Street Trees Have Been Adopted From the Sandy Street Trees List.
 - No Trees Shall be Planted in Public Park Strips Less Than 6 Feet Wide. Centerline of Trees Shall be Planted at a Minimum of 4 Feet Away From Back of Curb and Either Side of Sidewalk.
 - All Areas Disturbed by Construction Shall Receive Some Type of Landscape Treatment & Shall Not be Left Unstable. Areas in Question, Please Contact the LA.

- Landscape Keynotes**
- New Shrub Planter w/ Decorative Stone #1 - See Material Sch.
 - New Shrub Planter w/ Decorative Stone #2 - See Material Sch.
 - Crushed Stone to Stabilize Future Retain Pad - See Material Sch.
 - Leam Detention Pond - See Civil Plans for Grading
 - Landscape Concrete Curbing - See Material Sch.
 - Existing Trees on Property Shall be Removed & Understory Vegetation; Existing Trees Off of Property & Hanging Over Site Shall be Limbed Up to 20' Coordinate w/ SLC Public Utilities Department
 - New Lawn - See Plant Sch.
 - Monument Sign by Separate Permit; Plant Material Shall be Installed in Sign Location Temporarily; Remove Plant Material When Sign Shall be Installed
 - Provide Nice Clean Edge Between New & Undeveloped Area; Remove All Construction
 - Backflow Preventer; Backflow Shall be Incorporated into Landscape Area & to Blend; Coordinate w/ Irrigation Plan for Location
 - Sight Triangle - No Obstacles Over Three Feet High, as Measured From Top of Back of Curb, are Allowed Within the Sight Triangle
 - Decorative Steel Edging - See Material Sch.
 - Existing Landscape Shall Remain & be Protected
 - Existing Lawn Shall be Grubbed Out & Trees Removed in the Park Strip; Install New Landscape & Irrigation as Shown on Plan
 - Decorative Steel Edging - See Material Sch. for More Detail
 - 6' High Decorative Wall - See Arch. Plans
 - Existing Backflow Preventer & Meter
 - Const. Edge Rock - See Detail 5/21.1
 - Const. 6' Decorative Bench - See Detail 6/1.3
- UT - Existing or New Utility

Landscape Notes:

- Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Please take precedence over plant schedule quantities.
- Contractor shall call Blue Stake before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site furnishings, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit, and culture only as approved by the Landscape Architect.
- It is the contractor's responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
- The contractor shall install all landscape material per plan, notes and details.
- All existing and relocated trees shall be properly protected. Trees damaged during construction shall be replaced at no cost to the owner.
- Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet or frozen.
- Existing topsoil shall be stripped and stockpiled for landscape use. Contractor shall verify existing topsoil amounts and quality with the general contractor. The landscape contractor shall perform a soil test on existing & imported topsoil and amend per soil test recommendations. Soil test shall be done by certified soil testing agency. Provide new imported topsoil as needed from a local source. Imported topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. Topsoil shall be installed in all landscaping areas.
- Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by aerating the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
- Provide a 4 inch depth of stockpiled or imported topsoil in all lawn areas and 12 inch depth in all parking islands. Remove all construction debris from parking islands.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
- Plant backfill mix shall be composed of 3 parts topsoil to 1 part Soil Pro. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
- All new plants shall be balled and burlapped or container grown, unless otherwise noted on plant schedule.
- Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive a specified amount of Duxit Pro weed barrier or approved equal. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas. All stone shall be washed after installation.
- All deciduous trees shall be double staked per tree staking details. It is the contractor's responsibility to remove tree staking in a timely manner once staked trees have taken root. Tree ties shall be V.I.T. Cinch ties #CT32.
- Install landscape concrete curbing between lawn and planting areas. Curbing shall be installed level and uniform and shall match top finish grades of concrete walks and curbs. See landscape concrete curbing detail.
- Provide a 4 inch depth of stockpiled or imported topsoil in all lawn areas.
- Sod must be premium quality, evenly cut, established, healthy, weed and disease free, and from an approved source.
- All lawn areas to have uniform grades by final raking. Prior to laying sod, apply a starter fertilizer at a rate recommended by the manufacturer. Sod must be laid with no gaps between pieces on a carefully prepared topsoil layer. Sod to be slightly below finish grade and concrete walks and curbing. The laid sod must be immediately watered after installation. Any burned areas will require replacement. Adjust sprinkler system to assure healthy green survival of the sod without water waste.
- All trees located in lawn areas shall have a 24 inch diameter tree ring w/ Soil Pro. All trees in turf shall have an 8' wide x 3' deep cupured hole filled with 3/4" crushed gravel. See tree planting details.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.

Sandy City Landscape / Irrigation Notes:

