



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Agenda

Planning Commission

Dave Bromley
Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
LaNiece Davenport
Craig Kitterman (Alternate)
Jennifer George (Alternate)

Thursday, March 5, 2026

6:15 PM

Council Chambers and Online

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

https://us02web.zoom.us/webinar/register/WN_u4_hdbxESE2AXqRGnGj4Sw

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/87334204209>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866

(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/87334204209>

Webinar ID: 873 3420 4209

Passcode: 809766

4:00 PM FIELD TRIP

1. [26-061](#) Field Trip Map

Attachments: [030526.pdf](#)

5:15 PM EXECUTIVE SESSION

6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

Public Meeting Items

2. [CUP0127202](#) Waddoups Accessory Structure (Conditional Use Permit)
[6-007107](#) 20 Rollingwood Ln.
[Community 28, Pepper Dell]

Attachments: [Staff Report](#)
[Exhibit C](#)
3. [SPR0417202](#) Mark Ray Medical/Dental Office - Commercial Site Plan Review
[5-006955](#) 7865 S 700 East
[Community #6, High Point]

Attachments: [Staff Report](#)
[Exhibits A-C](#)
4. [SUB0718202](#) Monroe Street Center Commercial Condo (Condominium Amendment)
[5-007000](#) 111 W 9000 S
[Community 2, Civic Center]

Attachments: [Staff Report](#)
[Exhibit A](#)
[Exhibit B](#)
5. [SPX0220202](#) Silver Sage Estates Subdivision (Special Exceptions)
[6-007116](#) 10175 S Dimple Dell Rd
[Community 3, The Dell]
6. [SUB1208202](#) Silver Sage Estates Subdivision (Preliminary Subdivision Review)
[5-007089](#) 10175 S Dimple Dell Rd.
[Community 29, The Dell]

Attachments: [Staff Report](#)
[Exhibit A](#)
[Exhibit C](#)

Administrative Business

1. Minutes

[26-062](#) Minutes from the February 19, 2026 Meeting

Attachments: [02.19.2026 PC Minutes \(DRAFT\).pdf](#)

2. Sandy City Development Report

[26-063](#)

Development Report

Attachments:[03.01.2026 DEV REPORT.pdf](#)

3. Director's Report

Adjournment

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

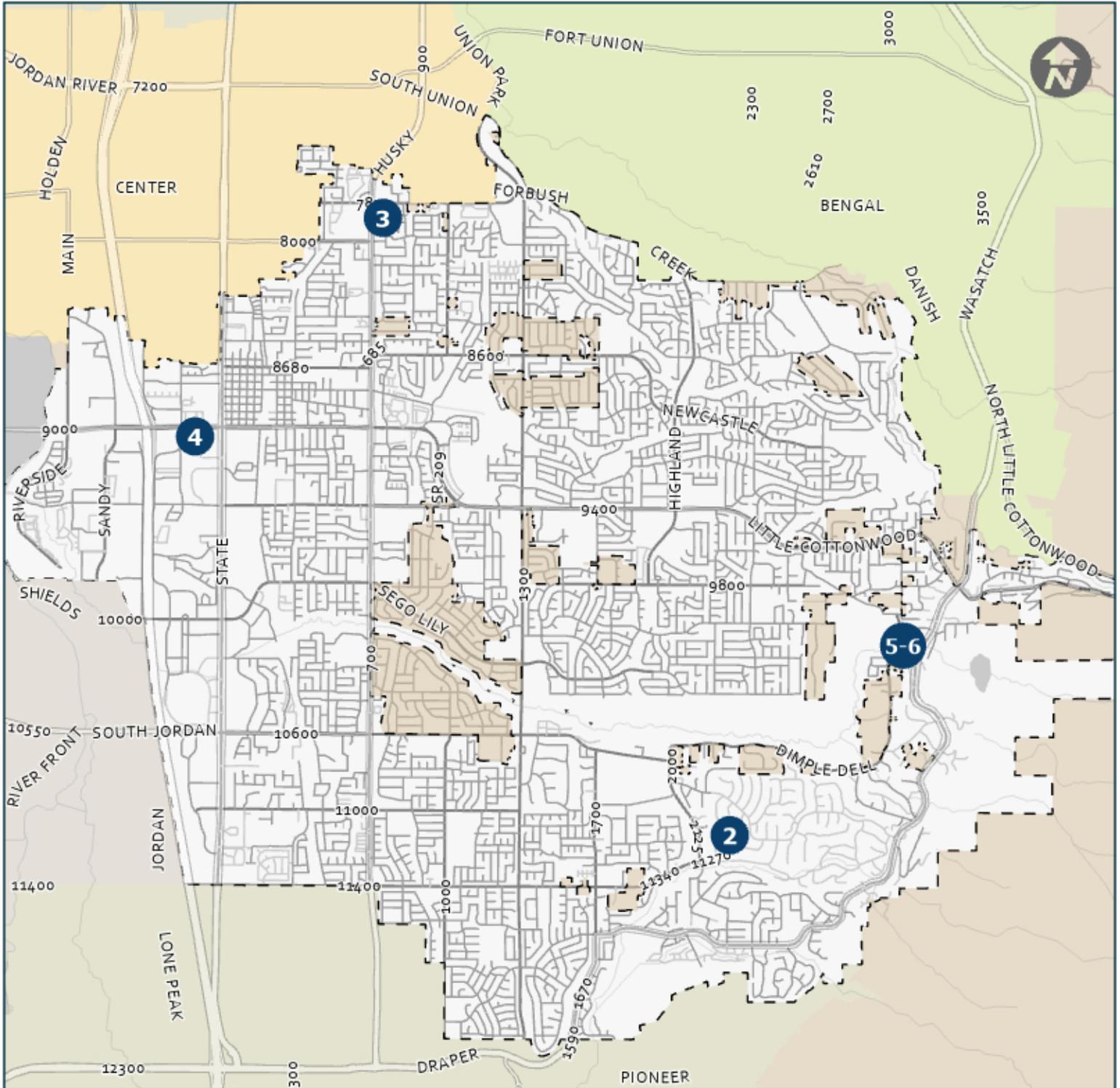
File #: 26-061, **Version:** 1

Date: 3/5/2026

Field Trip Map

Planning Commission Field Trip

March 5, 2026



See Planning Commission agenda packet for specific addresses and details regarding the application.

1 Mile

Sandy City, UT
Community Development Department

Agenda Item Number

-  1 Locations to visit on your own
-  1 Locations to be visited on tour



Staff Report

File #:
CUP01272026-007107,
Version: 1

Date: 3/5/2026

Agenda Item Title:
Waddoups Accessory Structure (Conditional Use Permit)
20 Rollingwood Ln.
[Community 28, Pepper Dell]

Presenter:
Sarah Stringham, Planner

Description/Background:
The applicant, Doug Waddoups, is requesting approval of a conditional use permit for increased size and height for a property located at 20 Rollingwood Ln. The proposed structure is 1,940 square feet and 21 feet in height. The design of the exterior and roof is proposed to match the exterior of the main dwelling. See the attached staff report and exhibits for full details of this request.

Recommended Action and/or Suggested Motion:
Staff recommends that the Planning Commission approve a Conditional Use Permit for additional size and height and as described in the staff report for the property located at 20 Rollingwood Ln. based on the following findings and subject to the following conditions:

Findings:

1. Staff finds that the proposed structure meets the intent of Section 21-11-2 provided the applicant complies with the conditions.
2. The proposed structure is consistent with rear yard area coverage for accessory structures.

Conditions:

1. That the proposed accessory structure is allowed up to 21 feet 2 inches to peak of roof and up to a 1,940 square foot footprint. The structure be sited 75 feet from the north side property line and 12 feet from the east rear property line.
2. That the applicant complies with all Building & Safety, and Fire & Life Codes.
3. That the applicant be responsible for meeting all provisions of the Sandy City Development Code, and all conditions of approval imposed by the Planning Commission.
4. That this Conditional Use Permit be reviewed upon a legitimate complaint.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE
OFFICER

Staff Report Memorandum March 5, 2026

To: Planning Commission
From: Community Development Department
Subject: Waddoups Accessory Structure (Conditional Use Permit)
20 Rollingwood Ln.
[Community 28, Pepper Dell]

CUP01272026-007107
PUD 1.62
1.35 acres

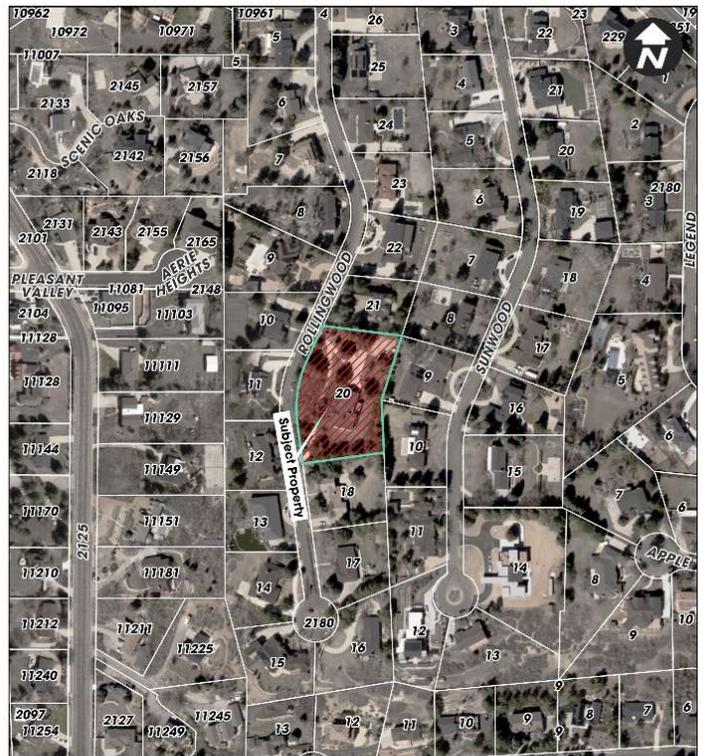
Public Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area on public websites and at public locations.

Request

The applicant, Doug Waddoups, is requesting approval of a conditional use permit for increased size and height for a property located at 20 Rollingwood Ln. The proposed structure is 1,940 square feet and 21 feet in height. The design of the exterior and roof is proposed to match the exterior of the main dwelling. See application materials for details in Exhibit A (applicant letter), Exhibit B (Pepperwood HOA Approval), and Exhibit C (Building Plans).

Background

The subject property is approximately 1.35 acres (58,806 square feet) in the PUD(1.62) zone. This zone is most closely associated with the R-1-20 zone in respect to regulations for accessory structures. The subject property is Lot 19 & 20 of the Pepperwood Phase 1 subdivision. Properties to the north, south, east, and west, are single family residential zoned PUD(1.62).

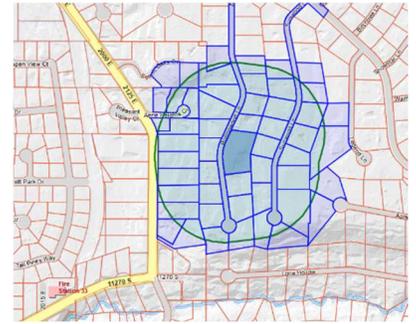


CUP01272026-007107
Conditional Use Permit
20 S ROLLINGWOOD LN
Community Development Department
Sandy City, UT

Public Notice and Outreach

This item has been noticed to property owners within 500 feet of the subject area by mail. A neighborhood meeting was held on February 12th and three neighbors attended. The following comments were made about the proposal:

1. Thinks it will look great. The garage will be nice because it meets the HOA requirements.
2. The structure looks well done and planned. It will enhance things and not diminish them.



Analysis

The applicant is proposing to build an accessory structure in the rear yard that will be used as a garage for cars, RV, boat, etc. storage. The proposed structure is 1,940 square feet and is 21 feet 2 inches tall. The structure is 12 feet from the rear property line and 75 feet from the north side property line. The structure will be accessed from an existing driveway. The applicant is proposing to match the exterior materials with the existing exterior of the main dwelling. The property is located within the Pepperwood HOA and has received approval from the HOA.

Building Size

Section 21-11-2(a)2(a)2 of the Sandy City Development Code states that no single accessory building shall exceed 1,500 square feet, unless the Planning Commission approves a larger size through the conditional use permit process. The maximum allowed size for accessory structures for lots of 40,000 square feet or larger is 2,000 square feet. The subject property is in the PUD 1.62 zone and is 1.35 acres or 58,806 square feet. The proposed structure is 1,940 square feet. The proposed garage would comprise approximately 10% of the rear yard. The applicant has no other accessory structures on the property. The table shows several nearby properties that have accessory structures and the rear yard coverage percentages.



Building Height and Setbacks

The applicant is proposing to build a structure that is 21 feet 2 inches high. Section 21-11-2(a)3(c) of the Sandy Development Code states that a building may be built taller, up to the maximum building height for a permitted dwelling within the zone it is located, upon receipt of a conditional use permit from the Planning Commission. The property is in the PUD(1.62) zone which is most closely associated with the R-1-20 zone. Section 21-11-2(a)3(b) states that a detached structure exceeding 15 feet high shall increase the minimum setback one foot for each one foot of additional height up to minimum setback of the primary dwelling, unless otherwise approved by the Planning Commission. The applicant is proposing to place the structure 12 feet from the rear property line and 75 feet from the north side property line. These setbacks exceed what would be required for accessory structure setbacks.



Address	Accessory Structure (sq. ft.)	Rear Yard Area (sq. ft.)	Rear Yard Percentage
17 S. Rollingwood Ln	640	13,480	5%
9 S. Rollingwood Ln	750	21,000	4%
8 S. Sunwood Ln	1,500	15,720	10%
23 S. Rollingwood Ln	150	14,660	1%
Project Address	Accessory Structure	Rear Yard Area	Rear Yard Percentage
20 S. Rollingwood Ln	1,940	18,955	10%

Conditional Use Standards

The City may impose conditions on a conditional use based on certain standards of review found in section 21-33-04 of Sandy City Land Development Code. The following items from that list are applicable to this particular request and merit discussion or additional consideration by the Planning Commission (staff analysis is found below in *italics*):

Sec. 21-33-4. Conditions.

In order to achieve compliance with the standards set forth herein, the City may impose conditions that address:

- (1) Size, configuration and location of the site and the proposed site plan layout.

The proposed accessory structure is 21 feet 2 inches tall to peak of roof and will have an 1,940 square foot footprint. The structure will be sited 75 feet from the north side property line and 12 feet from the rear property line.

- (2) Proposed site ingress and egress to existing and proposed roads and streets.

The garage will be accessed by an existing driveway.

- (6) Mass, size, number, location, design, exterior features, materials, and colors of buildings, structures and other facilities.

The proposed accessory structures, roof materials and building materials, will be consistent with the existing home and zoning designation.

- (14) Measures to assure compliance with all conditions and requirements of approval, including, but not limited to, bonds, letters of credit, improvement agreements, agreements to conditions, road maintenance funds, and restrictive covenants.

To be reviewed upon legitimate complaint.

- (15) Such other conditions determined reasonable and necessary by the City to allow the operation of the proposed conditional use, at the proposed location in compliance with the requirements of this title.

That the applicant complies with all Building & Safety, and Fire & Life Codes.

Staff Concerns

Staff has no concerns for the requested project.

Recommendation

Staff recommends that the Planning Commission approve a Conditional Use Permit for additional size and height and as described in the staff report for the property located at 20 Rollingwood Ln. based on the following findings and subject to the following conditions:

Findings:

- 1. Staff finds that the proposed structure meets the intent of Section 21-11-2 provided the applicant complies with the conditions.
- 2. The proposed structure is consistent with rear yard area coverage for accessory structures.

Conditions:

1. That the proposed accessory structure is allowed up to 21 feet 2 inches to peak of roof and up to a 1,940 square foot footprint. The structure be sited 75 feet from the north side property line and 12 feet from the east rear property line.
2. That the applicant complies with all Building & Safety, and Fire & Life Codes.
3. That the applicant be responsible for meeting all provisions of the Sandy City Development Code, and all conditions of approval imposed by the Planning Commission.
4. That this Conditional Use Permit be reviewed upon a legitimate complaint.

Planner:



Sarah Stringham
Planner

File Name: S:\USERS\PLN\STAFFRPT\2026\CUP01272026-007107 - DOUG WADDOUPS ACC. STRUCTURE\STAFF REPORT WADDOUPS CUP.DOCX

Exhibit "A"

Doug Waddoups
20 Rollingwood Ln
Sandy, Utah

RE: WADDOUPS DETACHED GRARAGE

Dear Planning Commission,

As long-time residents of Sandy, we are writing to propose the addition of a detached garage to our property. The intended use for this structure is to store trailers, house yard tools, and provide a small workshop area.

The proposed garage is 1,940 square feet with a height of 21'-2". It will be located north of the existing residence in a current garden area, utilizing the existing driveway for access. Due to the site's topography, the rear of the garage will be built approximately 3' into the grade. Consequently, the elevation at the property line will remain below the 20' requirement. Additionally, we have planned a rear setback of 12', exceeding the 10' minimum requirement.

The structure will feature a sloped roof with stone and horizontal wood siding designed to match our existing home. We have already met with the Pepperwood HOA and received their formal approval for the project.

We look forward to working with the planning staff to move this project forward.

