

BRAND ESTATES SUBDIVISION

CONSTRUCTION DRAWINGS AND PLAT SUBMITTAL

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
RESIDENTIAL SUBDIVISION

SHEET INDEX

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DRAWING NOTES:

GENERAL NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH SANDY CITY STANDARDS AND SPECIFICATIONS. CONTRACTOR TO OBTAIN CURRENT STANDARDS, SPECIFICATIONS, AND CITY GENERAL NOTES FROM SANDY CITY.
- CONTRACTOR RESPONSIBLE FOR PROTECTION OF ALL UTILITIES SHOWN OR NOT SHOWN.
- CONTRACTORS SHALL ATTEND ALL PRE-CONSTRUCTION CONFERENCES AND ABIDE BY DIRECTIVES AND DECISIONS MADE THEREIN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC SAFETY AND OSHA STANDARDS.
- LOCATION AND INSTALLATION OF GAS, POWER, TELEPHONE, AND CABLE LINES TO BE DONE IN ACCORDANCE WITH SANDY CITY STANDARDS.
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FOR WORK.
- CONTRACTOR IS RESPONSIBLE TO KEEP A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT ON SITE DURING THE COURSE OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THESE STATE REQUIRED DOCUMENTS.
- WHEN INSTALLING PROPOSED UTILITIES, CONTRACTOR TO IDENTIFY POTENTIAL CONFLICTS BETWEEN STORM DRAIN, CULINARY WATER, AND/OR SECONDARY WATER. IN ALL CASES, STORM DRAIN DESIGN SHALL GOVERN.
- IF CONSTRUCTION WORK IS IN EXISTING ASPHALT AREAS, CONTRACTOR TO SAWCUT EXISTING ASPHALT FOR MATCH.
- DURING THE CONSTRUCTION PROCESS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR IF MORE OR LESS WORK IS REQUIRED THAN WHAT THESE PLANS SHOW.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
- ALL UTILITY TIE-INS TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ANY EXISTING WELL LOCATED ON THIS PROPERTY MUST BE ELIMINATED BY A CERTIFIED WELL DRILLER, PROPER DOCUMENTATION SHALL BE PROVIDED TO TOOLEE CITY WATER DEPARTMENT.

PROJECT BENCHMARK AND BASIS OF BEARING:

- THE BASIS OF BEARING FOR THIS SURVEY IS NORTH 89°35'10" WEST BETWEEN THE SOUTH QUARTER AND THE SOUTHWEST CORNER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.
- THE BENCHMARK FOR THIS PROPERTY IS A BRASS CAP MONUMENT AT THE SOUTH QUARTER CORNER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. THE FOUND MONUMENT HAS AN ELEVATION OF 4487.93.

WATERLINE NOTES:

- CULINARY SERVICE LATERALS TO BE 1" SERVICES.
- ALL CULINARY WATERLINES SHALL BE 48" BELOW FINISHED GRADE TO TOP OF PIPE.
- ALL VALVE COVERS TO BE RAISED OR LOWERED TO FINISHED GRADE.
- CULINARY WATER SERVICE LATERALS TO FOLLOW THE SANDY CITY STANDARDS.
- WATER LATERALS TO BE STUBBED 15' INSIDE PROPERTY AND MARKED WITH A TREATED 2X4 PAINTED BLUE.
- CONTRACTOR TO ADJUST DEPTH OF WATERLINE TO CLEAR STORM DRAIN LINES, WATER LATERALS SHALL BE PLACED UNDER THE STORM WATER LINES.
- EXISTING UTILITY SERVICES WILL NEED TO BE ELIMINATED PER SANDY CITY STANDARDS

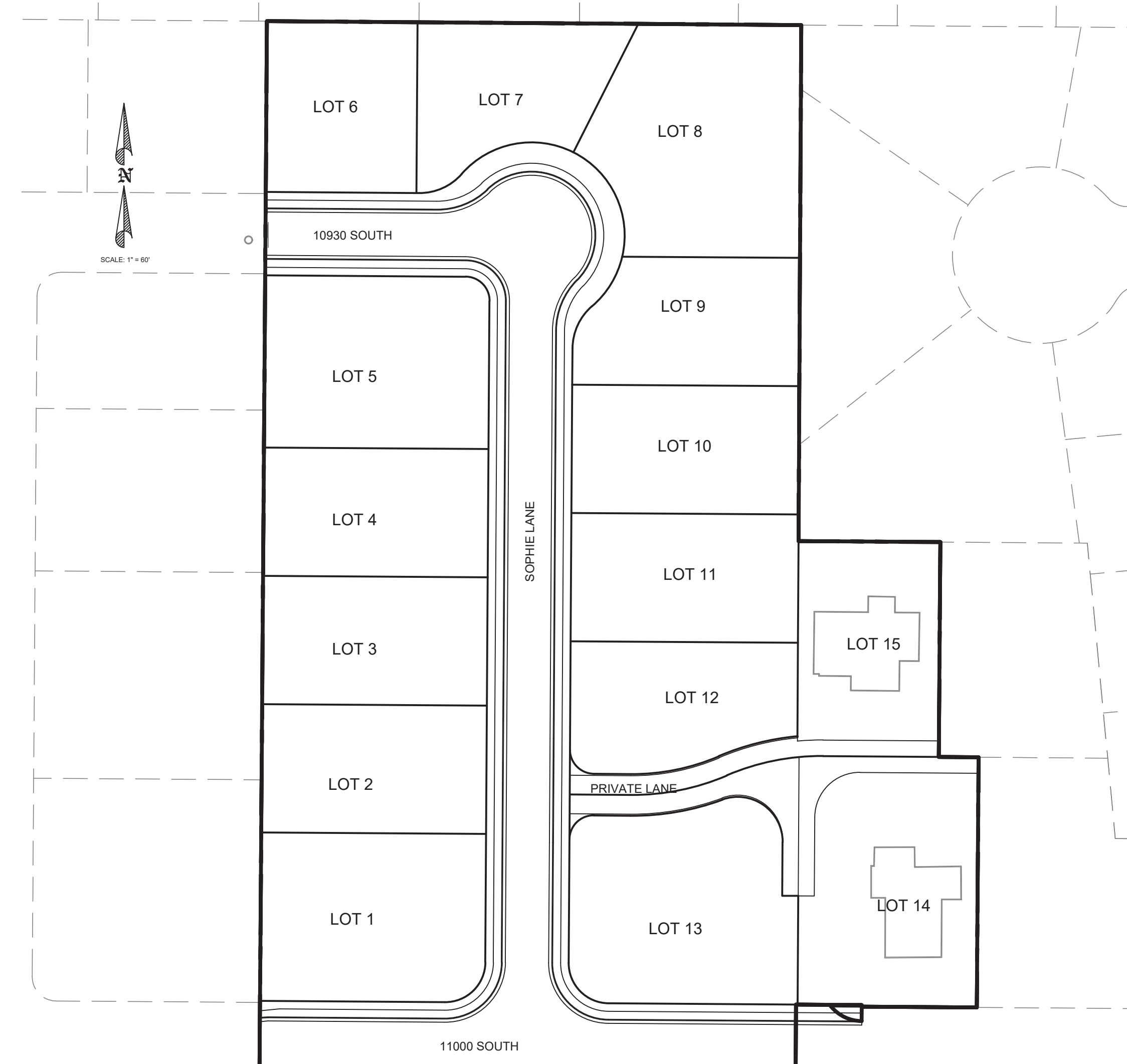
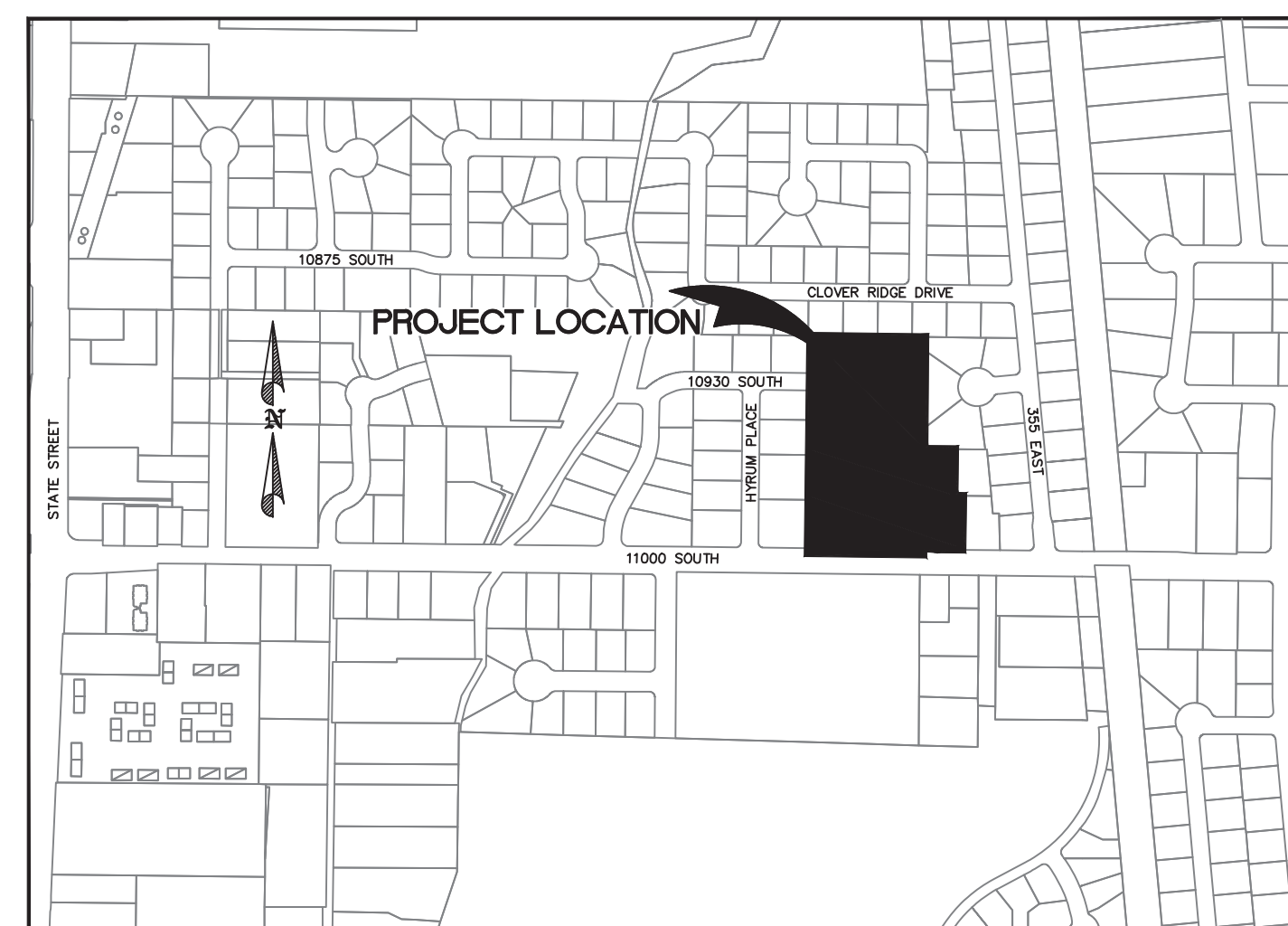
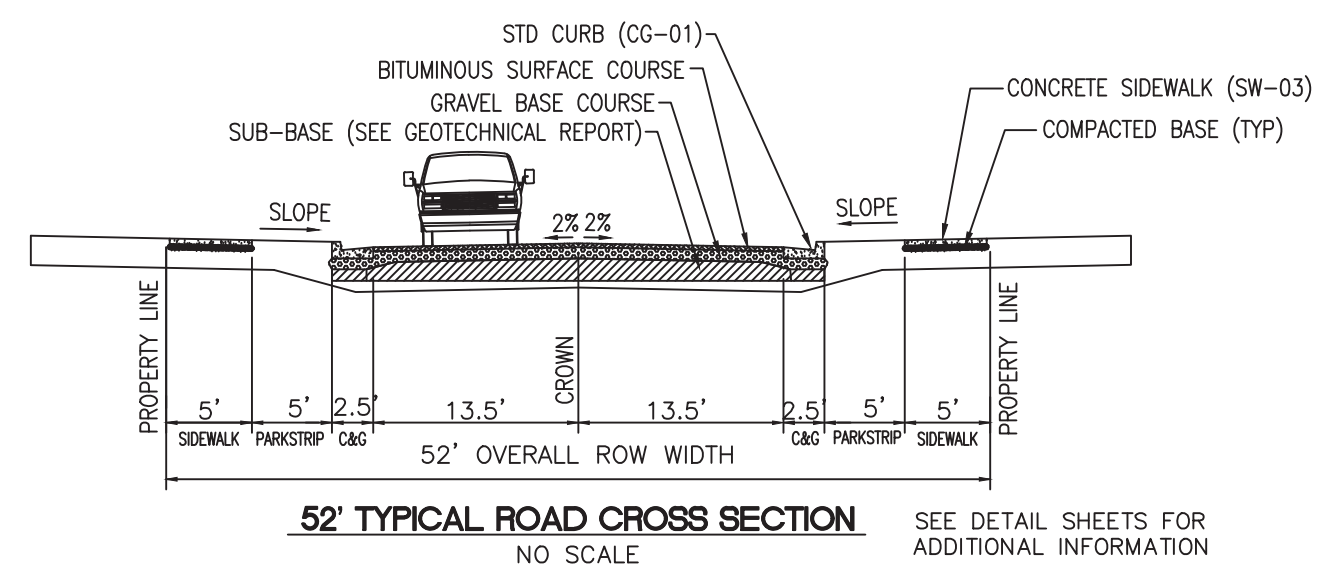
SEWER NOTES:

- ALL SANITARY SEWER CONSTRUCTION AND MATERIALS SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
- FOUR FEET MINIMUM OF COVER IS REQUIRED OVER ALL SEWER LINES.
- ALL MANHOLE LIDS TO BE RAISED OR LOWERED TO FINISHED GRADE.
- SEWER LATERALS TO BE STUBBED 15' INSIDE PROPERTY AND MARKED WITH A TREATED 2X4 PAINTED GREEN.
- ALL SEWER TO BE BACKFILLED WITH DISTRICT APPROVED SELECT BACKFILL, AND COMPACTED PER DISTRICT STANDARDS.
- SEWER LATERALS TO BE INSTALLED AT A MINIMUM OF 2%

EROSION CONTROL NOTES:

- CONTRACTOR TO PROVIDE DUST CONTROL AT ALL TIMES. CONTRACTOR SHALL PROVIDE THE NECESSARY MITIGATION TO KEEP DUST TO THE ACCEPTABLE LIMITS IDENTIFIED IN THE AIR QUALITY PERMIT OBTAINED FROM THE STATE OF UTAH, DEPARTMENT OF AIR QUALITY. IGNORANCE OF THESE CODES AND STATUTES IS NOT AN ACCEPTABLE REASON FOR NOT COMPLYING WITH THESE REQUIREMENTS. THE CITY INSPECTOR MAY REQUIRE SOIL ADDITIVES TO CONTROL DUST. PROVISIONS TO CONTROL DUST MUST BE ON SITE AND OPERATIONAL PRIOR TO ANY LAND DISTURBANCE.
- EXISTING PAVED ROADWAYS ARE TO BE KEPT CLEAN AT ALL TIMES. CONTRACTOR TO MAINTAIN STREETS TO BE FREE FROM DIRT AND DEBRIS.
- SILT FENCES, TEMPORARY SEDIMENT TRAPS, TEMPORARY BERMS, AND OTHER EROSION CONTROL DEVICES ARE TO BE INSPECTED AND MAINTAINED WITHIN 24 HOURS AFTER EACH SIGNIFICANT STORM EVENT (0.5 INCHES) OR TWICE MONTHLY.
- INSPECTIONS OF ALL EROSION CONTROL DEVICES SHOULD OCCUR DAILY AND ALSO AFTER SIGNIFICANT CONSTRUCTION EVENTS.
- CONTRACTOR TO REPLACE DAMAGED EROSION CONTROL DEVICES, OR DEVICES THAT DO NOT FUNCTION PROPERLY.
- ENVIRONMENTAL FENCE NOT NEEDED WHERE EXISTING FENCES EXIST ON ADJACENT PROPERTY.

52' (LOCAL) TYP. ROAD CROSS-SECTION



SANDY CITY PUBLIC WORKS GENERAL NOTES:

INSTALL SURVEY MONUMENTS ACCORDING TO THE RECORDED PLAT PER SALT LAKE COUNTY SPECIFICATIONS. IT IS UNLAWFUL FOR ANY PERSON TO INSTALL SURVEY MONUMENTS HAVING A SPATIAL RELATIONSHIP WITH ANY SECTION OR QUARTER SECTION CORNER WITHOUT HAVING FIRST OBTAINED FROM THE SALT LAKE COUNTY SURVEYOR'S OFFICE A PERMIT FOR SUCH INSTALLATION (UT. CODE ANN. SECTION 17-23-17). ALL SURVEY MONUMENTS INSTALLED SHALL BE IN ACCORDANCE WITH THE PERMIT ISSUED AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE SALT LAKE COUNTY SURVEYOR'S OFFICE. STANDARD PRECAST MONUMENTS WILL BE FURNISHED BY THE COUNTY SURVEYOR'S OFFICE.

INSTALL SURVEY RIVETS, OFFSET FROM EACH LOT'S PROPERTY CORNERS, IN CURB OR SIDEWALK.

BUILDER/OWNER SHALL OBTAIN AN EXCAVATION PERMIT FROM SANDY CITY PUBLIC WORKS DEPARTMENT PRIOR TO DOING ANY WORK IN THE SANDY CITY RIGHT-OF-WAY, TRAFFIC PLAN, BONDING, AND INSURANCE WILL BE REQUIRED.

NOTIFY SANDY CITY PUBLIC WORKS INSPECTION DEPARTMENT, 801-568-2999, 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF ANY ROADWAYS OR PUBLIC IMPROVEMENTS, INCLUDING SEWER FACILITIES. ALL INSPECTIONS MUST BE DONE PRIOR TO OR CONCURRENT WITH CONSTRUCTION. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE UNCOVERING AND/OR REMOVAL OF ALL ITEMS INSTALLED WITHOUT NOTIFICATION, AT THE DISCRETION OF THE CITY ENGINEER.

ALL PUBLIC IMPROVEMENTS, WHICH ARE TO BE OWNED AND MAINTAINED BY SANDY CITY, AND ALL PUBLICLY- AND PRIVATELY-OWNED AND MAINTAINED ROADS SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION). THE SPECIFICATIONS CAN BE FOUND IN .PDF FORMAT ON LINE AT WWW.SANDY.UTAH.GOV (SEARCH FOR "STANDARD SPECIFICATIONS").

PROVIDE A PROCTOR TEST, FOR ROADBASE MATERIAL THAT IS TO BE PLACED IN THE PUBLIC RIGHT-OF-WAY, TO THE SANDY CITY PUBLIC WORKS INSPECTOR, WHEN DELIVERED OR PLACED ON SITE.

FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT. SANDY CITY STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN, HOWEVER, UNLESS GEOTECHNICAL REPORT RECOMMENDATIONS ARE MORE STRINGENT.

BUILDER/OWNER SHALL REPLACE ANY EXISTING SIDEWALK OR CURB & GUTTER, ALONG THE FRONTAGE OF THIS PROJECT, THAT IS FOUND TO BE LIFTED, CHIPPED, CRACKED, SPALLED, OR NOT PROPERLY DRAINING, AS DIRECTED BY THE SANDY CITY INSPECTOR.

DUST, MUD, AND EROSION SHALL BE ADEQUATELY CONTROLLED, BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS, AT ALL TIMES. HOWEVER, THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS, FOR DUST SUPPRESSION, IS ABSOLUTELY PROHIBITED.

ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.

PRIOR TO RELEASE OF THE GUARANTEE FOR IMPROVEMENTS (BOND), AND ACCORDING TO THE "CITY ENGINEER REQUIREMENTS" LETTER FOR THIS PROJECT, THE DEVELOPER SHALL SUBMIT A .PDF COPY OF THE CONTRACTOR'S SITE (NOT BUILDING) CONSTRUCTION DRAWING SET TO SANDY CITY PUBLIC WORKS DEPARTMENT. AN AS-BUILT FIELD SURVEY IS NOT REQUIRED. THE AS-BUILT DRAWING MAY BE SUBMITTED BY E-MAIL AT DPOULSEN@SANDY.UTAH.GOV, OR ON A USB FLASH DRIVE, OR THE HARD-COPY ORIGINAL MAY BE SUBMITTED TO SANDY CITY (DAVE POULSEN, 801-568-6058), WHERE THE SET WILL BE SCANNED AND RETURNED TO THE OWNER.

PROVIDE SLOPE AWAY FROM BUILDINGS THAT COMPLIES WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (2% MINIMUM/12% MAXIMUM ON HARD SURFACES; 5% MINIMUM/2:1 MAXIMUM IN LANDSCAPE AREAS--FOR A MINIMUM OF 10 FEET IN ANY CASE).

2H:1V MAXIMUM SLOPE IN LANDSCAPED AREAS.

PROVIDE AN ESTIMATE OF THE QUANTITIES OF EXCAVATION AND FILL, AS WELL AS LOCATIONS OF BORROW SITES, SURPLUS DISPOSAL SITES, AND HAUL ROUTES, TO THE SANDY CITY PUBLIC WORKS INSPECTOR.

FOR RETAINING WALLS THAT WILL BE 4.0 FEET HIGH OR HIGHER (FROM BOTTOM OF WALL FOOTING TO TOP OF WALL), SUBMIT DESIGN CALCULATIONS AND DETAILS, STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER CURRENTLY LICENSED IN UTAH, FOR REVIEW AND APPROVAL, TO RYAN KUMF, SANDY CITY ENGINEER (801-568-2962).

OBTAIN A PERMIT FROM THE SANDY CITY BUILDING DIVISION (801-568-7251) PRIOR TO CONSTRUCTING ANY RETAINING WALL THAT WILL BE 4.0 FEET HIGH OR HIGHER (FROM BOTTOM OF WALL FOOTING TO TOP OF WALL).

A PROFESSIONAL ENGINEER, CURRENTLY LICENSED IN UTAH, SHALL INSPECT DURING CONSTRUCTION, AND APPROVE AFTER CONSTRUCTION, ANY RETAINING WALLS THAT ARE 4.0 FEET HIGH OR HIGHER, FROM TOP OF WALL TO BOTTOM OF FOOTING. SAID ENGINEER SHALL SUBMIT A LETTER, STAMPED, WITH THE STAMP SIGNED AND DATED, AND INDICATING THAT THE WALL WAS INSTALLED ACCORDING TO THE APPROVED DESIGN, TO THE SANDY CITY ENGINEER, PRIOR TO RELEASE OF THE GUARANTEE FOR IMPROVEMENTS.

CONSTRUCTION DRAWINGS NOTES

- ALL PUBLIC IMPROVEMENTS, WHICH ARE TO BE OWNED AND MAINTAINED BY SANDY CITY, SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION). THE SPECIFICATIONS CAN BE FOUND IN .PDF FORMAT ONLINE AT WWW.SANDY.UTAH.GOV (CLICK ON "GOVERNMENT", THEN "PUBLIC WORKS", THEN "STANDARD SPECIFICATIONS").
- ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.
- THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS, FOR DUST SUPPRESSION, IS ABSOLUTELY PROHIBITED.
- DUST, MUD, AND EROSION SHALL BE ADEQUATELY CONTROLLED BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS, AT ALL TIMES.
- BUILDER/OWNER SHALL REPLACE ANY EXISTING SIDEWALK OR CURB & GUTTER ALONG THE FRONTAGE OF THIS PROJECT THAT IS FOUND TO BE DEFECTIVE, AS DIRECTED BY THE SANDY CITY INSPECTOR.
- NOTIFY SANDY CITY PUBLIC WORKS INSPECTION DEPARTMENT, 801-568-2999, 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF ANY ROADWAYS OR PUBLIC IMPROVEMENTS, INCLUDING SEWER FACILITIES. ALL INSPECTIONS MUST BE DONE PRIOR TO OR CONCURRENT WITH CONSTRUCTION. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE UNCOVERING AND/OR REMOVAL OF ALL CONSTRUCTION DONE WITHOUT NOTIFICATION, AT THE DISCRETION OF THE CITY ENGINEER.
- PROVIDE A PROCTOR TEST FOR ROADBASE MATERIAL, TO THE SANDY CITY PUBLIC WORKS INSPECTOR, WHEN DELIVERED OR PLACED ON SITE.
- BUILDER/OWNER SHALL SECURE AN EXCAVATION PERMIT FROM SANDY CITY PUBLIC WORKS DEPARTMENT PRIOR TO DOING ANY WORK IN THE SANDY CITY RIGHT OF WAY, TRAFFIC PLAN, BONDING, AND INSURANCE WILL BE REQUIRED.

CONTACT LIST

DEVELOPER:
KYLE DENOS
801-793-7660

PROJECT ENGINEER:
WILDING ENGINEERING
JASON PETERSON, P.E.
801-553-8112
jpeterson@wildingengineering.com

SANDY CITY PLANNING:

SOUTH VALLEY SEWER DISTRICT:
MATTHEW GARN
801-571-1166



PROJECT INFORMATION

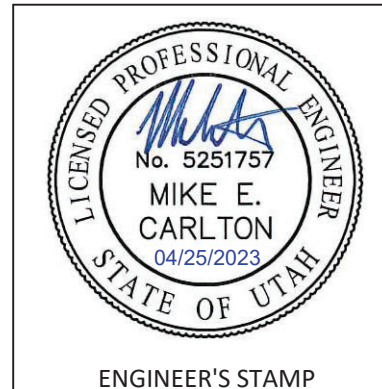
BRAND ESTATES SUBDIVISION

COVER SHEET

SANDY, UTAH

DRAWN	CHECKED	PROJECT #
DCC	MEC	21252

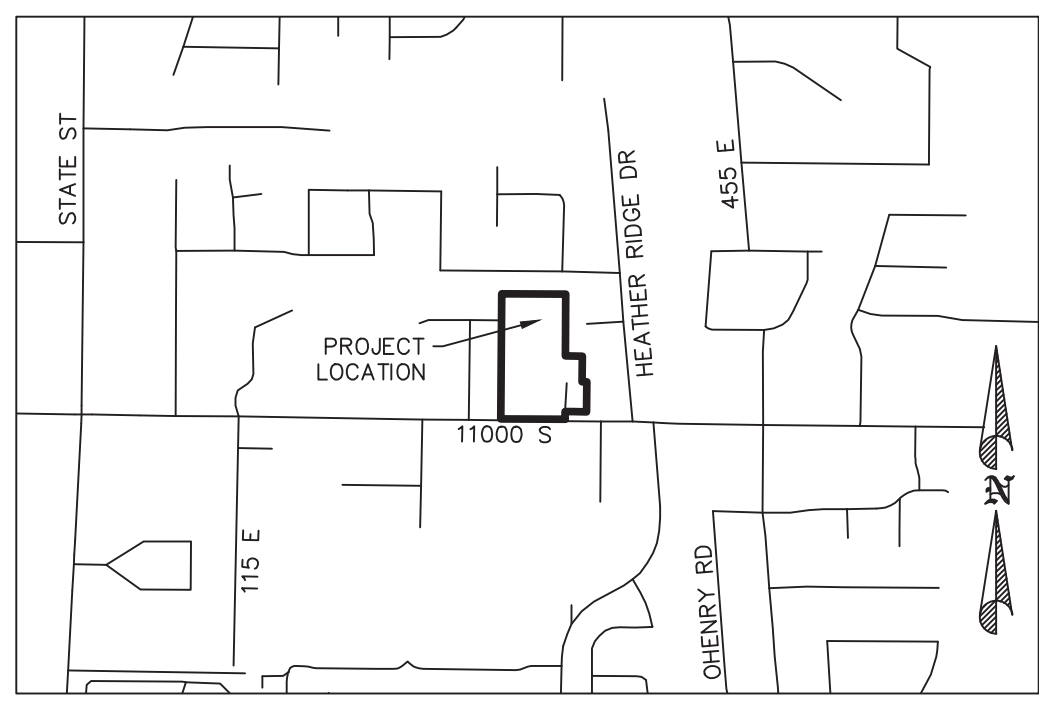
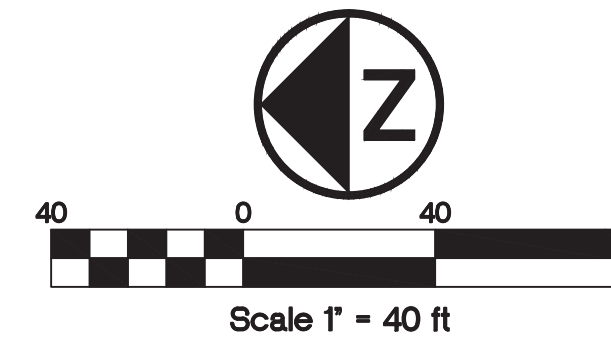
DATE	10/06/22
SCALE	NTS
SHEET	C101



G:\DATA\21252 - Next Level Homes 285 E 11000 S.dwg \21252 Overall.dwg
PLOT DATE: Apr 25, 2023

BRAND ESTATES SUBDIVISION

AMENDING AND EXTENDING LOTS 1 AND 3, MERTLICH SUBDIVISION
LOCATED IN THE SOUTHWEST AND SOUTHEAST QUARTERS OF SECTION 18,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
PRELIMINARY PLAT