- Mulch: After completion of all planting, all irrigated non-turf areas shall be covered with a minimum layer of four (4) inches of mulch to retain water, inhibit weed growth and moderate soil temperature. Non-porous material shall not be placed under the mulch. 4" mulch in all irrigated non-turf areas. If rock mulch, minimum is 3".
 - Landscape Water Meter: A water meter and backflow prevention assembly that are in compliance with state code shall be installed for landscape irrigation systems, and the landscape water meter and backflow prevention assembly shall be separate from the water meter and backflow prevention assembly installed for indoor uses. The size of the meter shall be determined based on irrigation demand.
 - Pressure Regulation: A pressure regulating valve shall be installed and maintained by the consumer if the static service pressure exceeds 80 pounds per square inch (psi). The pressure-regulating valve shall be located between the landscape water meter and the first point of water use, or first point of division in the pipe, and shall be set at the manufacturer's recommended pressure for sprinklers.
 - Automatic controller: All irrigation systems shall include an electric automatic controller with multiple program and multiple repeat cycle capabilities and a flexible color-coded program. All controllers shall be equipped with an automatic Rain Shut-off Device.
 - On slopes exceeding 30%, the irrigation system shall consist of Drip Emitters, Bubblers, or sprinklers with a maximum Precipitation Rate of 0.85 inches per hour and adjusted sprinkler cycle to eliminate runoff.
 - Each valve shall irrigate a landscape with similar site, slope and soil conditions and plant materials with similar watering needs. Turf and non-turf areas shall be irrigated on separate valves.
 - Drip Emitters or a Bubbler shall be provided for each tree where practicable. Bubblers shall not exceed 1.5 gallons per minute per device. Bubblers for trees shall be on separate valve unless specifically exempted by the Sandy City Public Utilities Department due to the limited number of trees on the project site.
 - Sprinklers shall have matched Precipitation Rate with each control valve circuit.
 - Check valves shall be required where elevation differences will cause low-head drainage. Pressure compensating valves and sprinklers shall be required where a significant variation in water pressure will occur within the irrigation system due to elevation differences.
 - Drip irrigation lines shall be placed underground or otherwise permanently covered, except for Drip emitters and where approved as a temporary installation. Filters and end flush valves shall be provided as necessary.
 - Irrigation zones with overhead spray or almost sprinklers shall be designed to operate between 6:00 p.m. and 10:00 a.m. to reduce water loss from wind and evaporation. This would exclude drip or bubbler zones.
 - Program valves for multiple repeat cycles where necessary to reduce runoff, particularly slopes and soils with slow infiltration rates.
 - Following construction and prior to release of the secondary bond guarantee posted for the project, a Water Use Efficiency Review will be conducted by a Landscape Irrigation Auditor. The auditor shall be independent of the contractor, design firm, and owner/developer of the project. The water performance audit will verify that the irrigation system complies with the minimum standards required by Sandy City ordinance. The minimum efficiency required for the irrigation system is 65% for distribution efficiency for all fixed spray systems and 70% distribution efficiency for all rotor systems. The auditor shall furnish a certificate to the City, designer, installer and owner/developer certifying compliance with the minimum distribution requirements. Compliance with this provision is required before the City will release the bond for this project.
 - Plants which require different amounts of water shall be irrigated by separate valves. If one valve is used for a given area, only planters with similar water use shall be used in that area. Lawn areas and planters shall be irrigated by separate valves.
 - A separate backflow prevention device shall be installed for the irrigation system.
 - A rain sensing overriding device shall be utilized so that the irrigation system will automatically turn off in the event of rain.
 - The irrigation system shall be designed to prevent overwatering and water runoff onto adjacent property, non-irrigated areas, walks, roadways or structures.
 - An automatic irrigation system using pop-up sprinkler heads shall be required for all new landscapes. Low flow sprinkler heads shall be used wherever possible.
 - No irrigation of walkways or drive.
 - Water audit is required prior to bond being released. Suggest the audit be done within 60 days of installing irrigation and landscape.
- If you have any questions with these requirements, please contact Chantaphong, P.E. at 801-568-7253.

ANDERSON WAHLEN & ASSOCIATES
2010 North Federal Road, Salt Lake City, Utah 84116
801.521.8529 - awh@andwh.com

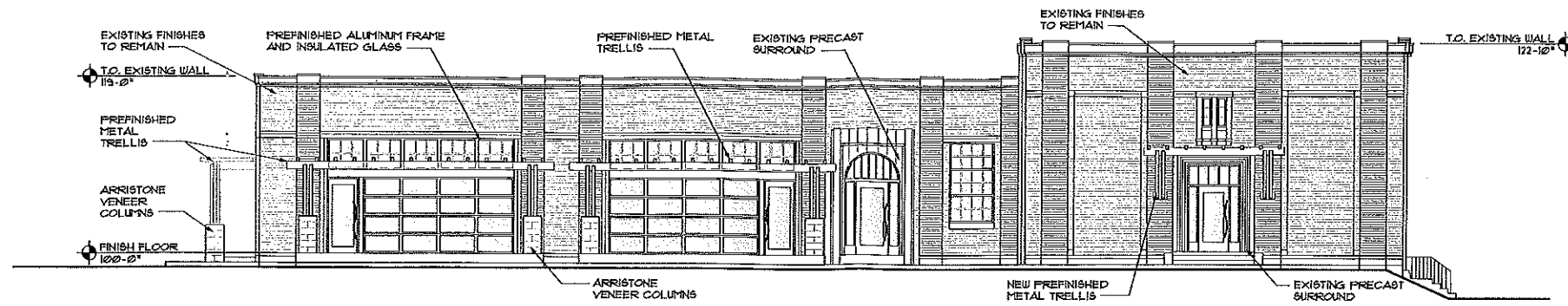
Landscape Plan
The School Yard
State Street & 11000 South Street
Sandy, Utah