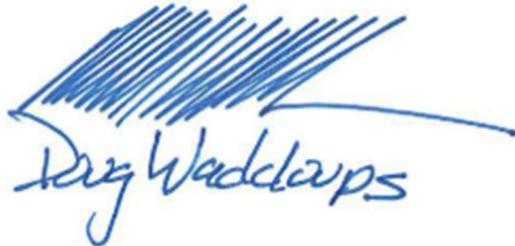
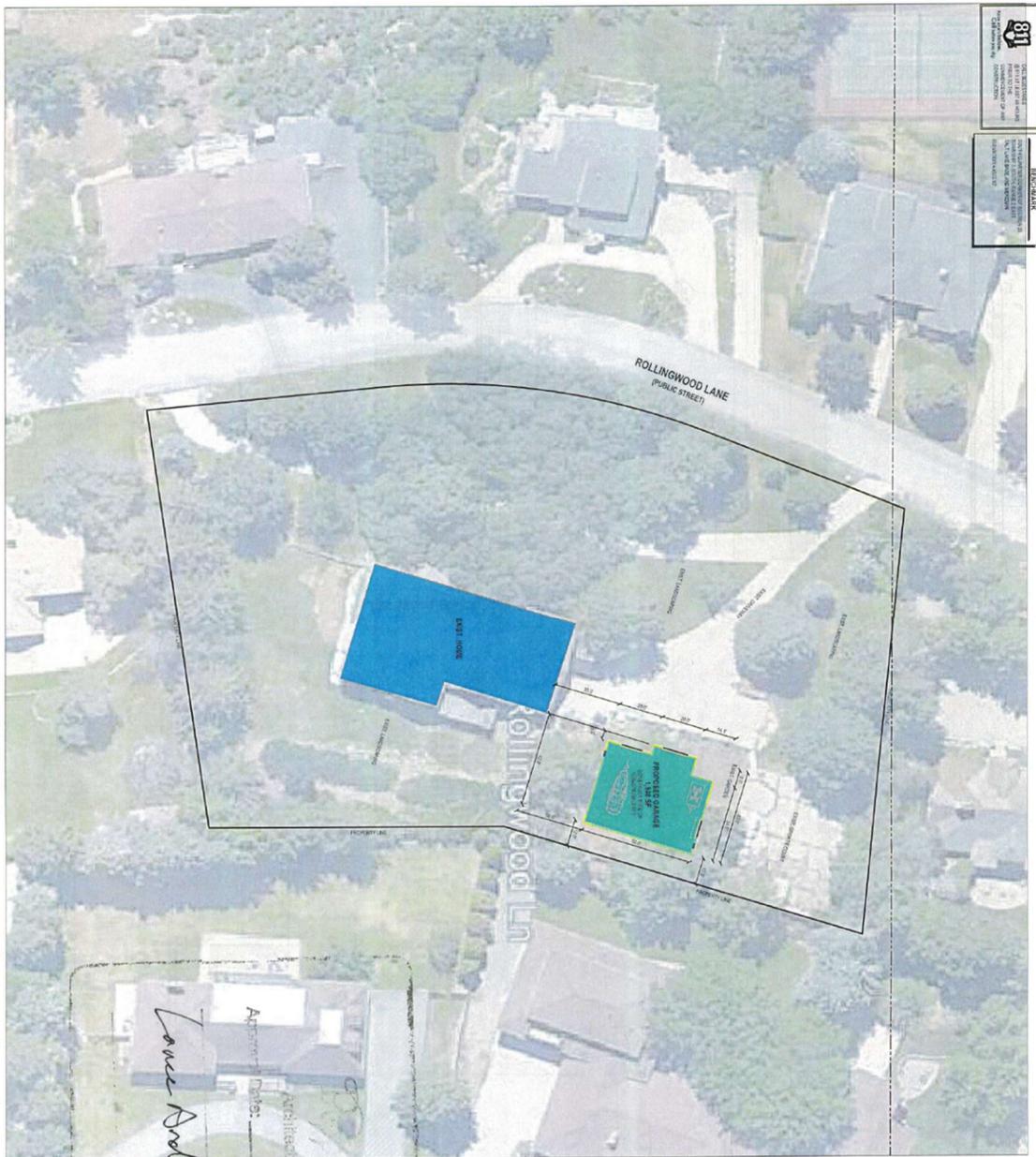
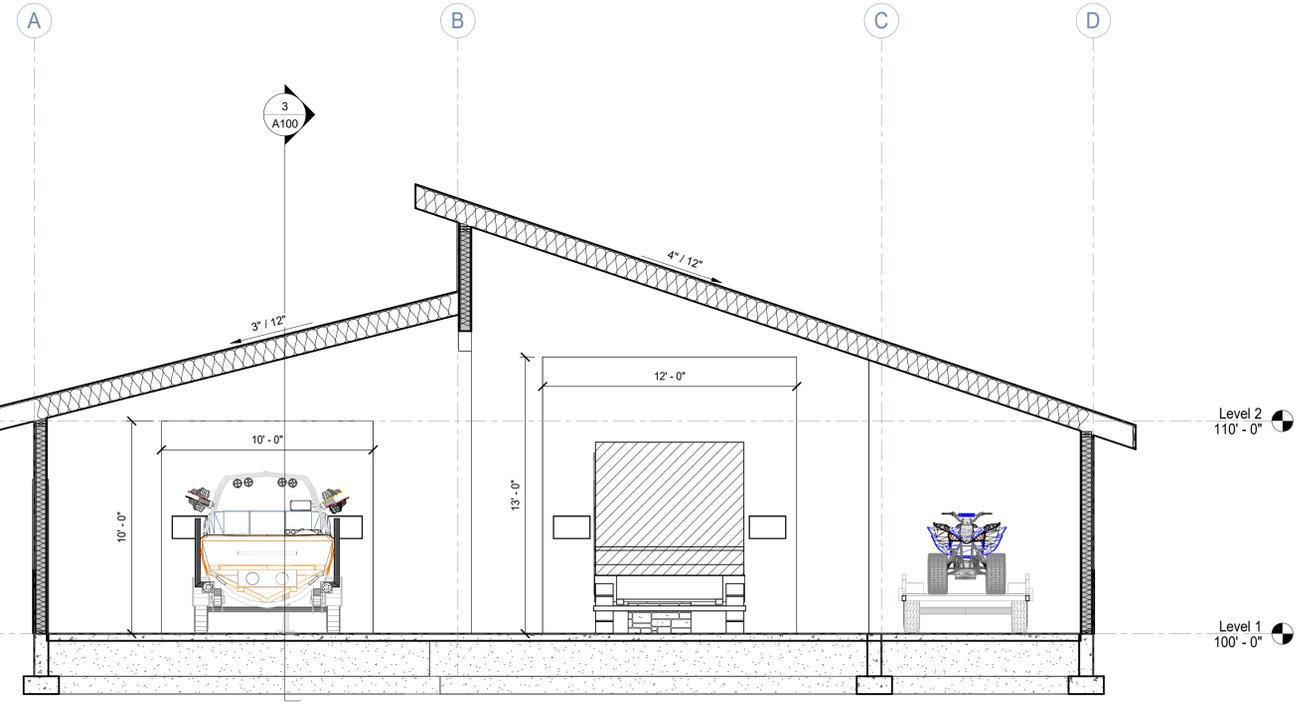
A handwritten signature in blue ink that reads "Doug Waddoups". The signature is written in a cursive style and is positioned below the main body of text.

Exhibit "B"

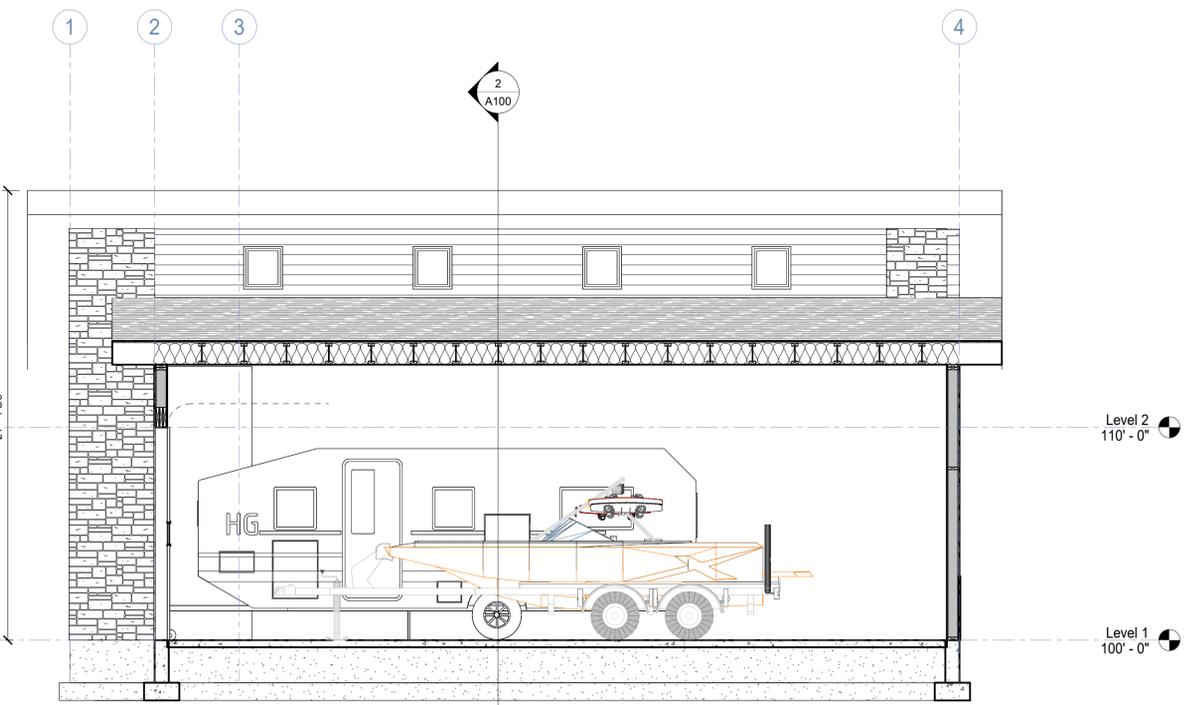


Architectural Committee
 Approved Date: 1/8/14
Carrie Anderson

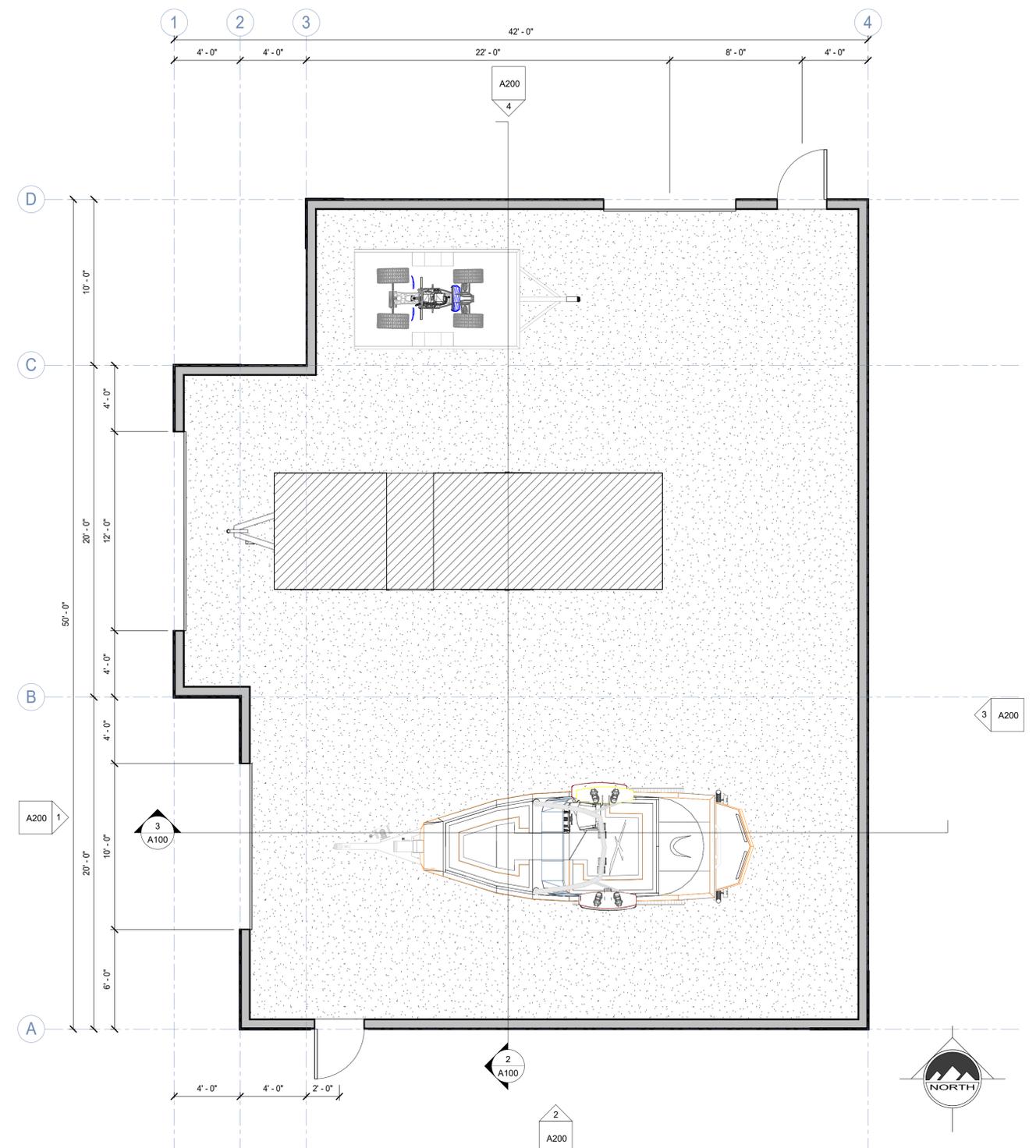
WADDUPS GARAGE 20 ROLLINGWOOD LANE SANDY CITY, UTAH		ENSIGN THE STRATEGIC ARCHITECTURE FIRM SALT LAKE CITY 525 WEST 200 SOUTH SALT LAKE CITY, UT 84119 Phone: 801.233.8519
CONCEPT PLAN SITE PLAN C100	WWW.ENSIGNARCH.COM 2025.0000.019 PROJECT: WADDUPS GARAGE	LAYTON TOOELE GEORGE GEORGE CITY RICHFIELD Phone: 801.547.1100 Phone: 435.333.1300 Phone: 435.333.1413 Phone: 435.333.2903