VICINITY MAP

SCALE: 1" = 1000'
SANDY, UTAH

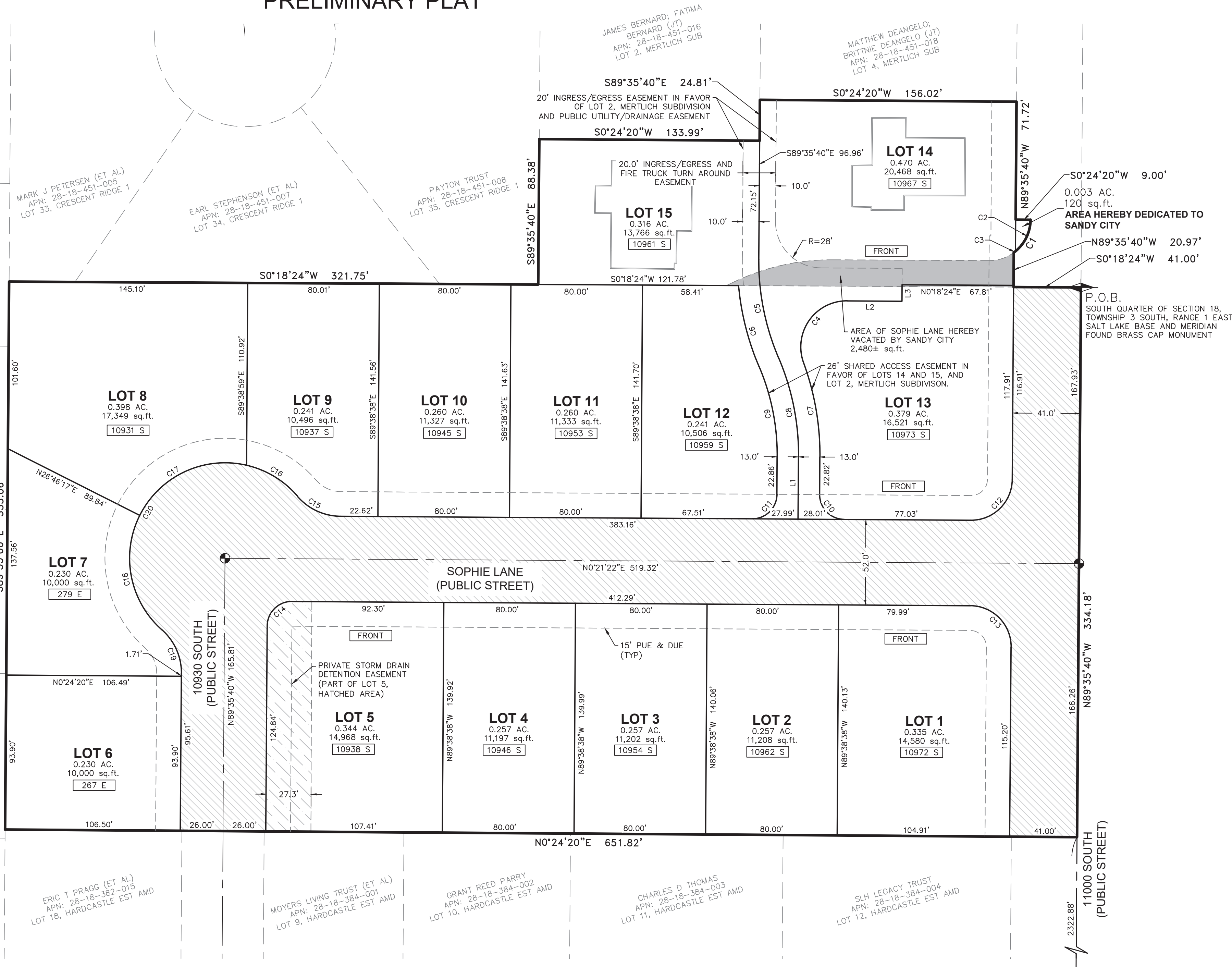
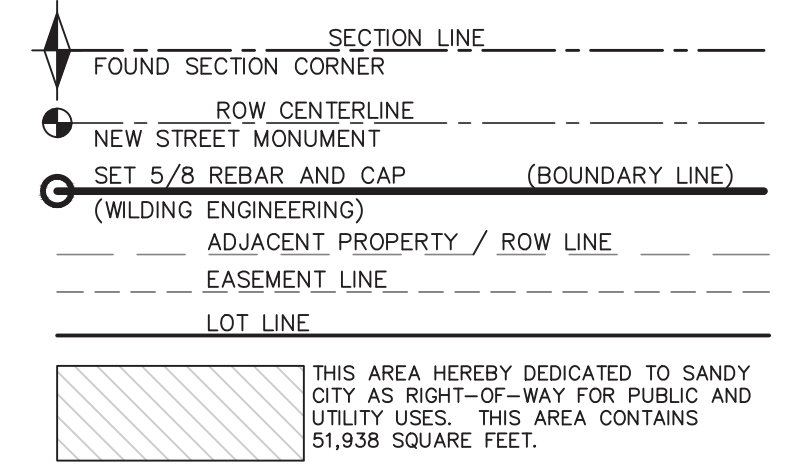
Curve #	Length	Radius	Delta	Chord Bearing	Chord Distance
C1	23.18'	25.00'	53°08'01"	N63°02'04"W	22.36'
C2	21.91'	25.00'	50°12'53"	N64°29'37"W	21.22'
C3	1.27'	25.00'	2°55'07"	N37°55'37"W	1.27'
C4	53.97'	28.00'	110°25'58"	N54°54'35"W	45.99'
C5	61.67'	150.00'	23°33'23"	N78°37'38"E	61.24'
C6	50.97'	163.00'	17°55'02"	S75°48'28"W	50.77'
C7	58.41'	163.00'	20°31'54"	N80°08'23"E	58.10'
C8	61.67'	150.00'	23°33'23"	N78°37'38"E	61.24'
C9	56.33'	137.00'	23°33'23"	N78°37'38"E	55.93'
C10	23.57'	15.00'	90°02'58"	S45°22'51"W	21.22'
C11	23.55'	15.00'	89°57'02"	S44°37'09"E	21.20'
C12	39.25'	25.00'	89°57'02"	S44°37'09"E	35.34'
C13	39.31'	25.00'	90°05'56"	N45°21'22"E	35.39'
C14	23.55'	15.00'	89°57'02"	N44°37'09"W	21.20'
C15	29.94'	35.00'	49°00'40"	S24°51'42"W	29.03'
C16	36.69'	58.00'	36°14'49"	N31°14'37"E	36.08'
C17	77.29'	58.00'	76°20'56"	N25°03'15"W	71.69'
C18	76.30'	58.00'	75°22'37"	S79°04'59"W	70.92'

NOTICE TO PURCHASERS & SANDY CITY GENERAL NOTES:

- REQUIREMENTS HAVE BEEN IMPOSED RELATING TO THE DEVELOPMENT OF THIS SUBDIVISION AND DEVELOPMENT ON EACH OF THE LOTS.
- BUILDING PERMITS/CERTIFICATES OF OCCUPANCY MAY NOT BE ISSUED UNTIL CERTAIN IMPROVEMENTS HAVE BEEN INSTALLED.
- CERTAIN MEASURES ARE REQUIRED TO CONTROL BLOWING SOIL AND SAND DURING CONSTRUCTION ON A LOT.
- NO TREES SHALL BE PLANTED IN THE PUBLIC PARK STRIP LESS THAN 8 FEET WIDE, CENTERLINE OF TREE(S) SHALL BE PLANTED A MINIMUM OF 4 FEET AWAY FROM BACK OF CURB AND EDGE OF SIDEWALK.
- NO DRIVEWAYS SHALL BE CONSTRUCTED AS TO SLOPE TOWARD ANY STRUCTURE WITHOUT WRITTEN PERMISSION FROM SANDY CITY ENGINEER.
- EVIDENCE THAT THE CONTRACTOR HAS A SANDY CITY PERMIT TO WORK IN THE PUBLIC WAY SHALL BE PRESENTED TO THE BUILDING DIVISION PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT THE PUBLIC WORKS DEPARTMENT (801-568-2960) FOR MORE INFORMATION. TRAFFIC PLAN, BONDING, AND INSURANCE WILL BE REQUIRED.
- ALL ROADWAYS THAT ARE NOT PRIVATE ROADS (IF ANY) ARE DEDICATED TO SANDY CITY AS RIGHT OF WAY (R.O.W.) FOR PUBLIC USE.
- EACH RESIDENTIAL LOT IS REQUIRED TO RETAIN STORM WATER ON SITE, EXCEPT FOR THE PORTION OF THE LOT THAT DRAINS TOWARD THE STREET AND/OR TO SUBDIVISION STORM WATER FLOW CONTROL FEATURE(S) AS LONG AS THE DOWNSTREAM STORM WATER SYSTEM CAN ACCOMMODATE THE FLOWS, DURING AND AFTER CONSTRUCTION. THIS CAN BE ACCOMPLISHED BY USE OF SWALES, RETENTION AREAS, BERMS, PLANTER BEDS, UNDERGROUND INFILTRATION, ETC.
- PROPERTIES ARE TO BE GRADED SUCH THAT STORM WATER RUNOFF WILL DRAIN AWAY FROM STRUCTURES AND TOWARD PROPERTY BOUNDARIES. HOWEVER, NEW DEVELOPMENT OR REDEVELOPMENT SHALL NOT INCREASE THE BURDEN OF STORM WATER ON NEIGHBORING AND/OR DOWNSTREAM PROPERTIES. STORM WATER RUNOFF SHALL BE ENTIRELY CONTROLLED WITHIN THE LIMITS OF PROJECT PERPETRATING PROPERTY OWNERS MAY BE LIABLE FOR DAMAGES IN CIVIL COURTS DUE TO DAMAGES CAUSED TO ADJACENT PROPERTIES FROM RUNOFF (INCLUDING FLOWS THAT EXISTED BEFORE THE NEW DEVELOPMENT OR REDEVELOPMENT OCCURRED). ANY CONCENTRATED FLOWS LEAVING A SITE SHALL HAVE AN AGREEMENT/EASEMENT WITH THE AFFECTED PROPERTY OWNERS.
- THE CITY SHALL BE GIVEN THE FIRST RIGHT OF REFUSAL TO PURCHASE WATER RIGHTS ACCOMPANYING THE PROPERTY IN THIS DEVELOPMENT.
- FOR STORM DRAIN MAINTENANCE AGREEMENT, REFERS TO THE RECORDED POST CONSTRUCTION AGREEMENT.

THE REQUIREMENTS AND CONDITIONS SET FORTH IN NOTES 1-7 ABOVE ARE DETAILED IN THE SANDY CITY COMMUNITY DEVELOPMENT AND ENGINEERING FILES (KNOWN AS SUB0102022-006417) AS SUCH FILES EXIST AS OF THE DATE OF THE RECORDING OF THIS PLAT. THE CONDITIONS OF APPROVAL IMPOSED BY THE SANDY CITY PLANNING COMMISSION, THE SANDY CITY STANDARD SPECIFICATIONS FOR MUNICIPAL IMPROVEMENTS, THE STREETS AND PUBLIC IMPROVEMENTS CHAPTERS OF THE REVERSED ORDINANCES OF SANDY CITY, THE SANDY CITY BUILDING CODE, AND THE SANDY CITY LAND DEVELOPMENT CODE. REQUIREMENTS MAY BE IMPOSED AS REQUIRED BY THE APPLICABLE SANDY CITY ORDINANCES AT THE TIME OF ADDITIONAL DEVELOPMENT APPLICATIONS AND APPROVALS RELATING TO THE SUBJECT PROPERTY.

LEGEND



QUESTAR GAS COMPANY DBA DOMINION ENERGY UTAH HEREBY APPROVES THIS PLAT SOLELY FOR PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

QUESTAR GAS COMPANY UTAH
DBA DOMINION ENERGY UTAH
APPROVED THIS _____ DAY OF _____ 20____
BY: _____
TITLE: _____

DEVELOPER / OWNER:
NEXT LEVEL HOMES, LLC
385-557-4979
KYLE@NLBUILDERS.COM

SANDY CITY ATTORNEY
APPROVED AS TO FORM THIS _____ DAY OF _____, A.D. 20____.

SANDY PARKS & RECREATION
APPROVED THIS _____ DAY OF _____, A.D. 20____.

SOUTH VALLEY SEWER DISTRICT
APPROVED THIS _____ DAY OF _____, A.D. 20____.

EASEMENT APPROVAL
CENTURYLINK DATE _____
ROCKY MOUNTAIN POWER DATE _____
COMCAST DATE _____

BRAND ESTATES SUBDIVISION
LOCATED IN THE SOUTHWEST AND SOUTHEAST QUARTERS OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN CITY OF WEST JORDAN, SALT LAKE COUNTY, UTAH

SALT LAKE COUNTY SURVEYOR
ROSE S2021-11-0759

PLANNING COMMISSION
APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE SANDY CITY PLANNING COMMISSION.

SANDY CITY PUBLIC UTILITIES
APPROVED THIS _____ DAY OF _____, A.D. 20____.

SALT LAKE COUNTY HEALTH DEPARTMENT
APPROVED THIS _____ DAY OF _____, A.D. 20____.

SANDY CITY ENGINEER
APPROVED THIS _____ DAY OF _____, A.D. 20____.

SANDY CITY MAYOR
PRESENTED TO THE MAYOR OF SANDY CITY THIS _____ DAY OF _____, A.D. 20____ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

CITY MAYOR ATTEST: SANDY CITY RECORDER

RECORDER'S OFFICE
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____
DATE _____ TIME _____ ENTRY _____ BOOK _____ PAGE _____
FEE _____ SALT LAKE COUNTY RECORDER

SURVEYOR'S CERTIFICATE

I, KAGAN M. DIXON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD LICENSE NO. 9061091 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS SUBDIVISION PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN ON THIS PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS PLAT; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY, HEREAFTER KNOWN AS BRAND ESTATES SUBDIVISION.



PROPERTY DESCRIPTION:

A TRACT OF LAND BEING SITUATE IN THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SAID TRACT OF LAND BEING COMPRISED OF SALT LAKE COUNTY PARCEL NUMBERS 28-18-384-005 AND 28-18-384-006, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER SAID SECTION 18, AND RUNNING THENCE NORTH 89°35'40" WEST ALONG THE SECTION LINE A DISTANCE OF 334.18 FEET TO THE SOUTHEAST CORNER OF HARDCASTLE ESTATES SUBDIVISION AMENDED, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 99-10P, PAGE 281 OF PLATS; THENCE NORTH 00°24'20" EAST ALONG THE EAST LINE OF SAID SUBDIVISION A DISTANCE OF 651.82 FEET TO THE SOUTH LINE OF CRESCENT RIDGE NO. 2, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 90-10, PAGE 124 OF PLATS; THENCE SOUTH 89°35'00" EAST ALONG SAID SOUTH LINE AND THE SOUTHERLY LINE OF CRESCENT RIDGE NO. 1 SUBDIVISION, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 84-3, PAGE 42 OF PLATS A DISTANCE OF 333.06 FEET; THENCE SOUTH 00°18'24" WEST ALONG SAID CRESCENT RIDGE NO. 1 SUBDIVISION AND THE WEST LINE OF MERTLICH SUBDIVISION, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 2004P, PAGE 50 OF PLATS A DISTANCE OF 321.75 FEET; THENCE SOUTH 89°35'40" EAST 88.38 FEET; THENCE SOUTH 00°24'20" WEST 133.99 FEET; THENCE SOUTH 89°35'40" EAST 24.81 FEET; THENCE SOUTH 00°24'20" WEST 156.02 FEET; THENCE NORTH 89°35'40" WEST 71.72 FEET; THENCE NORTH 00°24'20" EAST 1.00 FEET; THENCE NORTH 89°35'40" WEST 40.98 FEET; THENCE SOUTH 00°18'24" WEST 41.00 FEET TO THE POINT OF BEGINNING.

CONTAINS 246,841 SQUARE FEET OR 5.667 ACRES, MORE OR LESS.
13 LOTS AND 2 EXISTING LOTS

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED IS/ARE THE OWNER(S) (HEREAFTER, "THE UNDERSIGNED OWNERS") OF THE ABOVE-DESCRIBED TRACT OF LAND AND THAT THE UNDERSIGNED OWNERS DO HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS, AS SET FORTH, TO BE HEREAFTER KNOWN
BRAND ESTATES SUBDIVISION
AND THAT THE UNDERSIGNED OWNERS DO HEREBY DEDICATE TO SANDY CITY, FOR PERPETUAL USE, ALL STREETS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC AND UTILITY USES. THE UNDERSIGNED OWNERS ALSO DO HEREBY DEDICATE TO THE LOT OWNERS, FOR PERPETUAL USE, ALL PRIVATELY-OWNED STREETS, LANES, ALLEYS, AND DRIVEWAYS AS NON-EXCLUSIVE VEHICULAR AND PEDESTRIAN ACCESS EASEMENTS FOR THE USE OF THE LOT OWNERS AND THEIR GUESTS AND INVITEES. THE UNDERSIGNED OWNERS ALSO DO HEREBY DEDICATE TO THE OWNERS OF THE FOLLOWING-NAMED FACILITIES, FOR PERPETUAL USE, ALL PRIVATELY-OWNED STREETS, LANES, ALLEYS, AND DRIVEWAYS, AS NON-EXCLUSIVE WATER, SANITARY SEWER, STORM SEWER, PUBLIC UTILITY, STREETLIGHT, AND DRAINAGE EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF THOSE FACILITIES. THE UNDERSIGNED OWNERS ALSO DO HEREBY DEDICATE, TO ANY AND ALL PUBLIC UTILITY COMPANIES, A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO DO HEREBY CONVEY ANY OTHER EASEMENTS, AS SHOWN ON THIS PLAT, TO THE PARTIES INDICATED BY THOSE EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF THE FACILITIES, OR FOR OTHER TYPICAL PURPOSES, INDICATED BY THOSE EASEMENTS, AS SHOWN HEREON.

IN WITNESS WHEREOF I/WE HAVE HERETO SET MY/OUR HAND(S) THIS _____ DAY OF _____, 20____

JOHN THOMAS, MANAGING MEMBER
BRAND ESTATES, LLC

LLC ACKNOWLEDGEMENT

STATE OF _____, COUNTY OF _____
ON THIS _____ DAY OF _____, A.D. _____, PERSONALLY APPEARED BEFORE ME _____ WHO BEING DULY SWORN OF AFFIRMED, DID SAY THAT HE IS THE MANAGING MEMBER OF OF BRAND ESTATES, LLC, BY AUTHORITY OF ITS MEMBERS OR ITS ARTICLES OF ORGANIZATION, AND HE ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY EXECUTED THE SAME.

SIGNATURE _____ PRINTED NAME, A NOTARY PUBLIC COMMISSIONED IN UTAH
COMMISSION NUMBER _____ EXPIRATION DATE _____

CORPORATE ACKNOWLEDGMENT

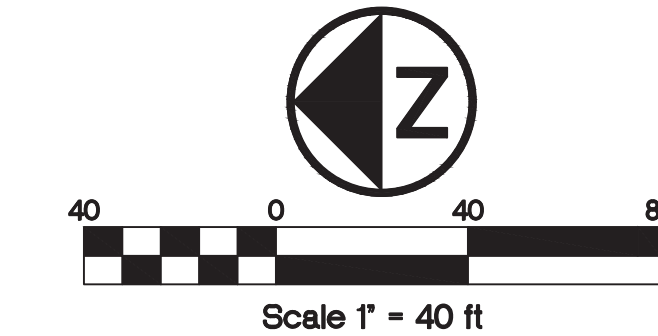
STATE OF UTAH, COUNTY OF _____
ON THIS _____ DAY OF _____, A.D. _____, PERSONALLY APPEARED BEFORE ME _____ WHO BEING DULY SWORN OF AFFIRMED, DID SAY THAT (S)HE IS THE _____ OF SANDY CITY, AND THAT THE WITHIN OWNER'S DEDICATION WAS SIGNED BY HIM/HER ON BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS, OR BOARD OF DIRECTORS, AND THAT SAID CORPORATION EXECUTED THE SAME.

SIGNATURE _____ PRINTED NAME, A NOTARY PUBLIC COMMISSIONED IN UTAH
COMMISSION NUMBER _____ EXPIRATION DATE _____

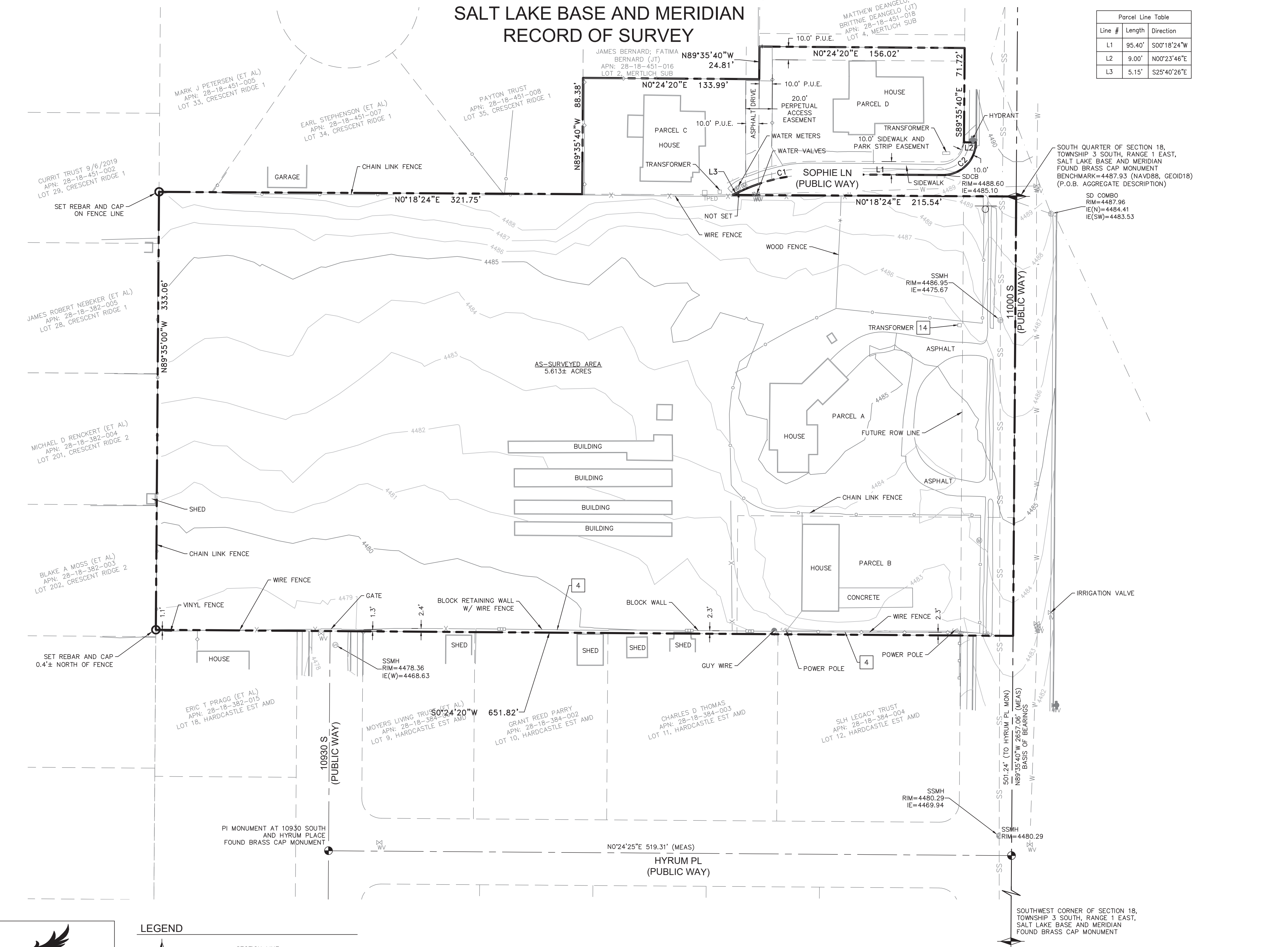
KNOTT PROPERTY

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
RECORD OF SURVEY

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Distance
C1	61.67'	136.00'	25°58'50"	S12°41'01"E	61.14'
C2	39.23'	25.00'	89°55'04"	S44°38'44"E	35.33'



Parcel Line Table		
Line #	Length	Direction
L1	95.40'	S00°18'24"W
L2	9.00'	N00°23'46"E
L3	5.15'	S25°40'26"E



SURVEYOR'S CERTIFICATE:
I, KAGAN M. DIXON, SALT LAKE CITY, UTAH, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD LICENSE NO. 9061091 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH; THAT I HAVE MADE A SURVEY OF THE FOLLOWING DESCRIBED PROPERTY; THAT THIS PLAT CORRECTLY SHOWS THE TRUE DIMENSIONS OF THE BOUNDARIES SURVEYED AND OF THE VISIBLE IMPROVEMENTS AFFECTING THE BOUNDARIES AND THEIR POSITION IN RELATIONSHIP TO SAID BOUNDARIES.

BOUNDARY DESCRIPTION
PARCEL A (FILE NO. 53878)
COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE WEST 244.177 FEET; THENCE NORTH 210 FEET; THENCE WEST 90 FEET; THENCE NORTH 441.75 FEET; THENCE EAST 334.177 FEET; THENCE SOUTH 39.5 FEET TO THE POINT OF BEGINNING, LESS ANY PORTIONS OF A PUBLIC ROAD OR STREET LYING WITHIN THE FOREGOING BOUNDARIES.
PARCEL B (FILE NO. 53877)
COMMENCING 244.177 FEET WEST FROM THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE NORTH 210 FEET WEST 90 FEET; THENCE SOUTH 210 FEET EAST 90 FEET TO THE POINT OF BEGINNING, LESS STREET.
PARCEL C (LOT 1, WARRANTY DEED, ENTRY NO. 10606511, BOOK 9678, PAGE 287)
PARCEL D (LOT 3, WARRANTY DEED, ENTRY NO. 11808379, BOOK 10212, PAGE 9513.)
BEING LOTS 1 AND 3 OF MERTLICH SUBDIVISION, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 2004P, PAGE 50 OF PLATS.

AS-SURVEYED AGGREGATE DESCRIPTION
BEGINNING AT A POINT AT THE SOUTH QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SAID POINT BEING THE POINT OF BEGINNING, THENCE NORTH 89°35'40" WEST, ALONG THE SECTION LINE, 334.18 FEET TO THE SOUTHWEST CORNER OF HARDCASTLE ESTATES SUBDIVISION AMENDED, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 99-10P, PAGE 281 OF PLATS; THENCE NORTH 00°24'20" EAST ALONG THE EAST LINE OF SAID SUBDIVISION A DISTANCE OF 651.82 FEET TO THE SOUTH LINE OF CRESCENT RIDGE NO. 2, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 90-10, PAGE 124 OF PLATS; THENCE SOUTH 89°35'00" EAST ALONG SAID SOUTH LINE AND THE SOUTHERLY LINE OF CRESCENT RIDGE NO. 1 SUBDIVISION, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 84-3, PAGE 42 OF PLATS A DISTANCE OF 333.06 FEET; THENCE ALONG SAID CRESCENT RIDGE NO. 1 SUBDIVISION AND THE WEST LINE OF MERTLICH SUBDIVISION, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 2004P, PAGE 50 OF PLATS; THENCE SOUTH 89°55'04" EAST ALONG SAID WEST LINE OF LOT 1, 88.38 FEET; THENCE SOUTH 00°24'20" WEST, ALONG THE NORTH LINE OF SAID LOT 1, 133.99 FEET TO THE WEST LINE OF LOT 3, MERTLICH SUBDIVISION, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 2004P, PAGE 50 OF PLATS; THENCE SOUTH 89°35'40" EAST, ALONG THE WEST LINE OF SAID LOT 3, 24.81 FEET TO THE SOUTH LINE OF LOT 4, MERTLICH SUBDIVISION, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 2004P, PAGE 50 OF PLATS; THENCE SOUTH 00°24'20" WEST, ALONG SAID SOUTH LINE OF LOT 4, 156.02 FEET TO THE NORTH LINE OF 1100 SOUTH STREET; THENCE NORTH 89°24'40" WEST, ALONG SAID NORTH LINE OF 1100 SOUTH STREET, 71.72 FEET; THENCE SOUTH 00°23'46" WEST, ALONG SAID RIGHT OF WAY LINE, 9.00 FEET TO THE POINT OF A NON-TANGENT 25.00 FEET RADIUS CURVE TO THE RIGHT, SAID CURVE ALSO BEING THE RIGHT OF WAY LINE OF SOPHIE LANE, THENCE ALONG SAID CURVE A DISTANCE OF 39.23 FEET THROUGH A CENTRAL ANGLE OF 89°55'04" (CHORD BEARS NORTH 44°38'44" WEST 35.33 FEET); THENCE ALONG A LINE NON-TANGENT TO SAID CURVE, THIS ALSO BEING THE NORTH LINE OF SOPHIE LANE, NORTH 00°18'24" EAST, ALONG SAID NORTH LINE, A DISTANCE OF 95.40 FEET TO THE POINT OF A TANGENT 136.00 FEET RADIUS CURVE TO THE LEFT, THIS ALSO BEING THE NORTH RIGHT OF WAY LINE OF SAID SOPHIE LANE; THENCE ALONG SAID CURVE A DISTANCE OF 61.67 FEET THROUGH A CENTRAL ANGLE OF 25°58'50" (CHORD BEARS NORTH 12°41'01" WEST 61.14 FEET); THENCE NORTH 25°58'50" WEST ALONG SAID RIGHT OF WAY LINE, 5.15 FEET; THENCE SOUTH 00°18'24" WEST 215.54 FEET TO THE SOUTHWEST CORNER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SAID POINT BEING THE POINT OF BEGINNING.
CONTAINS 244500 SQUARE FEET OR 5.613 ACRES, MORE OR LESS.

BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 89°35'40" WEST BETWEEN THE SOUTH QUARTER AND THE SOUTHWEST CORNER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.

NARRATIVE OF BOUNDARY
THE PURPOSE OF THIS SURVEY WAS TO LOCATE AND MONUMENT ON THE GROUND THE SURVEYED PROPERTY PRIOR TO FUTURE REDEVELOPMENT.
FENCE LINES ALONG THE WEST BOUNDARY OF THE SURVEYED PROPERTY APPEAR TO ENCRoACH INTO THE PROPERTY. MONUMENTS WITHIN THE SUBDIVISION WERE LOCATED AND MATCH WITH RECORD INFORMATION, SO IT DOES NOT APPEAR THAT THERE IS AN OVERLAP OF DEEDS. THE HOMES APPEAR TO HAVE BEEN BUILT BETWEEN 1999 AND 2002. HOWEVER, THE EXACT AGE OF THE FENCES IS NOT KNOWN. BOUNDARY BY ACQUISITION REQUIREMENTS MAY HAVE BEEN SATISFIED IF THE FENCE LINES ARE IN EXCESS OF 20 YEARS OLD. IT IS SUGGESTED THAT THIS POTENTIAL ISSUE BE RECTIFIED PRIOR TO ANY REDEVELOPMENT OR PLATTING OF THE SURVEYED LANDS.
FURTHERMORE, NO DOCUMENTATION WAS FOUND DURING THIS SURVEY WHICH WOULD IMPLY THAT THE ROAD HAS BEEN FORMALLY DEDICATED TO SANDY CITY. IT APPEARS THAT THE EAST AND WEST ADJOINING SUBDIVISIONS HAVE DEDICATED 40 FEET FOR 11000 SOUTH STREET, WHICH IS THE LIKELY SCENARIO FOR THE SURVEYED PROPERTY UPON REDEVELOPMENT.

GENERAL NOTES
(1) OTHER DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:
1. ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 53878, DATED JULY 15, 2021.
2. ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 53877, DATED JULY 16, 2021.
3. LOT 1, WARRANTY DEED, ENTRY NO. 10606511, BOOK 9678, PAGE 287.
4. LOT 3, WARRANTY DEED, ENTRY NO. 11808379, BOOK 10212, PAGE 9513.
5. OTHER DOCUMENTS AS SHOWN ON THIS MAP.
(2) WILDING ENGINEERING SURVEYED ABOVE GROUND VISIBLE EVIDENCE OF STRUCTURES THAT WOULD INDICATE THE POSSIBILITY OF AN EXISTING EASEMENT OR ENCUMBRANCE ON THE PROPERTY; HOWEVER, WE RELIED UPON THE TITLE COMPANY TO RESEARCH THE COUNTY RECORDS FOR RECORDED EASEMENTS AND OTHER RECORDED ENCUMBRANCES THAT WOULD AFFECT THE PROPERTY AND THAT MAY OR MAY NOT BE READILY APPARENT ON THE SITE TO BE SURVEYED AND SHOWN ON THIS MAP. WE REFERRED TO SCHEDULE B, PART 2 OF THE TITLE REPORT TO OBTAIN THIS INFORMATION.
(3) EXCEPTIONS AS SHOWN BY THE ABOVE REFERENCED TITLE REPORTS IN SCHEDULE B, PART 2 HAVE BEEN ADDRESSED AS FOLLOWS:
FILE NO. 53878
1-3 NOT ADDRESSED BY THIS SURVEY.
4 ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE INCLUDING DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, OR ANY OTHER FACTS THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND NOT SHOWN IN THE PUBLIC RECORDS.
5-14 NOT ADDRESSED BY THIS SURVEY.
FILE NO. 53877
1-3 NOT ADDRESSED BY THIS SURVEY.
4 ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE INCLUDING DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, OR ANY OTHER FACTS THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND NOT SHOWN IN THE PUBLIC RECORDS.
5-13 NOT ADDRESSED BY THIS SURVEY.
14 EASEMENT AND THE TERMS AND CONDITIONS CONTAINED THEREIN, RECORDED AUGUST 3, 2001, AS ENTRY NO. 7965540, IN BOOK 8486, AT PAGE 56 OF OFFICIAL RECORDS. SURVEY NOTES: A TRANSFORMER WAS FOUND NEAR THE ASPHALT DRIVEWAY OF PARCEL A. THIS WAS THE ONLY EVIDENCE FOUND OF THE EASEMENT AS SHOWN ON THE REFERENCED EXHIBIT. NO EXACT LOCATION IS DISCLOSED WITHIN THE DOCUMENT.
15 NOT ADDRESSED BY THIS SURVEY.



LEGEND

- SECTION LINE
- FOUND SECTION CORNER
- EXISTING ROW CENTERLINE
- FOUND STREET MONUMENT
- SET 5/8 REBAR AND CAP (BOUNDARY LINE)
- (WILDING ENGINEERING)
- ADJACENT PROPERTY / ROW LINE

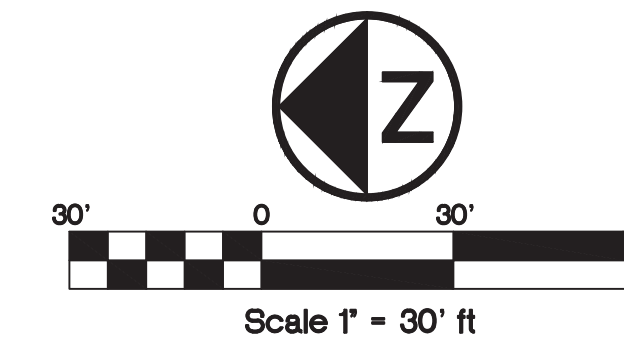
UTILITY STATEMENT:
THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND UTILITY MARKINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES STATE THAT THE UTILITIES SHOWN HEREON ARE LOCATED AS ACCURATELY AS POSSIBLE, FROM INFORMATION AVAILABLE AT THE TIME THE SURVEY WAS CONDUCTED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND THE EXACT LOCATION OF SOME UTILITIES MAY REQUIRE FURTHER FIELD INVESTIGATION OR EXCAVATION TO DETERMINE THEIR PRECISE LOCATIONS.

NO.	REVISION	DATE

DRAWING TITLE		PROJECT NAME		DATE
RECORD OF SURVEY		NEXT LEVEL HOMES		01/05/2023
LOCATION		DRAWN	CHECKED	SCALE
267-285 E 11000 S		KMD	KMD	1" = 40'
SANDY, UTAH		COUNTY	SALT LAKE	SHEET
				1 OF 1

BRAND ESTATES SUBDIVISION

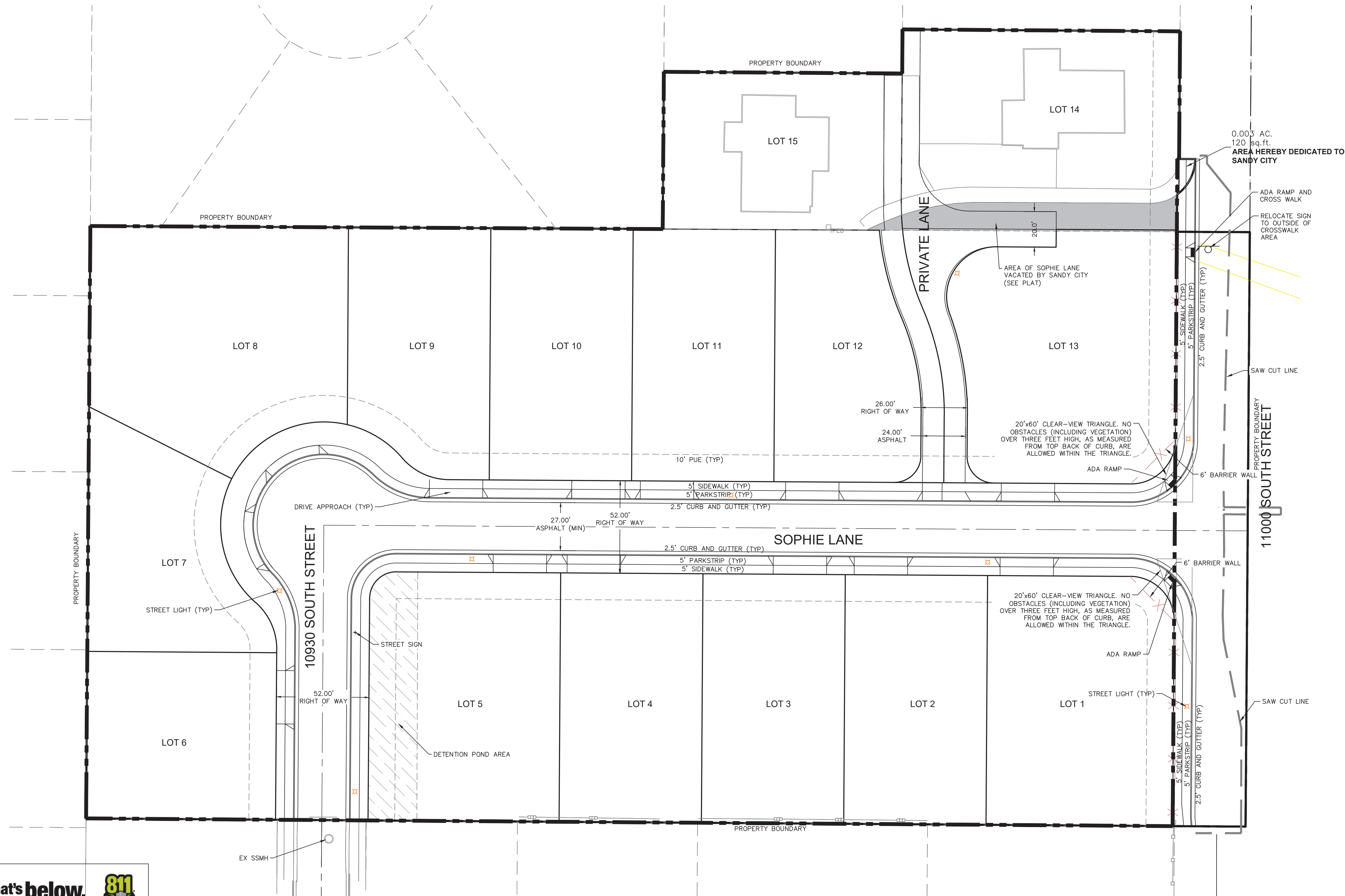
OVERALL SITE PLAN



**WILDING
ENGINEERING**

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

- GENERAL NOTES:
1. PAVEMENT CROSS SECTION IS RECOMMENDED TO USE 4" ASPHALT CONCRETE WITH 8" UNTREATED BASE COURSE PER GEOTECHNICAL REPORT.
 2. CONCRETE CROSS SECTION IS RECOMMENDED TO USE 5" CONCRETE WITH 8" UNTREATED BASE COURSE PER GEOTECHNICAL REPORT.
 3. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
 4. THE DEVELOPER IS REQUIRED TO GRANT TO THE CITY A MINIMUM OF 15-FOOT WIDE STREETLIGHT EASEMENT (7.5- FEET EACH SIDE OF PIPE) FOR CONDUIT AND WIRES TO THE POWER SOURCE ON PRIVATE PROPERTY.
 5. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
 6. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
 7. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR STREETLIGHTS, JUNCTION BOXES, AND ELECTRICAL WIRING. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
 8. INSTALLATIONS SHALL BE LOCATED AS INDICATED ON THE APPROVED PLANS FOR THE PROJECT. FIELD MODIFICATIONS MUST BE APPROVED BY THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
 9. STREET LIGHT POLES SHALL BE INSTALLED IN A MANNER THAT WILL NOT HINDER THE OPERATION OF FIRE HYDRANTS, UNDERGROUND WATER SYSTEM ISOLATION VALVES, AND OTHER UTILITIES.
 10. INSTALLATIONS WITHIN CLOSE PROXIMITY TO TREES SHALL BE AVOIDED UNLESS APPROVED BY SANDY CITY PUBLIC UTILITIES INSPECTOR.
 11. OVERHEAD POWER LINES FOR STREETLIGHTS ARE NOT ALLOWED.



G:\DATA\21252 - Negt. Level Homes 285 E 11000 S\dwg\21252 Overall.dwg
PLOT DATE: Apr 25, 2023

NO.	REVISION	DATE
2	UPDATED PLANS PER SANDY CITY REVIEW	4-25-2023
1	REVISED SOPHIE LANE, EXPANDED BOUNDARY	2/16/23

PROJECT INFORMATION

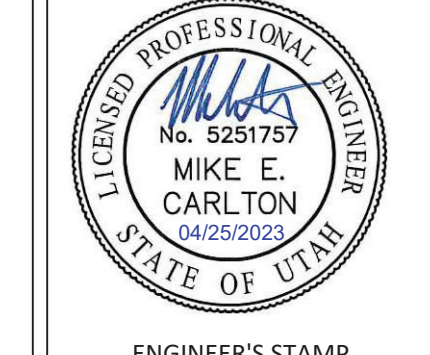
**BRAND ESTATES
SUBDIVISION**

OVERALL SITE PLAN

SANDY, UTAH

DRAWN	CHECKED	PROJECT #
DCC	MEC	21252

DATE	10/06/22
SCALE	1" = 30'
SHEET	C201



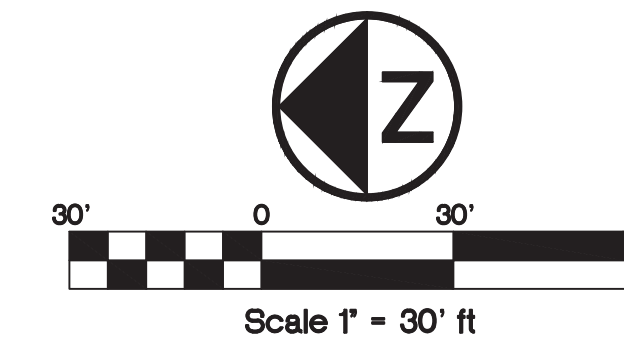
Know what's below. **811**

Call 811 before you dig.

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
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1-800-662-4111

BRAND ESTATES SUBDIVISION

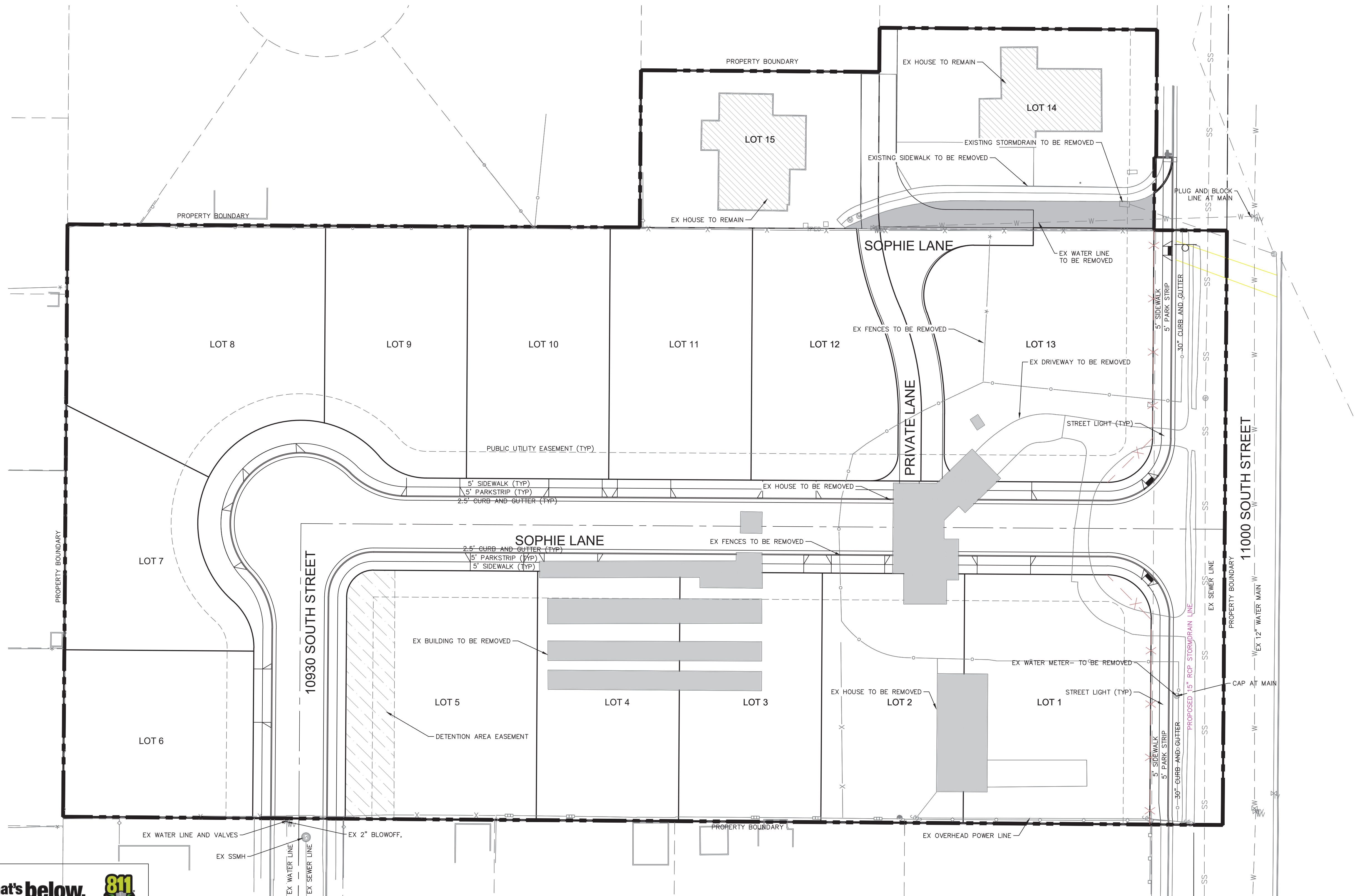
DEMO PLAN



WILDING
ENGINEERING

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

- DRAWING NOTES:
- GENERAL NOTES:
1. THERE ARE NO WETLANDS AREAS WITHIN THE PROPERTY BOUNDARY.
 2. THERE ARE NO AREAS OF 30% SLOPE OR GREATER WITHIN THE PROPERTY BOUNDARY.
 3. THERE ARE NO NATURAL DRAINAGES WITHIN THE PROPERTY BOUNDARY.



C:\DATA\21252 - Next Level Homes 285 E 11000 S\dwg\21252 Overall.dwg
PLOT DATE: Apr 25, 2023

NO.	REVISION	DATE
2	UPDATED PLANS PER SANDY CITY REVIEW	4-25-2023
1	REVISED SOPHIE LANE, EXPANDED BOUNDARY	2/16/23

PROJECT INFORMATION

BRAND ESTATES SUBDIVISION

DEMO PLAN

SANDY, UTAH

DRAWN	CHECKED	PROJECT #
DCC	MEC	21252

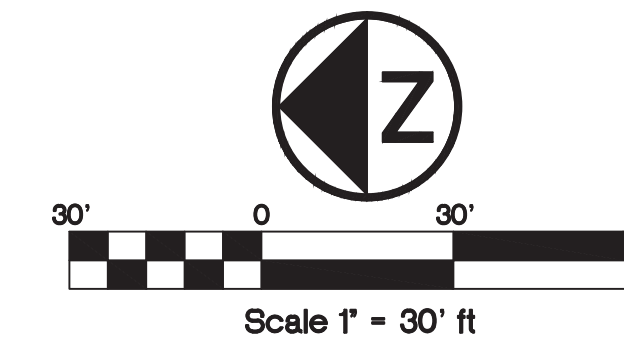
<p>ENGINEER'S STAMP</p>	DATE	10/06/22
	SCALE	1" = 30'
	SHEET	C202

Know what's below. **Call 811** before you dig.

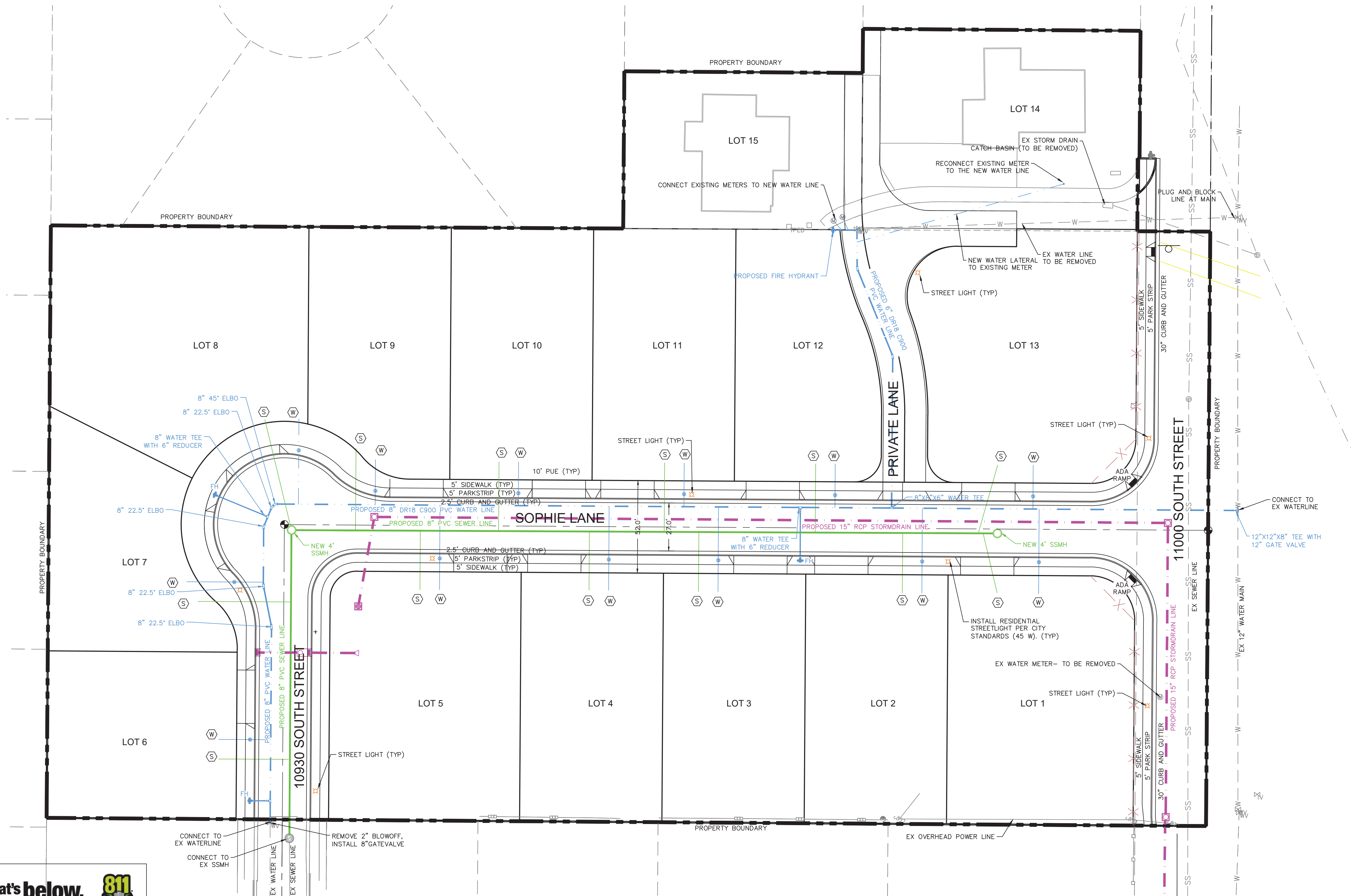
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

BRAND ESTATES SUBDIVISION

OVERALL UTILITY PLAN



- DRAWING NOTES:**
GENERAL NOTES:
1. ALL MECHANICAL JOINTS MUST BE RESTRAINED USING MEGA LUGS FOR DIP AND ROMAC GRIP RINGS FOR PVC OR APPROVED EQUAL. MEGA LUGS SHALL NOT BE ALLOWED ON PVC PIPE.
 2. USE 6-INCH COMPRESSION TYPE HYDRANT BY MUELLER CENTURION OR CLOW MEDALLION. EXISTING HYDRANTS REQUIRED FOR FIRE PROTECTION THAT DO NOT MEET CURRENT STANDARDS SHALL BE UPGRADED TO MEET CURRENT SANDY CITY STANDARDS AND SPECIFICATIONS.
 3. ALL WATER LINES SHALL BE BEDDED WITH SAND (6-INCHES MINIMUM BELOW AND 12-INCHES MINIMUM ON EACH SIDE AND ON TOP OF THE PIPE).
 4. CULINARY WATER PIPE TO BE DR18 C900 PVC PIPE.
 5. ALL WATER METERS TO BE LOCATED IN THE PLANTER STRIP.
 6. WATER LOOPS REQUIRED WHEN WATER LINE CONFLICTS WITH STORM DRAIN.
 7. A MINIMUM OF 10' OF SEPARATION IS REQUIRED BETWEEN THE WATER LINE AND OTHER UTILITIES.
 8. SEWER PIPE AND FITTING SHALL CONFORM TO ASTM 3034 SDR 35 PVC PIPE.



LEGEND

- STORM DRAIN PROPOSED ---
- WATER LINE PROPOSED ---
- SEWER LINE PUBLIC ---
- UTILITY EASEMENT ---
- PROPOSED FIRE HYDRANT + FH
- NEW STREET MONUMENT + W
- INSTALL 1" METER PER SANDY CITY + W
- 4" SEWER LATERAL + S

NO.	REVISION	DATE
1	UPDATED PLANS PER SANDY CITY REVIEW	4-25-2023
1	REVISED SOPHIE LANE, EXPANDED BOUNDARY	2/16/23

PROJECT INFORMATION

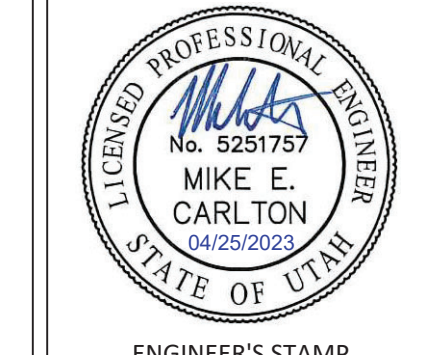
BRAND ESTATES SUBDIVISION

OVERALL UTILITY PLAN

SANDY, UTAH

DRAWN	CHECKED	PROJECT #
DCC	MEC	21252

DATE	10/06/22
SCALE	1" = 30'
SHEET	C203

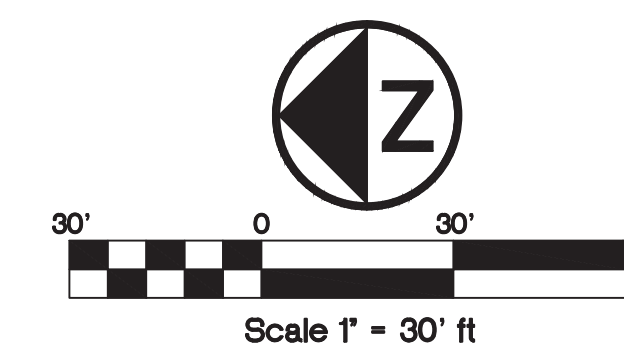


Know what's below. 811
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G:\DATA\21252 - Next Level Homes 285 E 11000 S\dwg\21252 Overall.dwg
 PLOT DATE: Apr 25, 2023