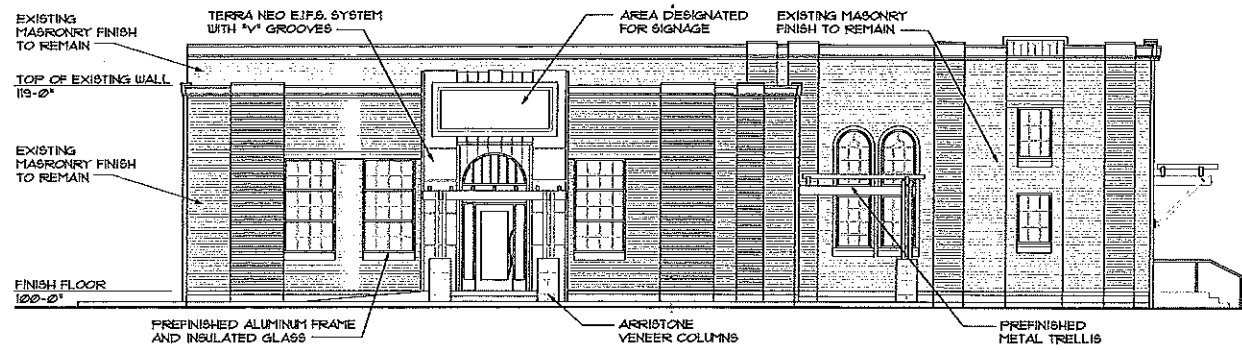
7 Jun, 2018

SHEET NO. **L1.3**

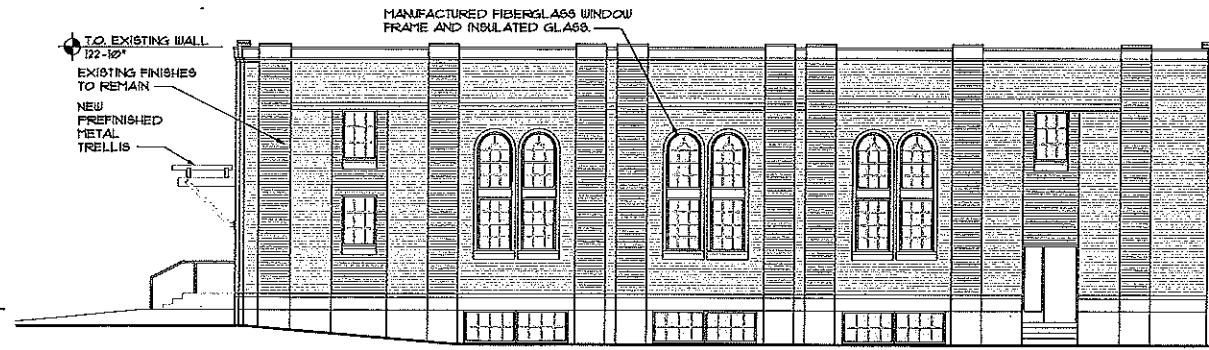




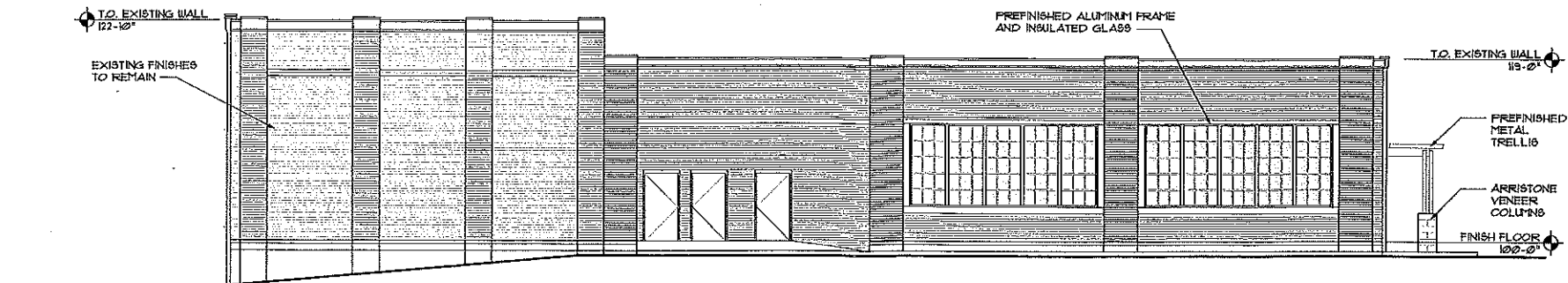
1 EXTERIOR ELEVATION - EAST
A201 SCALE: 1/8"=1'-0"



2 EXTERIOR ELEVATION - SOUTH
A201 SCALE: 1/8"=1'-0"



3 EXTERIOR ELEVATION - NORTH
A201 SCALE: 1/8"=1'-0"



4 EXTERIOR ELEVATION - WEST
A201 SCALE: 1/8"=1'-0"

PROGRESS SET

PRINTED DATE
06.07.2018

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SALT LAKE CITY, UTAH 84109
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OLD SCHOOL RENOVATION

11020 S. State St.
Sandy, Utah

CHRONOLOGY

6.7.18 - SUBMIT FOR SITE PLAN APPROVAL

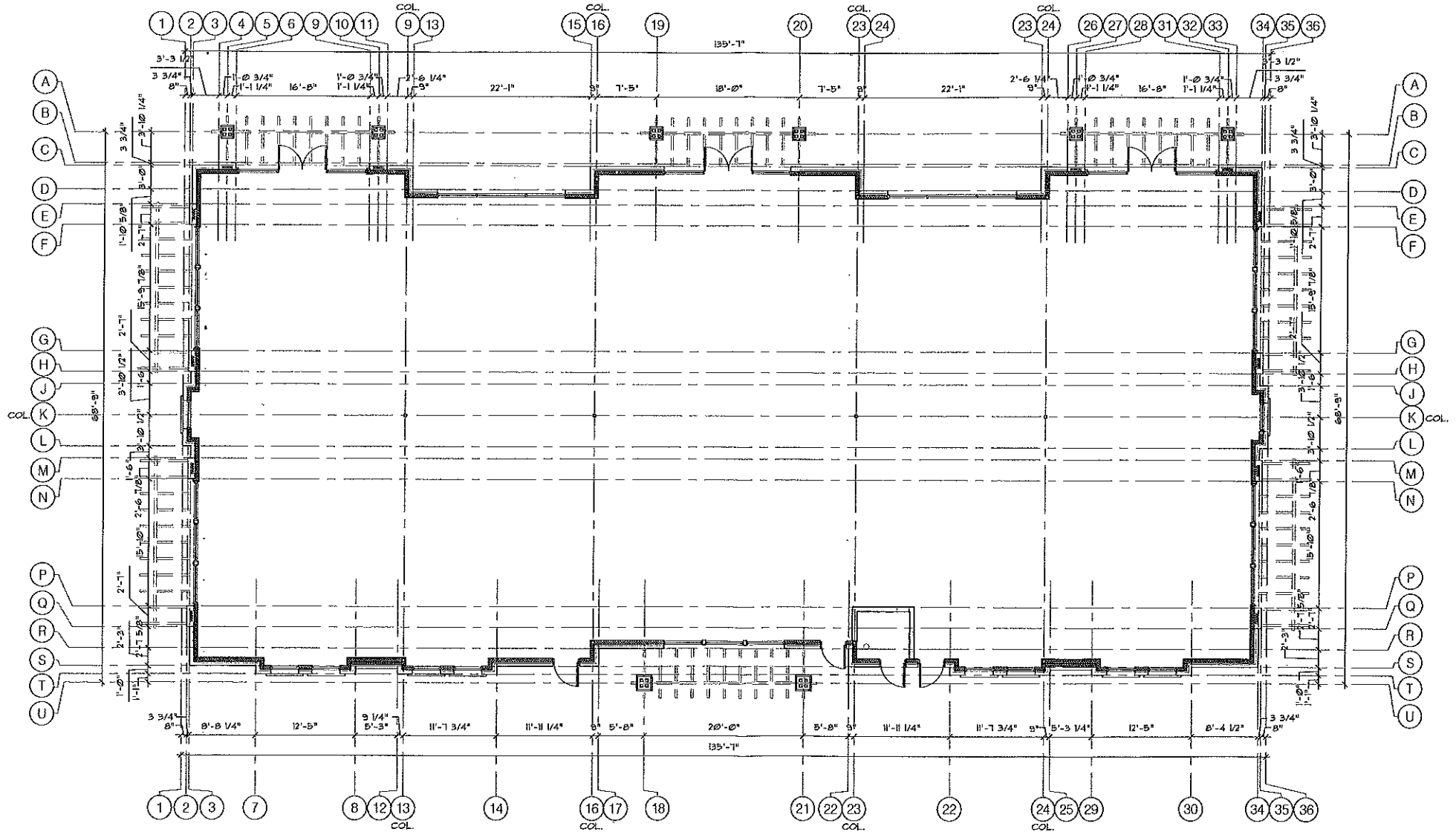
PROJECT NO
18.038

DWN BY/ CHK BY
CWL / CWL

TITLE
EXTERIOR ELEVATIONS

24X36 SHEET #
A201

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1 MAIN FLOOR PLAN
SCALE: 1/8"=1'-0"