2 BUILDING CROSS SECTION
SCALE: 1/4" = 1'-0"



3 BUILDING CROSS SECTION
SCALE: 1/4" = 1'-0"



1 LEVEL 01 - FLOOR PLAN - 1,940 SF
SCALE: 1/4" = 1'-0"

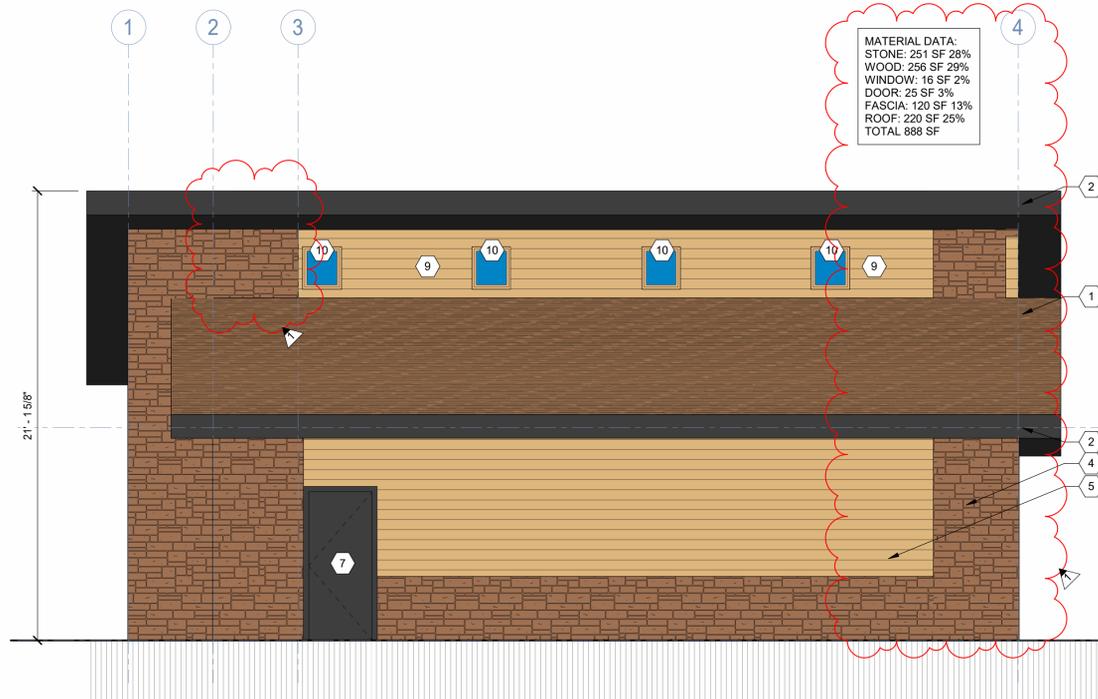
CONCEPT PLANS

NO.	DATE	REVISION
1	08-02-23	Revision 1

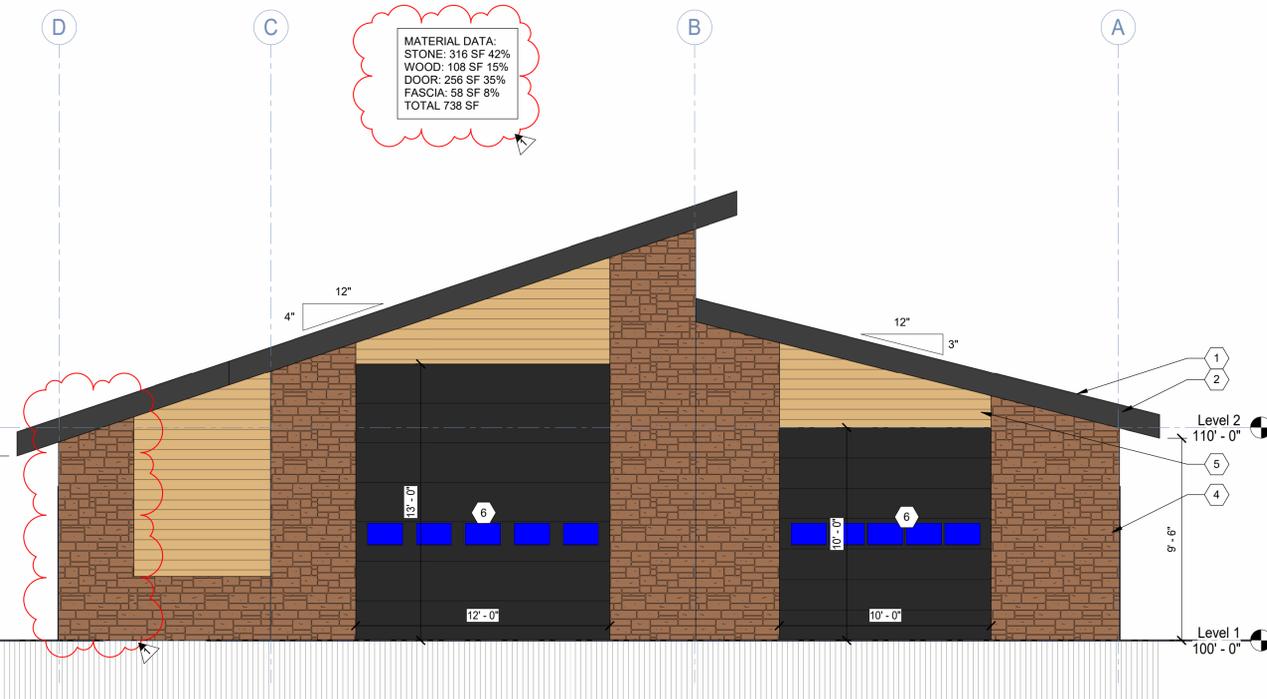
EXTERIOR ELEVATIONS

PROJECT NUMBER	DATE
12531	08-02-23
PROJECT MANAGER	DESIGNED BY
CD	CD

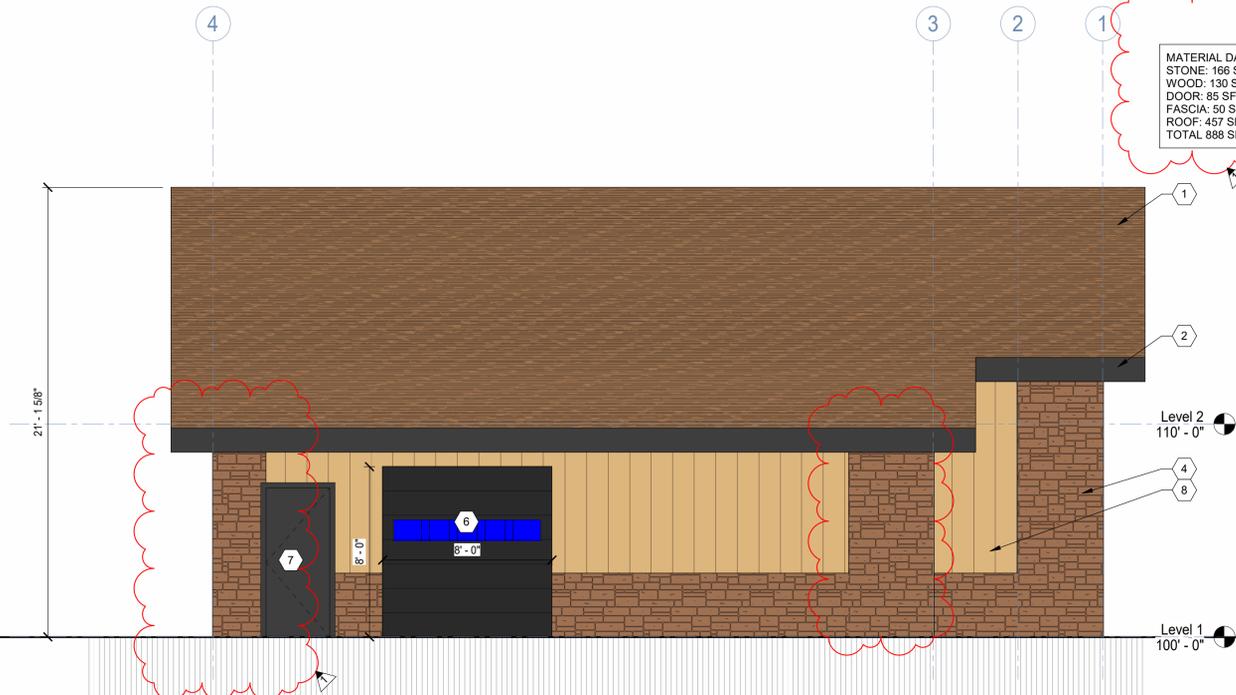
A200



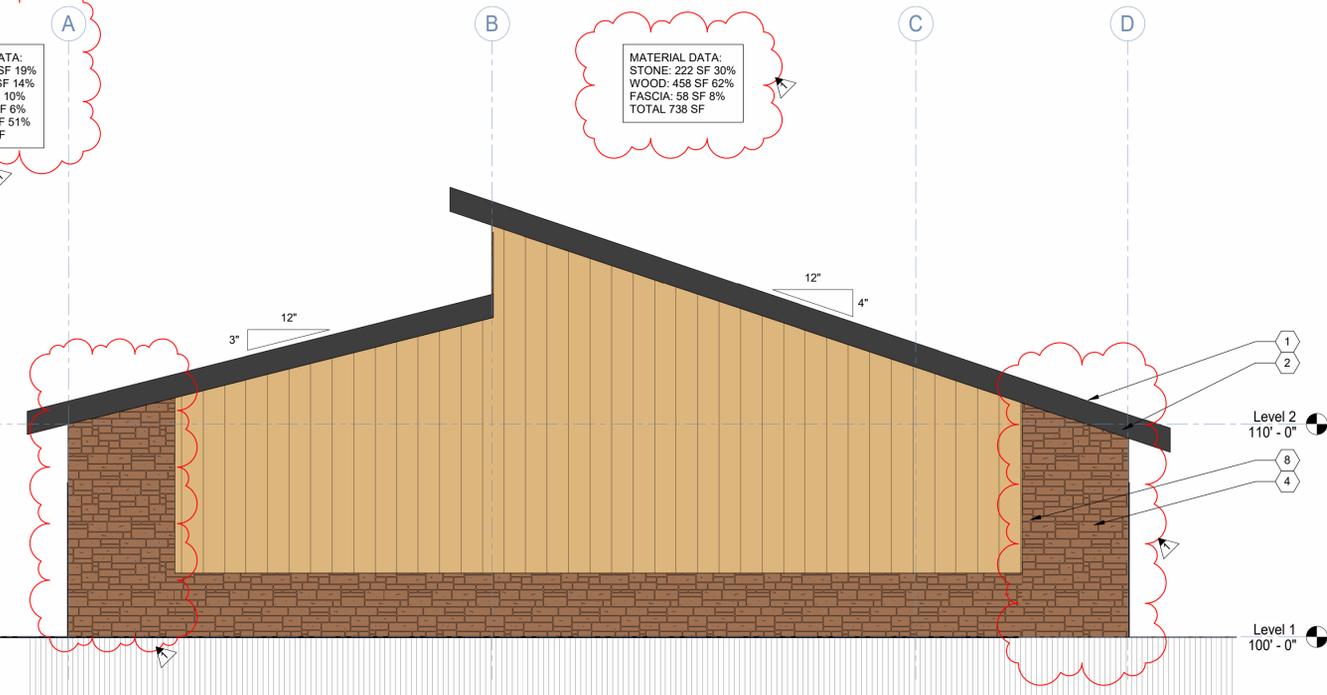
2 South
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 North
SCALE: 1/4" = 1'-0"

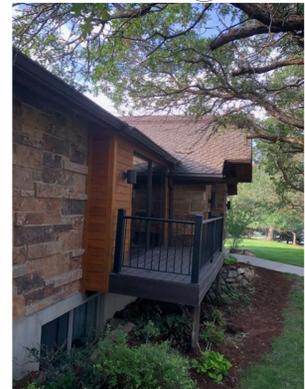


3 East
SCALE: 1/4" = 1'-0"

- KEYED NOTES:**
- 1 ROOF SHINGLES - MATCH EXISTING HOME
 - 2 FASCIA AND SOFFIT - MATCH EXISTING HOME
 - 3 RAIN GUTTER - MATCH EXISTING HOME
 - 4 STONE - MATCH EXISTING HOME
 - 5 PHENOLIC WOOD - MATCH CEDAR ON EXISTING HOME
 - 6 OVERHEAD DOOR - PAINT TO MATCH EXISTING
PROVIDE WINDOWS AT SAME LEVEL BETWEEN DOORS
 - 7 ACCESS DOOR - PAINT TO MATCH OVERHEAD DOOR
 - 8 HARDI-BOARD PAINT TO MATCH PHENOLIC WOOD
 - 9 CLEAR STORY WALL - PHENOLIC WOOD
 - 10 CLEAR STORY WINDOWS - 22" x 36"



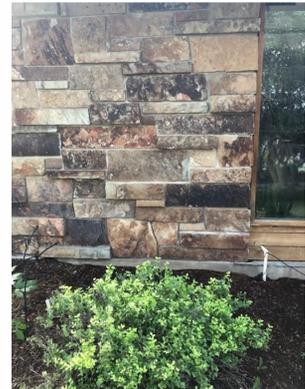
8 3D View 1
SCALE:



7 ROOF SHINGLES
SCALE: 1/4" = 1'-0"



6 CEDAR SIDING
SCALE: 1/4" = 1'-0"



5 STONE VENEER
SCALE: 1/4" = 1'-0"

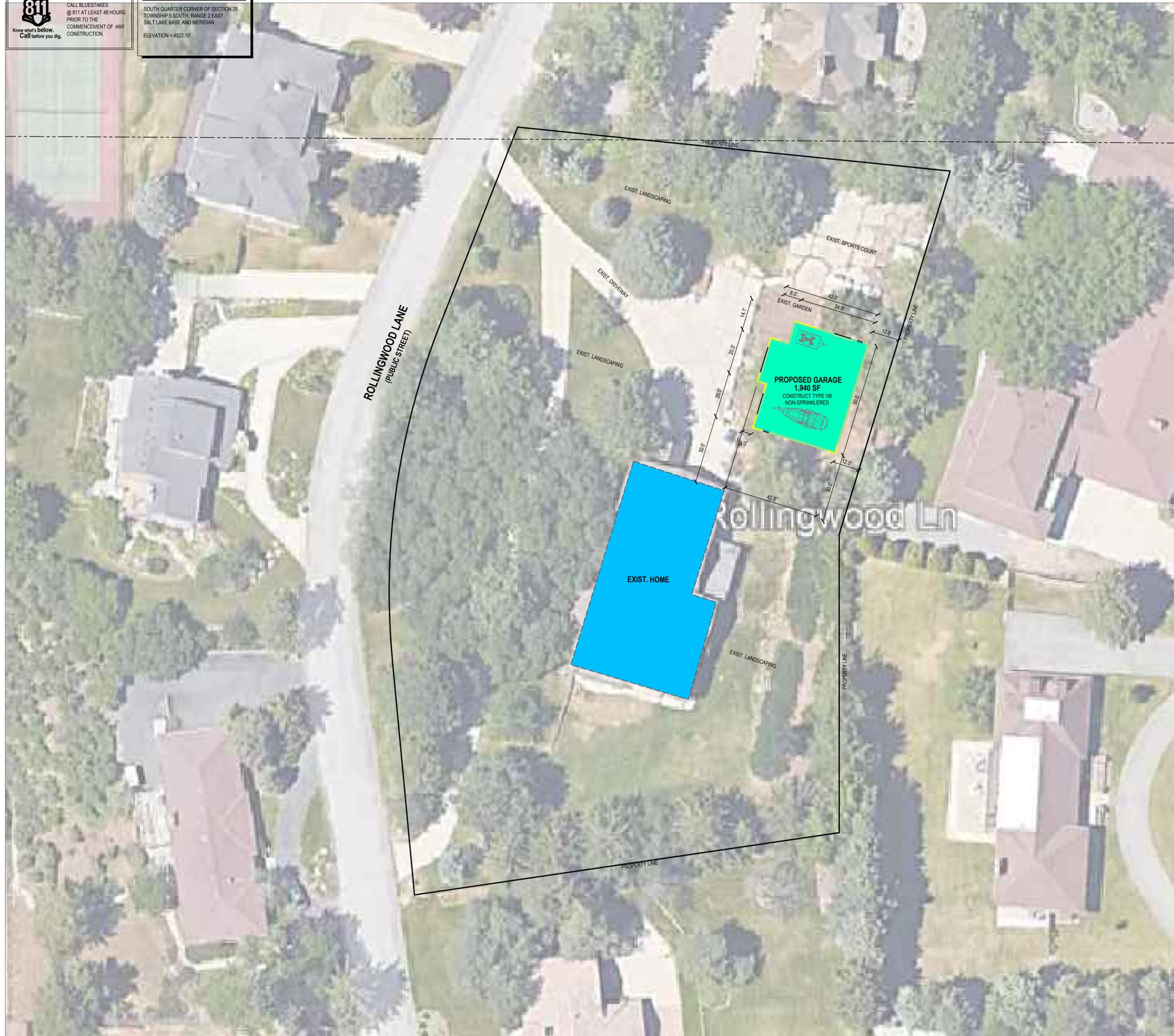


Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

SOUTH QUARTER CORNER OF SECTION 29
TOWNSHIP 5 SOUTH, RANGE 2 EAST
SALT LAKE BASE AND MERIDIAN
ELEVATION = 4522.10'



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSGNENG.COM

FOR:
DOUG WADDOUPS

CONTACT:
PHONE: 801-879-9050

WADDOUPS GARAGE

20 ROLLINGWOOD LANE
SANDY CITY, UTAH

CONCEPT PLAN

SITE PLAN

PROJECT NUMBER: 12531
PRINT DATE:
DRAWN BY: C. Duncan
CHECKED BY: Q. Elder
PROJECT MANAGER: C. Duncan

C100

811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

WEST QUARTER CORNER OF SECTION 22,
TOWNSHIP 3 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

ELEV = 4791.62

ENSIGN
THE STANDARD IN ENGINEERING

SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

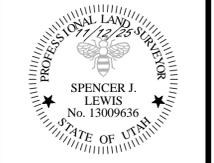
WWW.ENSIGNENG.COM

FOR:
DOUG WADDUPS
20 ROLLINGWOOD LN
SANDY, UTAH

CONTACT:
DOUG WADDUPS
PHONE: 801.879.9050

**WADDUP GARAGE
BOUNDARY AND TOPOGRAPHIC SURVEY**

20 ROLLINGWOOD LN
SANDY, UTAH



BOUNDARY AND TOPOGRAPHIC SURVEY

PROJECT NUMBER: 12531
PRINT DATE: 2025-11-12
PROJECT MANAGER: S.J.L.
DESIGNED BY: PG

SURVEYOR'S NARRATIVE

I, Spencer J. Lewis, do hereby state that I am a Professional Land Surveyor and that I hold License No. 13009636 as prescribed by the laws of the State of Utah and represent that I have made a survey of the following described property. The purpose of this survey is to provide a Boundary and Topographic Survey to our client. The Basis of Bearing is the line between the West Quarter Corner and The Center Quarter Corner of Section 22, Township 3 South, Range 1 East, Salt Lake Base and Meridian, said line measuring South 89°40'41" West 2648.76' feet.

PROPERTY DESCRIPTIONS

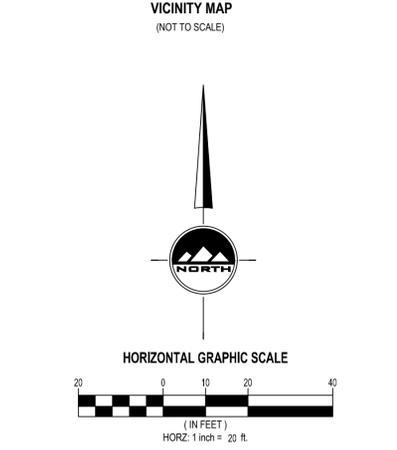
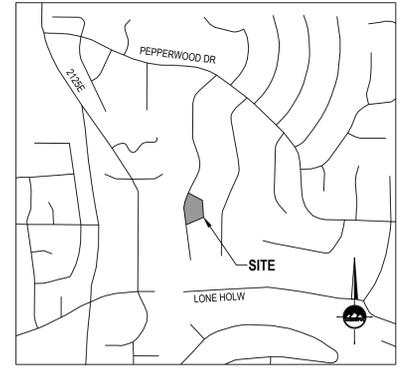
LOTS 19 AND 20 PEPPERWOOD SUBDIVISION PHASE 1, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE SALT LAKE COUNTY RECORDERS OFFICE

Spencer J. Lewis
License No. 13009636

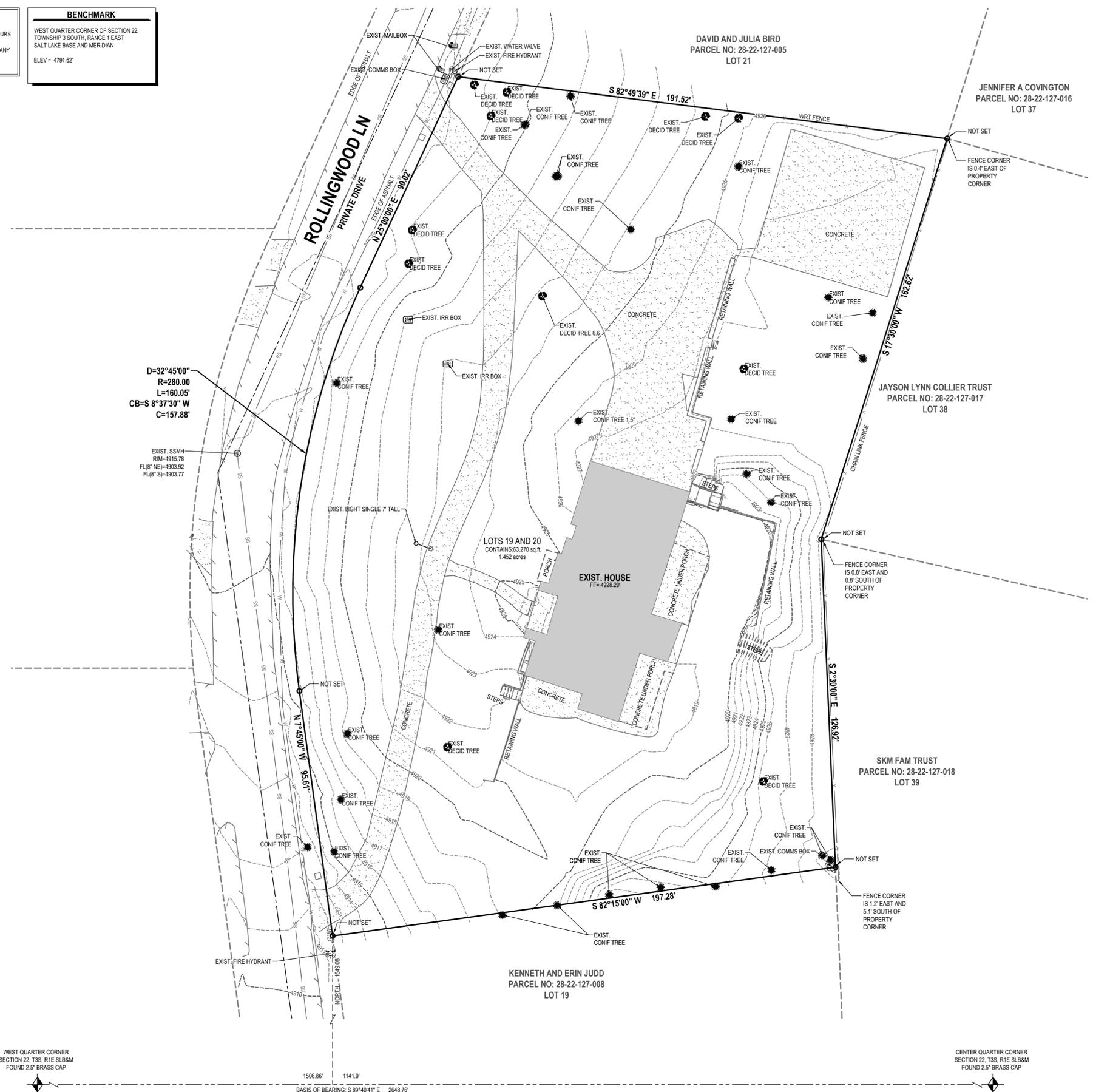
11/12/25
DATE

LEGEND

- SECTION CORNER-BRASS CAP
- MONUMENT
- SET RIVET
- SET ENSIGN REBAR AND CAP
- CONCRETE
- BUILDING PRIMARY
- ADJACENT RIGHT OF WAY
- RIGHT OF WAY
- CENTERLINE
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- DEED LINE
- TANGENT LINE
- FENCE
- MINOR CONTOUR 1' INCREMENT
- MAJOR CONTOUR 5' INCREMENT



LOCATED IN THE NORTHWEST
OF SECTION 22
TOWNSHIP 3 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANDY, SALT LAKE COUNTY, UTAH





Staff Report

File #:
SPR04172025-006955,
Version: 1

Date: 3/5/2026

Agenda Item Title:

Mark Ray Medical/Dental Office - Commercial Site Plan Review
7865 S 700 East
[Community #6, High Point]

Presenter:

Clinton Spencer, Development Services Manager

Description/Background:

The applicant, Robert Money, Architect, representing Mark Ray, owner of subject property, is requesting review of a preliminary commercial site plan review, for a property located at 7865 S. 700 E. in the BC zone. The site plan review will consider exterior building design, parking and landscaping.