BRAND ESTATES SUBDIVISION

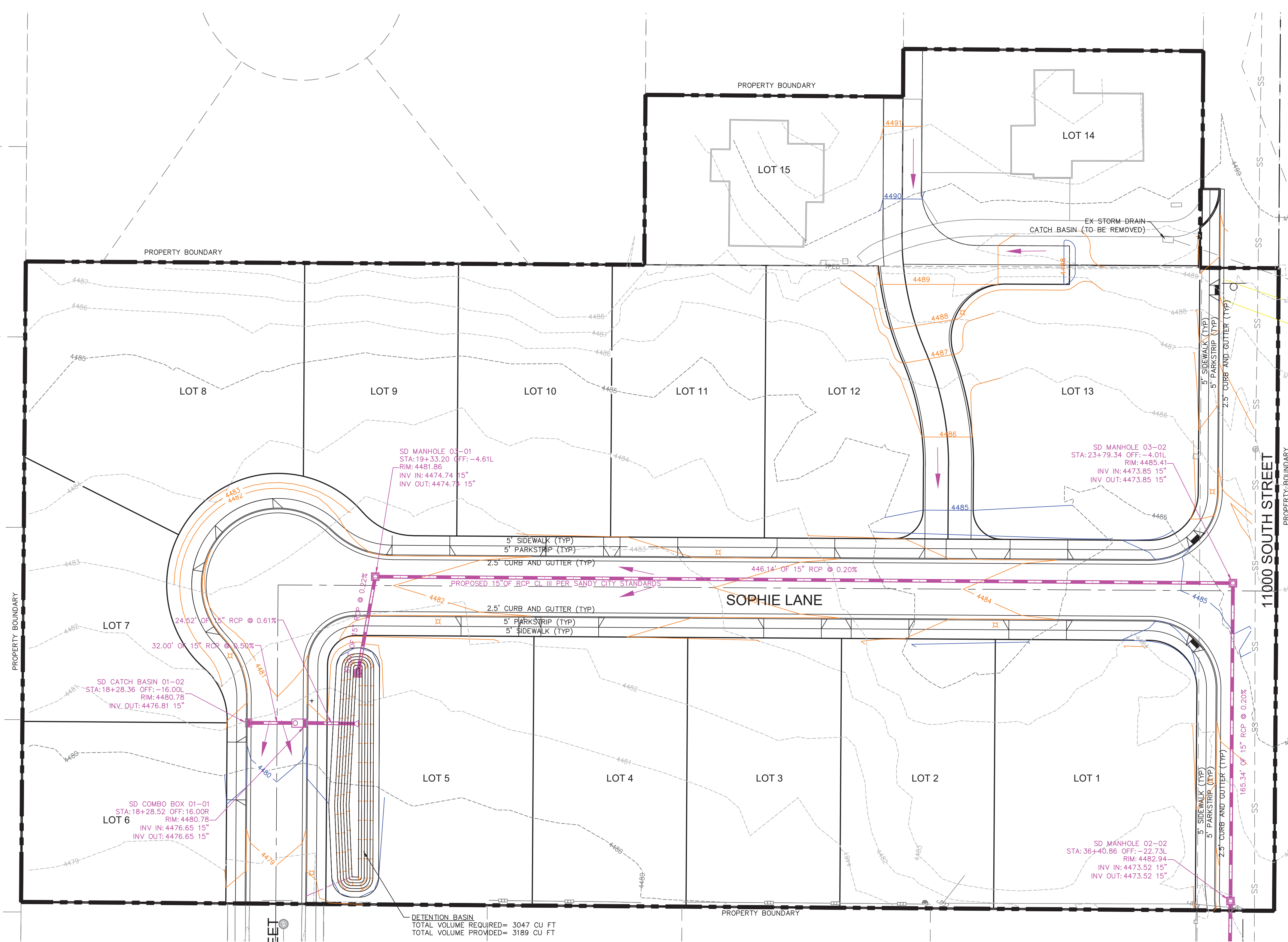
OVERALL GRADING AND DRAINAGE PLAN



14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

- GENERAL NOTES:**
- ALL TOPSOIL, UNDOCUMENTED FILL, OR ANY SOIL CONTAINING ORGANIC OR DELETERIOUS MATERIALS SHALL BE REMOVED WHERE STRUCTURES, PAVEMENTS OR CONCRETE FLATWORK ARE TO BE PLACED. TOPSOIL MAY BE STOCKPILED ON SITE FOR SUBSEQUENT USE IN LANDSCAPE AREAS.
 - EXCAVATIONS SHOULD BE MADE USING AN EXCAVATOR EQUIPPED WITH A SMOOTH EDGE. IF THE SUBGRADE IS DISTURBED DURING CONSTRUCTION, DISTURBED SOILS SHOULD BE OVER-EXCAVATED TO FIRM, UNDISTURBED SOIL AND BACKFILLED WITH COMPACTED STRUCTURAL FILL.
 - STRUCTURAL FILL SHALL CONSIST OF WELL-GRADED GRANULAR MATERIAL WITH A MAXIMUM AGGREGATE SIZE OF 4 INCHES, AND A MAXIMUM OF 25% PASSING THE #200 SIEVE. THE FILL MATERIAL FINER THAN THE #40 SIEVE SHALL HAVE A LIQUID LIMIT LESS THAN 25 AND A PLASTIC INDEX LESS THAN 10. THIS MATERIAL SHALL BE FREE FROM ORGANICS, GARBAGE, FROST, AND OTHER LOOSE, COMPRESSIBLE OR DELETERIOUS MATERIALS.
 - ALL STRUCTURAL FILL SHOULD BE PLACED IN MAXIMUM 6" LOOSE LIFTS IF COMPACTED BY SMALL HAND OPERATED COMPACTION EQUIPMENT, MAXIMUM 8" LOOSE LIFTS IF COMPACTED BY LIGHT DUTY ROLLERS, AND MAXIMUM 12" LOOSE LIFTS IF COMPACTED BY HEAVY DUTY COMPACTION EQUIPMENT THAT IS CAPABLE OF EFFICIENTLY COMPACTING THE ENTIRE THICKNESS OF THE LIFT. PRECAUTIONS SHOULD BE TAKEN DURING AND AFTER CONSTRUCTION TO ELIMINATE SATURATION OF FOUNDATION SOILS. OVER WETTING THE SOILS PRIOR TO OR DURING CONSTRUCTION MAY RESULT IN INCREASED SOFTENING AND PUMPING, CAUSING EQUIPMENT MOBILITY PROBLEMS AND DIFFICULTIES IN ACHIEVING COMPACTION.
 - THE FOUNDATIONS FOR THE PROPOSED STRUCTURES MAY CONSIST OF CONVENTIONAL STRIP AND/OR SPREAD FOOTINGS. STRIP AND SPREAD FOOTING FOOTINGS SHOULD BE A MINIMUM OF 20 AND 36 INCHES WIDE, RESPECTIVELY, AND EXTERIOR SHALLOW FOOTINGS SHOULD BE EMBEDDED AT LEAST 30 INCHES BELOW FINAL GRADE FOR FROST PROTECTION AND CONFINEMENT. INTERIOR SHALLOW FOOTINGS NOT SUSCEPTIBLE TO FROST CONDITIONS SHOULD BE EMBEDDED AT LEAST 12 INCHES FOR CONFINEMENT.
 - ALL EXTERIOR FOOTINGS ARE TO BE CONSTRUCTED AT LEAST 30 INCHES BELOW THE GROUND SURFACE FOR FROST PROTECTION AND CONFINEMENT. THIS INCLUDES WALK-OUT AREAS AND MAY REQUIRE FILL TO BE PLACED AROUND BUILDING. INTERIOR FOOTINGS NOT SUSCEPTIBLE TO FROST CONDITIONS SHOULD BE EMBEDDED AT LEAST 12 INCHES FOR CONFINEMENT. IF FOUNDATIONS ARE CONSTRUCTED THROUGH THE WINTER MONTHS, ALL SOILS ON WHICH FOOTINGS WILL BEAR SHALL BE PROTECTED FROM FREEZING.

- CITY GRADING NOTES:**
- NO DRIVEWAY SHALL BE CONSTRUCTED TO CONVEY STORM WATER RUNOFF TOWARD ANY BUILDING.
 - EACH RESIDENTIAL LOT IS REQUIRED TO RETAIN STORM WATER ON SITE, EXCEPT FOR THE PORTION OF THE LOT THAT DRAINS TOWARD THE STREET AND/OR TO SUBDIVISION STORM WATER FLOW CONTROL FEATURES(S) AS LONG AS THE DOWNSTEAM STORM WATER SYSTEM CAN ACCOMMODATE THE FLOWS, DURING AND AFTER CONSTRUCTION. THIS CAN BE ACCOMPLISHED BY USE OF SWALES, RETENTION AREAS, BERMS, PLANTER BEDS, UNDERGROUND INFILTRATION, ETC.
 - PROPERTIES ARE TO BE GRADED SUCH THAT STORM WATER RUNOFF WILL DRAIN AWAY FROM STRUCTURES AND TOWARDS PROPERTY BOUNDARIES. HOWEVER, NEW DEVELOPMENT OR REDEVELOPMENT SHALL NOT INCREASE THE BURDEN OF STORM WATER ON NEIGHBORING AND/OR DOWNSTEAM PROPERTIES. STORM WATER RUNOFF SHALL BE ENTIRELY CONTROLLED WITHIN THE LIMITS OF PROJECT SITE. PERPETRATING PROPERTY OWNERS MAY BE LIABLE FOR DAMAGES IN CIVIL COURTS DUE TO DAMAGES CAUSED TO ADJACENT PROPERTIES FROM RUNOFF (INCLUDING FLOWS THAT EXISTED BEFORE THE NEW DEVELOPMENT OR REDEVELOPMENT OCCURRED). ANY AGREEMENT/EASEMENT WITH THE AFFECTED PROPERTY OWNERS.
 - THE CITY SHALL BE GIVEN THE FIRST RIGHT OF REFUSAL TO PURCHASE WATER RIGHTS ACCOMPANYING THE PROPERTY IN THIS DEVELOPMENT.
 - FOR STORM DRAIN MAINTENANCE AGREEMENT, REFERS TO THE RECORDED POST CONSTRUCTION AGREEMENT.



DETENTION BASIN
TOTAL VOLUME REQUIRED= 3047 CU FT
TOTAL VOLUME PROVIDED= 3189 CU FT

BASIN CHARACTERISTICS
BASIN TOP= 4480
HIGHWATER= 4479
BOTTOM= 4476.50
3:1 SIDE SLOPES
DETENTION BASIN TO BE LANDSCAPED PER SANDY CITY STANDARDS.

LEGEND

- SPOT ELEVATION 4499.20
- PROPOSED BACK OF SIDEWALK ELEVATION 4500.00
- DRAINAGE DIRECTION
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING FENCE

NO.	REVISION	DATE
1	UPDATED PLANS PER SANDY CITY REVIEW	4-25-2023

PROJECT INFORMATION

BRAND ESTATES SUBDIVISION

OVERALL GRADING AND DRAINAGE PLAN

SANDY, UTAH

DRAWN DCC	CHECKED MEC	PROJECT # 21252
DATE 10/06/22		SCALE 1" = 30'
SHEET C204		



Know what's below. 811

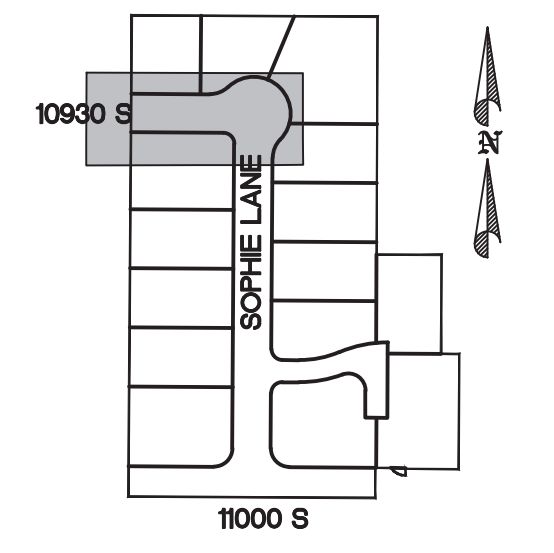
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G:\DATA\21252 - Next Level Homes 285 E 11000 S\dwg\21252 Overall.dwg
PLOT DATE: Apr 25, 2023

DRAWING NOTES:

KEY MAP



LEGEND

- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED STORM DRAIN
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PUBLIC UTILITY EASEMENT
- PROPOSED FIRE HYDRANT
- PROPOSED STREET LIGHT
- PROPOSED SEWER MANHOLE
- EXISTING STORMDRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED COMBO BOX
- PROPOSED CLEANOUT BOX
- PROPOSED STREET MONUMENT

NO.	REVISION	DATE
1	UPDATED PLANS PER SANDY CITY REVIEW	4-25-2023

PROJECT INFORMATION

BRAND ESTATES SUBDIVISION

10930 SOUTH
STA 15+00 - 20+00
SANDY, UTAH


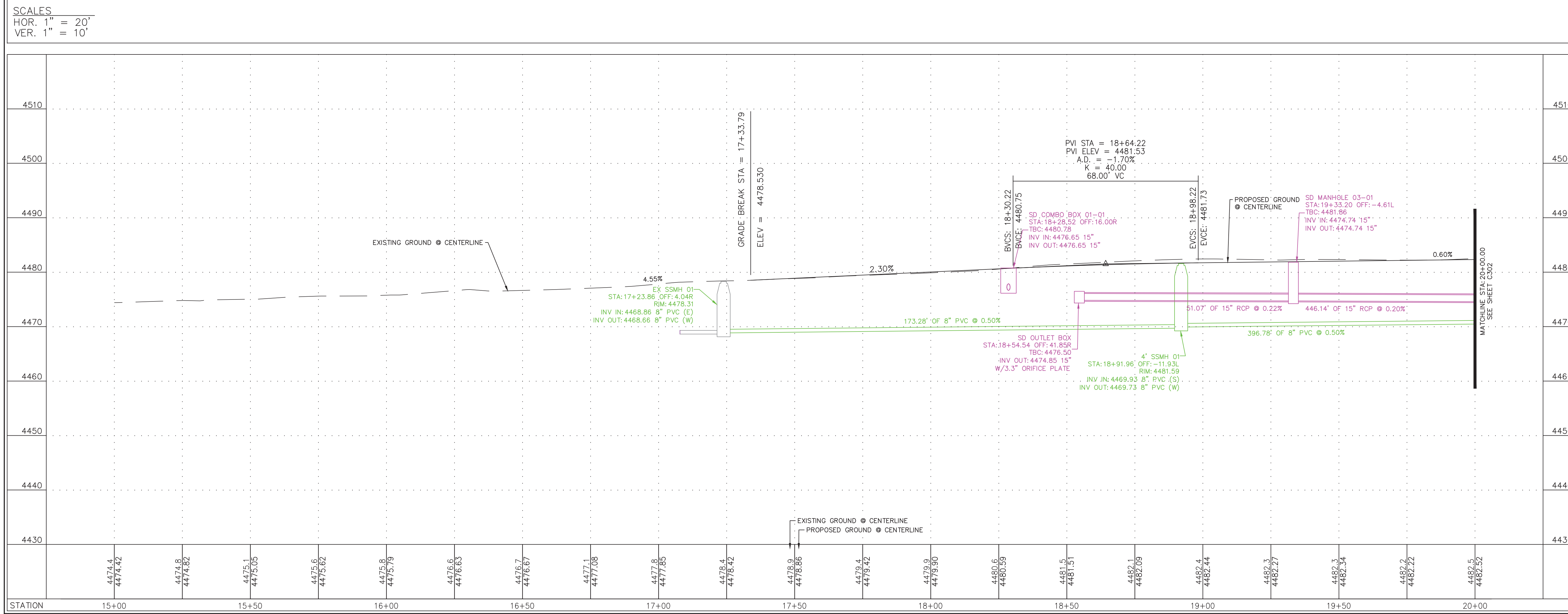
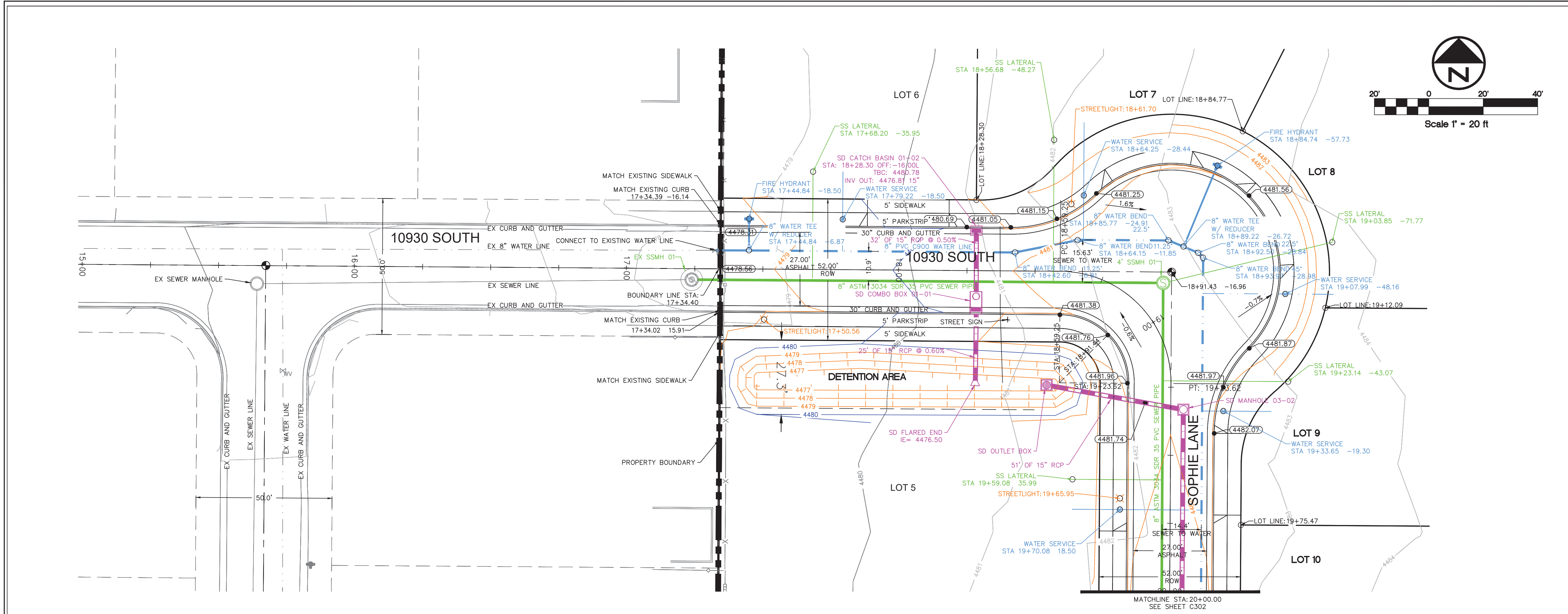
DRAWN	CHECKED	PROJECT #
DCC	MEC	21252

DATE: 10/06/22

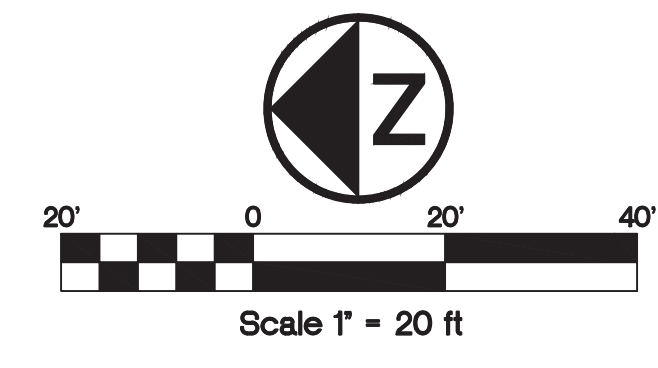
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VERTICAL SCALE: 1" = 10'

SHEET: C301

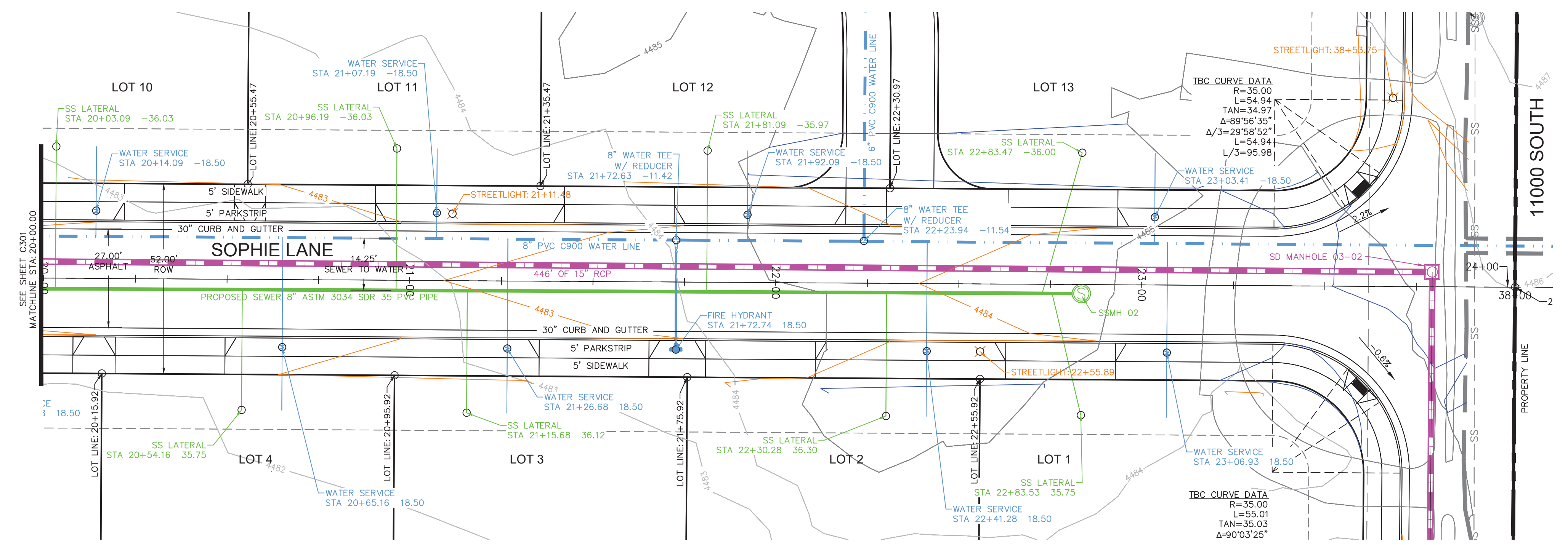
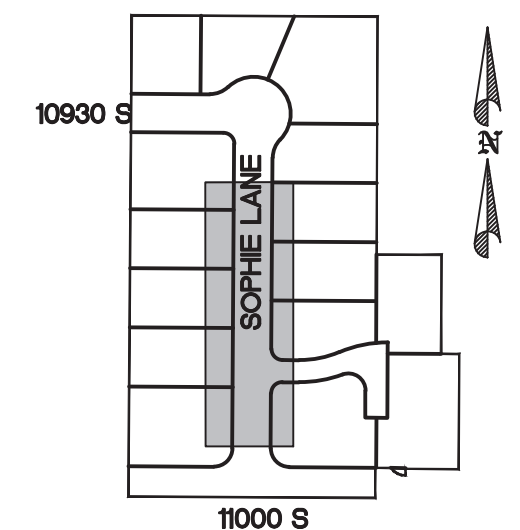
G:\DATA\21252 - Inlet_Level_Homes 285 E 11000 S.dwg\21252 Profiles.dwg
PLOT DATE: Apr 25, 2023



NOTE:
1. SEE SHEET C304 FOR DESIGN DATA OF 11000 SOUTH STREET.

DRAWING NOTES:

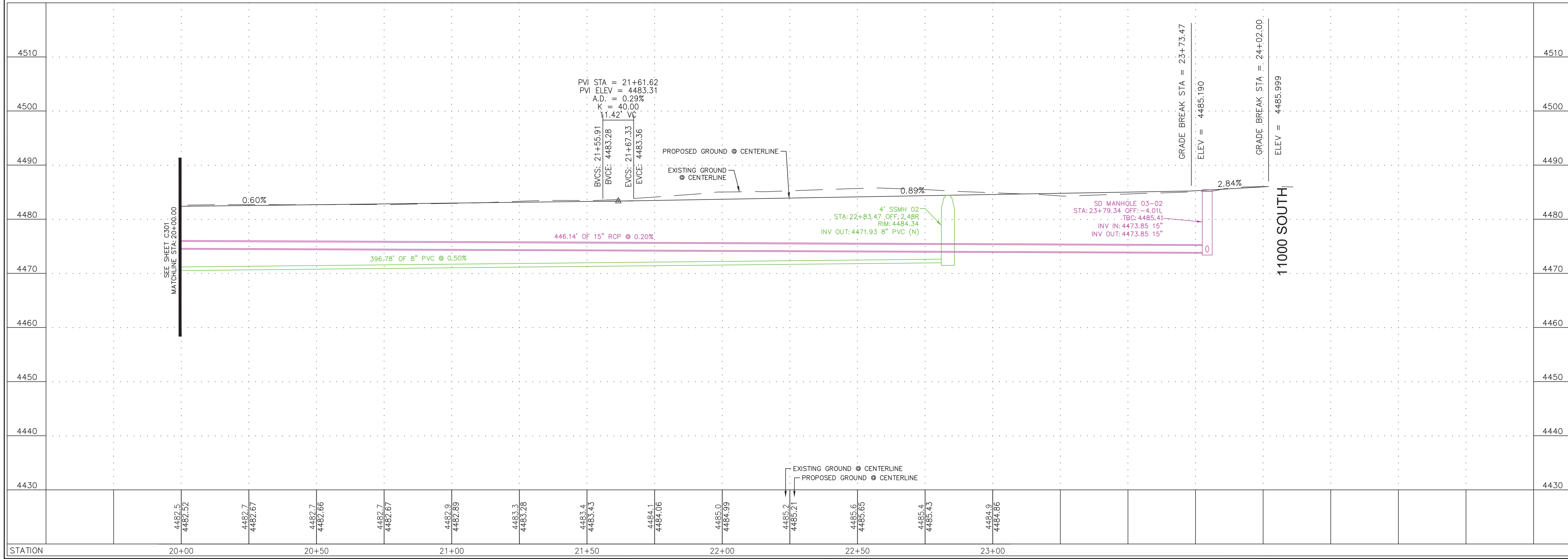
KEY MAP



SCALES
HOR. 1" = 20'
VER. 1" = 10'

LEGEND

- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED STORM DRAIN
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PUBLIC UTILITY EASEMENT
- PROPOSED FIRE HYDRANT
- PROPOSED STREET LIGHT
- PROPOSED SEWER MANHOLE
- EXISTING STORMDRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED COMBO BOX
- PROPOSED CLEANOUT BOX



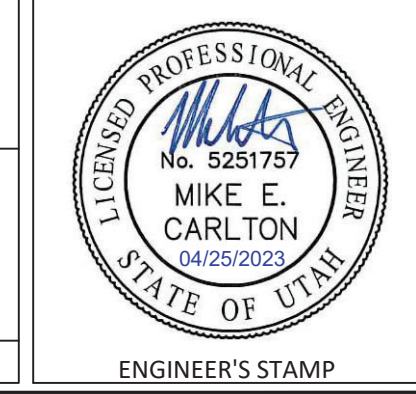
1	UPDATED PLANS PER SANDY CITY REVIEW	4-25-2023
NO.	REVISION	DATE

PROJECT INFORMATION
BRAND ESTATES SUBDIVISION

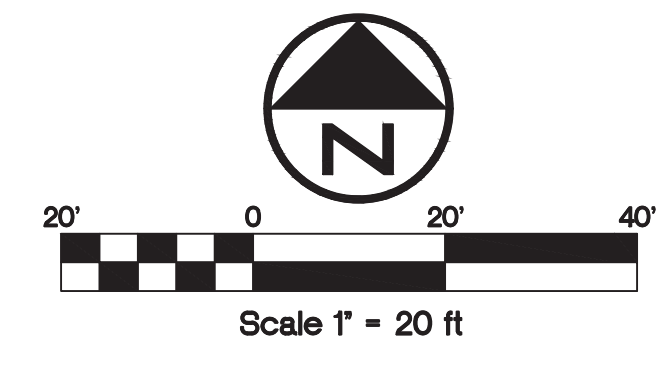
SOPHIE LANE
STA 20+00 - 23+00
SANDY, UTAH

DRAWN	CHECKED	PROJECT #
DCC	MEC	21252

DATE	10/06/22
HORIZONTAL SCALE	1" = 20'
VERTICAL SCALE	1" = 10'
SHEET	C302



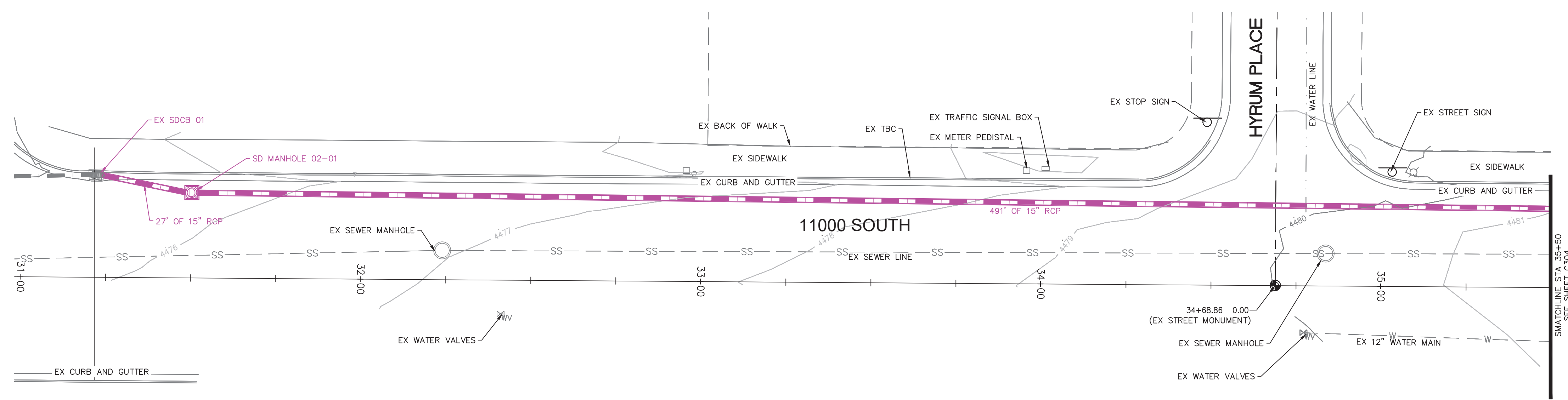
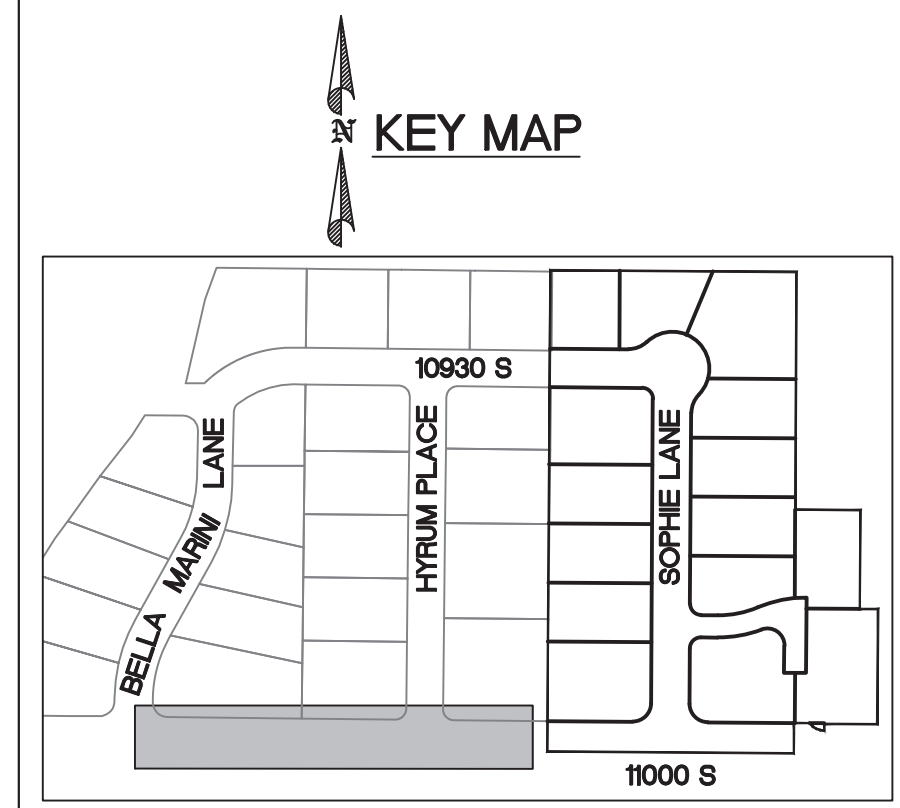
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PLOT DATE: Apr 25, 2023