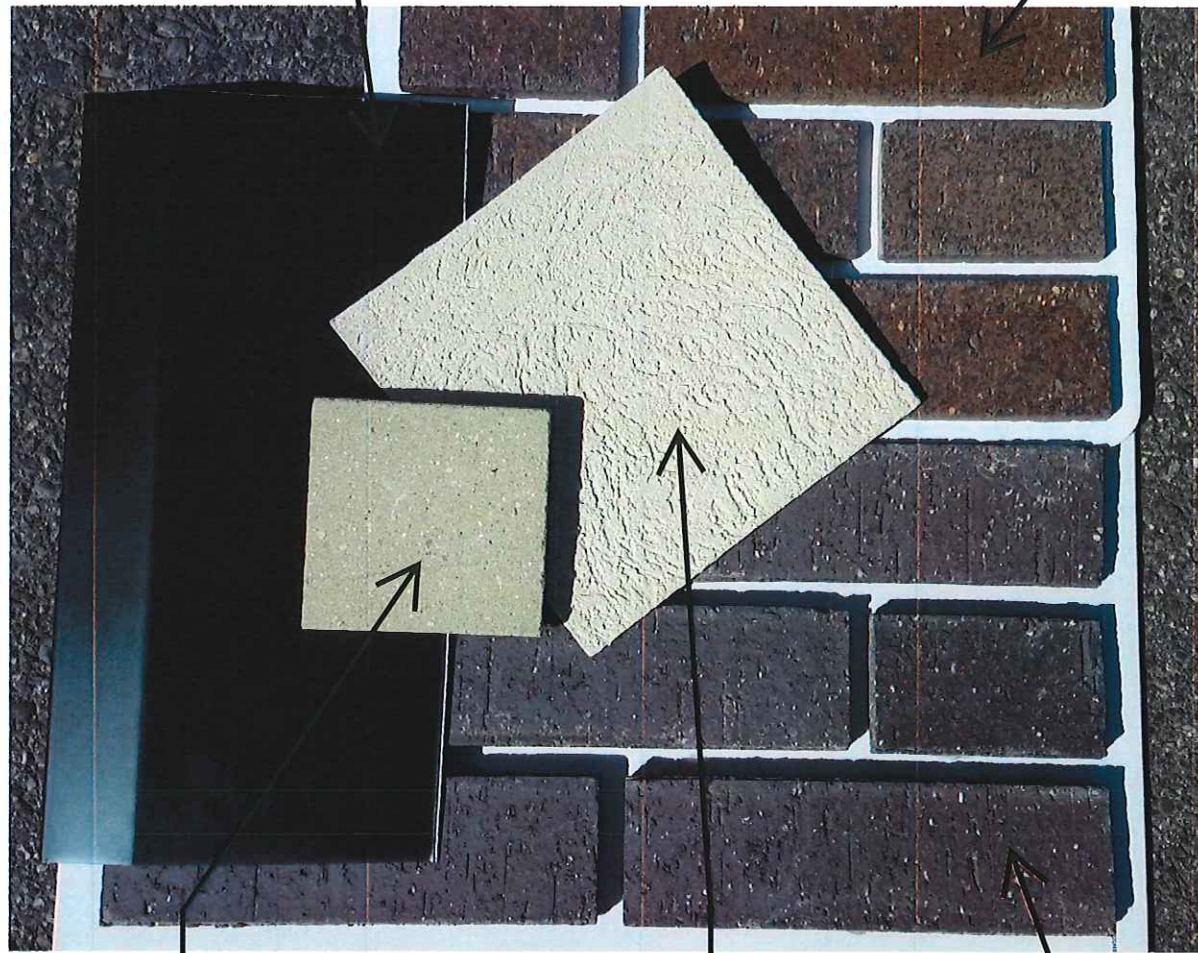
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EXISTING OLD VALLEY HIGH SCHOOL