Please see the attached staff report and attachments for full details of the request.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission determine preliminary site plan review is substantially complete for the proposed Mark Ray Medical Office building at 7865 S. 700 E. in the BC zone based on the following findings and subject to the following conditions:

Findings:

1. That the proposed project, with the required conditions listed below, will meet all the applicable requirements of the Sandy City Development Code and the Sandy City Architectural Design Standards as to site and building architectural design, materials and colors.
2. That the proposed structure will help buffer the residential neighborhood from 700 East.
3. The proposed project will provide a financial benefit in terms of property tax to the City where it currently is vacant.

Conditions:

1. That the developer proceeds through the final site plan review process with staff. The Final Site Plan shall follow all Development Code requirements, staff redlines, and those modifications as required by the Planning Commission.
2. That the development comply with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.

-
3. The applicant complete the required lot consolidation through a simple boundary adjustment process before final approval for the site plan.
 4. That street improvements be carried out according to site plan approved by the Sandy City Engineer and specifically:
 - a. That Ponderosa Drive be further improved and dedicated to include an 11-foot-wide streetscape behind the existing curb and gutter (additional one (1) foot dedication) to allow for the installation of the proposed five (5) foot wide sidewalk and six (6) foot wide parkstrip.
 5. The existing driveway access on Ponderosa Drive is removed, and the applicant work with UDOT on the removal of the driveway access on 700 East. The timing of the driveway on 700 East shall not hold up final approval, but evidence of cooperation with UDOT for future removal is required.
 6. The proposed site plan and landscaping plans be brought into conformance, specifically that the retention/detention area, and all landscaping areas be shown the same in both plans, and that required street trees and other plantings be provided to meet minimum standards.
 7. Any lighting on the site comply with 21-13-11, specifically that no light spill or intrusions are allowed into the adjacent residential lots.
 8. All utility boxes (i.e. transformers, switch gear, telephone, cable tv, etc.) shall be shown on the site plan and shall be placed underground or moved behind the front setback of the buildings and screened from view. Each box shall be shown in its exact location and shall be noted with its exact height, width and length. Building utility meters shall be mounted to the side or rear elevation or screened with a wing wall if fronting a public street.
 9. The final architectural elevations submitted at final review must address the roof drainage and not utilize exterior mounted down spouts.
 10. That the developer be responsible for the placement of a temporary 6-foot-high chain link fence around the perimeter of the project during the construction phase of the project for security and safety. Said fence shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the Community Development Department during Site Plan Review.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE
OFFICER

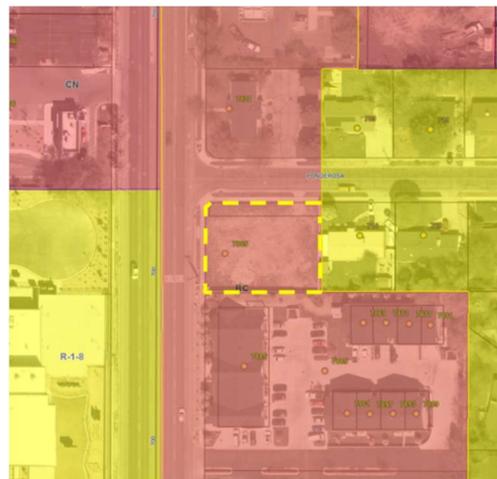
Staff Report Memorandum March 5, 2026

<p>To: Planning Commission From: Community Development Department Subject: Mark Ray Medical/Dental Office (Prelim. Site Plan Review)</p> <p>7865 S. 700 E. [Community #6, High Point]</p>	<p>SPR04172025-006955</p> <p>BC Zoning District 0.30 Acre, 2,755 Sq. Ft. Building</p>
--	---

Public Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, at public locations, and a sign posted on site.

Request

The applicant, Robert Money, Architect, representing Mark Ray, owner of subject property, is requesting review of a preliminary commercial site plan review, for a property located at 7865 S. 700 E. in the BC zone. The site plan review will consider exterior building design, parking and landscaping.



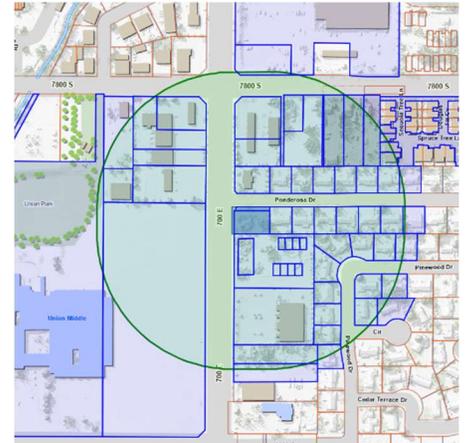
Background

This property previously had a single-family home until early 2022 when the home was demolished. At that same time the eight (8) foot masonry fence was installed along the south and east property lines. The property has been zoned BC for several years (since 1996) and is bordered on the east by a single-family residential neighborhood zoned R-1-8, to the south by another similar office use zoned BC, 700 East Street to the west and a massage business zoned BC to the north.

Property Case History	
Case Number	Case Summary
R#96-15	Property rezoned from R-1-8 to BC zone.
Unknown	Single family home demolished early 2022; several Code Enforcement cases were on record for this property up to demolition.

Public Notice and Outreach

Fifty-seven (57) notices were mailed to property owners located within 500 feet of the subject property for the March 5, 2026, Planning Commission meeting. The notices and the agenda for the Planning Commission meeting were posted in required public places and on the various public notice websites. Also, a public meeting notice sign was posted on the property on February 23, 2026.



Neighborhood Meeting

A neighborhood meeting was held for the commercial site plan on January 20, 2026. No one from the public attended, nor has staff received any written or other verbal communications regarding the proposal.

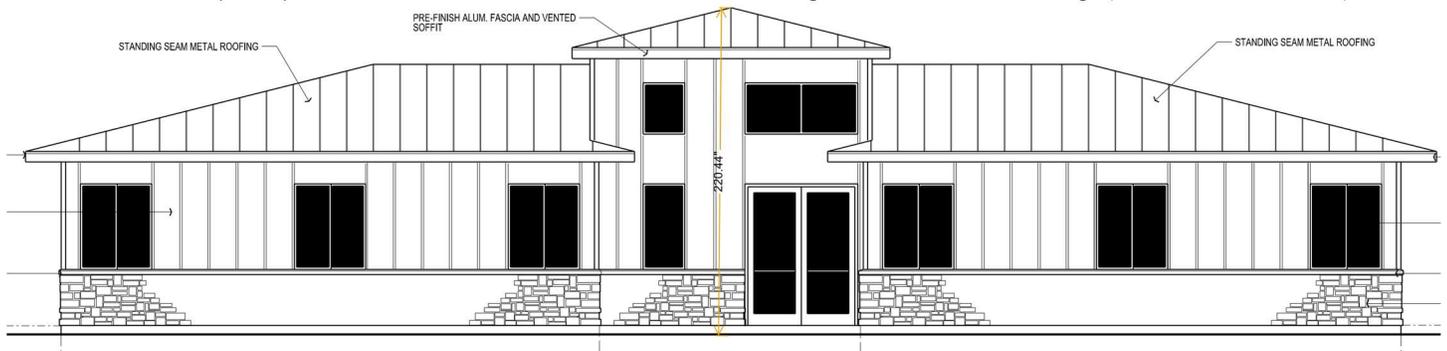
Analysis

The proposed site has been vacant for a few years and zoned as BC for several more. The use of a small office building on this site addresses the lot vacancy and provides an appropriately scaled buffer between 700 East Street and the adjacent residential neighborhood while also complying with the BC zoning of thirty (30) years. The site plan has several elements to be considered by the Commission, as follows:

Site Plan Analysis

Building/ Use

The proposal is for a 2,577 square-foot medical/dental office building on subject property. ‘Medical and health care services’ is a permitted use in the BC zone. As proposed, the finish materials and elevations comply with *Sandy City Architectural Design Standards*, as well as standards in the BC zone, specifically residential appearance and character. The building is single story with a pitched roof and basement level for storage. It is approximately eighteen (18) feet tall and is finished with stone, cement board cladding (board and batten appearance), and a standing seam metal roof. Several windows occur on all sides of the building as well. The main access into the building is located on the east side facing the proposed parking lot. Larger, centrally located windows are provided facing the street frontage. Color swatches for the materials have been provided which include ‘Lazy Gray’ for the board and batten area and ‘Black Magic’ for the metal roofing. (See Attachment “A”)



Access – Pedestrian & Vehicle

There are two (2) existing driveway accesses into the property; one along each frontage of 700 East and Ponderosa Drive. Each of the existing driveways are proposed to be removed and replaced with landscaping in the park strip. The Ponderosa Drive access will be moved slightly to the west to provide access to the site, and pedestrian access is provided from a connecting sidewalk to the public sidewalk along Ponderosa Drive. The driveway removal along 700 East will require coordination with UDOT. The existing four (4) foot wide sidewalk along Ponderosa Drive will be widened to five (5) feet wide.

Parcel Analysis

There are currently two (2) parcels for the proposed site plan which will be combined into one parcel through a simple boundary adjustment application. Additionally, a one (1) foot dedication for public right of way along Ponderosa Drive will be required to allow for the sidewalk widening.

Staff Concerns

The architectural elevations do not reflect any roof drain system. The architectural design standards require that all roof drainage be internal to the building and not allowed to have exterior downspouts. The plans submitted at final will need to reflect how they intend to address roof drainage.

Recommendation

Staff recommends that the Planning Commission determine preliminary site plan review is substantially complete for the proposed Mark Ray Medical Office building at 7865 S. 700 E. in the BC zone based on the following findings and subject to the following conditions:

Findings:

1. That the proposed project, with the required conditions listed below, will meet all the applicable requirements of the Sandy City Development Code and the Sandy City Architectural Design Standards as to site and building architectural design, materials and colors.
2. That the proposed structure will help buffer the residential neighborhood from 700 East.
3. The proposed project will provide a financial benefit in terms of property tax to the City where it currently is vacant.

Conditions:

1. That the developer proceeds through the final site plan review process with staff. The Final Site Plan shall follow all Development Code requirements, staff redlines, and those modifications as required by the Planning Commission.
2. That the development comply with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.
3. The applicant complete the required lot consolidation through a simple boundary adjustment process before final approval for the site plan.
4. That street improvements be carried out according to site plan approved by the Sandy City Engineer and specifically:
 - a. That Ponderosa Drive be further improved and dedicated to include an 11-foot-wide streetscape behind the existing curb and gutter (additional one (1) foot dedication) to allow for the installation of the proposed five (5) foot wide sidewalk and six (6) foot wide parkstrip.
5. The existing driveway access on Ponderosa Drive is removed, and the applicant work with UDOT on the removal of the driveway access on 700 East. The timing of the driveway on 700 East shall not hold up final approval, but evidence of cooperation with UDOT for future removal is required.
6. The proposed site plan and landscaping plans be brought into conformance, specifically that the retention/detention area, and all landscaping areas be shown the same in both plans, and that required street trees and other plantings be

provided to meet minimum standards.

7. Any lighting on the site comply with 21-13-11, specifically that no light spill or intrusions are allowed into the adjacent residential lots.
8. All utility boxes (i.e. transformers, switch gear, telephone, cable tv, etc.) shall be shown on the site plan and shall be placed underground or moved behind the front setback of the buildings and screened from view. Each box shall be shown in its exact location and shall be noted with its exact height, width and length. Building utility meters shall be mounted to the side or rear elevation or screened with a wing wall if fronting a public street.
9. The final architectural elevations submitted at final review must address the roof drainage and not utilize exterior mounted down spouts.
10. That the developer be responsible for the placement of a temporary 6-foot-high chain link fence around the perimeter of the project during the construction phase of the project for security and safety. Said fence shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the Community Development Department during Site Plan Review.

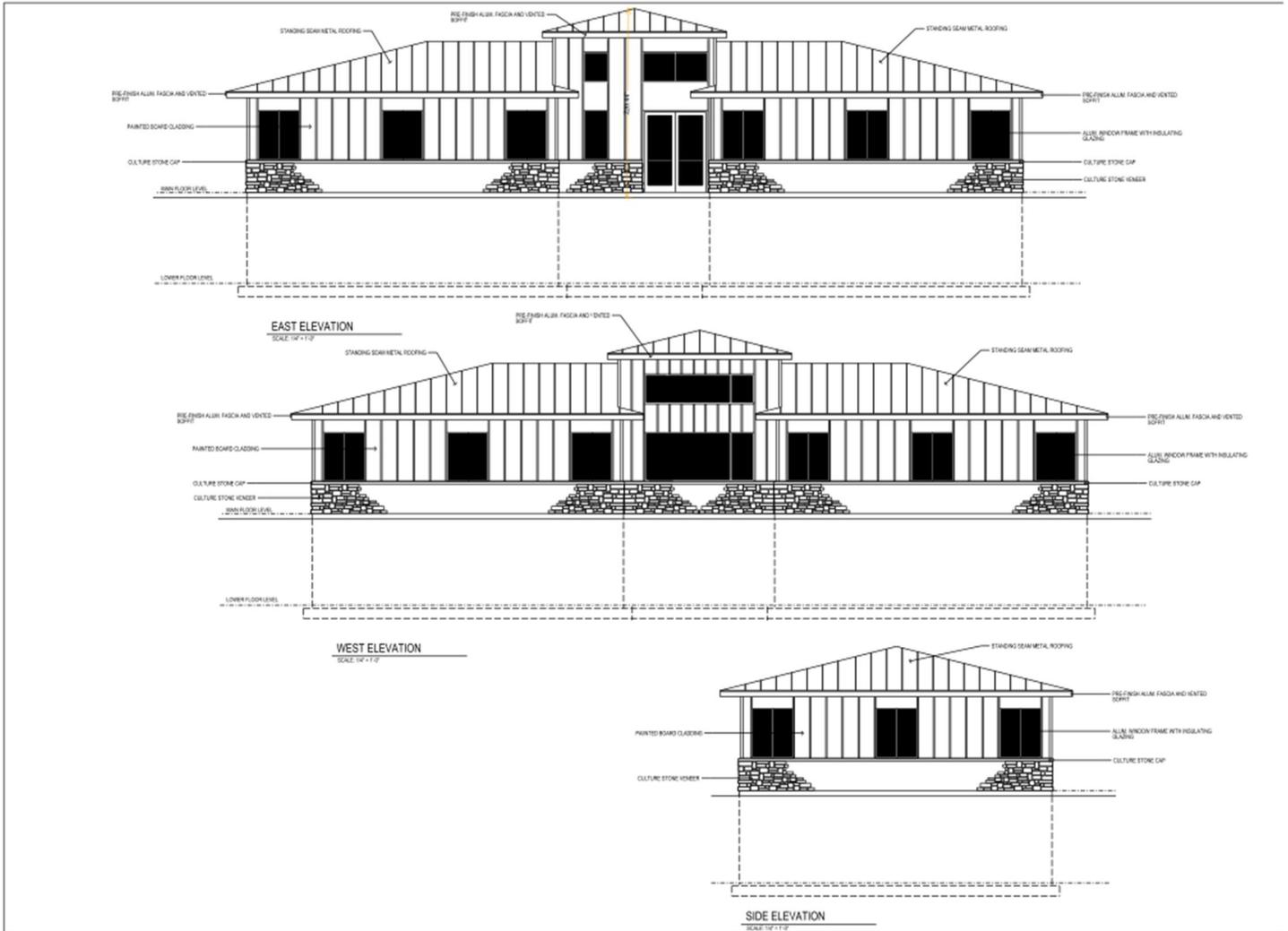
Planner:



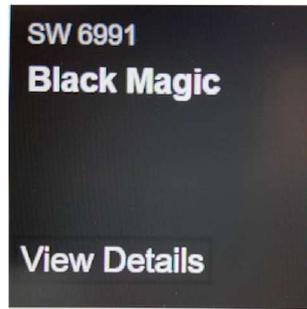
Clinton Spencer, AICP
Development Services Manager

File Name: S:\USERS\PLN\STAFFRPT\2025\SPR04172025-006955 - MARK RAY OFFICE\MARK RAY MEDICAL OFFICE DRAFT P.C. STAFF REPORT 3-5-2026.DOCX