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WWW.WILDINGENGINEERING.COM

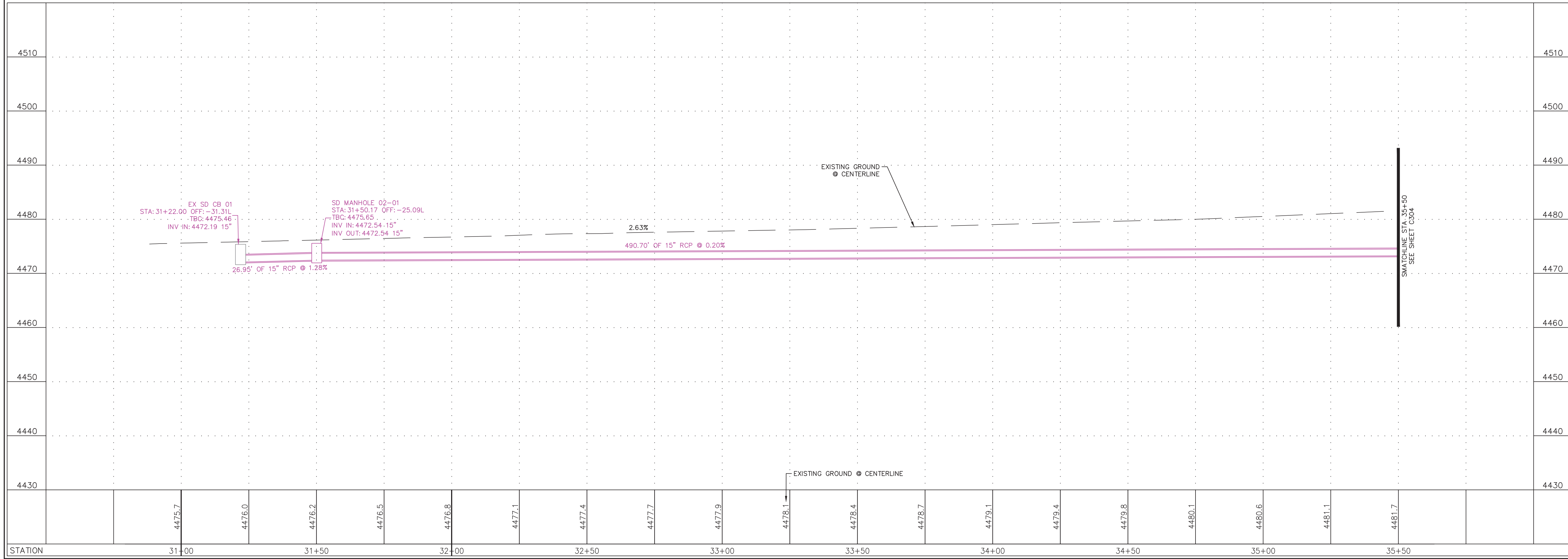
DRAWING NOTES:



SCALES
HOR. 1" = 20'
VER. 1" = 10'

LEGEND

- PROPOSED CONTOUR —
- PROPOSED INDEX CONTOUR - - -
- EXISTING CONTOUR - - - - -
- EXISTING INDEX CONTOUR - - - - -
- PROPOSED STORM DRAIN - - - - -
- PROPOSED WATER LINE - - - - -
- PROPOSED SEWER LINE - - - - -
- PUBLIC UTILITY EASEMENT - - - - -
- PROPOSED FIRE HYDRANT +
- PROPOSED STREET LIGHT ○
- PROPOSED SEWER MANHOLE ○
- EXISTING STORMDRAIN MANHOLE ○
- PROPOSED CATCH BASIN □
- PROPOSED COMBO BOX □
- PROPOSED CLEANOUT BOX □



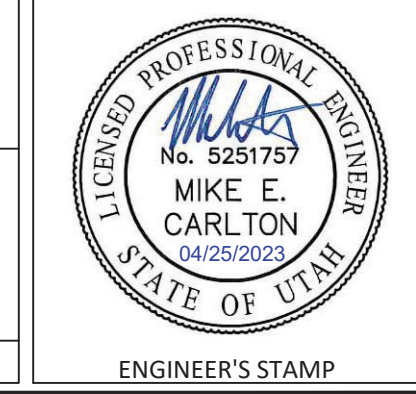
NO.	REVISION	DATE
1	UPDATED PLANS PER SANDY CITY REVIEW	4-25-2023

PROJECT INFORMATION

BRAND ESTATES SUBDIVISION

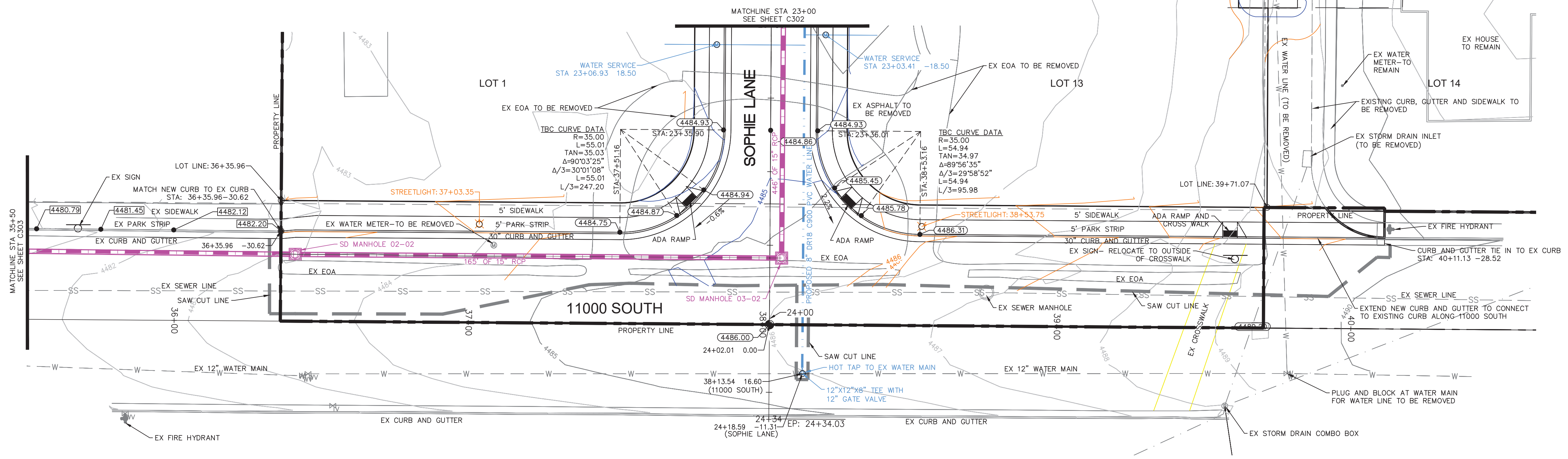
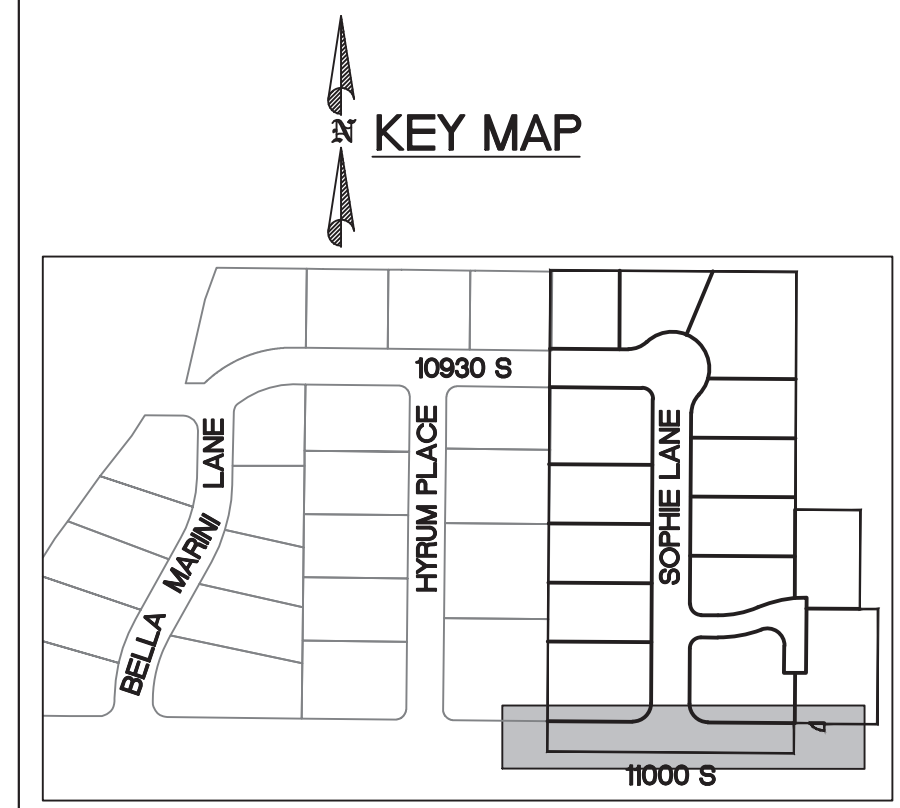
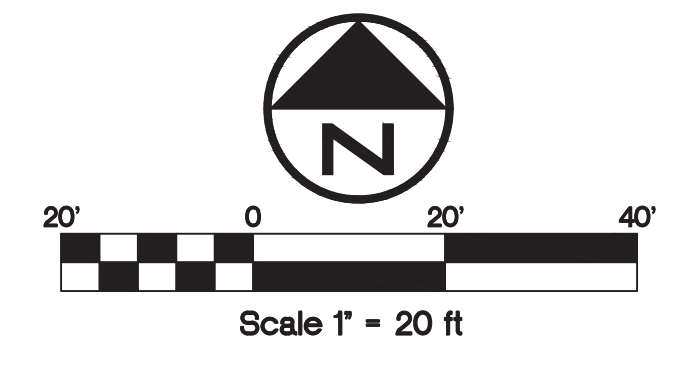
11000 SOUTH
STA 31+00 - 35+50
SANDY, UTAH

DRAWN DCC	CHECKED MEC	PROJECT # 21252
DATE 10/06/22		
HORIZONTAL SCALE 1" = 20'		
VERTICAL SCALE 1" = 10'		
SHEET C303		



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PLOT DATE: Apr 25, 2023

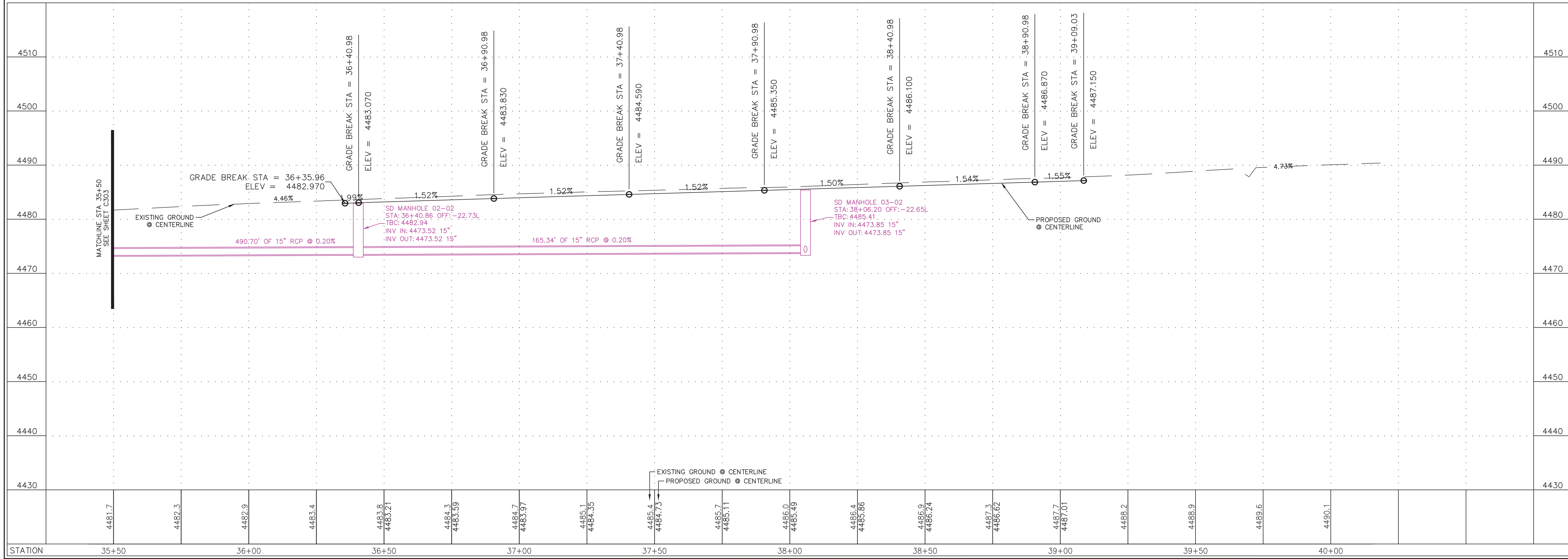
DRAWING NOTES:
1. CROSS SLOPE TO BE BETWEEN 2-4%. IF GREATER THAN 4%, ADDITIONAL REMOVAL AND RE-PROFILING MAY BE NECESSARY.



SCALES
HOR. 1" = 20'
VER. 1" = 10'

LEGEND

- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED STORM DRAIN
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PUBLIC UTILITY EASEMENT
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- PROPOSED SEWER MANHOLE
- EXISTING STORMDRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED COMBO BOX
- PROPOSED CLEANOUT BOX
- PROPOSED STREET MONUMENT




NO.	1	UPDATED PLANS PER SANDY CITY REVIEW	4-25-2023
		REVISION	DATE

PROJECT INFORMATION

BRAND ESTATES
SUBDIVISION

11000 SOUTH
STA 35+50 - 40+00
SANDY, UTAH

DRAWN	CHECKED	PROJECT #
DCC	MEC	21252
DATE		10/06/22
HORIZONTAL SCALE		1" = 20'
VERTICAL SCALE		1" = 10'
SHEET		C304



ENGINEER'S STAMP

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PLOT DATE: Apr 25, 2023

BRAND ESTATES SUBDIVISION



DRAWING NOTES:

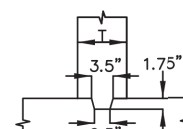
GENERAL NOTES

- MATERIALS, CONSTRUCTION, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION, ADDENDUMS, AND SPECIAL PROVISIONS, THESE AND AS DIRECTED BY THE CITY ENGINEER, OR HIS AUTHORIZED REPRESENTATIVE. THE CURRENT EDITION IS AVAILABLE ONLINE AT: <http://sandy.utah.gov/government/public-works/standards-specifications.html>
- CONCRETE SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTIONS 03000 AND 03500.
- REINFORCING STEEL SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 03200.
- PRECAST MANHOLES AND STRUCTURES SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 03400. COMBO AND JUNCTION BOXES SHALL BE CAST-IN-PLACE UNLESS SPECIFIED AND/OR APPROVED BY THE CITY REPRESENTATIVE.
- BACKFILL SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 02240.
- COMPACTION SHALL BE PER SPECIFICATIONS IN SECTION 02240.
- PIPE SIZE, ELEVATION, AND LOCATION SHALL BE SHOWN ON APPROVED CONSTRUCTION DRAWINGS.
- MANHOLE RING AND COVER SHALL BE D&L SUPPLY MODEL A-1180 OR APPROVED EQUAL.
- INLET FRAME, GRATE, AND HOOD SHALL BE D&L SUPPLY MODEL I-3517 (FOR SLOPES LESS THAN 2%) OR MODEL I-3518 (FOR SLOPES GREATER THAN 2%) OR APPROVED EQUAL.
- THROAT OPENING HEIGHT OF CURB INLET SHALL BE A MIN. OF 4".
- WHEN A CURB INLET BOX IS INSTALLED IN A LOCATION WITH EXISTING CURB AND GUTTER, THE CURB AND GUTTER SHALL BE REPLACED TO THE NEXT JOINT OR AS DIRECTED BY THE CITY REPRESENTATIVE.
- REBAR SPURCE FOR CAST-IN-PLACE STRUCTURES SHALL BE MIN. 40 DIAMETERS.
- PIPE TO STRUCTURE COLLAR (SEE SHEET SD-06) SHALL BE INSTALLED FOR ALL PIPE TO STRUCTURE CONNECTIONS FOR CURB INLET BOXES, COMBO BOXES, AND JUNCTION BOXES.

WALL REINFORCEMENT FOR CURB INLET, COMBO, AND JUNCTION BOXES

HEIGHT	VERT. STL.	HORIZ. STL.	WALL THICKNESS "T"
0'-0" - 4'	#4 @ 12" O.C.	#4 @ 12" O.C.	8" WALL
4'-0" - 6'	#4 @ 12" O.C.	#4 @ 12" O.C.	8" WALL
6'-0" - 8'	#5 @ 12" O.C.	#4 @ 12" O.C.	8" WALL
8'-0" - 10'	#5 @ 12" O.C.	#4 @ 12" O.C.	8" WALL
10'-0" - 12'	#5 @ 12" O.C.	#4 @ 12" O.C.	8" WALL

NOTES:
 1) WEDGE FACE BARS TO LINE UP W/ADJACENT FACE BARS.
 2) USE DOUBLE CURTAIN REINFORCEMENT FOR BOXES 8" OR MORE DEEP. FOR BOXES EXCEEDING 12", CONSULT WITH ENGINEER.
 3) PRECAST STRUCTURES MAY HAVE 4" WALL BASED ON MANUFACTURER'S DESIGN/RECOMMENDATION FOR STRUCTURES W/ HEIGHT UP TO 8".
 4) HEIGHT IS MEASURED FROM TOP OF FLOOR SLAB TO TOP OF ROOF SLAB.

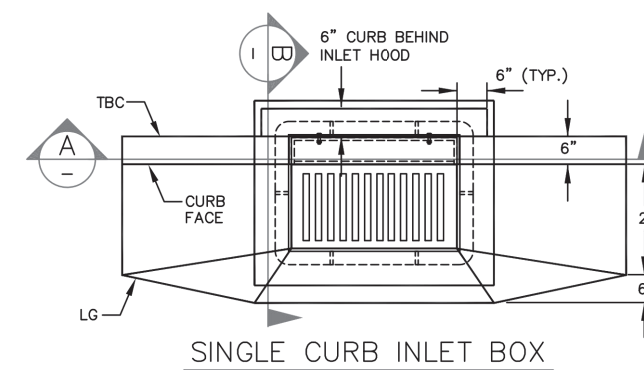


SHEAR KEY

NOTE: SHEAR KEY REQUIRED AT BASE OF WALL FOR ALL WALLS 8" AND TALLER.

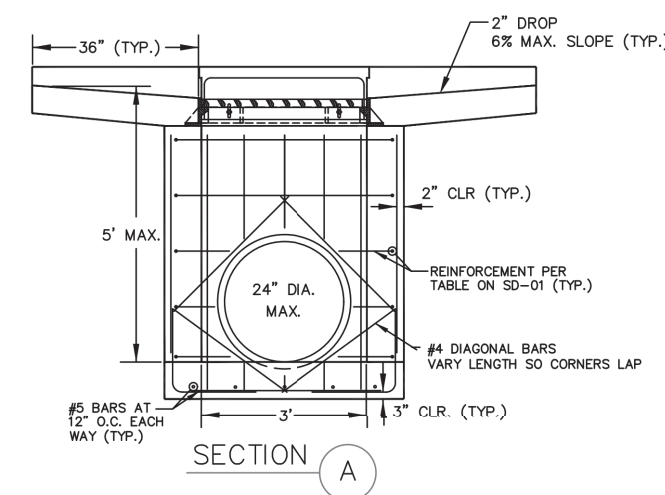
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NO.	AUTHORIZED BY	REVISIONS	DATE		GENERAL STORM DRAIN NOTES

NOT TO SCALE

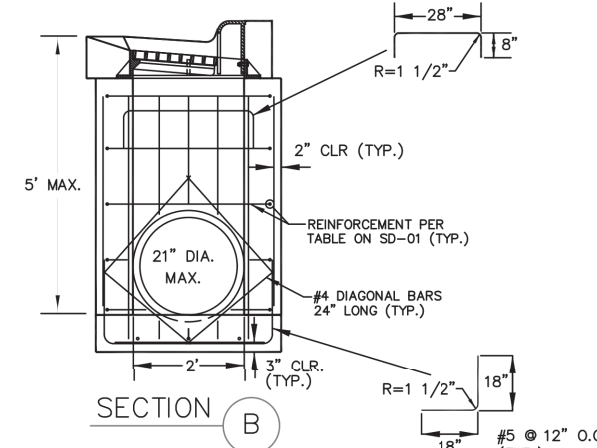


SINGLE CURB INLET BOX

* SEE SHEET SD-01 FOR SPECIFICATIONS AND ADDITIONAL NOTES/DETAILS INCLUDING WALL REINFORCEMENT.



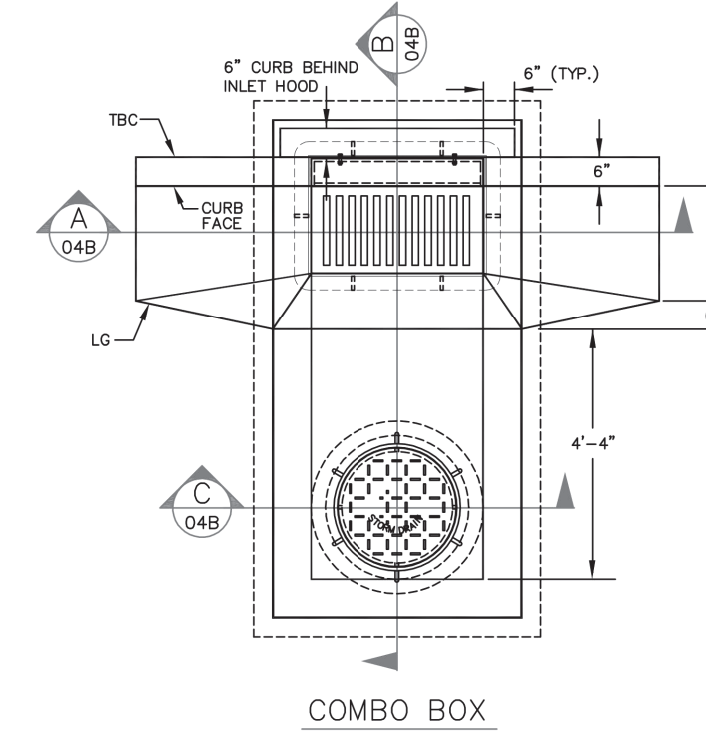
SECTION A



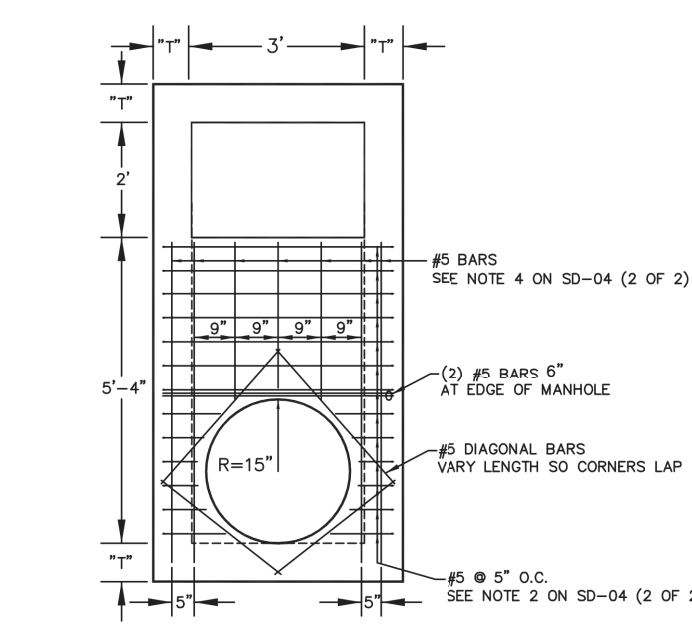
SECTION B

2	TS	CREATED	8/2017		STANDARD DETAIL PUBLIC UTILITIES SD-02
NO.	AUTHORIZED BY	REVISIONS	DATE		SINGLE CURB INLET BOX

NOT TO SCALE



COMBO BOX

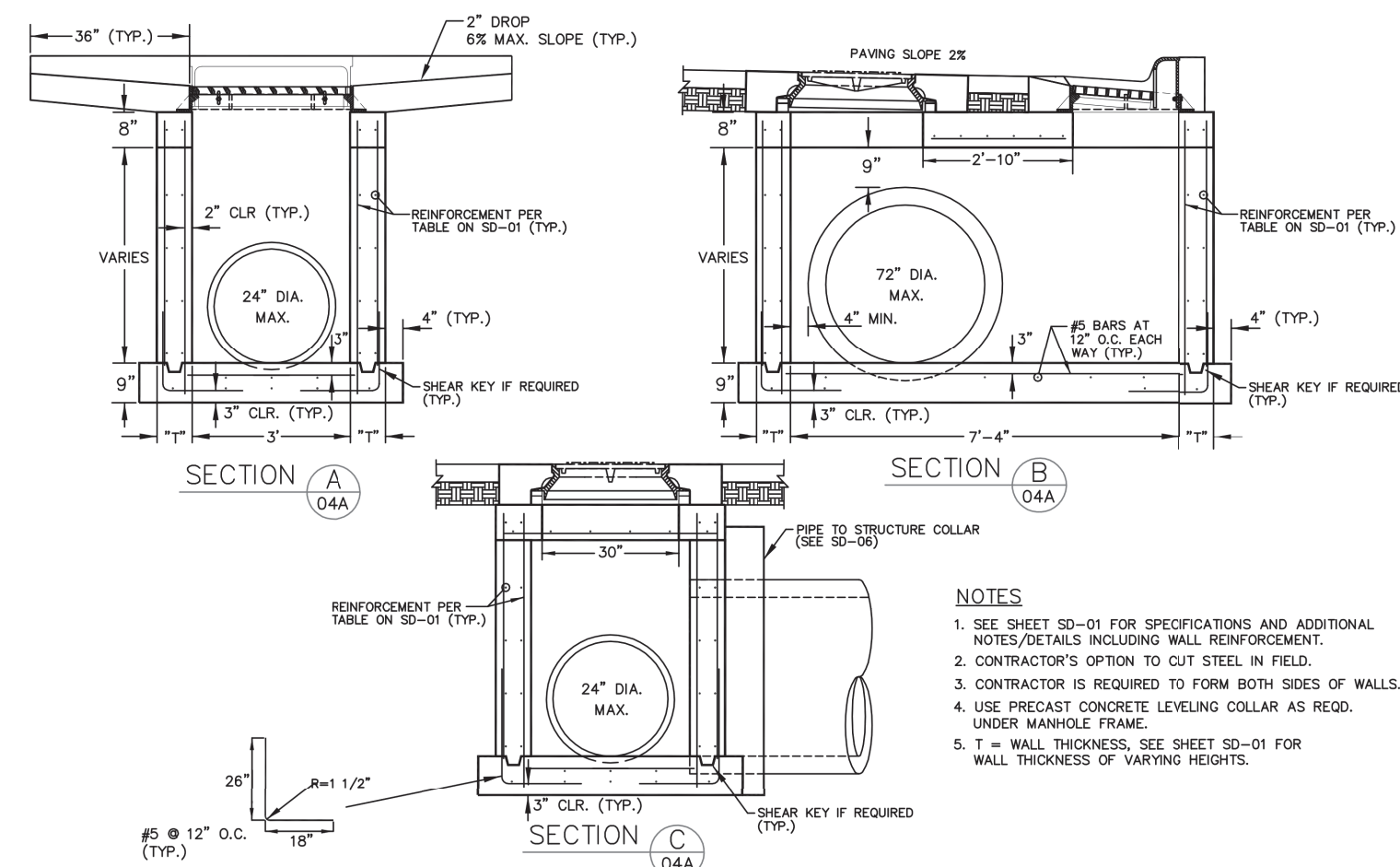


STEEL REINFORCEMENT IN ROOF

NOTE:
 1. T = WALL THICKNESS, SEE SHEET SD-01 FOR WALL THICKNESS OF VARYING HEIGHTS.