MTL-1
PRE-FIN METAL CAP FLASHING
DARK BRONZE

BV-1
BEHIVE BRICK
SIOUX CITY BRICK
FINE ART VELOUR



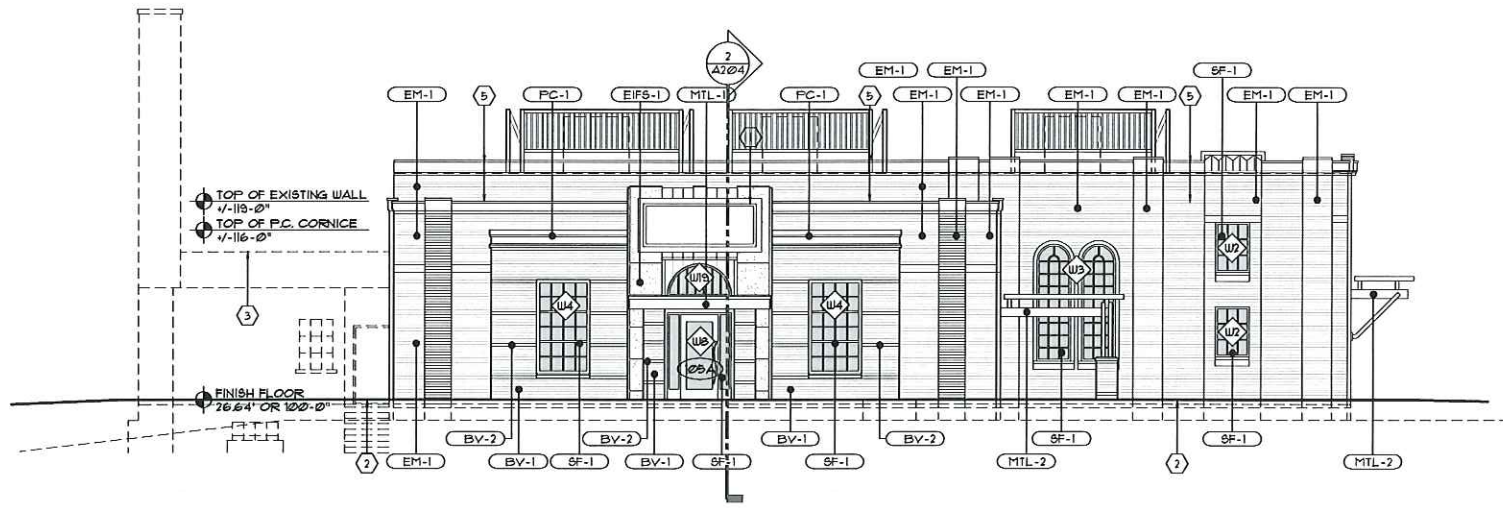
PC-1
PRECAST CONCRETE CORNICE
SIMILAR TO ARISCRAFT
OLIVE

EIFS-1
EXTERIOR INSUL. & FIN SYSTEM
SENERGY
ENCAUSTO VERONA
SALT WHITE

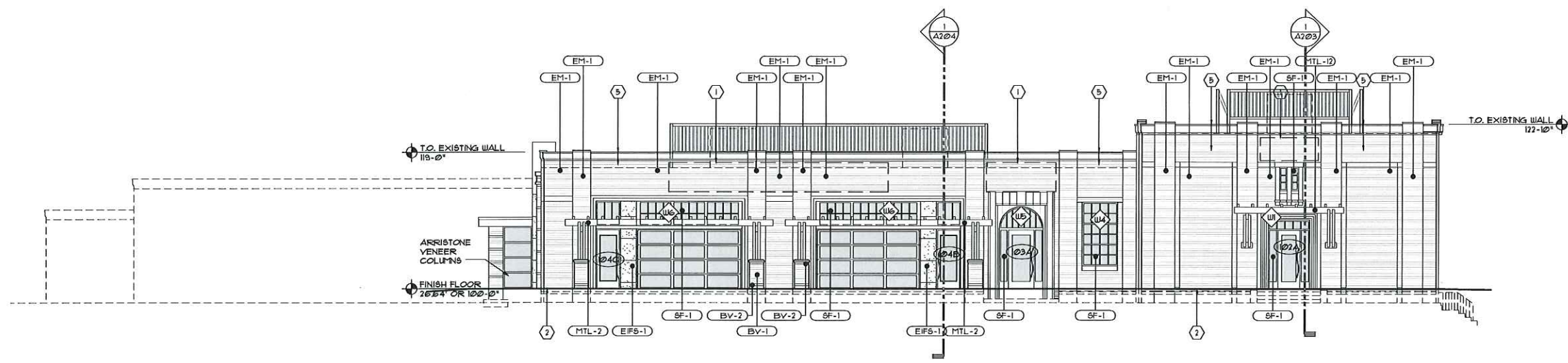
BV-2
BEHIVE BRICK
ACME BRICK
ONYX VELOUR

EXTERIOR ELEVATION MATERIAL LEGEND					
CODE	MATERIAL	MANUFACTURER	SERIES	COLOR	NOTES
BV-1	BRICK VENEER	BEHIVE BRICK	SIoux CITY BRICK	FINE ART VELOUR	--
BV-2	BRICK VENEER	BEHIVE BRICK	ACME BRICK	ONYX VELOUR	--
EIFS-1	EXTERIOR INSULATION AND FINISH SYSTEM	BENERGY	ENCAUSTO VERONA	SALT WHITE	W/ 1/4" GROVES
FC-1	PRECAST CONCRETE CORNICE	--	--	--	--
SF-1	STOREFRONT SYSTEM	OLD CASTLE	3000	DARK BRONZE	--
PC-2	PRECAST CONCRETE SURROUND AND SILL	--	--	--	W/ 1" INSULATED GLAZING
MTL-1	PRE-FINISHED METAL CAP FLASHING	FIRESTONE	KYNAR 500	DARK BRONZE	--
MTL-2	PAINTED TUBE STEEL PERGOLA AWNING	--	KYNAR 500	MEDIUM BRONZE	ALTERNATE #1: PRE-FINISHED ALUMINUM TRELLIS/AWNING SYSTEM BY AWNINGS UNLIMITED CONTACT: ANTHONY HAYWARD 801268.4441
FG-1	FIBERGLASS WINDOW SYSTEM	--	--	--	--
CONC-1	CONCRETE	BY CONTRACTOR	MATCH EXIST.	MATCH EXIST.	--
EM-1	EXISTING MASONRY TO REMAIN				

- EXTERIOR ELEVATION - KEY NOTES**
- PROPOSED LOCATION FOR TENANT SIGNAGE
 - NEW PROPOSED GRADE LINE. REFER TO CIVIL DRAWINGS. DASHED LINES BELOW NEW GRADE LINE DEPICT HOW MUCH OF THE EXISTING BUILDING WILL NOW BE UNDER GROUND
 - EXISTING CONSTRUCTION TO BE DEMOLISHED. REFER TO D101 FOR ADDITIONAL DEMOLITION INFORMATION
 - ALL EXISTING BRICK PRODUCED FROM DEMOLITION NEEDS TO BE RETAINED AND THE BEST OF THE SALVAGED BRICK WILL BE RE-USED TO INFILL OPENINGS IN THE EXTERIOR WALLS
 - CONTRACTOR AND MASON TO INSPECT EXISTING BRICK AND PRE-CAST CORNICES TO DETERMINE IF BRICK NEEDS TO BE REPOINTED AND IF THE CORNICES NEED TO BE REPLACED - ESPECIALLY AT THE PARAPET WALLS



1 EXTERIOR ELEVATION - SOUTH
A201 SCALE: 1/8"=1'-0"



2 EXTERIOR ELEVATION - EAST
A201 SCALE: 1/8"=1'-0"



PRINTED DATE
09.13.2018

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SALT LAKE CITY, UTAH 84108
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**THE SCHOOL YARD
BUILDING A (OLD SCHOOL)**
11020 S State St.
Sandy, Utah