Exhibit "A"
See the attached file for full information



Board & Batten Color

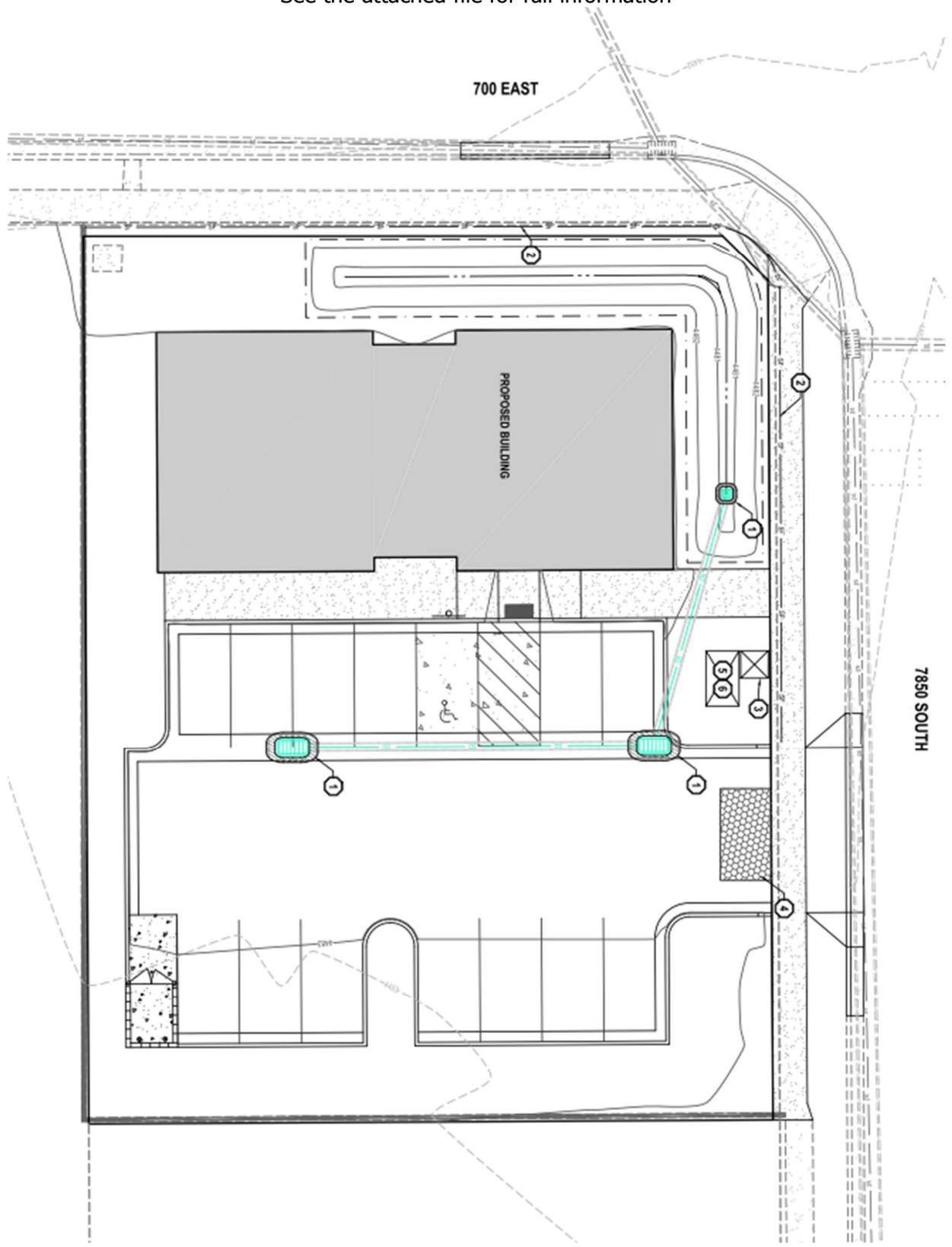


Roofing Color



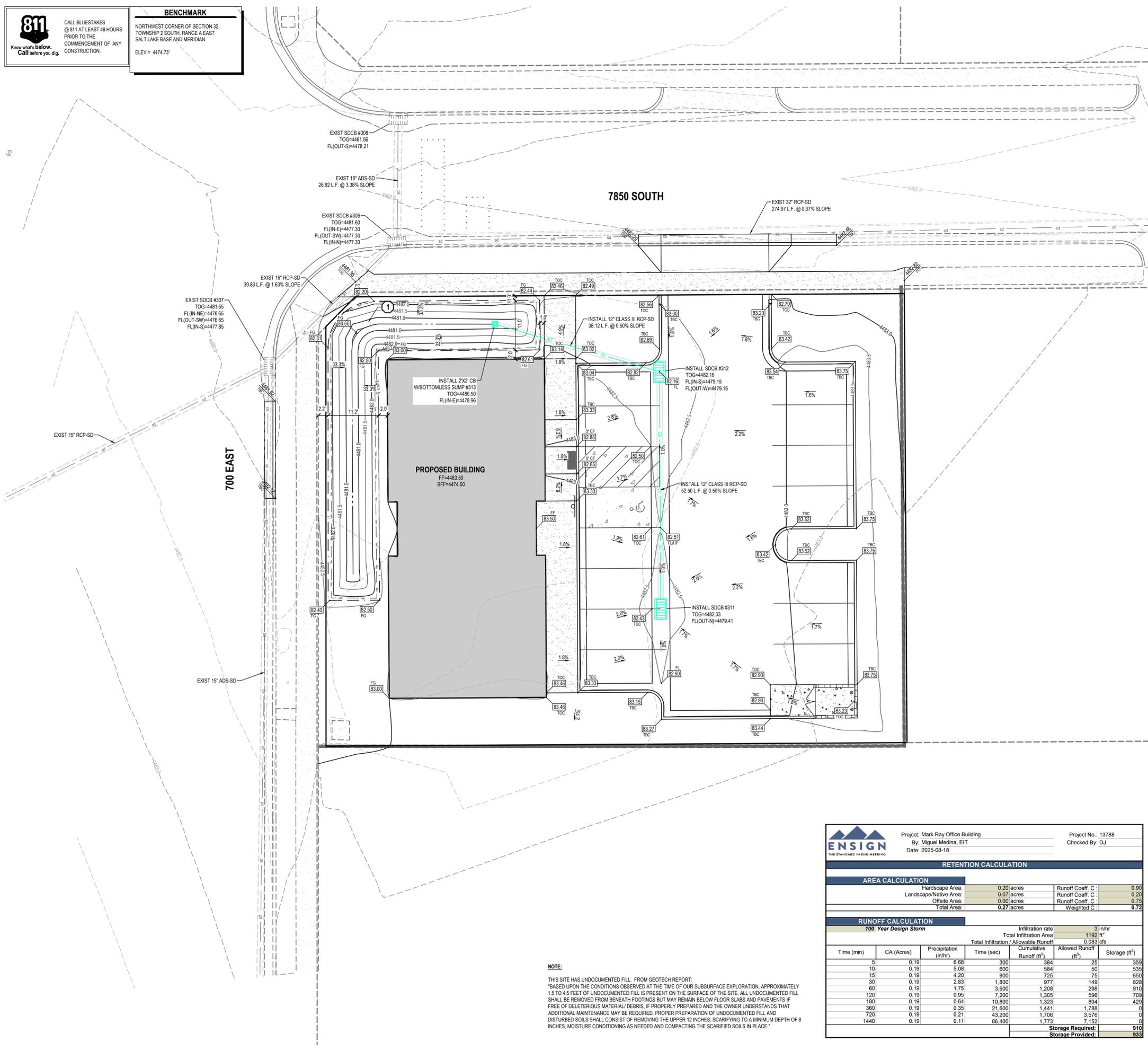
Stone

Exhibit "C"
See the attached file for full information



811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Call before you dig.

BENCHMARK
NORTHWEST CORNER OF SECTION 32,
TOWNSHIP 2 SOUTH, RANGE A EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 4474.73'

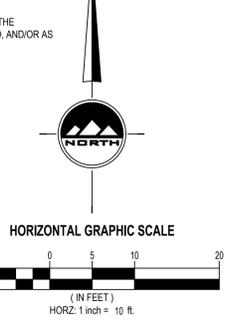


- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 - ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
 - THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
 - ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XXXX REPRESENTS AN ELEVATION OF 44XX.XX ON THESE PLANS.
 - LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 - SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
 - EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
 - ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER SANDY CITY STANDARD PLANS AND SPECIFICATIONS.
 - ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
 - ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
 - THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- STORM WATER NOTES**
- NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
 - A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
 - ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
 - SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, AND STRUCTURES (INLET BOXES, COMBO BOXES, AND JUNCTION BOXES). SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
 - CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
 - ALL MATERIALS AND WORK DONE IN UDOT RIGHT-OF-WAY SHALL CONFORM TO UDOT STANDARDS AND SPECIFICATIONS (DELETE IF NOT APPLICABLE).
 - NON-SHRINK GROUT SHALL BE USED WHEREVER GROUT IS REQUIRED FOR THE STORM DRAIN FACILITIES.
 - CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE AND GROUT AT CONNECTION OF PIPE TO BOX TO A SMOOTH FINISH. ADDITIONALLY, ALL JAGGED OR SHARP EDGES AT PIPE CONNECTIONS ARE TO BE REMOVED AND GROUTED SMOOTH.
 - GROUT BETWEEN GRADE RINGS. FOR EACH INLET BOX THAT IS LOCATED NEXT TO A CURB, THE CURB AND GUTTER CONTRACTOR IS RESPONSIBLE TO REMOVE ALL PROTRUDING, JAGGED OR SHARP CONCRETE EDGES AND TO GROUT BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX. GROUT TO CREATE A SMOOTH, BEVELED TRANSITION AT ALL EDGES IN CLEAN OUT AND INLET BOXES. GROUT AROUND ALL EDGES OF THE RESTRICTIVE ORIFICE PLATE.
 - REMOVE SNAP TIES, NAILS, REBAR AND OTHER PROTRUSIONS FROM THE BOX OR PIPE INSIDE SURFACE, AS WELL AS ALL FORM WORK, PLASTIC AND CARDBOARD.
 - SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL INLET BOXES, COMBO BOXES, JUNCTION BOXES, AND PIPE. THE BOXES AND PIPES ARE TO BE MAINTAINED IN A CLEAN CONDITION UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
 - CLEAN OFF ALL MANHOLE LIDS AND INLET GRATES OF ASPHALT, CONCRETE, TAR OR OTHER ADHESIVES TO ALLOW ACCESS.
 - WHERE A SUMP IS REQUIRED, THE SANDY CITY PUBLIC UTILITIES INSPECTOR SHALL BE CONTACTED PRIOR TO CONSTRUCTION TO PROVIDE AN OPPORTUNITY TO CHECK THE VOLUME OF GRAVEL AND GRAVEL GRADATION.
 - SIGNS MUST BE POSTED NEAR EACH INLET BOX LOCATED IN A DRINKING WATER RECHARGE ZONE, WITH THE FOLLOWING WORDS "WARNING THIS IS A DRINKING WATER AQUIFER RECHARGE AREA. DISPOSAL OF ANY WASTE MATERIALS IN THE STORM WATER IS STRICTLY PROHIBITED."
 - ALL INLET, COMBO AND JUNCTION BOXES SHALL BE PLACED ON 12-INCH (MIN.) COMPACTED STABILIZATION MATERIAL.
 - A VIDEO OF ALL PIPES MUST BE COMPLETED BEFORE THE 90% OR 90% BOND RELEASE AND AGAIN BEFORE FINAL BOND RELEASE.
 - A REPRESENTATIVE OF THE MANUFACTURER OR SUPPLIER SHALL BE ON SITE DURING INSTALLATION OF OIL/WATER SEPARATOR, MECHANICAL TREATMENT DEVICES, MEDIA FILTERS, AND UNDERGROUND DETENTION/RETENTION SYSTEMS. THE MANUFACTURER OR SUPPLIER SHALL PROVIDE A LETTER STATING THAT THE SYSTEM WAS INSTALLED PER MANUFACTURER'S SPECIFICATIONS. IF IT IS UNKNOWN WHETHER A REPRESENTATIVE IS REQUIRED TO BE PRESENT DURING INSTALLATION, CONTACT THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
 - A STAMPED "LETTER OF CONFORMANCE" FROM THE DESIGN ENGINEER IS REQUIRED TO BE SUBMITTED TO SANDY CITY PUBLIC UTILITIES DEPARTMENT, PRIOR TO 90% BOND RELEASE, STATING THAT STORM WATER FLOW CONTROL ELEMENTS AND STORM WATER TREATMENT FACILITIES (E.G. DETENTION, RETENTION, LID BEST MANAGEMENT PRACTICES, OIL-WATER SEPARATORS, SUMPS, ETC.) WERE CONSTRUCTED ACCORDING TO THE APPROVED PLANS.

SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

RETENTION POND
VOLUME REQUIRED = 910 CU.FT.
VOLUME PROVIDED = 933 CU.FT.
TOP OF POND / HIGH WATER ELEVATION = 4482.20
BOTTOM OF POND = 4481.50



NOTE:
THIS SITE HAS UNDOCUMENTED FILL. FROM GEOTECH REPORT:
"BASED UPON THE CONDITIONS OBSERVED AT THE TIME OF OUR SUBSURFACE EXPLORATION, APPROXIMATELY 1.5 TO 4.5 FEET OF UNDOCUMENTED FILL IS PRESENT ON THE SURFACE OF THE SITE. ALL UNDOCUMENTED FILL SHALL BE REMOVED FROM BENEATH FOOTINGS BUT MAY REMAIN BELOW FLOOR SLABS AND PAVEMENTS IF FREE OF DELETERIOUS MATERIAL/DEBRIS. IF PROPERLY PREPARED AND THE OWNER UNDERSTANDS THAT ADDITIONAL MAINTENANCE MAY BE REQUIRED. PROPER PREPARATION OF UNDOCUMENTED FILL AND DISTURBED SOILS SHALL CONSIST OF REMOVING THE UPPER 12 INCHES, SCARIFYING TO A MINIMUM DEPTH OF 8 INCHES, MOISTURE CONDITIONING AS NEEDED AND COMPACTING THE SCARIFIED SOILS IN PLACE."

AREA CALCULATION		Runoff Coeff. C:	
Hardscape Area:	0.20 acres	Runoff Coeff. C:	0.90
Landscape/Native Area:	0.07 acres	Runoff Coeff. C:	0.20
Offsite Area:	0.00 acres	Runoff Coeff. C:	0.75
Total Area:	0.27 acres	Weighted C:	0.72

RUNOFF CALCULATION		100 Year Design Storm	
Infiltration rate:	3 in/hr	Total Infiltration Area:	1192 ft ²
Total Infiltration:	0.683 cfs	Total Infiltration / Allowable Runoff:	0.683 cfs

Time (min)	CA (Acres)	Precipitation (in/hr)	Time (sec)	Total Infiltration / Allowable Runoff (ft ³)	Allowed Runoff (ft ³)	Storage (ft ³)
5	0.19	6.68	300	384	25	359
10	0.19	5.08	600	584	50	535
15	0.19	4.20	900	725	75	650
30	0.19	2.83	1,800	977	149	828
60	0.19	1.75	3,600	1,208	298	910
120	0.19	0.95	7,200	1,305	596	709
180	0.19	0.64	10,800	1,323	894	429
360	0.19	0.35	21,600	1,441	1,798	0
720	0.19	0.21	43,200	1,706	3,576	0
1440	0.19	0.11	86,400	1,773	7,152	0
				Storage Required:	910	
				Storage Provided:	933	

ENSIGN
THE STANDARD IN ENGINEERING

SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR: ROBERT MONEY ARCHITECT
2457 WEST COUNTRYSIDE LANE
WEST JORDAN, UTAH, 84084

CONTACT: ROBERT MONEY
PHONE: 801-573-1029

7865 OFFICE BUILDING

7865 SOUTH 700 EAST
SANDY CITY, UTAH

REGISTERED PROFESSIONAL ENGINEER
DAVID A. JENKINS
#5936
STATE OF UTAH

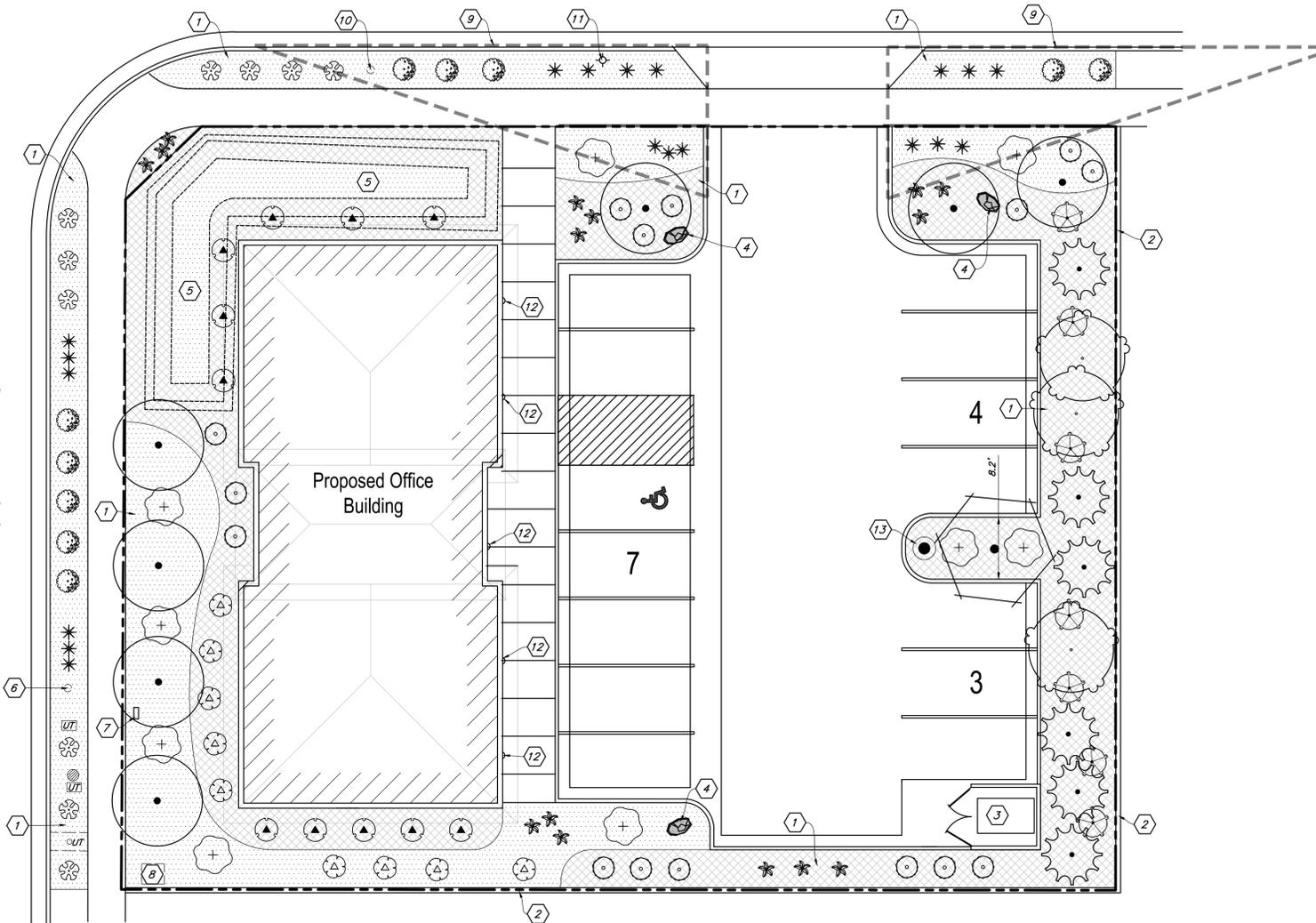
GRADING PLAN

PROJECT NUMBER: 13788
PRINT DATE: 2026-02-06
PROJECT MANAGER: DJ
DESIGNED BY: MM

C-200

PONDEROSA DRIVE

700 EAST



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
SITE TREES			
[Symbol]	6	Juniperus scopulorum 'Gray Gleam' / Gray Gleam Juniper	6' Min. Ht.
[Symbol]	1	Quercus robur fastigiata / Pyramidal English Oak	2" Caliper
[Symbol]	3	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac*	2" Caliper
STREET TREES			
[Symbol]	7	Acer tataricum 'GarAnn' / Hot Wings Tatarian Maple	2" Caliper
SHRUBS			
[Symbol]	7	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	5 gal
[Symbol]	9	Pinus mugo 'Compacta' / Dwarf Mugo Pine	5 gal
[Symbol]	10	Potentilla fruticosa 'Gold Drop' / Gold Drop Potentilla	5 gal
[Symbol]	9	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal
[Symbol]	11	Ribes aureum / Golden Currant	5 gal
[Symbol]	10	Rosa x 'Meigalpio' / Red Drift Rose	5 gal
[Symbol]	15	Spiraea betulifolia 'Tor' / Tor Birchleaf Spirea	5 gal
ORNAMENTAL GRASSES			
[Symbol]	15	Pennisetum alopecuroides 'Little Bunny' / Little Bunny Fountain Grass	1 gal
PERENNIALS			
[Symbol]	19	Nepeta x faassenii 'Dropmore' / Catmint	1 gal

MATERIAL SCHEDULE

- Decorative Stone #1 - Install a Three (3) inch Depth over Dewitt Pro5 Weed Barrier; Stone Shall be Used in all Shrub Areas/Pond and Washed Prior to Installation; Remove all Soil From Weed Barrier Prior to Installing Stone; Stone Shall be Crushed Tan Color, 1 1/2" in Diameter From Geneva Rock Point of the Mountain East Pit; Provide Sample for Approval. Detail: 4/L-3
- Decorative Stone #2 - Install over Dewitt Pro5 Weed Barrier and Make Sure it Covers Weed Barrier; Carefully Place Around Plant Material; Stone Shall be Used in all Shrub Areas/Pond and Washed Prior to Installation; Interlock on Pond Hillside; Remove all Soil From Weed Barrier Prior to Installing Stone; Stone Shall be Angular, Gray in Color, and 3-5" in Diameter; Stone Shall be From Staker Parsons Lehi Pit or Approved Equiv; Provide Sample for Approval. Detail: 4/L-3
- Landscape Accent Boulders - Boulders Shall be 2-3' in Diameter, Angular and Match Proposed Stone #1 (Brown's Canyon); Boulders Shall be Placed into the Stone Two (2) Inches and Not Set on Top of Stone; No Boulder Shall be Placed Adjacent to a Curb Where a Car Could Potential Hit With Bumper or Car Door. Detail: 5/L-3

Landscape Data

Site Area 13,127 s.f. (0.301 ac.)
 Onsite Landscape Area Provided = 4,211 s.f. (32%)
 Offsite Landscape Area Provided = 960 s.f.
 1 Tree per 500 s.f. of Landscape = 9 Trees (9 New)
 7865 South Frontage = 90 Lf.
 7865 South Street Trees Required = 3 Trees (3 Provided)
 700 East Frontage = 93 Lf.
 700 East Street Trees Required = 4 Trees (4 Provided)
 Parking Lot = 4,920 s.f.
 Parking Lot Landscape Required = 246 s.f. (5%)
 Parking Lot Landscape Provided = 253 s.f. (5.1%)
 At Plant Maturity, Plant Material Shall Provide 33% Plant Coverage

Landscape Notes:

- See Sheet L-3 for Planting Details.
- All Landscape Material shall be Fully Irrigated by an Automatic Irrigation System. See Sheet L-2 for Irrigation Layout. See Sheet L-3 for Irrigation Details.
- The Irrigation System Shall be Equipped with a Watersense Approved Irrigation Controller and Rain Shut Off Device. See Irrigation Plan for More Detail.
- Adjust Plant Material as Needed to Accommodate New and Existing Utilities.
- From the Beginning of the Project Through the Final Walk Thru Parking Lots, Sidewalks and Gutters Shall be Free of Dirt and Debris at the End of Each Day.
- Edging Shall not be Used Between Different Type of Stone. Provide a Define Distinct Smooth Flowing Line Between the Two Stone Types.