1	TS	CREATED	8/2017		STANDARD DETAIL PUBLIC UTILITIES SD-04
NO.	AUTHORIZED BY	REVISIONS	DATE		COMBO BOX PAGE 1 OF 2

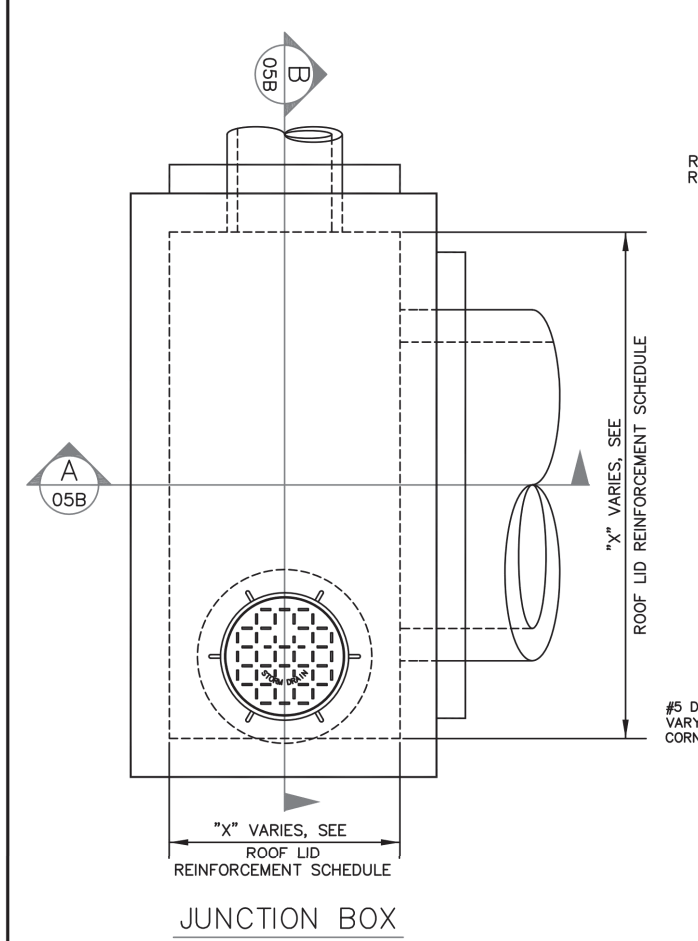
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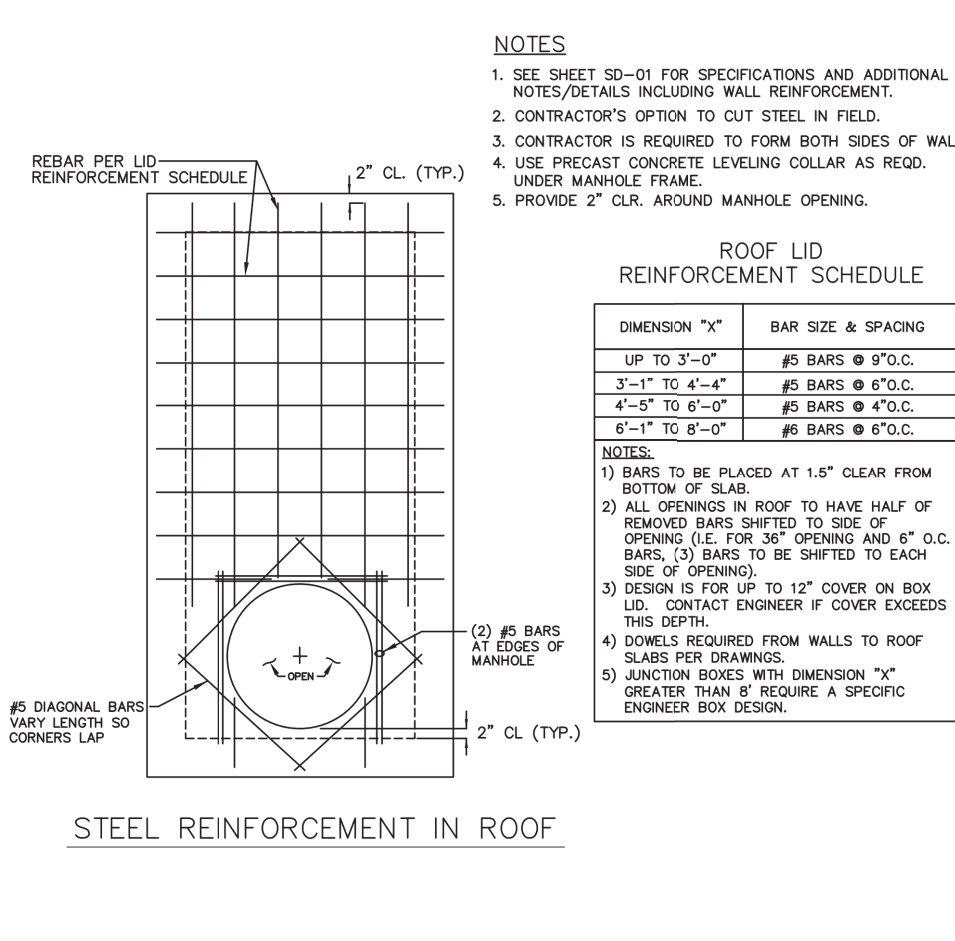
NOT TO SCALE

1	TS	CREATED	8/2017		STANDARD DETAIL PUBLIC UTILITIES SD-04
NO.	AUTHORIZED BY	REVISIONS	DATE		COMBO BOX PAGE 2 OF 2

- NOTES:
 1. SEE SHEET SD-01 FOR SPECIFICATIONS AND ADDITIONAL NOTES/DETAILS INCLUDING WALL REINFORCEMENT.
 2. CONTRACTOR'S OPTION TO CUT STEEL IN FIELD.
 3. CONTRACTOR IS REQUIRED TO FORM BOTH SIDES OF WALLS.
 4. USE PRECAST CONCRETE LEVELING COLLAR AS REQD. UNDER MANHOLE FRAME.
 5. T = WALL THICKNESS, SEE SHEET SD-01 FOR WALL THICKNESS OF VARYING HEIGHTS.



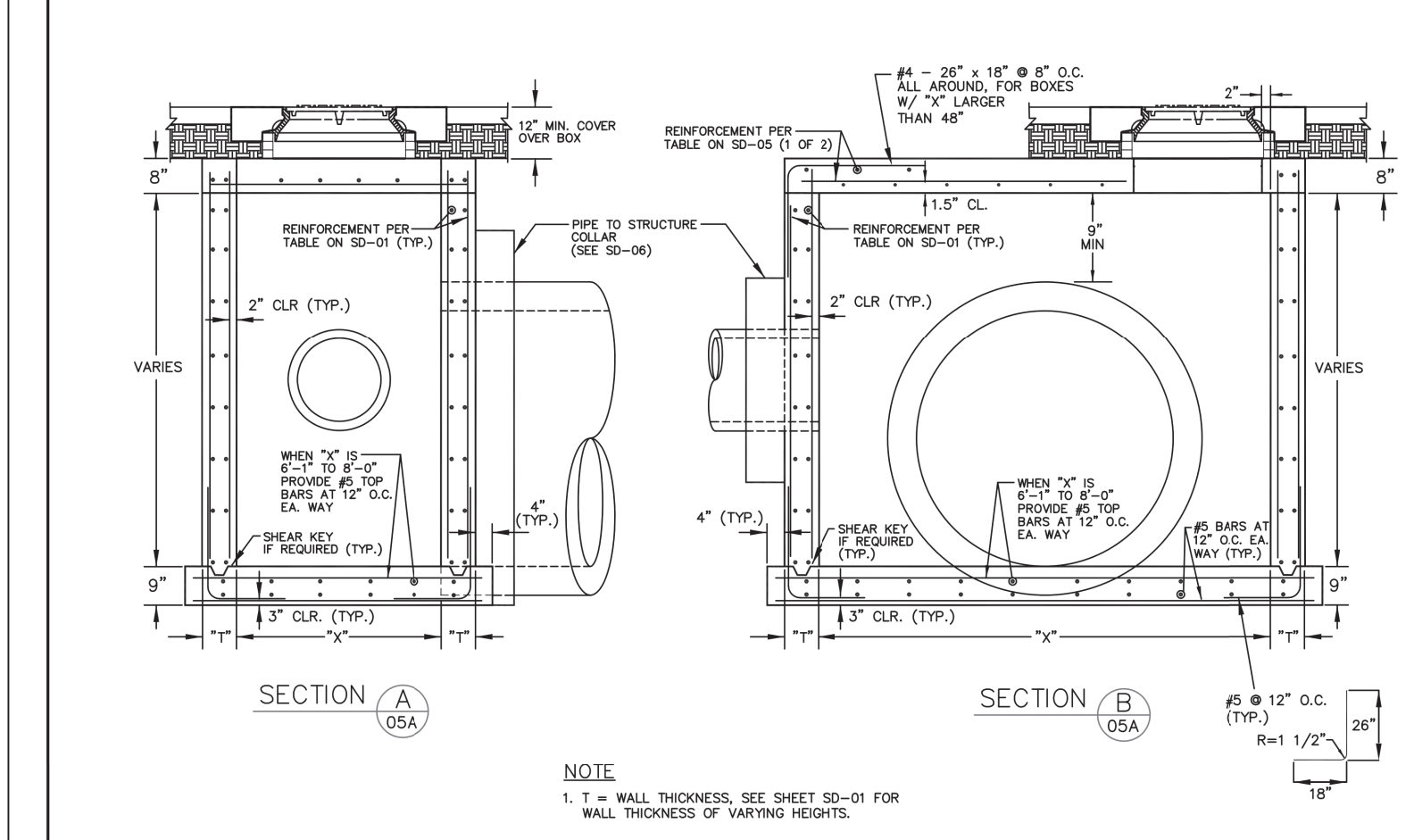
JUNCTION BOX



STEEL REINFORCEMENT IN ROOF

1	TS	CREATED	8/2017		STANDARD DETAIL PUBLIC UTILITIES SD-05
NO.	AUTHORIZED BY	REVISIONS	DATE		JUNCTION BOX PAGE 1 OF 2

NOT TO SCALE



NOT TO SCALE

1	TS	CREATED	8/2017		STANDARD DETAIL PUBLIC UTILITIES SD-05
NO.	AUTHORIZED BY	REVISIONS	DATE		JUNCTION BOX PAGE 2 OF 2

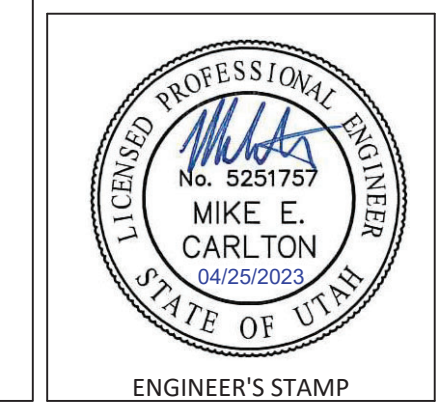
NOTE:
 1. T = WALL THICKNESS, SEE SHEET SD-01 FOR WALL THICKNESS OF VARYING HEIGHTS.

NO.	REVISION	DATE

PROJECT INFORMATION
BRAND ESTATES SUBDIVISION
 DETAILS
 SANDY CITY, UTAH

DRAWN	CHECKED	PROJECT #
SWR	JRP	21252

DATE	10/5/22
SCALE	NTS
SHEET	C401

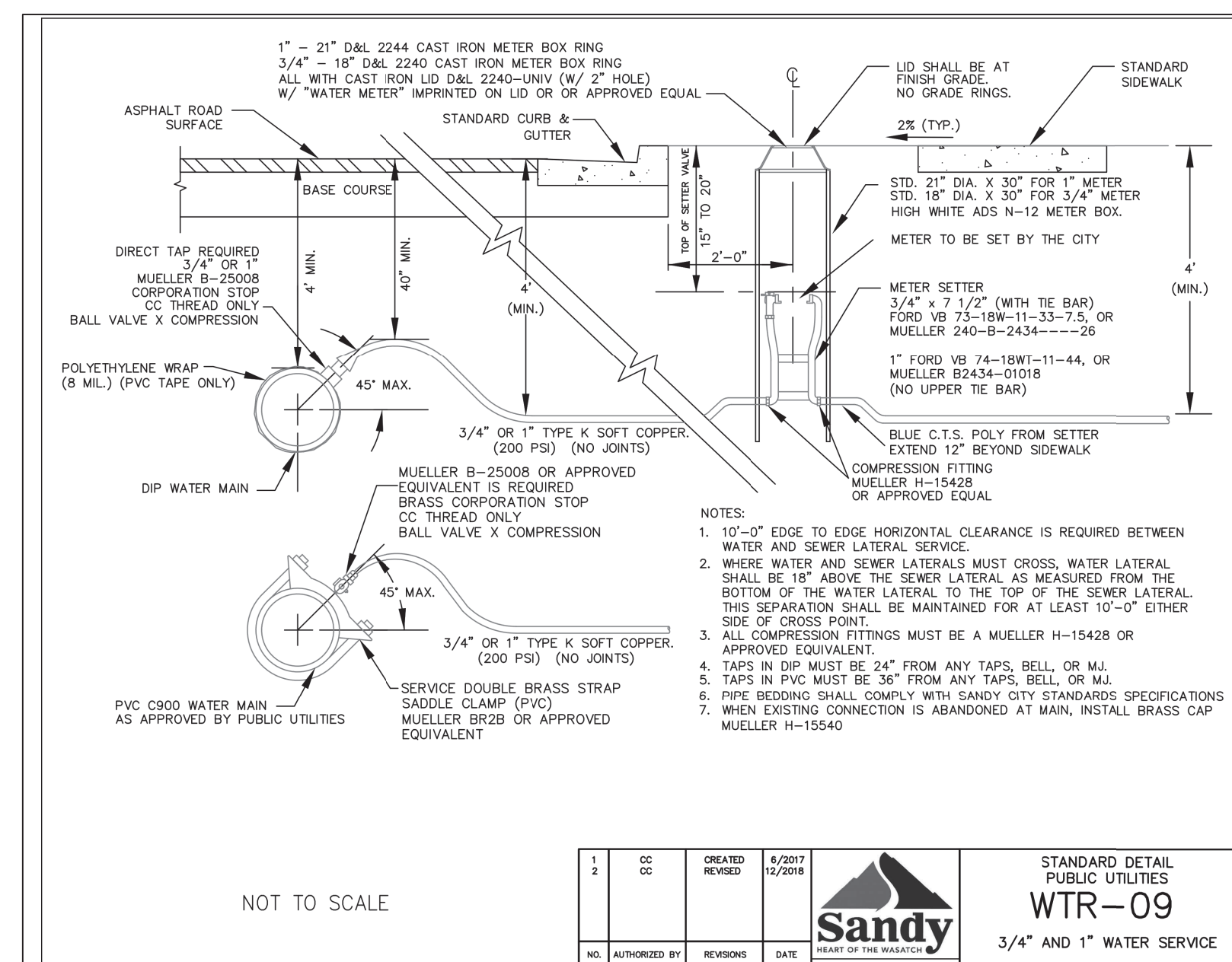
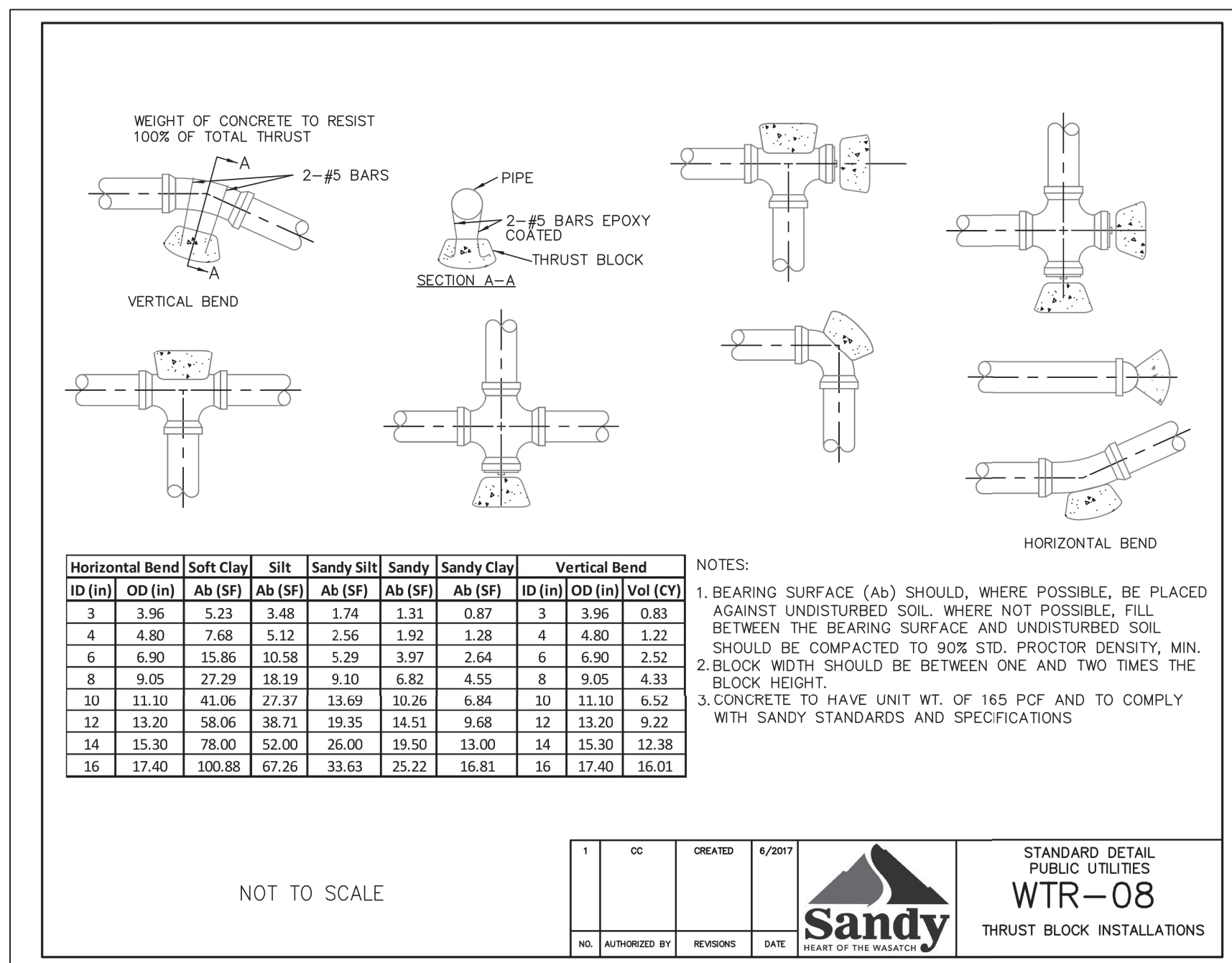
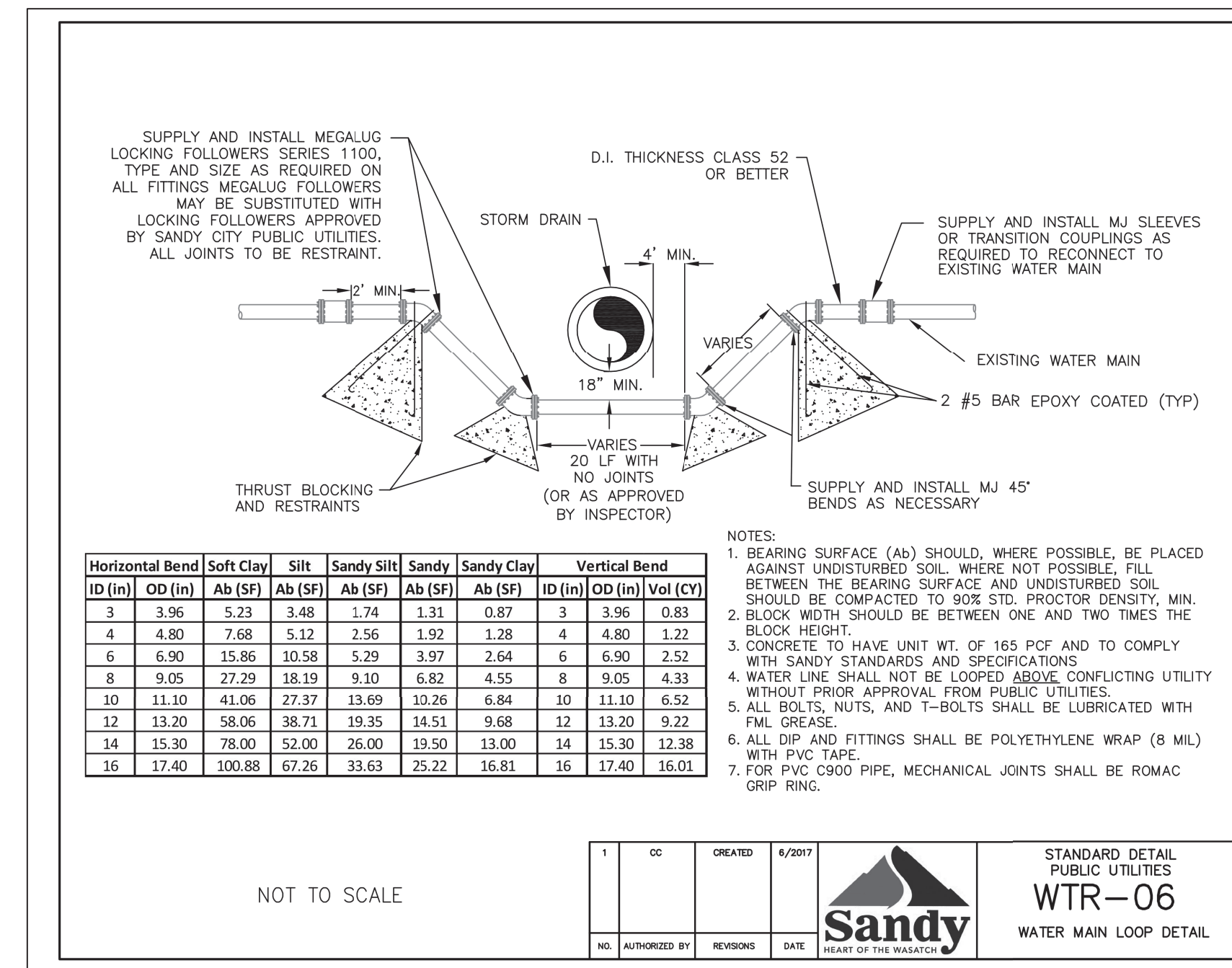
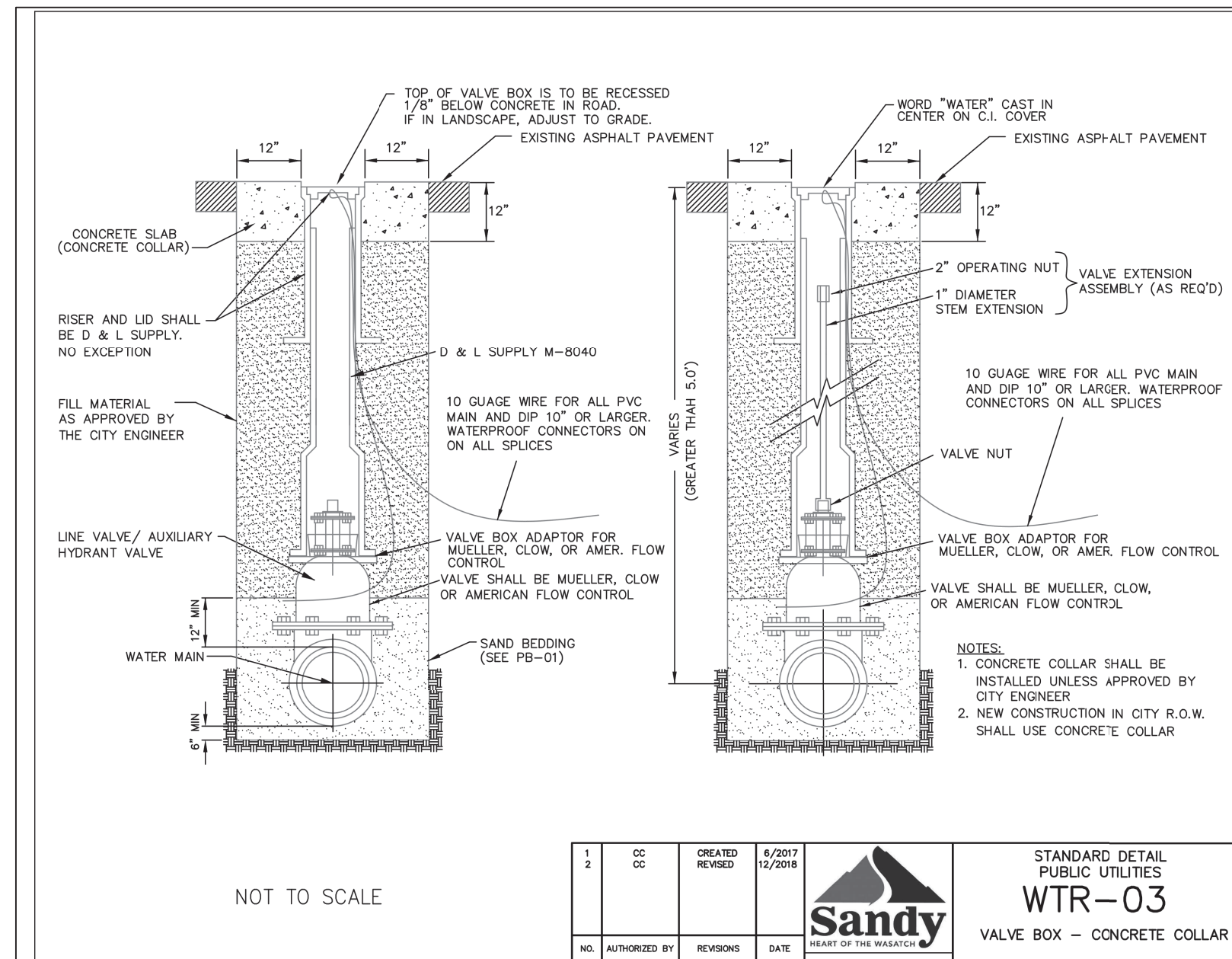
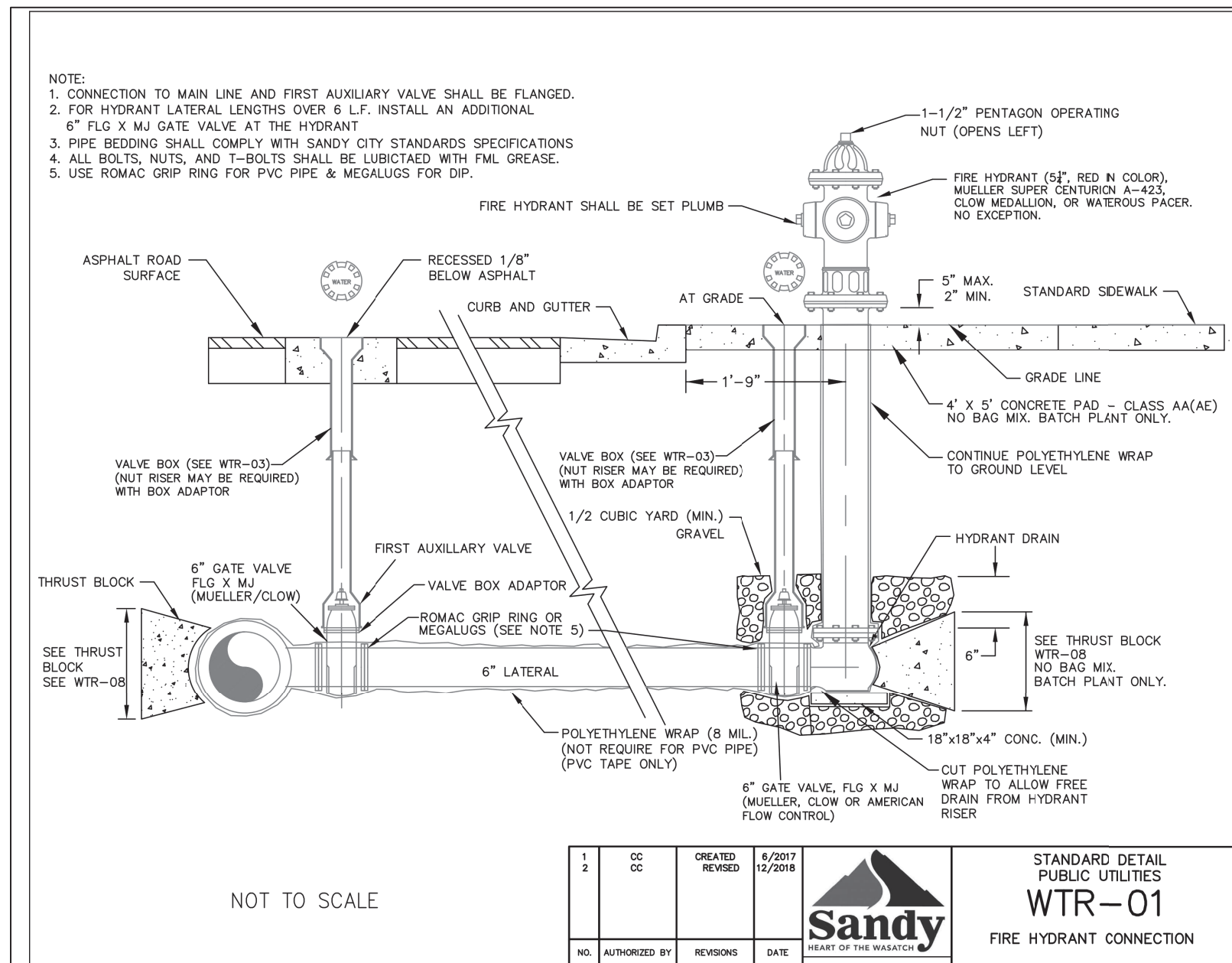