CHRONOLOGY
6.7.18 - SUBMIT FOR SITE PLAN APPROVAL
8.8.18 - SUBMIT TO BUILDING DEPARTMENT

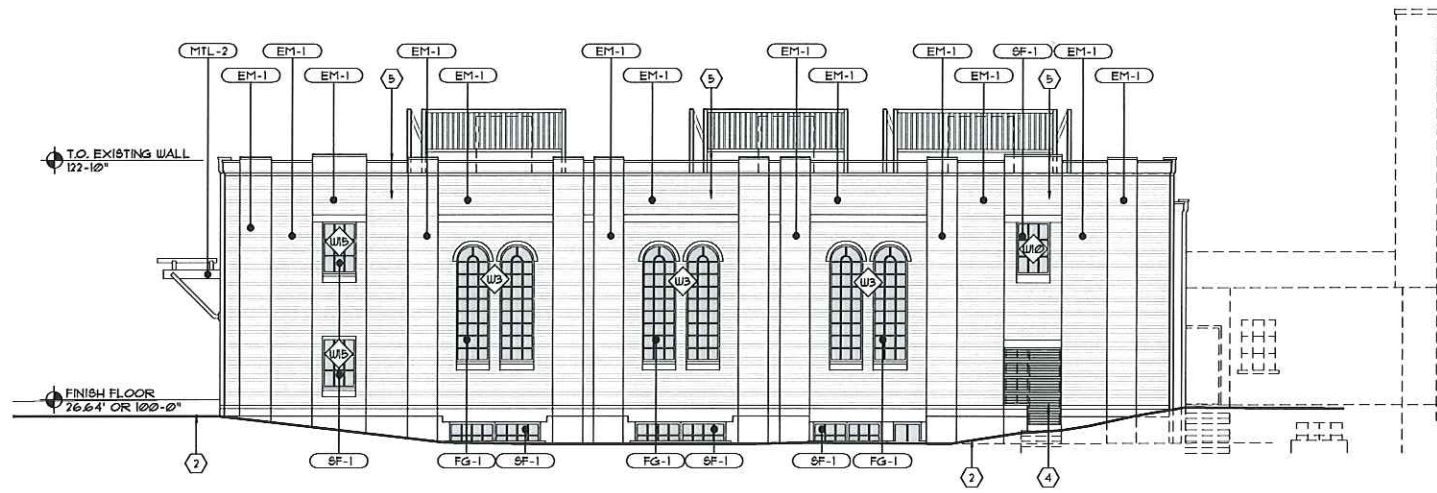
PROJECT NO
18.038
DWN BY/ CHK BY
CWL / CWL
TITLE
EXTERIOR ELEVATIONS

24X36 SHEET #
A201

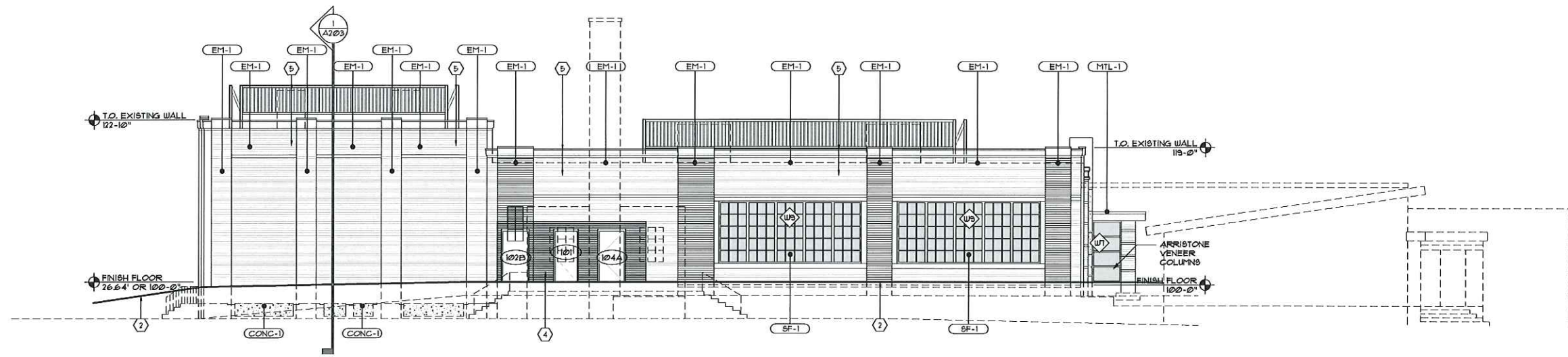
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EXTERIOR ELEVATION MATERIAL LEGEND					
CODE	MATERIAL	MANUFACTURER	SERIES	COLOR	NOTES
BV-1	BRICK VENEER	BEHIVE BRICK	SIoux CITY BRICK	FINE ART VELOUR	--
BV-2	BRICK VENEER	BEHIVE BRICK	ACME BRICK	ONYX VELOUR	--
EIFS-1	EXTERIOR INSULATION AND FINISH SYSTEM	BENERGY	ENCAUSTO VERONA	SALT WHITE	W/ 1/4" GROVES
FC-1	PRECAST CONCRETE CORNICE	--	--	--	--
SF-1	STOREFRONT SYSTEM	OLD CASTLE	3000	DARK BRONZE	--
PC-2	PRECAST CONCRETE SURROUND AND SILL	--	--	--	W/ 1" INSULATED GLAZING
MTL-1	PRE-FINISHED METAL CAP FLASHING	FIRESTONE	KYNAR 500	DARK BRONZE	--
MTL-2	PAINTED TUBE STEEL PERGOLA AWNING	--	KYNAR 500	MEDIUM BRONZE	ALTERNATE #1: PRE-FINISHED ALUMINUM TRELLIS/AWNING SYSTEM BY AWNINGS UNLIMITED CONTACT: ANTHONY HAYWARD 801268.4441
FG-1	FIBERGLASS WINDOW SYSTEM	--	--	--	--
CONC-1	CONCRETE	BY CONTRACTOR	MATCH EXIST.	MATCH EXIST.	--
EM-1	EXISTING MASONRY TO REMAIN	--	--	--	--

- EXTERIOR ELEVATION - KEY NOTES**
- PROPOSED LOCATION FOR TENANT SIGNAGE
 - NEW PROPOSED GRADE LINE. REFER TO CIVIL DRAWINGS. DASHED LINES BELOW NEW GRADE LINE DEPICT HOW MUCH OF THE EXISTING BUILDING WILL NOW BE UNDER GROUND
 - EXISTING CONSTRUCTION TO BE DEMOLISHED. REFER TO D101 FOR ADDITIONAL DEMOLITION INFORMATION
 - ALL EXISTING BRICK PRODUCED FROM DEMOLITION NEEDS TO BE RETAINED AND THE BEST OF THE SALVAGED BRICK WILL BE RE-USED TO INFILL OPENINGS IN THE EXTERIOR WALLS
 - CONTRACTOR AND MASON TO INSPECT EXISTING BRICK AND PRE-CAST CORNICES TO DETERMINE IF BRICK NEEDS TO BE REPOINTED AND IF THE CORNICES NEED TO BE REPLACED - ESPECIALLY AT THE PARAPET WALLS



1 EXTERIOR ELEVATION - NORTH
A202 SCALE 1/8"=1'-0"



1 EXTERIOR ELEVATION - WEST
A202 SCALE 1/8"=1'-0"



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2005 EAST 2700 SOUTH | SUITE 200
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**THE SCHOOL YARD
BUILDING A (OLD SCHOOL)**
11020 S State St.
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CHRONOLOGY
6.7.18 - SUBMIT FOR SITE PLAN APPROVAL
8.8.18 - SUBMIT TO BUILDING DEPARTMENT

PROJECT NO
18.038
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TITLE
EXTERIOR ELEVATIONS

24X36 SHEET #
A202

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1 SOUTH WEST VIEW (FRONT OF BUILDING)
A901 SCALE: NOT TO SCALE



2 NORTH EAST VIEW (VIEW FROM STATE STREET)
A901 SCALE: NOT TO SCALE

PRINTED DATE
07.19.2018

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RETAIL BUILDING 'B'