Landscape Installation Keynotes

- Install Shrub Planter with Decorative Stone Over Dewitt Pro5 Weed Barrier - See Material Sch. for Type and Size
- Existing 92" High CMU Wall
- Dumpster Enclosure - See Civil Plans
- Install Landscape Accent Boulder - See Material Sch. for More Detail
- Detention Pond - See Civil Grading Plan for More Detail; Interlock Stone on Hillside
- Irrigation Meter - See Civil Utility Plan for More Detail
- Irrigation Backflow Preventer - Install in an Enclosure on a Concrete Pad; Secure Enclosure to Concrete Pad; See Irrigation Plan for More Detail
- Existing Elect. Transformer
- 20'x60' Clear View Triangle - No Obstacles (Including Plant Material) Over Three Feet High, as Measured From Top of Back of Curb are Allowed Within the Clear View Triangle; Tree Canopies in the Clear View Need to be Limbed up to 8' if Behind the Street Curb and 14' if Hanging Over the Curb Out in the Roadway
- New Water Meter for Bldg. - See Civil Utility Plan for More Detail
- New Street Light - See Arch. Plan for More Detail
- Wall Mount Luminaire - See Site Elect. Plan for More Detail
- New Light Pole - See Site Elect. Plan for More Detail

UT - Existing Utility Box

General Landscape Notes:

- Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
- Contractor shall call Blue Stake before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractor's responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
- The contractor shall install all landscape material per plan, notes and details.
- Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet or frozen.
- Imported topsoil shall be used for all landscape areas. The topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. The landscape contractor shall perform a soil test on the imported topsoil and amend per soil test recommendations. The soil test shall be done by a certified soil testing agency.
- Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils. Remove all construction debris and foreign material.
- Provide an eight (8) inch depth of imported topsoil in all shrub areas.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from plant and tree pit and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
- Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil pep, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
- All new plants shall be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the strings, burlap or plastic cut and pulled away from the trunk exposing 1/3 of the root ball. For trees in wire baskets, cut and remove the wire basket.
- Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over Dewitt Pro5 weed barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas.
- All deciduous trees shall be double staked per tree staking details. Tree stakes shall be wood and ties shall be V.I.T. Cinche Ties #CT32. It is the contractor's responsibility to remove tree staking after one year.
- Bury 2 inches of boulder height into soil, keeping best visual side above ground. Use care to minimize marring and scratching.
- Landscape installer shall repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner, or incidents that are beyond installer's control. Warranty period shall be 12 months and begin at date of final project acceptance. Dead plant material shall be replaced in a timely manner.



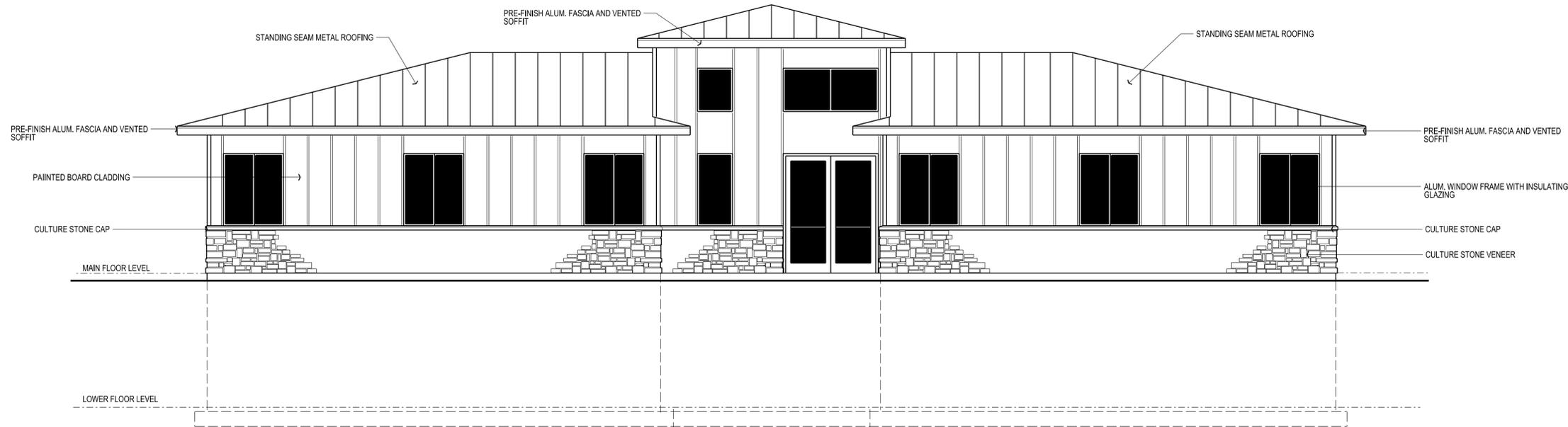
LANDSCAPING PLAN
 SCALE: 1" = 10'-0"



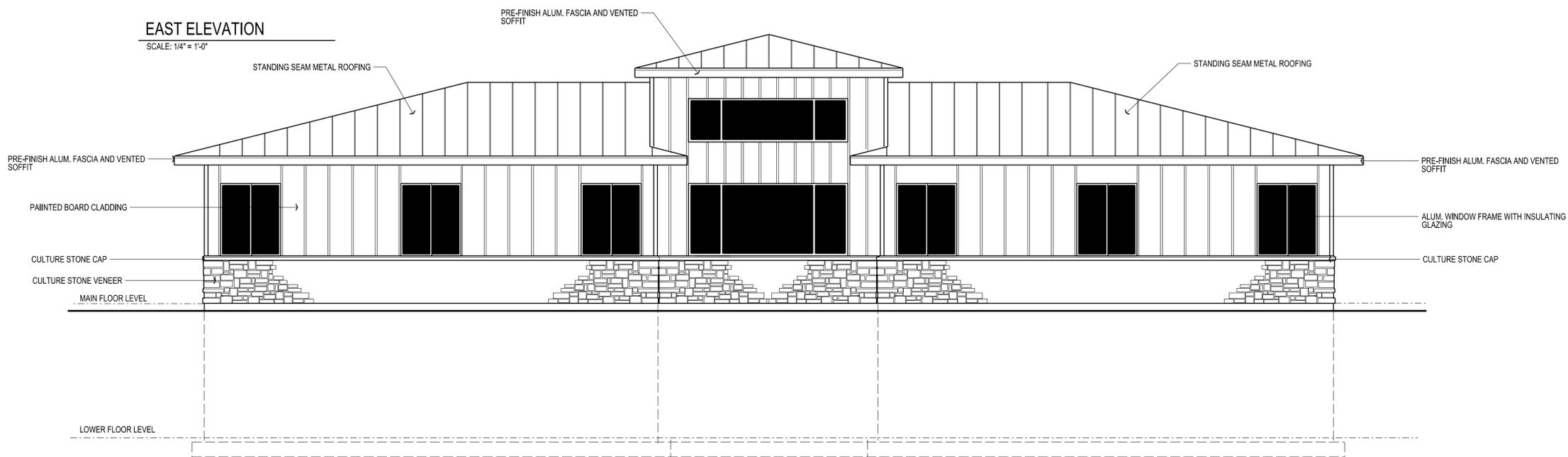
REVISIONS

OFFICE BUILDING FOR MARK RAY
 SANDY, UTAH
 7865 SOUTH 700 EAST

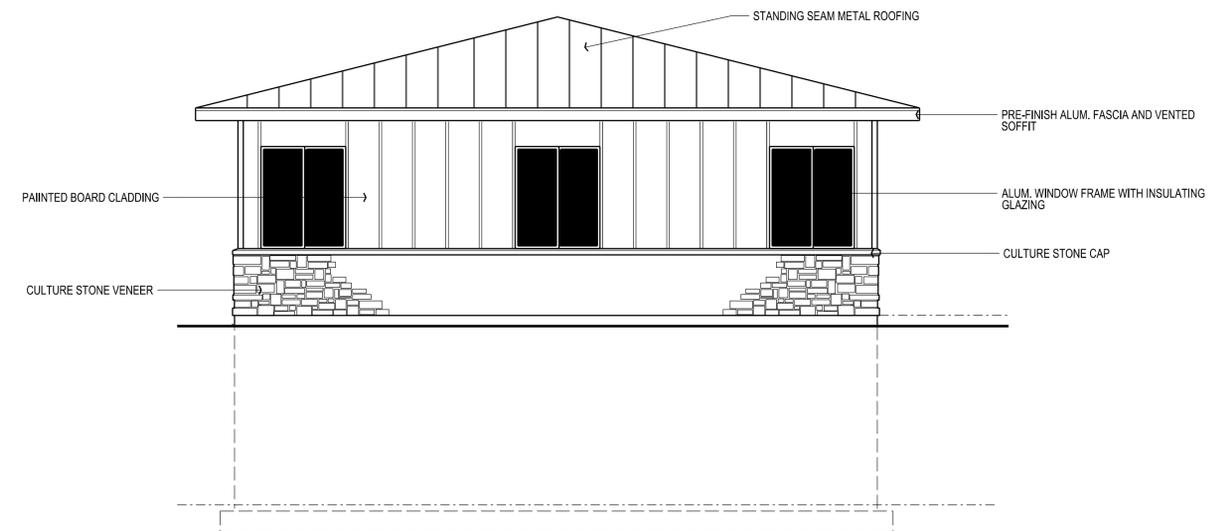
DWN.BY:	JM
DATE:	FEB 11, 2026
FILE NO.:	
JOB NO.:	MARK RAY
SHEET NO.	L-1



EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS

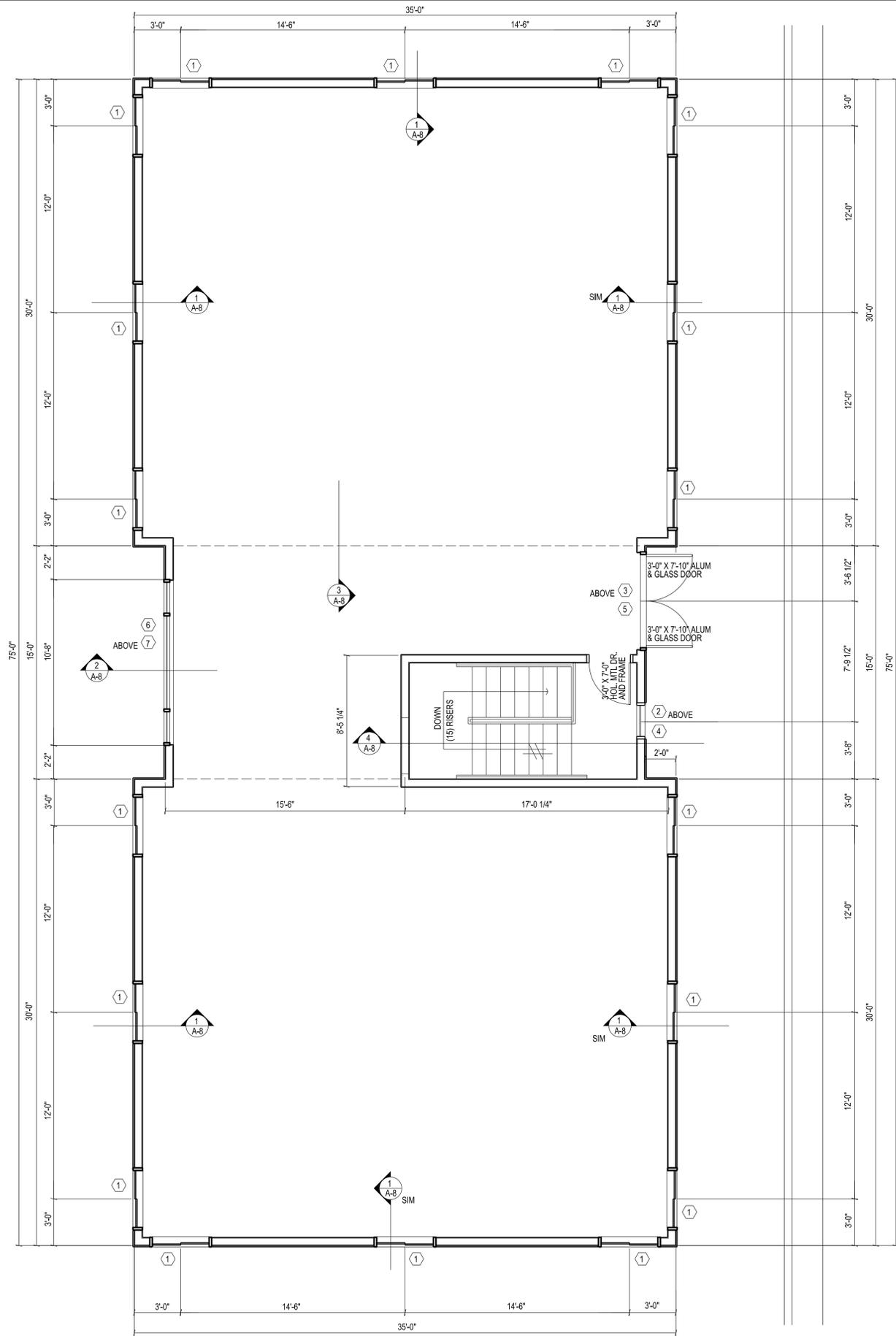
NO.	DESCRIPTION

OFFICE BUILDING FOR MARK RAY
SANDY, UTAH
7865 SOUTH 700 EAST

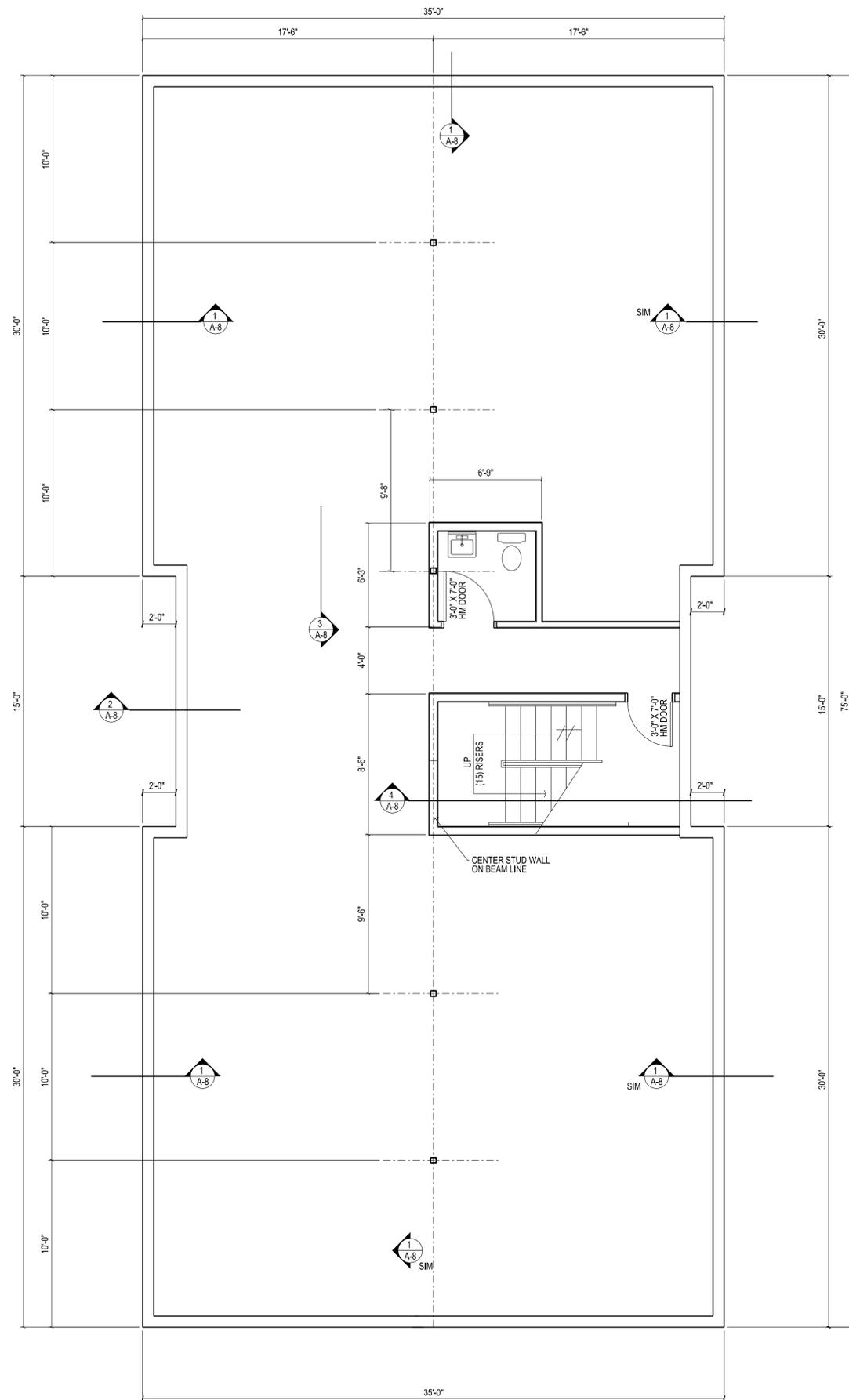
DWN BY: RLM
DATE: DECEMBER 2024
FILE NO:
JOB NO: MARK RAY

SHEET NO.