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NO.	REVISION	DATE

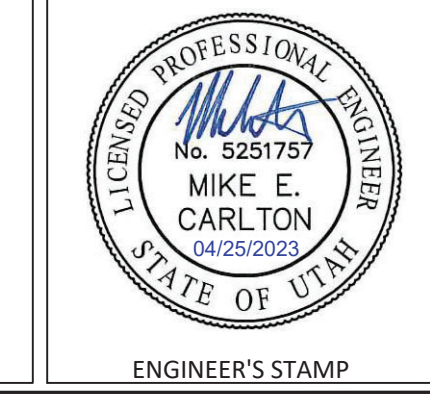
PROJECT INFORMATION
BRAND ESTATES SUBDIVISION
DETAILS
SANDY CITY, UTAH

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DATE	10/5/22
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SHEET	C402
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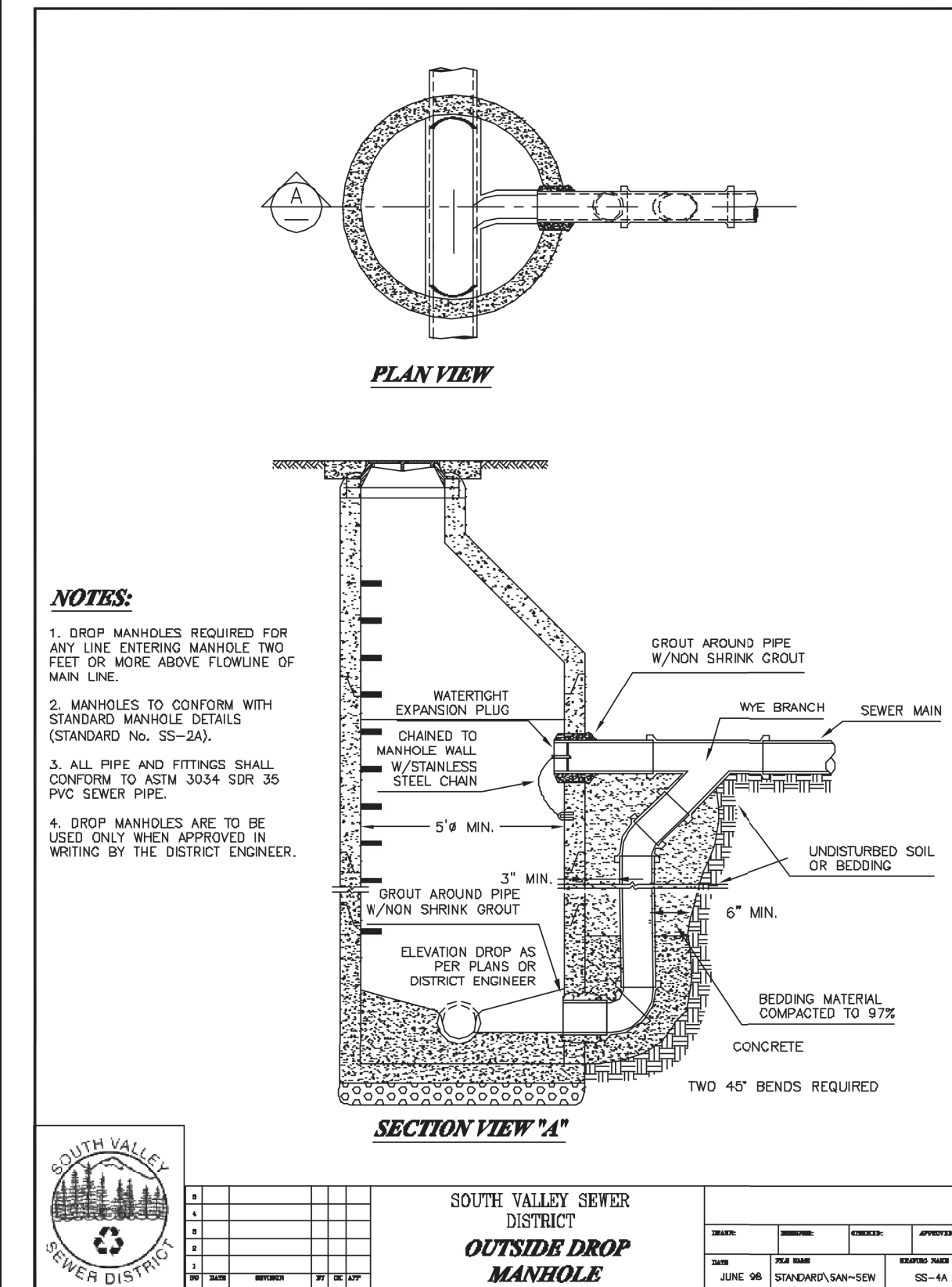
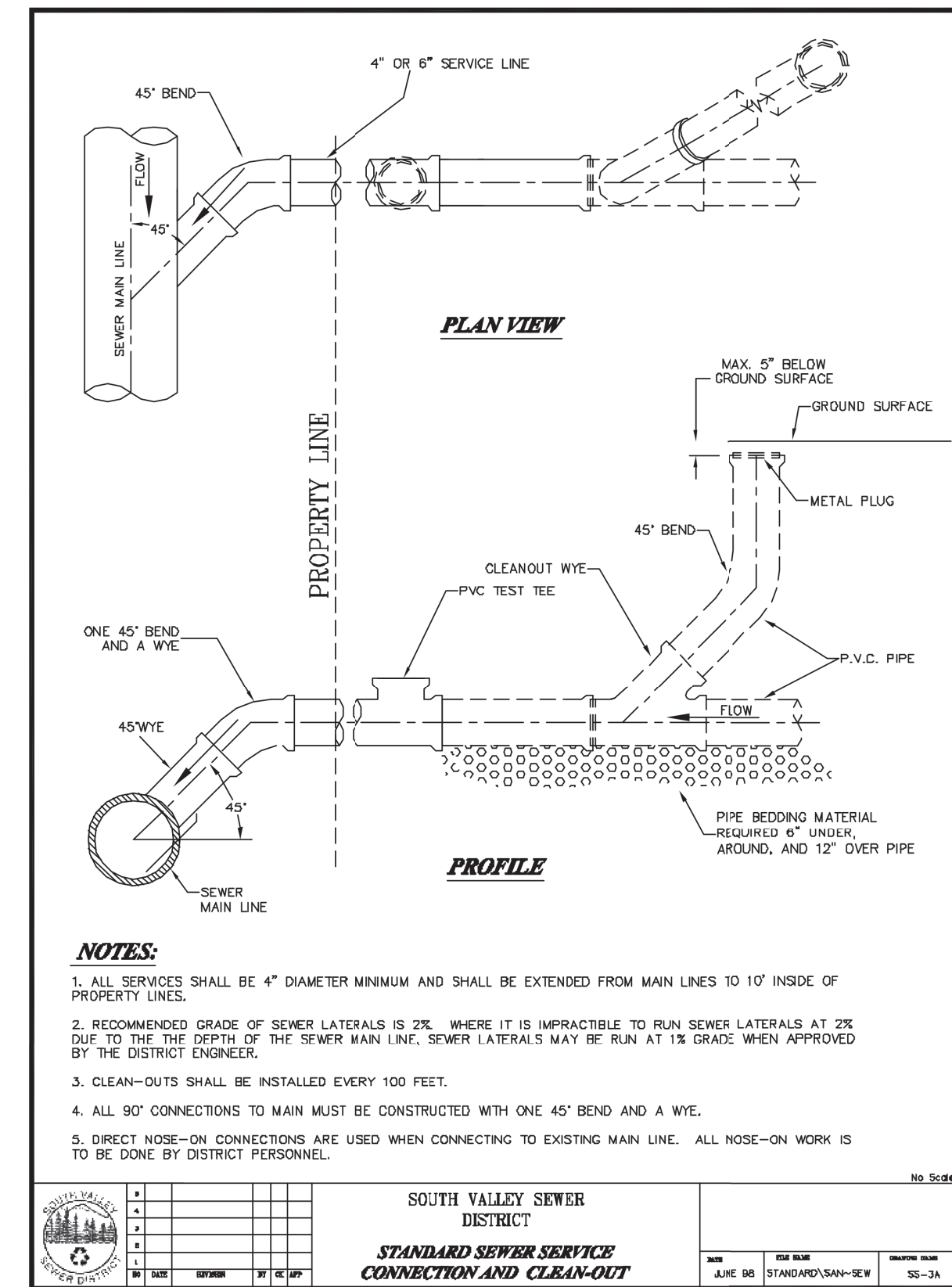
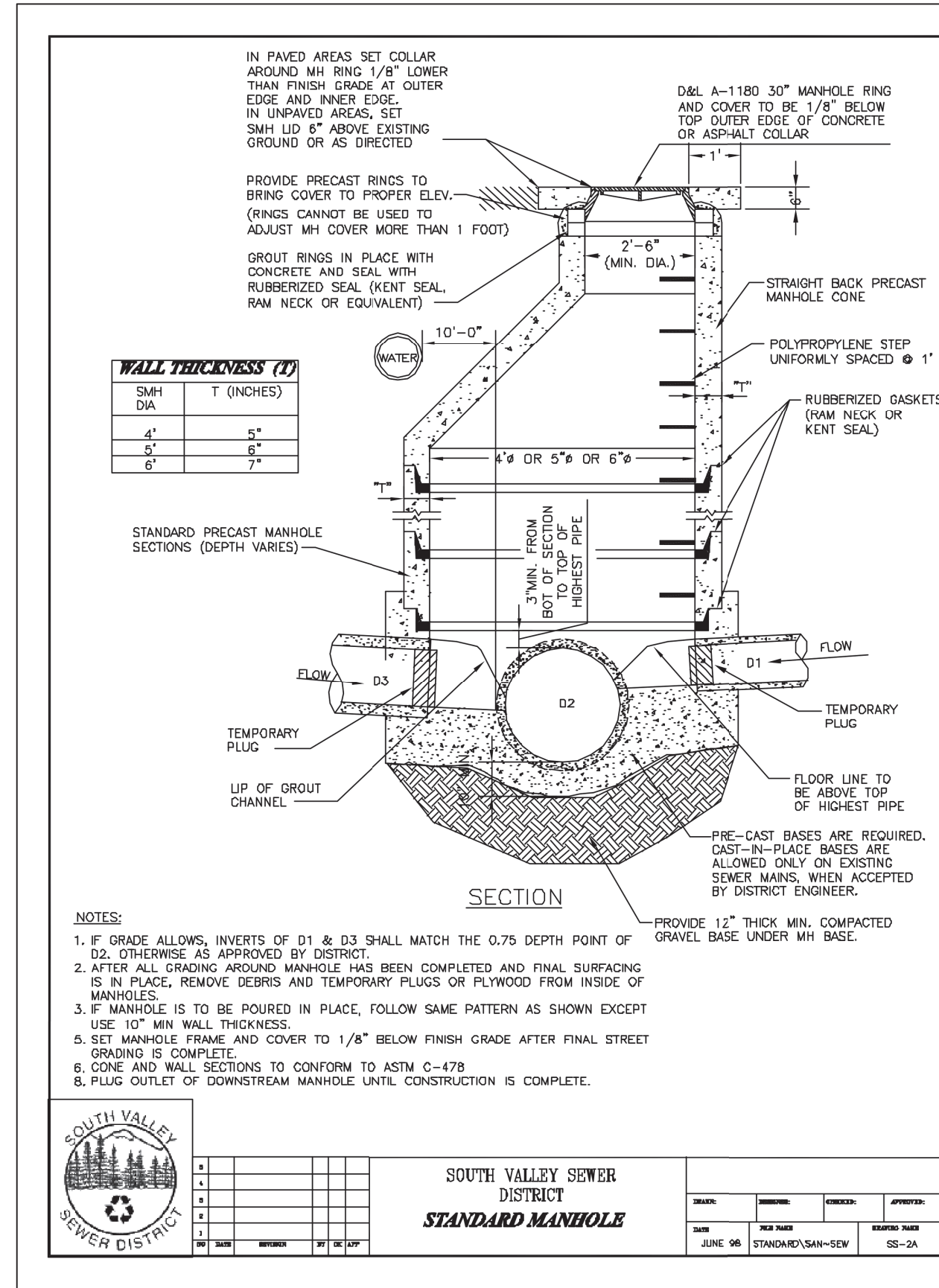
BRAND ESTATES SUBDIVISION



WILDING
ENGINEERING

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

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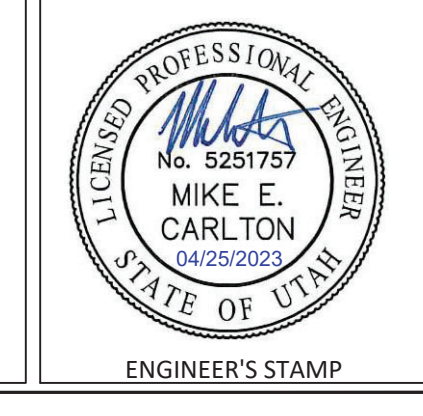
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SWR	JRP	21252

DATE	10/5/22
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SCALE	NTS
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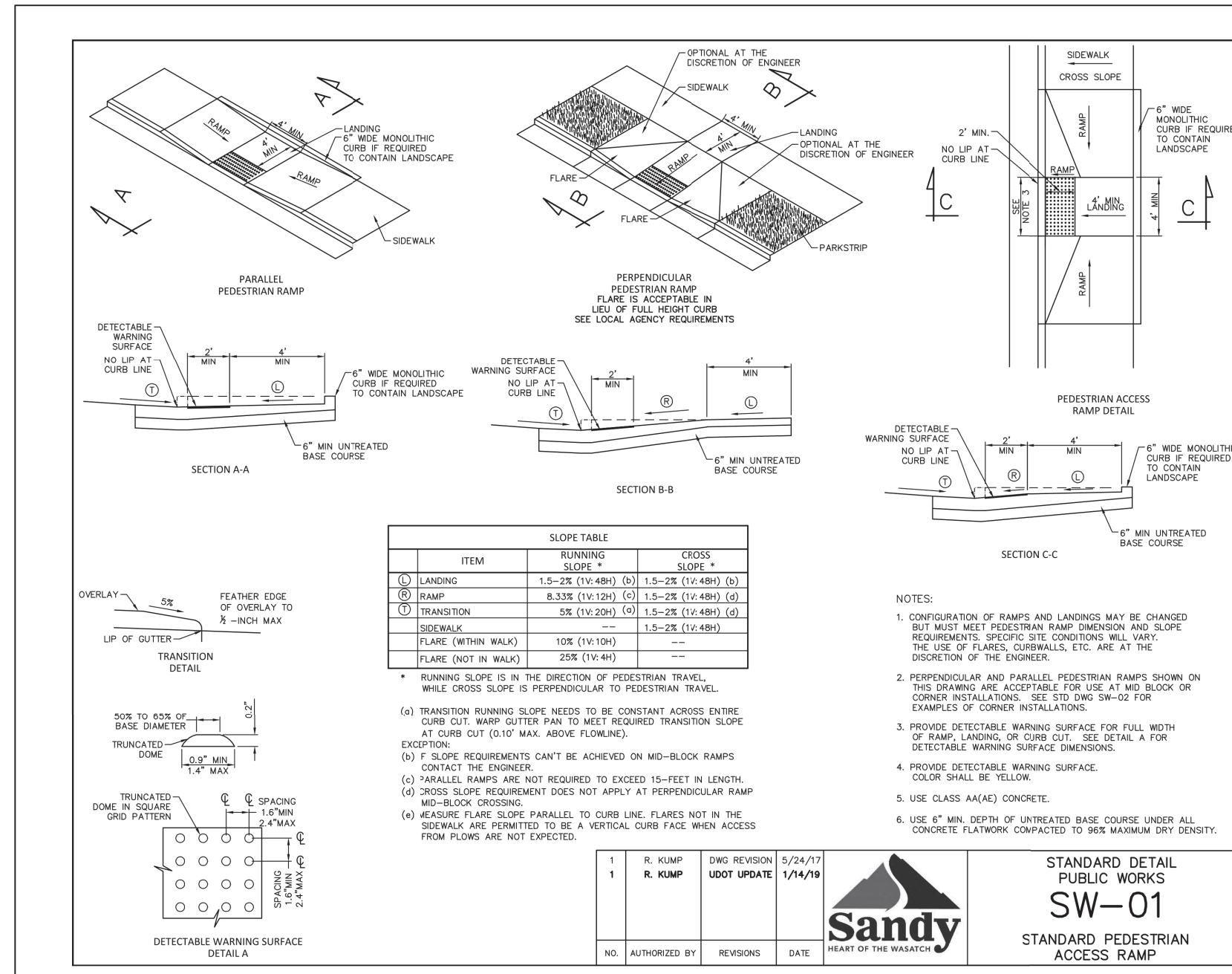
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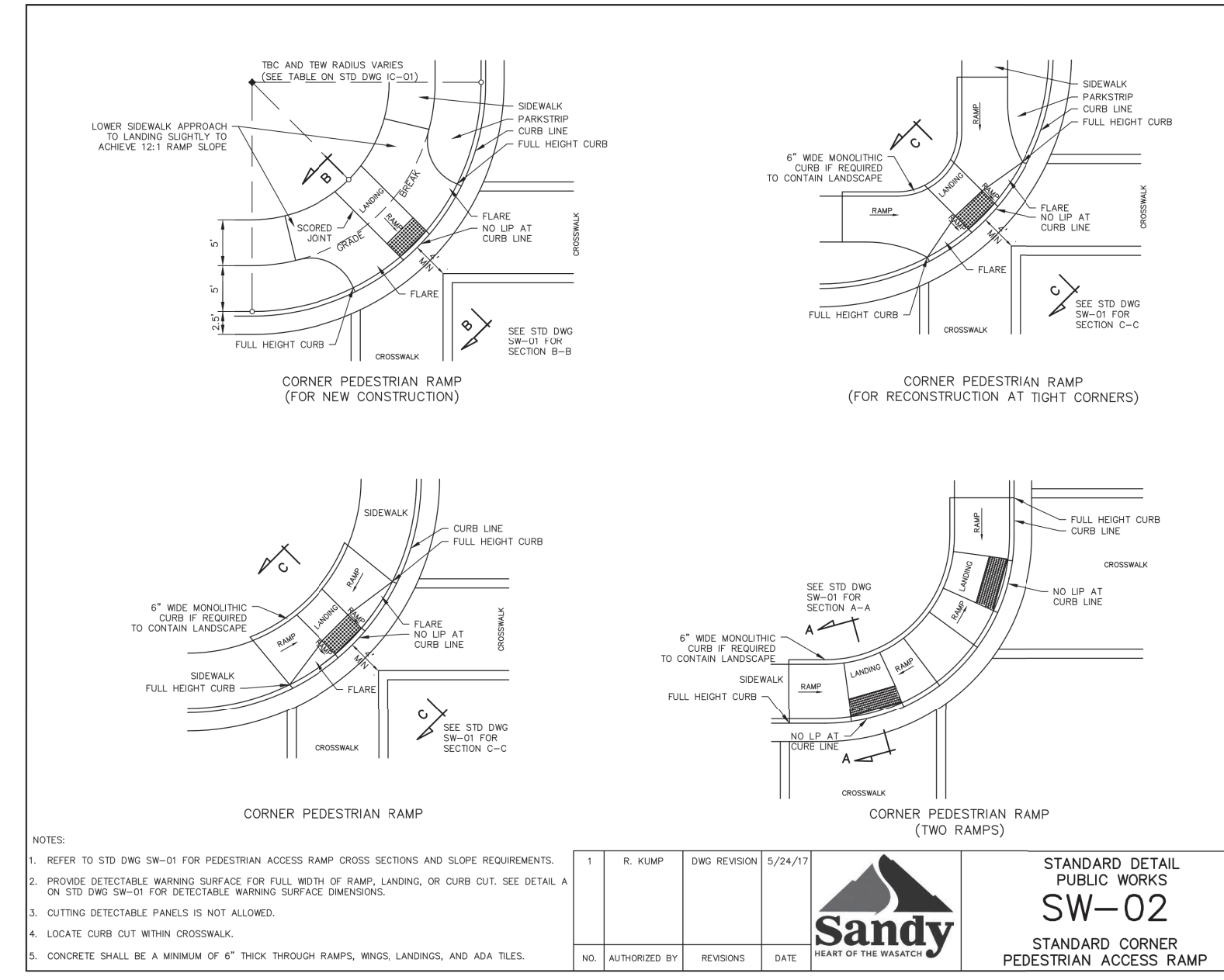
BRAND ESTATES SUBDIVISION



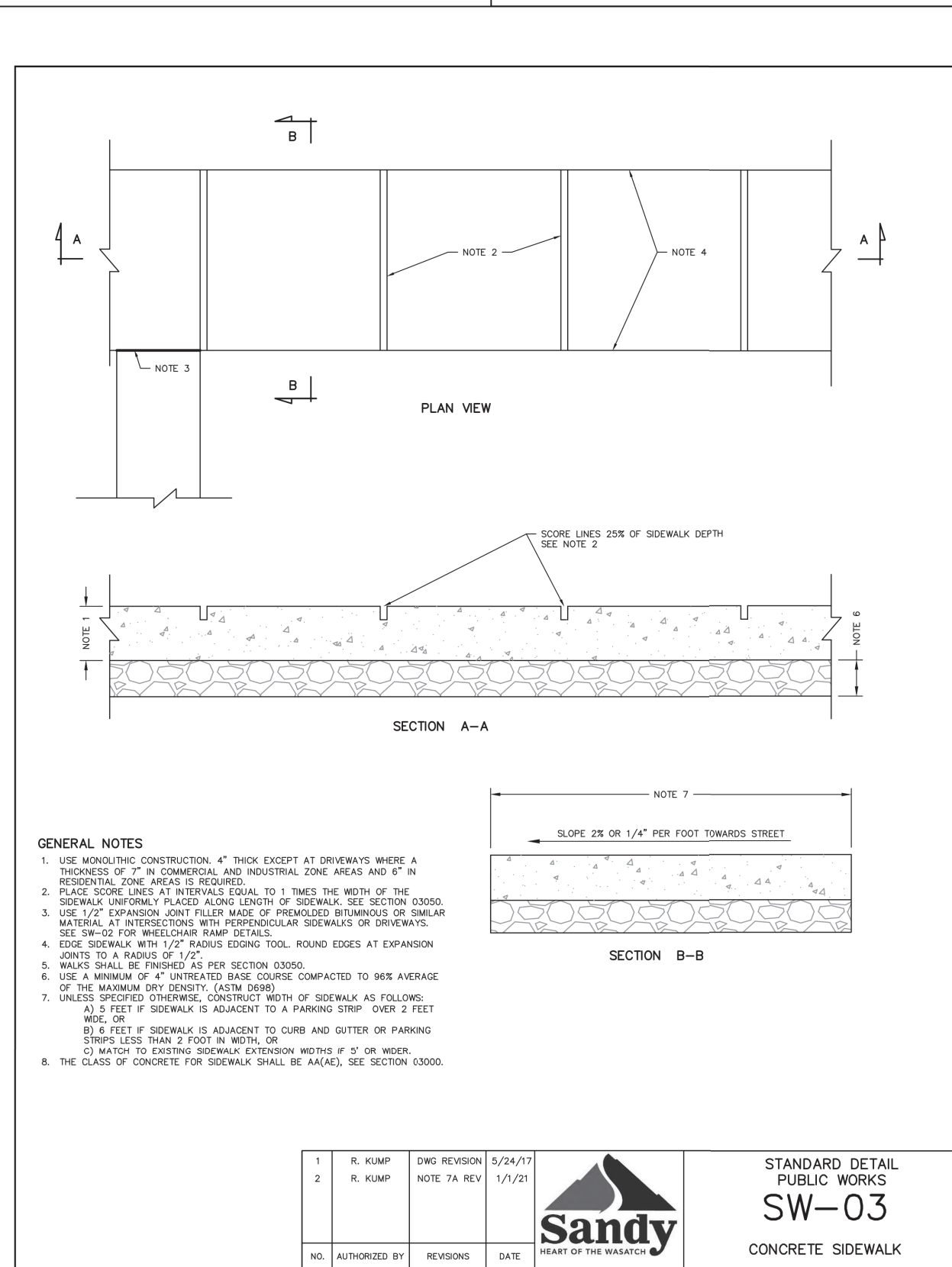
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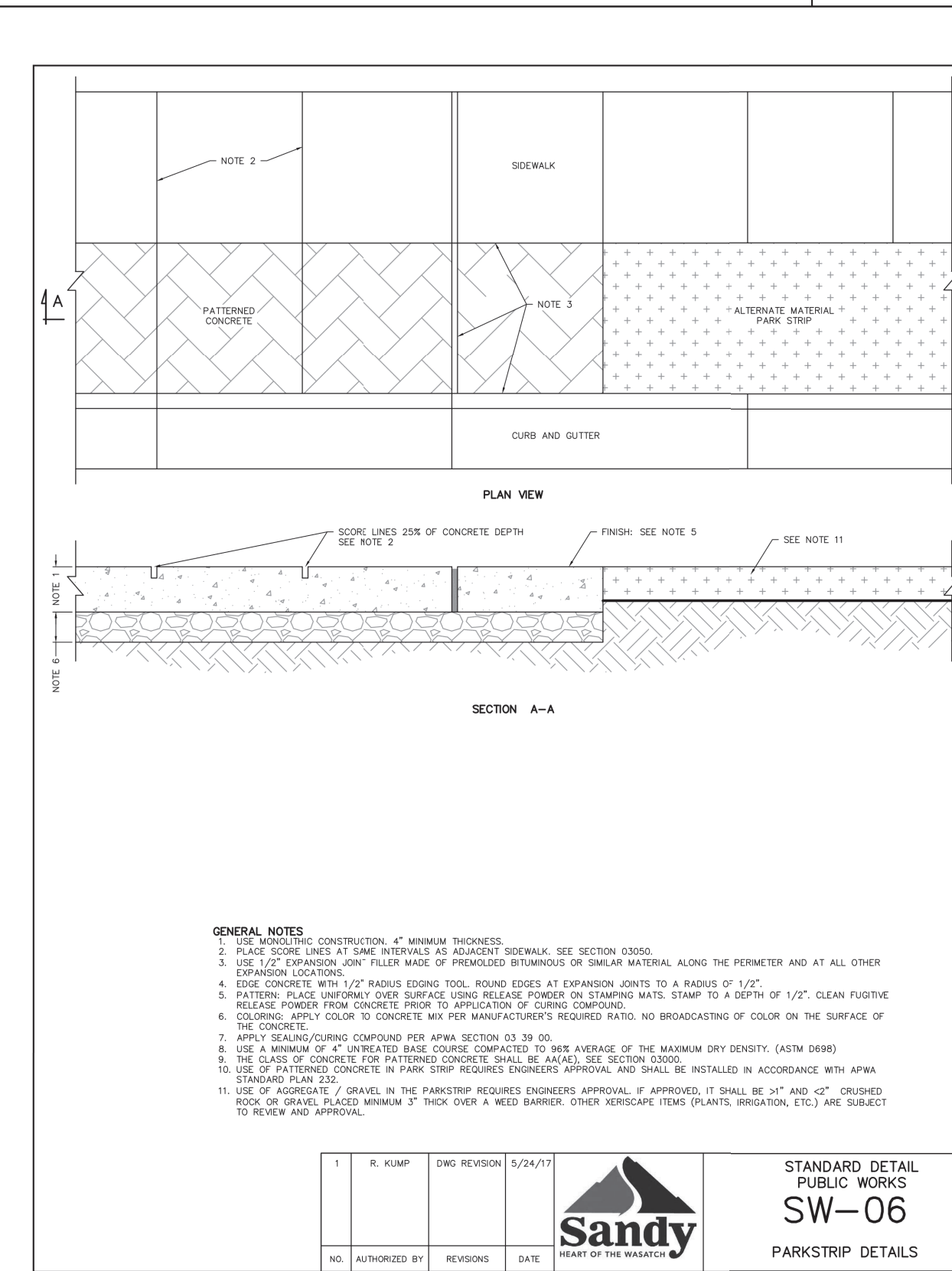
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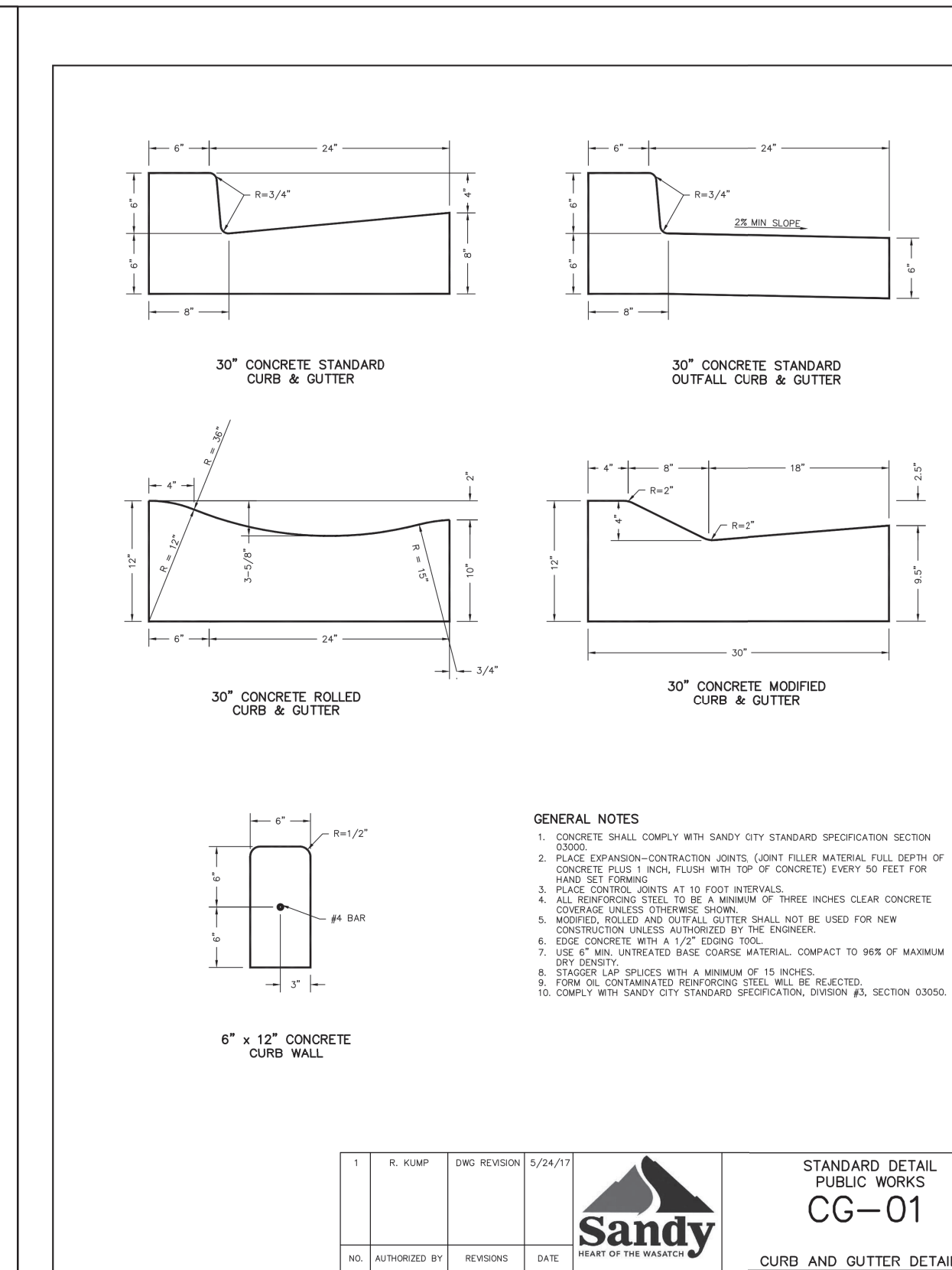
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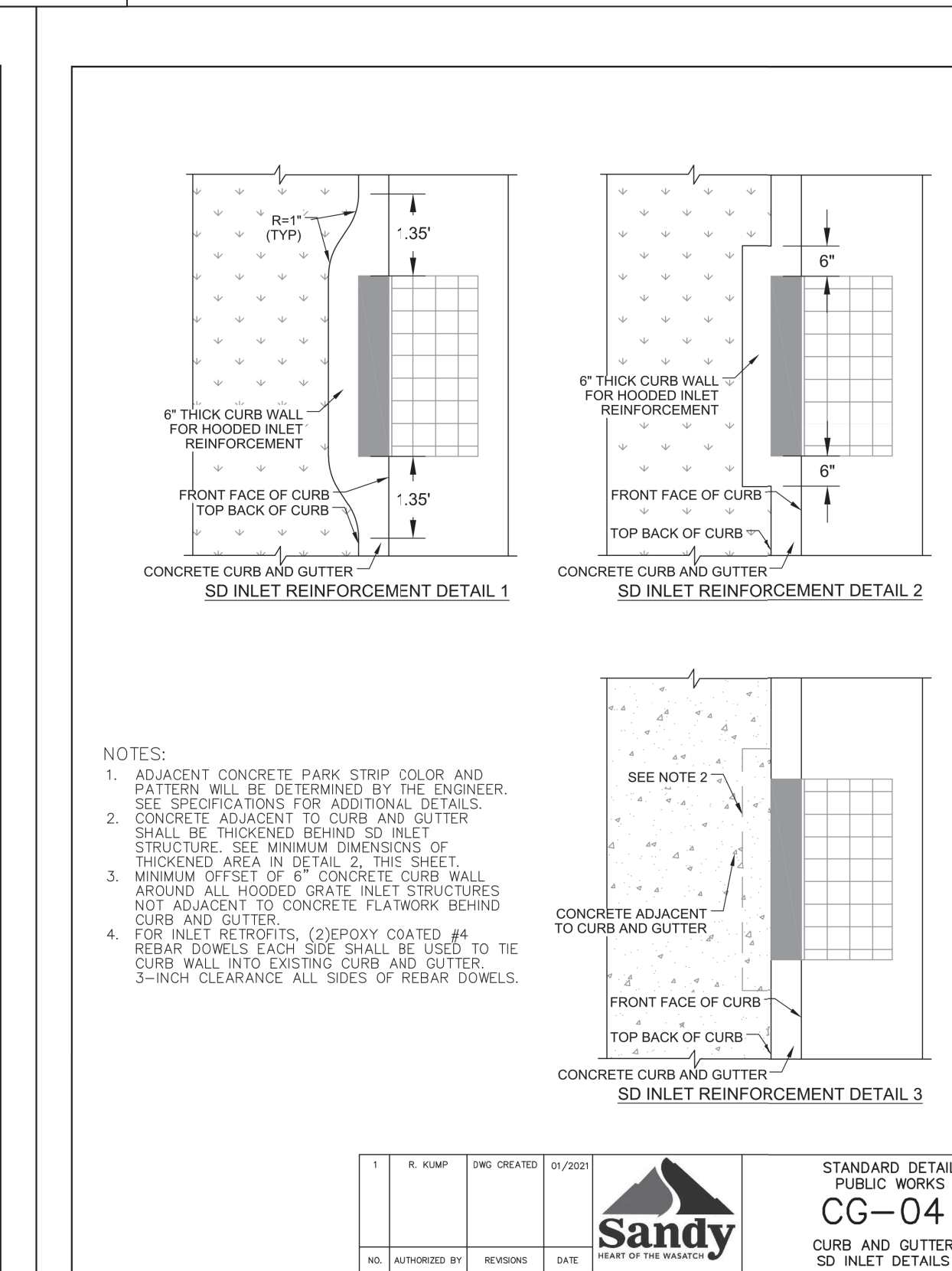
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1	R. KUMP	DWG REVISION	5/24/17	<p>STANDARD DETAIL PUBLIC WORKS SW-06 PARKSTRIP DETAILS</p>
NO.	AUTHORIZED BY	REVISIONS	DATE	