11000 S STATE ST.
Sandy, Utah

CHRONOLOGY

6.7.18 - SUBMIT FOR SITE
PLAN APPROVAL

PROJECT NO
18.064

DWN BY/ CHK BY
AT / CWL

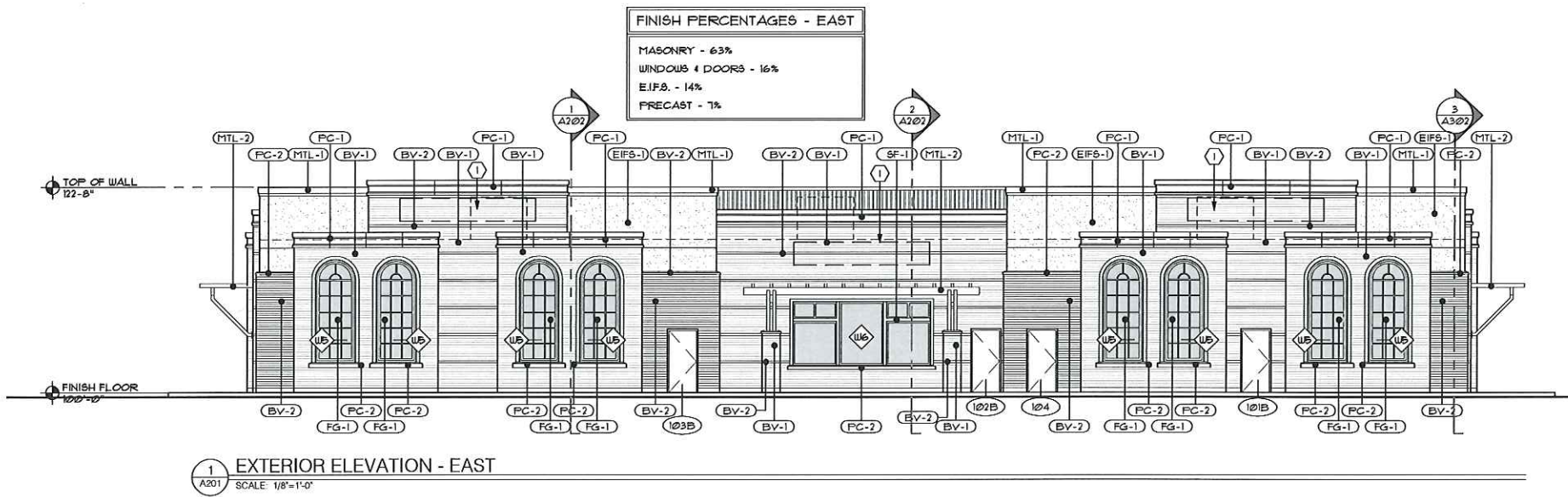
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3D VIEWS

24X36 SHEET #

A901

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1 EXTERIOR ELEVATION - EAST
SCALE: 1/8"=1'-0"

FINISH PERCENTAGES - EAST

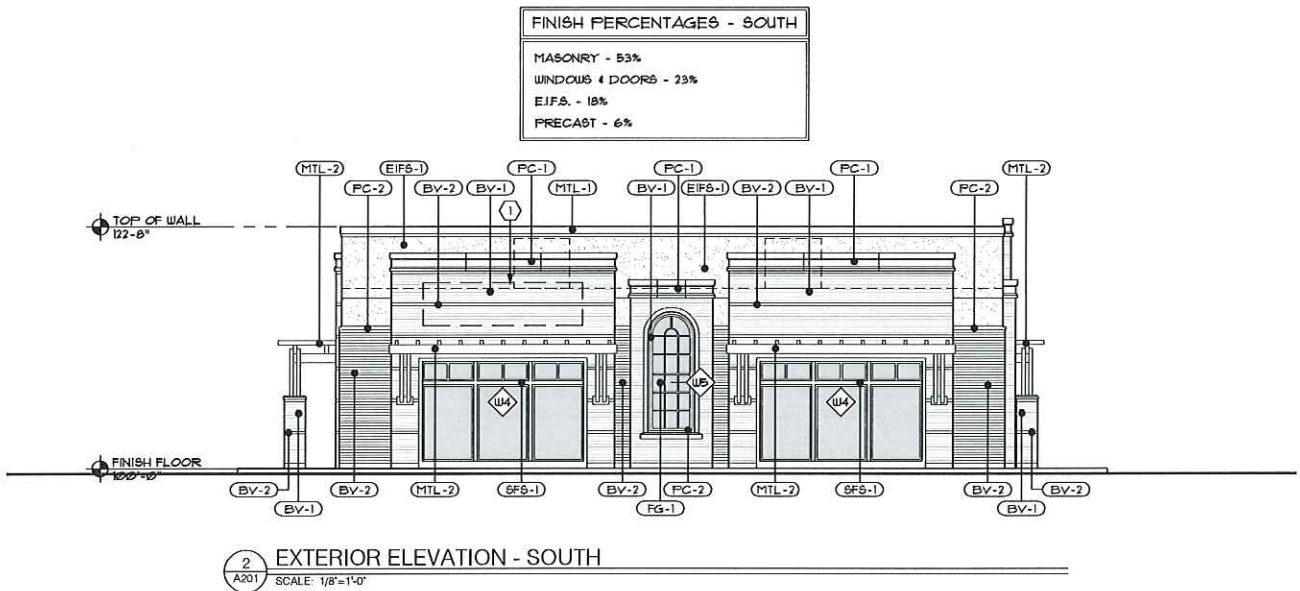
MASONRY	- 63%
WINDOWS & DOORS	- 16%
EIFS	- 14%
PRECAST	- 7%

EXTERIOR ELEVATION MATERIAL LEGEND

CODE	MATERIAL	MANUFACTURER	SERIES	COLOR	NOTES
BV-1	BRICK VENEER	BEHIVE BRICK	BILOUX CITY BRICK	FINE ART VELOUR	--
BV-2	BRICK VENEER	BEHIVE BRICK	ACME BRICK	ONYX VELOUR	--
EIFS-1	EXTERIOR INSULATION AND FINISH SYSTEM	SENERGY	ENCAUSTO VERONA	SALT WHITE	W/ "V" GROVES
PC-1	PRECAST CONCRETE CORNICE	--	--	--	--
SF-1	STOREFRONT SYSTEM	OLD CASTLE	3000	DARK BRONZE	--
PC-2	PRECAST CONCRETE SURROUND AND SILL	--	--	--	W/ 1" INSULATED GLAZING
MTL-1	PRE-FINISHED METAL CAP FLASHING	FIRESTONE	KYNAR 500	DARK BRONZE	--
MTL-2	PAINTED TUBE STEEL PERGOLA AWNING	--	KYNAR 500	MEDIUM BRONZE	ALTERNATE #1: PRE-FINISHED ALUMINUM TRELLIS/AWNING SYSTEM BY AWNINGS UNLIMITED CONTACT: ANTHONY HAYWARD 801268.4441
FG-1	FIBERGLASS WINDOW SYSTEM	--	--	--	--