A-4



NORTH
MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"



NORTH
LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DESCRIPTION

OFFICE BUILDING FOR MARK RAY
 7865 SOUTH 700 EAST
 SANDY, UTAH

DWN BY:	RLM
DATE:	DECEMBER 2024
FILE NO.:	
JOB NO.:	MARK RAY

SHEET NO.
A-3



Staff Report

File #:
SUB07182025-007000,
Version: 1

Date: 3/5/2026

Agenda Item Title:
Monroe Street Center Commercial Condo (Condominium Amendment)
111 W 9000 S
[Community 2, Civic Center]

Presenter:
Thomas Irvin, Senior Planner

Description/Background:
The applicant, Mark Sudbury, with Echo Ridge LLC (property owner), is requesting preliminary subdivision review to create a commercial condominium plat that would split one commercial lot into two commercial condominium units for the property located at 111 W 9000 S. The request consists of subdividing the existing building into two separately owned units along with associated common space.

See the attached staff report and exhibits for full details of the request.

Recommended Action and/or Suggested Motion:
Staff recommends that the Planning Commission determine that preliminary review is substantially complete for the Monroe Street Center Commercial Condominium located at 111 W. 9000 S. based on the following findings and subject to the following conditions:

Findings:

1. That a Capitol Reserve Study has been provided that sufficiently ensures for the funding of the ongoing maintenance of the building and site improvements.
2. That the Chief Building Official has inspected the site and found it to be in compliance with the life safety provisions of the International Building Cod and the International Fire Code.
3. That the various City Departments and Divisions have preliminarily approved the proposed condominium conversion subdivision plat.

Conditions:

1. That any previous conditions of approval from previous Site Plan applications on the subject property remain in full effect and fully enforceable.
2. That prior to recording the final condominium plat, all requirements of the plat pertaining to condominium conversion be satisfied.

3. That all units comply with all requirements of the International Building Code regarding condominium conversions.
4. That prior to plat recordation, Staff review and approve the declaration of condominium, project bylaws, and the condominium plat. That these documents include all information required according to State Statute.
5. That any required utility easements for this site be dedicated with the plat in accordance with the department review requirements.
6. That the applicant complies with each department's comments and redlines throughout the final review process and that all issues be resolved before the condominium subdivision plat can be recorded.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

Staff Report Memorandum March 5, 2026

To: Planning Commission
From: Community Development Department
Subject: Monroe Street Center Commercial Condominium
(Preliminary Subdivision Review)
111 W. 9000 S.
[Community #2, Civic Center]

SUB07182025-007000
RC Zone
2 Lots
9,880 Sq Ft Bldg

Public Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, and a sign posted on site.

Request

The applicant, Mark Sudbury, with Echo Ridge LLC (property owner), is requesting preliminary subdivision review to create a commercial condominium plat that would split one commercial lot into two commercial condominium units for the property located at 111 W 9000 S. The request consists of subdividing the existing building into two separately owned units along with associated common space. No new development is proposed with this request. See Exhibit "A" and Exhibit "B" for the Application Materials.

Background

The subject property consists of an approximately 9,880 square foot commercial building which consists of two restaurants, Ichiban Sushi and Athena VII. The subject property is Lot 1 of the Monroe Street Commercial Center P.U.D. and is surrounded by common area of that plat that included parking and access to the lot. This property as well as all of those surrounding it are zoned RC, Regional Commercial.

Adjoining uses within the development are a mix of commercial uses. The property to the east is a commercial parking lot for the stadium located further south while those across 9000 S are residential mobile homes within the Sandy Mobile Home Park.

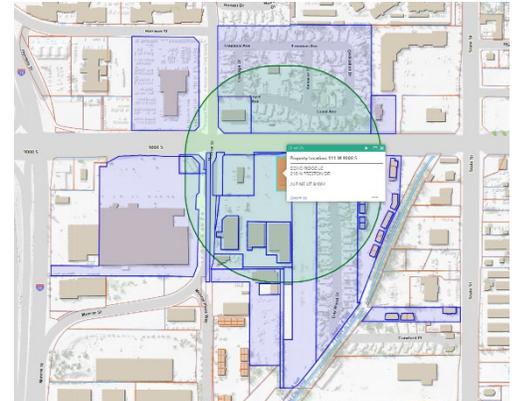


SUB07182025-007000
Plat Amendment
111 W 9000 S
Community Development Department
Sandy City, UT

Property Case History	
Case Number	Case Summary
SPR#79-29	Stangl Shopping Center
SPR#80-10	Western Sizzlin Steak
SPR#95-34	F.C. Stangl (Master Development Plan)
SPR-03-17-5234	Athena Beans Restaurant Expansion and Drive-Up Window
SUB-6-14-3693	Monroe Street Commercial Center PUD

Public Notice and Outreach

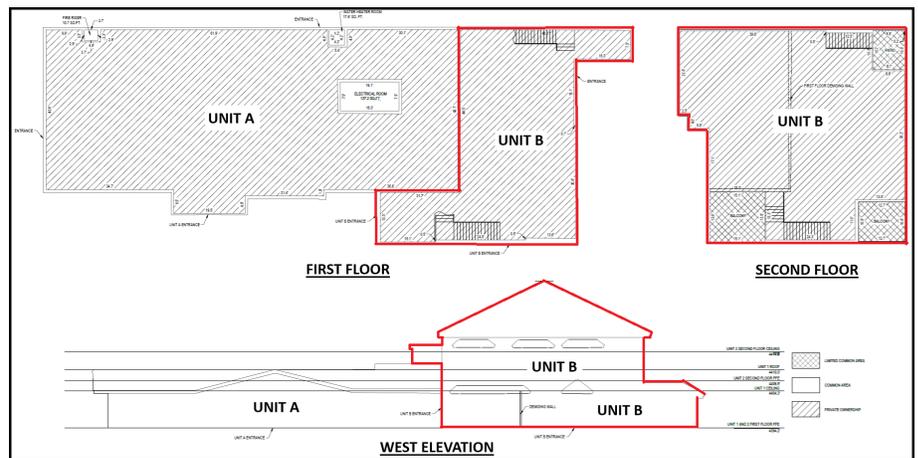
Notices were mailed to property owners within 500 feet of the subject property and affected entities. The notice was posted to the Utah Public Notice website and the city website. A physical copy of the notice was posted at City Hall, and a public notice sign was placed on the subject property. No neighborhood meeting was deemed necessary.



Analysis

The applicant is proposing to divide the interior space of the existing building into two individually owned units. The first unit is primarily located to the north while the second unit is to the south. A portion of the south unit’s second floor extends over the north one (Units A and B respectively).

Both proposed units have direct egress to the exterior. The shared utility systems necessary for the proper operation of the facility are shown as commonly owned spaces. The parking lot and site improvements will also be jointly owned for the use of all owners and their customers.



Sandy City’s ordinance allows for the conversion of existing occupied commercial buildings into privately owned condominium spaces by complying with various conditions intended to ensure the structure meets life/safety requirements and provides for the needs of future owners.

Report of Property Condition and Reserve Study.

State law requires that a reserve study be conducted and money be set aside for future capital improvements needed to maintain the overall building. In order to determine the amount of funding needed, a report of the condition of the existing building is needed that estimates the future needs of the building based upon its current condition.

The applicant has provided both the property report and reserve study. These have been reviewed by staff and found to adequately address the future needs of the property (see Exhibit “B”).

Report of the Building Official

Prior to approving an existing building to be subdivided into individual units, the Chief Building Official is required to inspect the project in order to determine compliance with the life safety provisions of the International Building Code and the

International Fire Code. This inspection has been completed, and the Building Official finds the structure to adequately meet basic life/safety requirements (see Exhibit “C”).

Staff Recommendations

Staff recommends that the Planning Commission determine that preliminary review is substantially complete for the Monroe Street Center Commercial Condominium located at 111 W. 9000 S. based on the following findings and subject to the following conditions:

Findings:

1. That a Capitol Reserve Study has been provided that sufficiently ensures for the funding of the ongoing maintenance of the building and site improvements.
2. That the Chief Building Official has inspected the site and found it to be in compliance with the life safety provisions of the International Building Cod and the International Fire Code.
3. That the various City Departments and Divisions have preliminarily approved the proposed condominium conversion subdivision plat.

Conditions:

1. That any previous conditions of approval from previous Site Plan applications on the subject property remain in full effect and fully enforceable.
2. That prior to recording the final condominium plat, all requirements of the plat pertaining to condominium conversion be satisfied.
3. That all units comply with all requirements of the International Building Code regarding condominium conversions.
4. That prior to plat recordation, Staff review and approve the declaration of condominium, project bylaws, and the condominium plat. That these documents include all information required according to State Statute.
5. That any required utility easements for this site be dedicated with the plat in accordance with the department review requirements.
6. That the applicant complies with each department’s comments and redlines throughout the final review process and that all issues be resolved before the condominium subdivision plat can be recorded.

Planner:



Thomas Irvin
Senior Planner

File Name: S:\Users\PLN\STAFFRPT\2025\SUB07182025-007000 – MONROSE STREET CENTER COMMERCIAL CONDO\PLANNING COMMISSION\STAFF REPORT

Exhibit "B"
(See the attached file for full details)

Property Report – Reserve Analysis

Echo Ridge Condominium Association

1. Purpose and Regulatory Basis

This **Property Report – Reserve Analysis** is submitted to Sandy City in support of a condominium conversion application for the **Echo Ridge Condominium** pursuant to **Sandy City Code §21-31-10(b)(1)**.

The purpose of this report is to:

- Document the **existing condition** of the building and its major systems
 - Identify **shared and unit-specific responsibilities** for maintenance, repair, and replacement
 - Demonstrate that **adequate provisions exist** for the ongoing maintenance of any shared systems
 - Confirm that the proposed condominium conversion does **not result in deferred maintenance or increased risk** to occupants or the City
-

2. Property and Association Overview

2.1 Property Description

- Property Name: Echo Ridge Condominium
- Location: 109 / 111 West (Lot 1 of the Monroe Commercial PUD)
- Configuration: Two commercial condominium units
 - **Unit A** (109 West)
 - **Unit B** (111 West)

The building has been previously remodeled and approved by Sandy City, including:

- Significant interior remodel (approximately 80%)
- Addition of an upper level
- Structural review and approval by a licensed structural engineer

Exhibit "C"

1-21-26

Monroe Street Commercial Center

111 W 9000 S

Sandy Building Department has reviewed the plans for the amended plat and existing condition for the building.

The building went through a renovation and upgrades in 2016 and remains in same condition at this time.

There are no concerns or need for repairs based on these conditions and amending of plat.

Jim McClintic

Sandy City Chief Building Official

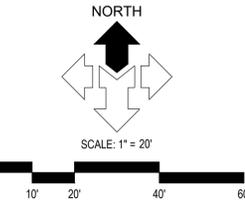
ECHO RIDGE CONDOMINIUMS

AMENDING LOT 1, MONROE STREET COMMERCIAL CENTER PUD
 A UTAH CONDOMINIUM PROJECT
 LOCATED IN THE NORTHEAST QUARTER AND SOUTHEAST QUARTER OF SECTION 1,
 TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
 SANDY CITY, UTAH

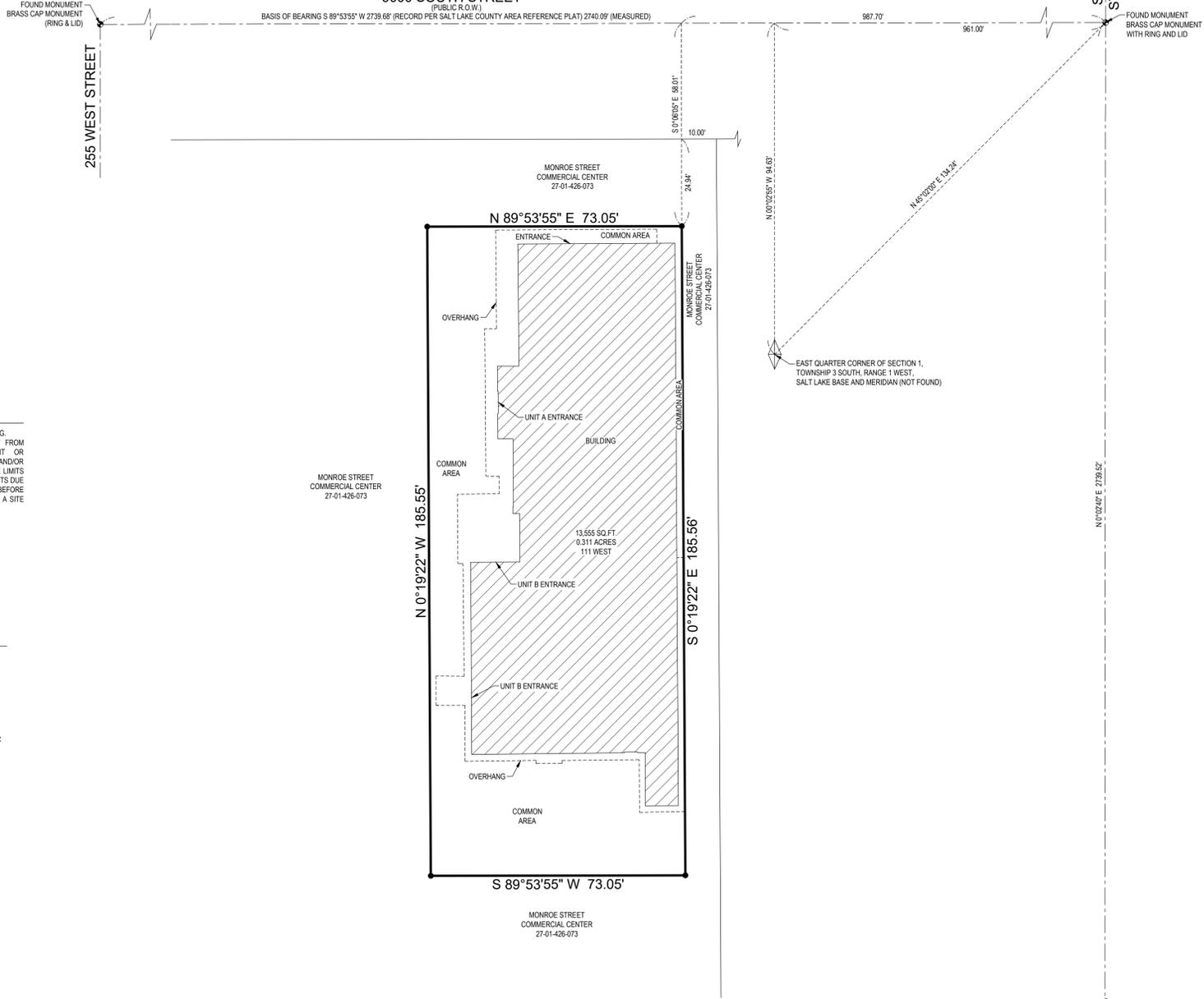
9000 SOUTH STREET
 (PUBLIC R.O.W.)

FOUND MONUMENT BRASS CAP MONUMENT (RING & LID) BASIS OF BEARING S 89°53'55" W 2739.68' (RECORD PER SALT LAKE COUNTY AREA REFERENCE PLAT) 2740.09' (MEASURED)

STATE STREET
 FOUND MONUMENT BRASS CAP MONUMENT WITH RING AND LID



VICINITY MAP



NOTES

- NO DRIVEWAY SHALL BE CONSTRUCTED TO CONVEY STORM WATER RUNOFF TOWARD ANY BUILDING.
- PROPERTIES ARE TO BE GRADED SUCH THAT STORM WATER RUNOFF WILL DRAIN AWAY FROM STRUCTURES AND TOWARDS PROPERTY BOUNDARIES. HOWEVER, NEW DEVELOPMENT OR REDEVELOPMENT SHALL NOT INCREASE THE BURDEN OF STORM WATER ON NEIGHBORING AND/OR DOWNSTREAM PROPERTIES. STORM WATER RUNOFF SHALL BE ENTIRELY CONTROLLED WITHIN THE LIMITS OF PROJECT SITE. PERPETRATING PROPERTY OWNERS MAY BE LIABLE FOR DAMAGES IN CIVIL COURTS DUE TO DAMAGES CAUSED TO ADJACENT PROPERTIES FROM RUNOFF (INCLUDING FLOWS THAT EXISTED BEFORE THE NEW DEVELOPMENT OR REDEVELOPMENT OCCURRED). ANY CONCENTRATED FLOWS LEAVING A SITE SHALL HAVE AN AGREEMENT/EASEMENT WITH THE AFFECTED PROPERTY OWNERS.
- FOR STORM DRAIN MAINTENANCE AGREEMENT, REFERS TO THE RECORDED POST CONSTRUCTION.

LEGEND

- BOUNDARY LINE
- SECTION LINE
- MONUMENT LINE/CENTER LINE OF ROAD
- LOT LINE
- BOUNDARY CORNER, SET COPPER PLUG OR REBAR & CAP OR NAIL & WASHER STAMPED "MCNEIL ENGR"
- BUILDING/Private
- COMMON

SURVEYOR'S CERTIFICATE

I, DAVID B. DRAPER, WITH MCNEIL ENGINEERING, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THE PLAT IN ACCORDANCE WITH SECTION 17-23-17 OF THE UTAH CODE, AND THAT THE DESCRIPTION CORRECTLY DESCRIBES THE LAND SURFACE UPON WHICH THERE HAS BEEN CONSTRUCTED ECHO RIDGE CONDOMINIUMS, AMENDING LOT 1, MONROE STREET COMMERCIAL CENTER P.U.D. I FURTHER CERTIFY THAT THIS RECORD OF SURVEY MAP IS ACCURATE AND HAS BEEN PREPARED IN COMPLIANCE WITH THE PROVISIONS OF THE UTAH CONDOMINIUM OWNERSHIP ACT, AND THAT THE SAME HAS BEEN SURVEYED AND STAMPED ON THE GROUND AS SHOWN ON THIS MAP, AND THAT THE BUILDING DIMENSIONS ARE AS SHOWN ON THIS MAP. MEASUREMENTS HAVE BEEN VERIFIED AND MONUMENTS PLACED AS REPRESENTED ON THE PLAT.

ECHO RIDGE CONDOMINIUMS
 AMENDING LOT 1, MONROE STREET COMMERCIAL CENTER P.U.D.

BOUNDARY DESCRIPTION

ALL OF LOT 1, MONROE STREET COMMERCIAL CENTER PUD, AS RECORDED IN THE OFFICE THE SALT LAKE COUNTY RECORDER IN BOOK 2016P AT PAGE 107.
 CONTAINS: 13,555 SQ.FT. OR 0.311 ACRES



DAVID B. DRAPER
 LICENSE NO. 6861599

OWNER'S DEDICATION

ECHO RIDGE, LLC, A UTAH LIMITED LIABILITY COMPANY, THE OWNER OF THE DESCRIBED TRACT OF LAND TO BE HEREAFTER KNOWN AS ECHO RIDGE CONDOMINIUMS, DOES HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC, ALL AREAS REFLECTED AND SHOWN ON THIS PLAT TO BE DEDICATED FOR PUBLIC USE. OWNER(S) HEREBY CONSENT(S) AND GIVE(S) APPROVAL TO THE RECORDING OF THIS PLAT FOR ALL PURPOSES SHOWN HEREIN.

ECHO RIDGE CONDOMINIUMS
 AMENDING LOT 1, MONROE STREET COMMERCIAL CENTER P.U.D.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND THIS ___ DAY OF _____, 20__.