1	R. KUMP	DWG REVISION	5/24/17	<p>STANDARD DETAIL PUBLIC WORKS CG-01 CURB AND GUTTER DETAILS</p>
NO.	AUTHORIZED BY	REVISIONS	DATE	



1	R. KUMP	DWG CREATED	01/2021	<p>STANDARD DETAIL PUBLIC WORKS CG-04 CURB AND GUTTER SD INLET REINFORCEMENT DETAILS</p>
NO.	AUTHORIZED BY	REVISIONS	DATE	

NO.	REVISION	DATE

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SANDY CITY, UTAH

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SHEET	C404

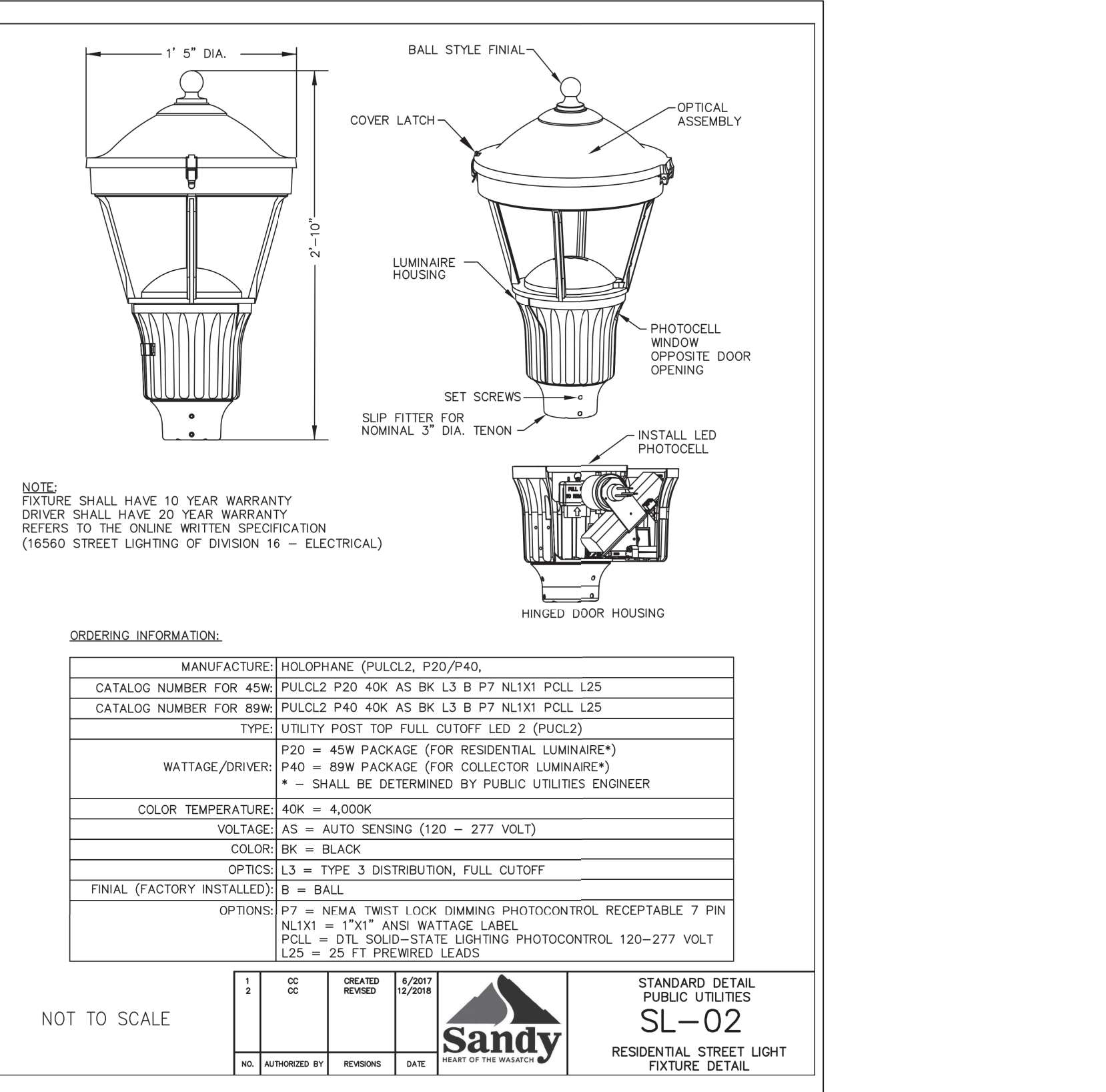
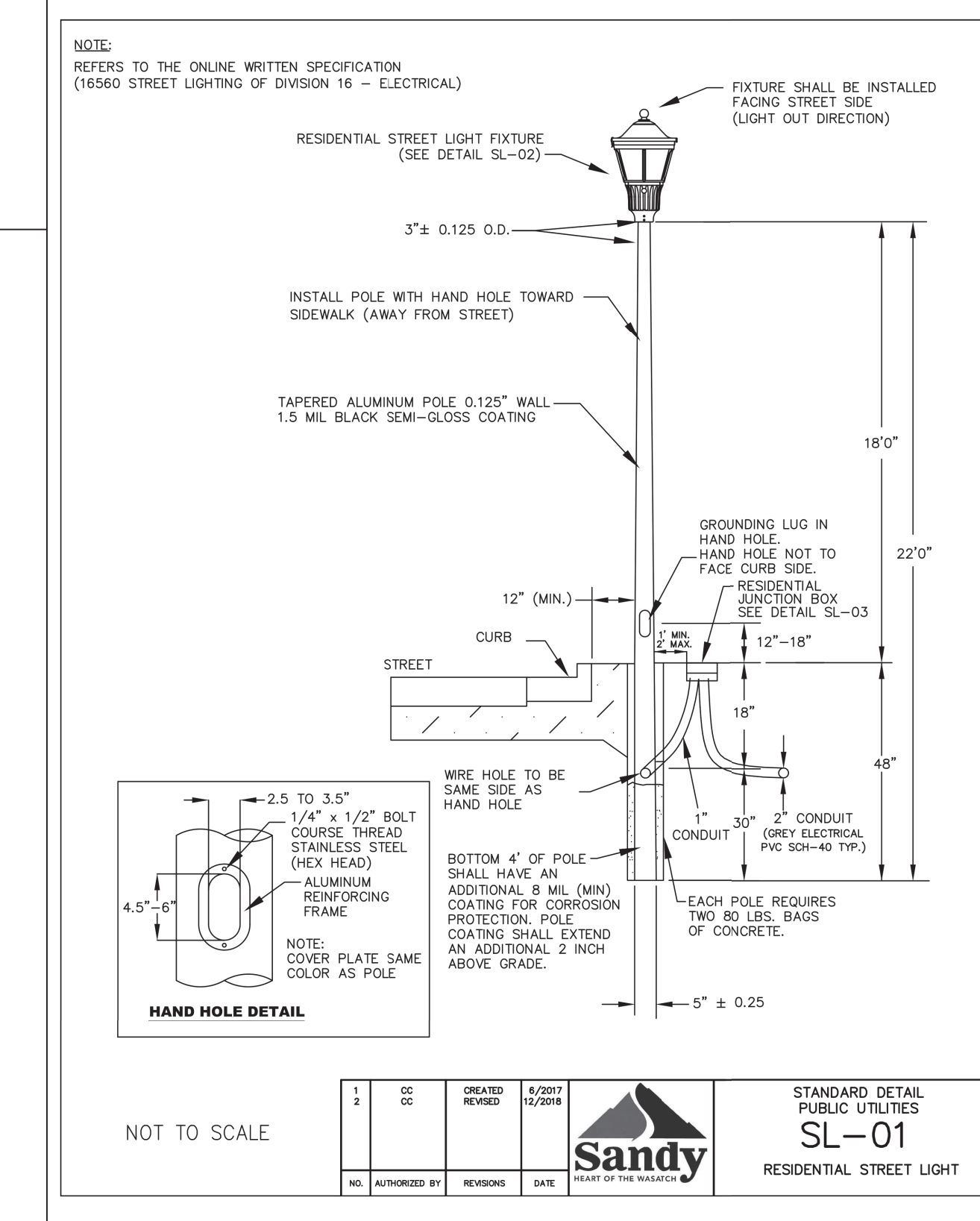
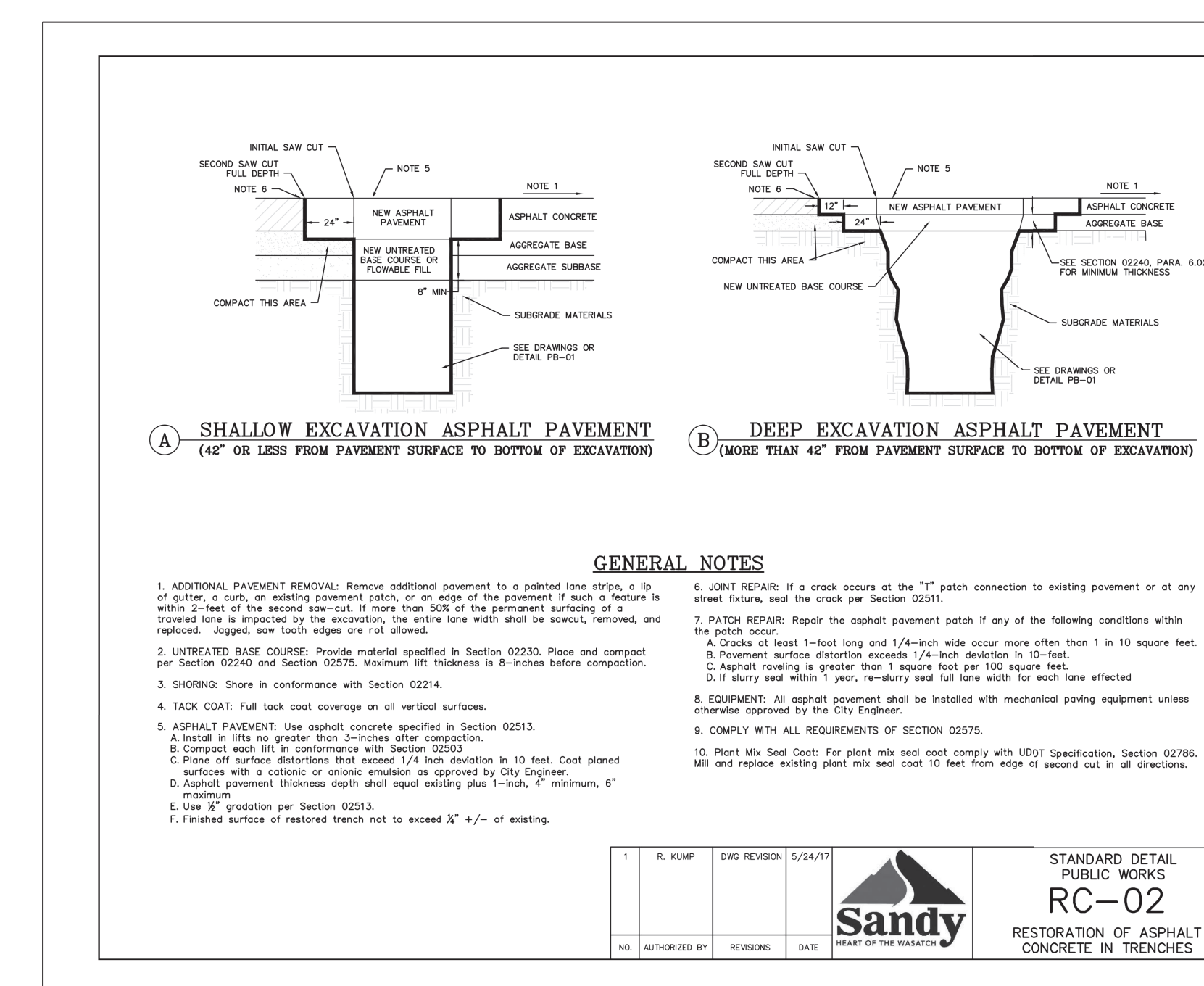
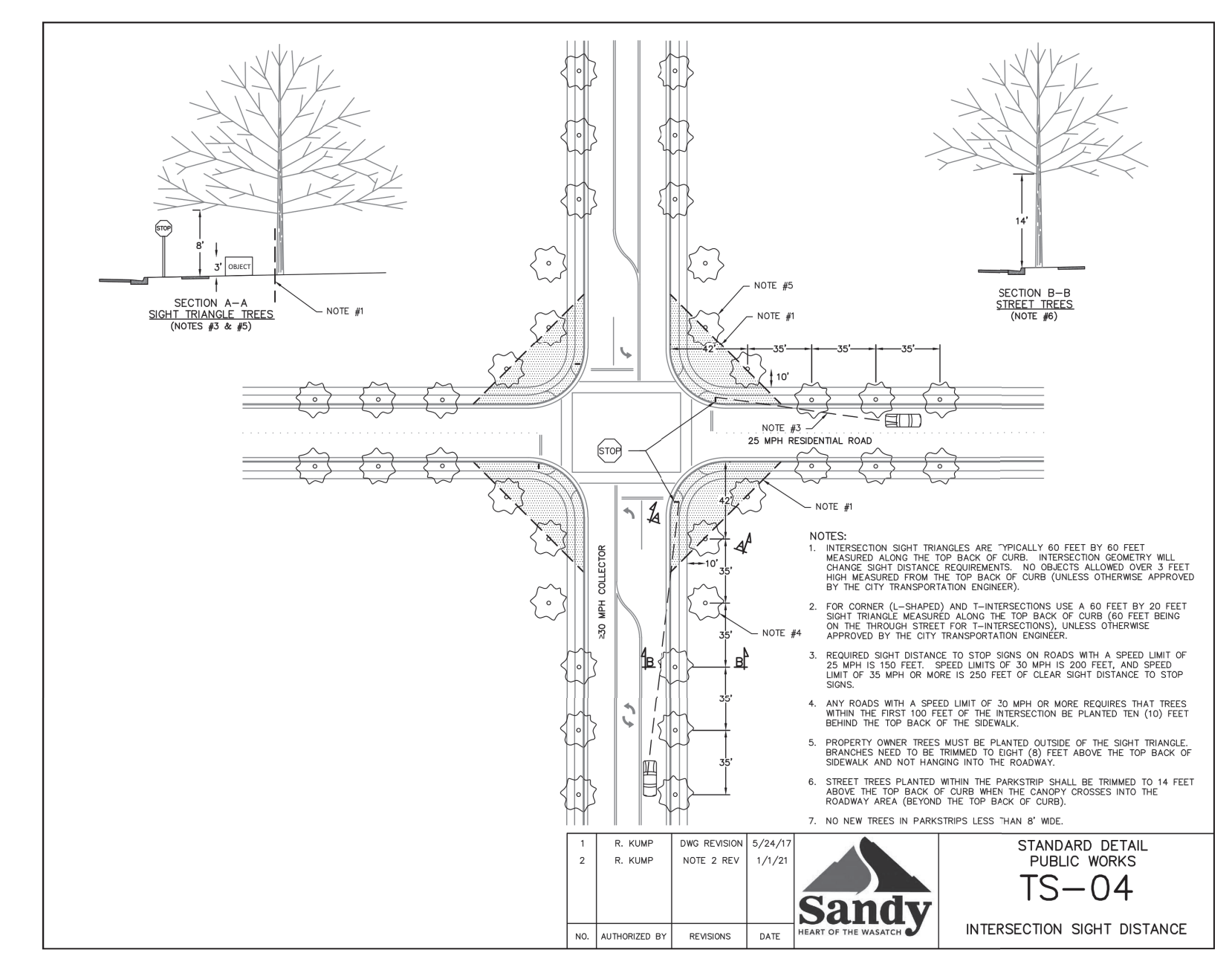
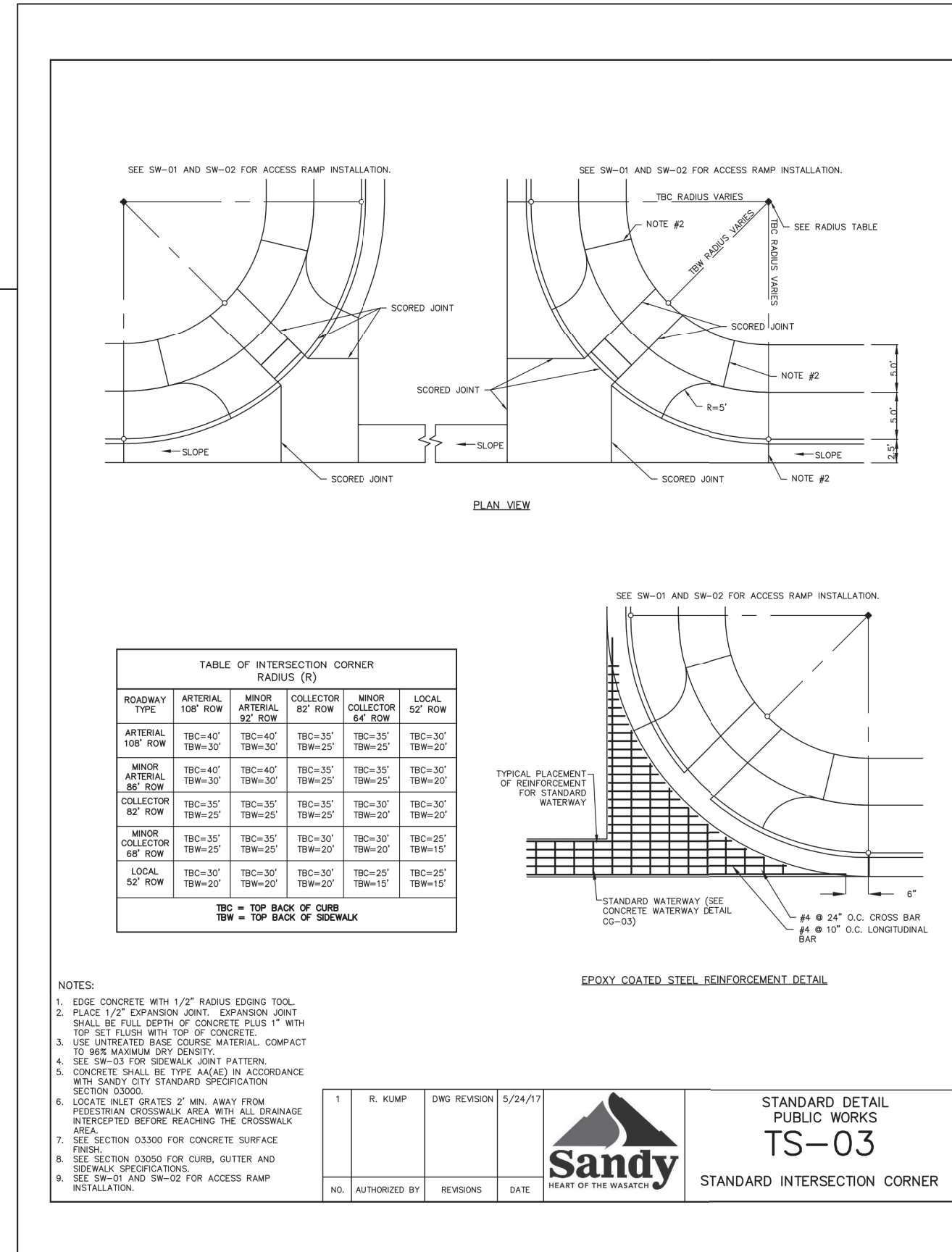
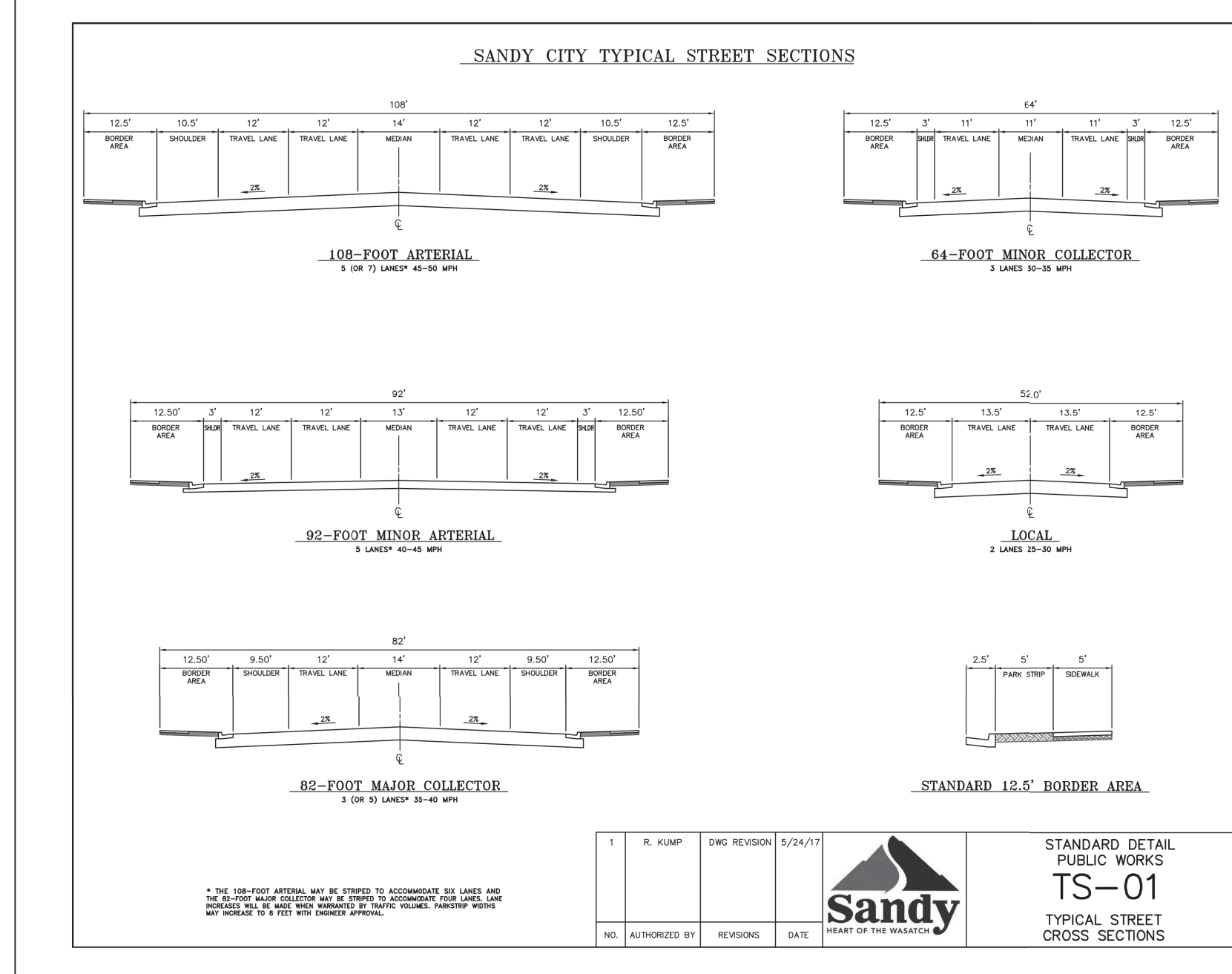


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ENGINEER'S STAMP

LICENSED PROFESSIONAL ENGINEER
No. 5251757
MIKE E. CARLTON
04/25/2023
STATE OF UTAH

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