EXTERIOR ELEVATION - KEY NOTES

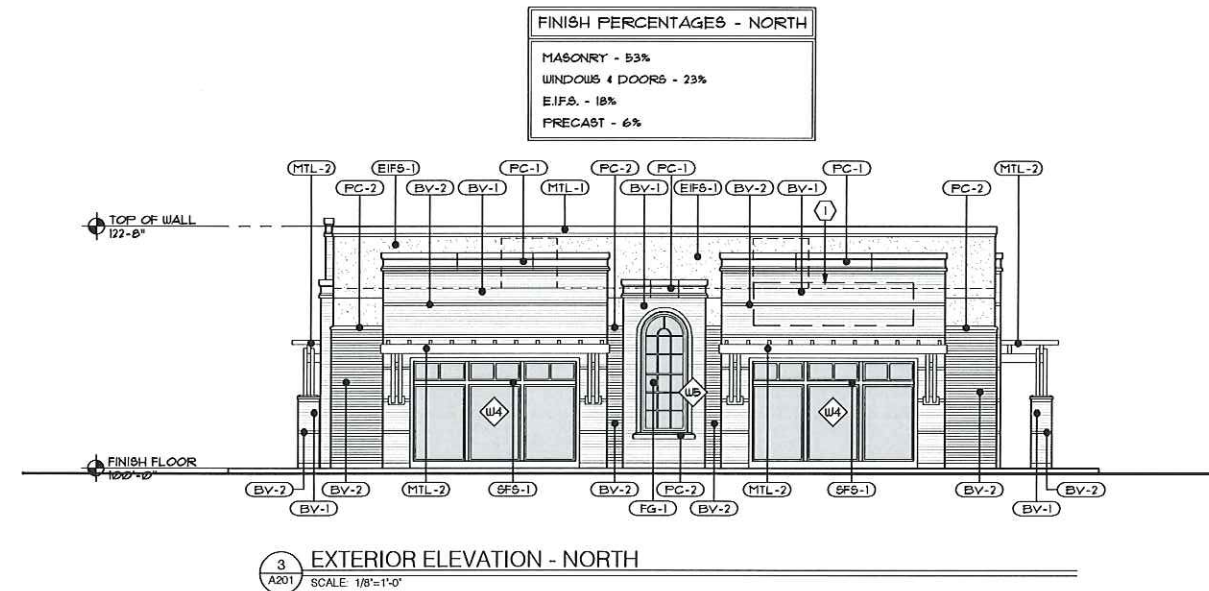
(1) PROPOSED LOCATION FOR TENANT SIGNAGE



2 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8"=1'-0"

FINISH PERCENTAGES - SOUTH

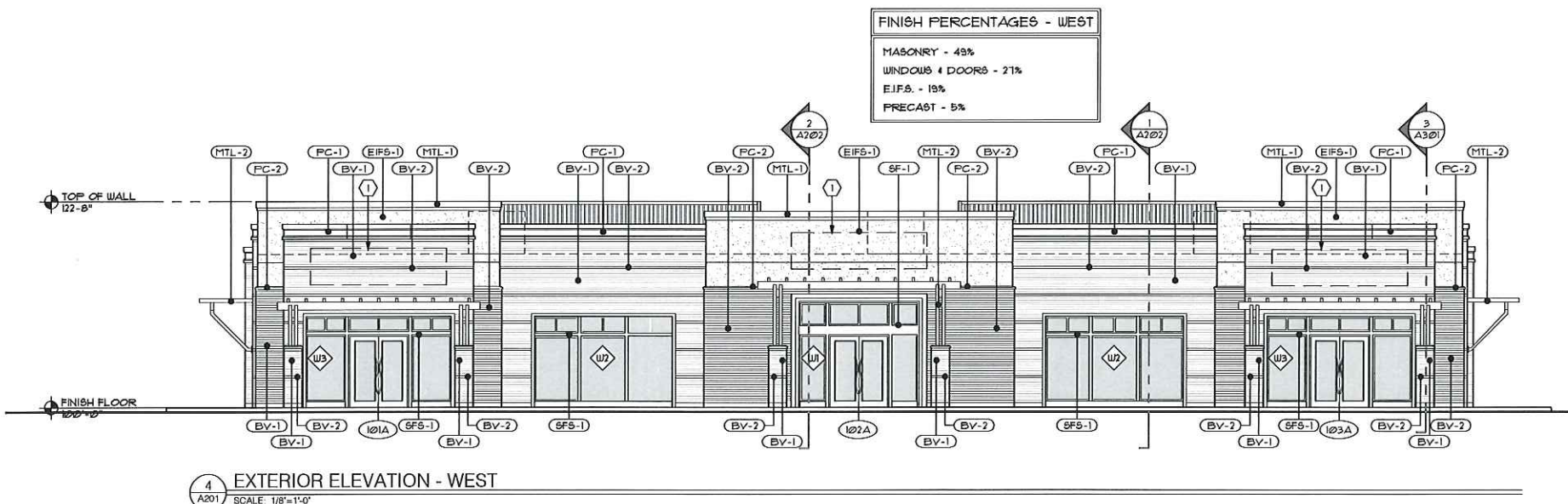
MASONRY	- 53%
WINDOWS & DOORS	- 23%
EIFS	- 18%
PRECAST	- 6%



3 EXTERIOR ELEVATION - NORTH
SCALE: 1/8"=1'-0"

FINISH PERCENTAGES - NORTH

MASONRY	- 53%
WINDOWS & DOORS	- 23%
EIFS	- 18%
PRECAST	- 6%



4 EXTERIOR ELEVATION - WEST
SCALE: 1/8"=1'-0"

FINISH PERCENTAGES - WEST

MASONRY	- 49%
WINDOWS & DOORS	- 21%
EIFS	- 19%
PRECAST	- 5%



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**THE SCHOOL YARD
RETAIL BUILDING B**
11000 S STATE ST.
Sandy, Utah

CHRONOLOGY
6.7.18 - SUBMIT FOR SITE PLAN APPROVAL
8.8.18 - SUBMIT TO BUILDING DEPARTMENT

PROJECT NO
18.064

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TITLE
EXTERIOR ELEVATIONS

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A201

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