ECHO RIDGE, L.L.C.

BY:
 ITS:

LIMITED LIABILITY ACKNOWLEDGMENT

STATE OF UTAH }
 COUNTY OF SALT LAKE } s.s.
 ON THE ___ DAY OF _____, A.D. 20___, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY OF SALT LAKE IN SAID STATE OF UTAH, _____ WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE IS THE _____ OF ECHO RIDGE, A UTAH LIMITED LIABILITY COMPANY, AND THAT HE/SHE SIGNED THE OWNERS DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED AND THAT SAID LIMITED LIABILITY COMPANY EXECUTED THE SAME.
 MY COMMISSION EXPIRES: _____ NOTARY PUBLIC
 RESIDING IN SALT LAKE COUNTY

ECHO RIDGE CONDOMINIUMS

AMENDING LOT 1, MONROE STREET COMMERCIAL CENTER P.U.D.
 A UTAH CONDOMINIUM PROJECT
 LOCATED IN THE NORTHEAST QUARTER AND SOUTHEAST QUARTER OF SECTION 1,
 TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
 SANDY CITY, UTAH

SALT LAKE COUNTY RECORDER

RECORD NO. _____
 STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____
 DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
 FEE \$ _____ SALT LAKE COUNTY RECORDER

SHEET

1
 OF
 2

9400 SOUTH STREET
 FOUND MONUMENT BRASS CAP MONUMENT WITH RING AND LID

CITY APPROVAL

PRESENTED TO SANDY CITY MAYOR THIS ___ DAY OF _____, 20__ AT WHICH TIME, THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

ATTEST: CITY RECORDER _____ CITY MAYOR _____

COMCAST
 APPROVED THIS ___ DAY OF _____, A.D. 20__

SANDY CITY PUBLIC UTILITIES
 APPROVED THIS ___ DAY OF _____, A.D. 20__

 ENGINEERING MANAGER

ENDBRIDGE
 APPROVED THIS ___ DAY OF _____, A.D. 20__
 BY ENDBRIDGE GAS UTAH

ROCKY MOUNTAIN POWER
 APPROVED THIS ___ DAY OF _____, A.D. 20__

APPROVAL AS TO FORM
 APPROVED AS TO FORM THIS ___ DAY OF _____, A.D. 20__

 SANDY CITY ATTORNEY

SALT LAKE COUNTY HEALTH DEPARTMENT
 APPROVED THIS ___ DAY OF _____, A.D. 20__

 S.L.CO. BOARD OF HEALTH

LUMEN
 APPROVED THIS ___ DAY OF _____, A.D. 20__

SANDY SUBURBAN DISTRICT
 APPROVED THIS ___ DAY OF _____, A.D. 20__

PLANNING COMMISSION
 APPROVED THIS ___ DAY OF _____, A.D. 20__
 BY THE SANDY CITY PLANNING COMMISSION.

 CHAIRMAN, SANDY CITY PLANNING COMM.

SANDY CITY ENGINEER
 APPROVED THIS ___ DAY OF _____, A.D. 20__

S:\2025\Files\25520\Sandy\Proc\Dat\2552002.dwg Jan 26, 2026 - 4:27pm

Property Report – Reserve Analysis

Echo Ridge Condominium Association

1. Purpose and Regulatory Basis

This **Property Report – Reserve Analysis** is submitted to Sandy City in support of a condominium conversion application for the **Echo Ridge Condominium** pursuant to **Sandy City Code §21-31-10(b)(1)**.

The purpose of this report is to:

- Document the **existing condition** of the building and its major systems
 - Identify **shared and unit-specific responsibilities** for maintenance, repair, and replacement
 - Demonstrate that **adequate provisions exist** for the ongoing maintenance of any shared systems
 - Confirm that the proposed condominium conversion does **not result in deferred maintenance or increased risk** to occupants or the City
-

2. Property and Association Overview

2.1 Property Description

- Property Name: Echo Ridge Condominium
- Location: 109 / 111 West (Lot 1 of the Monroe Commercial PUD)
- Configuration: Two commercial condominium units
 - **Unit A** (109 West)
 - **Unit B** (111 West)

The building has been previously remodeled and approved by Sandy City, including:

- Significant interior remodel (approximately 80%)
- Addition of an upper level
- Structural review and approval by a licensed structural engineer

- Inspections and approval by Sandy City Building officials

The building has long been approved for **two spaces and two tenants**, and no physical changes are proposed as part of this condominium conversion. The conversion is limited to a **legal change in ownership structure only**.

2.2 Association Definition

For purposes of this report:

“Association” means the **Echo Ridge Condominium Association**, established to administer the condominium ownership structure.

3. Responsibility Framework (Summary)

Maintenance and cost responsibility for building systems is allocated based on **use, benefit, and physical control**. Systems serving only one Unit remain the responsibility of that Unit Owner, while any limited shared systems are addressed collectively.

The Association’s role is intentionally narrow and limited to coordination and administration where needed, reflecting the small size and simple configuration of the condominium.

4. Utilities – Allocation of Responsibility

4.1 General Utility Statement

Domestic water service, electrical service, fire protection systems, and sewer infrastructure serve the building. Utility systems are **not owned, maintained, repaired, or replaced by the Association**, except where expressly designated as shared or external obligations.

4.2 Unit-Specific Utility Responsibility

- **Unit B** is separately sub-metered for domestic water and electrical usage.
- All utility components serving **Unit B beyond the point of connection from the main service**, including meters, monitoring devices, branch lines, feeders, and related equipment, shall be **maintained, repaired, and replaced solely by the Owner of Unit B**, regardless of physical location, including where such components are located within Unit A.

- **Unit A** shall be responsible for all utility components serving Unit A beyond the point of connection from the main service.
- **Unit B is permitted reasonable, incidental use of the exterior hose bib located on the east side of Unit A.** Such use is minor in nature and does not require separate metering or reimbursement.

4.3 Shared Billing and Allocation

The Association shall manage billing and allocation of shared utility charges using sub-meters or other reasonable allocation methods.

- Sub-meters serving a Unit shall be maintained by that Unit’s Owner.
- Utility laterals that service **Lot 1** but are located outside the Echo Ridge condominium footprint are not common elements of this Association. Any repair or maintenance costs associated with such laterals that benefit both Units shall be shared equally (50/50) between Unit A and Unit B.

5. Insurance (Summary)

Each Unit Owner shall maintain insurance covering damage originating from their Unit that may affect the other Unit.

Where appropriate, the Association **may**, but is not required to, maintain additional insurance coverage for limited shared elements, based on practical need and risk exposure.

6. Assessments, Budgeting, and External Obligations

Association expenses related to any shared systems or external obligations are allocated equitably between the two Units, unless otherwise specifically assigned.

The property is located within the **Monroe Commercial PUD**, which assesses fees at the **Lot 1** level. Such external obligations are administered by the Association for coordination purposes and allocated internally **50/50 between Unit A and Unit B.**

All **Monroe Commercial Center PUD reserve funds, assessments, and long-term maintenance obligations** are already established and in effect and shall remain **unchanged** following the condominium conversion. The Echo Ridge Condominium units

shall continue to be fully subject to all applicable Monroe Commercial Center PUD requirements, standards, assessments, and reserve funding provisions applicable to Lot 1.

Accordingly, and consistent with the responsibility framework described in this report, the existence of the Monroe Commercial Center PUD reserves and external maintenance obligations further supports the conclusion that **no additional or separate reserve funding is required within the Echo Ridge Condominium Association at this time.**

7. Responsibility Matrix

Element / Area	Responsible Party	Notes
Roof over Unit A	Unit A Owner	Except where damage caused by Unit B
Roof over Unit B	Unit B Owner	Except where damage caused by Unit A
Exterior Walls & Finishes	Unit Owner	Each Unit Owner responsible for exterior surfaces serving their Unit; Association approval required for changes
Sidewalks & Landscaping	Association	Shared equally 50/50
Dumpster / Storage Area	Association	Shared equally 50/50
LED Sign	Association	Equal rights of use; costs shared equally
Fire Riser (located in Unit A)	Association	Unit B has access rights
Electrical Panels (located in Unit A)	Association	Unit B has access rights
Exterior Hose Bib & Irrigation	Unit A Owner	Unit B permitted incidental use
Sewer Lines (shared, external)	External Utility / PUD	Costs allocated internally 50/50

Interior of Each Unit	Each Unit Owner	Owner responsible for all interior systems and finishes
Patios & Adjacent Landscape Areas	Unit Owner	Exclusive use areas per recorded plat

8. Exclusive Use Areas and Plat Reference

Certain exterior areas are designated as **exclusive use areas** despite their proximity to another Unit.

Notably:

- **A patio area adjacent to Unit B is for Unit B’s exclusive use, and responsibility for maintenance rests with Unit B.**

Exclusive use areas shall be clearly depicted on a **recorded condominium plat** attached as an exhibit to the CC&Rs.

For reference only: Exclusive use areas are shown on the recorded condominium plat attached hereto, which controls in the event of any ambiguity.

9. Reserve Analysis Summary

Based on the existing building condition, the responsibility allocations described above, and the continued applicability of **Monroe Commercial Center PUD reserve funding and maintenance obligations**, this analysis concludes that:

- There are **no significant shared building components** requiring long-term capital replacement by the Association
- Major structural, roof, exterior, and interior systems are the responsibility of the respective Unit Owners
- External utility infrastructure and long-term common-area maintenance obligations are governed by the Monroe Commercial PUD and applicable utility providers

Accordingly, **no Association-level reserve funding is required at this time** to ensure proper maintenance of common systems within the Echo Ridge Condominium.

Notwithstanding the above, the Association **retains the authority**, if future circumstances warrant, to:

- Establish a reserve fund
 - Levy assessments for shared capital items
 - Adjust budgeting practices consistent with the governing CC&Rs
-

10. Conclusion

This Property Report – Reserve Analysis demonstrates that:

- The building is in an approved and serviceable condition
- Maintenance responsibility is clearly defined and appropriately allocated
- No deferred maintenance concerns are created by the condominium conversion
- Reserve funding is **not presently required**, given the limited scope of shared elements

The proposed condominium conversion therefore satisfies the intent and requirements of **Sandy City Code §21-31-10(b)(1)**.

This Study was prepared by SEI Development, a licensed General Contractor who was the responsible contractor during all remodeling phases of the building. Robert Condo, licensed structural engineer was the private contractor who performed all design inspections and stamped eng. drawings as submitted to Sandy City for the remodel work. Jim McClintic was the Sandy Building Inspector that reviewed and signed off on the required inspections.

Project App # SUB07182025-007000

October 30, 2025

Sandy City – Building and Planning Department
Attn: Building Official / Utility Review
10000 South Centennial Parkway
Sandy, Utah 84070

Subject: Utility Status – Echo Ridge Condominiums (Units A & B, Lot 1, Monroe Commercial Center PUD, Amended)

Dear Sir or Madam,

This letter is provided regarding the utilities serving the property located at 111 W. 9000 South, Sandy, Utah 84070, legally described as Echo Ridge Condominiums, which will include Unit 109 and Unit 111, corresponding to Unit A and Unit B of Lot 1 of the Monroe Commercial Center PUD (Amended).

Please note that no physical changes are being made to the building or its utilities in connection with the establishment of the Echo Ridge Condominiums. The property remains exactly as previously constructed, permitted, and approved by Sandy City.

During the most recent remodel—completed under an approved Sandy City building permit—the following utility configurations were installed, inspected, and approved by the appropriate agencies:

- Natural Gas: Separate gas meters were installed for each tenant space.
- Water: A single primary water main was installed with a sub-meter serving the south space (Unit 111 / Unit B).
- Power: A single main building electrical service was installed with a sub-meter serving the south space (Unit 111 / Unit B).
- Sewer and Grease Traps: Each tenant space constructed and maintains its own grease trap as required by South Valley Water Reclamation.
- All utility installations were inspected and approved by the relevant City and utility authorities at that time.

The creation of the condominium units is purely a legal reorganization of ownership within the same building footprint. There are no construction or utility modifications proposed. All services, connections, and metering will continue to function as originally approved.

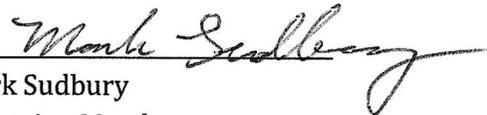
11

The forthcoming Echo Ridge Condominium Declaration (CC&Rs) will formalize shared use and maintenance responsibilities between the two unit owners to ensure ongoing compliance with all existing City and utility agency standards.

We respectfully request that this confirmation serve as sufficient documentation that no new utility plans or engineering reviews are required as part of the condominium approval process.

Sincerely,

SEI Development, LLC

By: 
Mark Sudbury
Managing Member

Date: October 30, 2025



Staff Report

File #:
SPX02202026-007116,
Version: 1

Date: 3/5/2026

Agenda Item Title:
Silver Sage Estates Subdivision (Special Exceptions)
10175 S Dimple Dell Rd
[Community 3, The Dell]

Presenter:
Thomas Irvin, Senior Planner

Description/Background:
The applicant, Alyssa Holbrook representing the property owners, James and Carol Bay, is requesting preliminary subdivision review for the properties located at 10175 S Dimple Dell Rd. The proposal consists of consolidating the three (3) existing properties and then subdividing them into four (4) residential lots. Additionally, she is seeking special exception approval to construct a private lane to access 2 of the proposed lots from Dimple Dell Rd and seeking a waiver of parkstrip along Dimple Dell Road.

Please see the attached staff report and exhibits under the related Subdivision case# SUB12082025-007089.

Recommended Action and/or Suggested Motion:
Staff recommends that the Planning Commission approve the requested special exception for the Silver Sage Estates Subdivision located at 10175 S Dimple Dell Rd to construct a private lane that will access two (2) residential lots and to waive the parkstrip along the frontage of Dimple Dell Road based upon the following findings:

Findings:

1. The proposed lot configuration equitably balances the needs of the public and presents the most efficient use of the land.
2. A private access agreement and maintenance agreement for the private lane will be recorded on the north two lots to ensure access to Dimple Dell Rd is properly maintained.
3. The public street design will comply with the 45-foot street cross section agreement between Sandy City and Salt Lake County.
4. The proposed public improvements will improve existing conditions and increase public safety through this corridor.
5. Elimination of the parkstrip will allow for retention of the natural drainage channel while

File #:
SPX02202026-007116,
Version: 1

Date: 3/5/2026

allowing for a smoother and gentler curve along Dimple Dell Road.

6. That the City Engineer has provided a recommendation on the proposed development within the Sensitive Area Overlay Zone, including the private lane through the hillside area, and the street profiles that supports these requests.



Staff Report

File #:
SUB12082025-007089,
Version: 1

Date: 3/5/2026

Agenda Item Title:

Silver Sage Estates Subdivision (Preliminary Subdivision Review)
10175 S Dimple Dell Rd.
[Community 29, The Dell]

Presenter:

Thomas Irvin, Senior Planner

Description/Background:

The applicant, Alyssa Holbrook representing the property owners, James and Carol Bay, is requesting preliminary subdivision review for the properties located at 10175 S Dimple Dell Rd. The proposal consists of consolidating the three (3) existing properties and then subdividing them into four (4) residential lots. Additionally, she is seeking special exception approval to construct a private lane to access 2 of the proposed lots from Dimple Dell Rd and seeking a waiver of parkstrip along Dimple Dell Road.

Please see the attached staff report and attachments for full details of the request.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission determine that preliminary subdivision review is substantially complete for the Silver Sage Estates Subdivision located at 10175 S Dimple Dell Rd based on the following findings and subject to the following conditions:

Findings:

1. That the proposed lot configuration equitably balances the needs of the public and presents the most efficient use of the land.
2. That the proposed lots comply with the requirements of the R-1-10 and Sensitive Area Overlay Zones.
3. That the various City Departments and Divisions have preliminarily approved the proposed subdivision plat.
4. That the City Engineer has provided a recommendation on the proposed development within the Sensitive Area Overlay Zone.

Conditions:

1. That street improvements and right of way dedications on Dimple Dell Rd be carried out in

accordance with the approved plans as shown in the application materials.

2. That all lots comply with all requirements of the R-1-10 Zone and the Sensitive Area Overlay Zone.
3. That any area equal to or in excess of a 30% slope be indicated (cross-hatched) on the final plat, and that perspective builders and homeowners be apprised of the restrictive nature of the hillside lots.
4. That all lots comply with the requirements of the Wildland Urban Interface requirements without removal of natural vegetation within the protected slope areas of the lots and homeowners be apprised of this requirement.
5. That a grading and drainage plan be submitted and approved for all lots prior to issuance of a building permit. The grading plan shall include a driveway plan and profile to assure conforming driveway slope. Any down sloping driveway will require approval by the City Engineer.
6. That the applicant complies with each department's comments and redlines throughout the final review process and that all issues be resolved before the subdivision can be recorded.
7. That a revegetation plan be provided at final staff review for all areas of protected hillsides that were previously disturbed or will be through the proposed development.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

Staff Report Memorandum March 5, 2026

To: Planning Commission
From: Community Development Department
Subject: Silver Sage Estates Subdivision (Preliminary Subdivision Review & Special Exception Requests)
10175 S Dimple Dell Rd
[Community #29, The Dell]

SUB12082025-007089
SPX02202026-007116
R-1-10 Zone
4 Lots, 2.2 Acres

Public Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, and a sign posted on site.

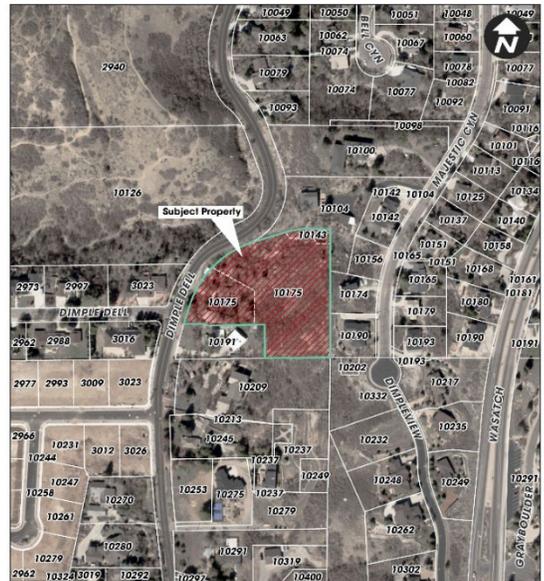
Request

The applicant, Alyssa Holbrook representing the property owners, James and Carol Bay, is requesting preliminary subdivision review for the properties located at 10175 S Dimple Dell Rd. The proposal consists of consolidating the three (3) existing properties and then subdividing them into four (4) residential lots. Additionally, she is seeking special exception approval to construct a private lane to access 2 of the proposed lots from Dimple Dell Rd and seeking a waiver of parkstrip along Dimple Dell Road. (See Exhibit A to review application materials).

Background

The subject properties consists of approximately 2.2 acres and lies within the Sensitive Overlay Zone. The only existing development on the property is a single-family home that will be demolished as part of this project. The properties are zoned R-1-10. All surrounding properties are similarly zoned and have been developed into single-family homes. All properties in this area are within the Sensitive Overlay Zone and are subject to the requirements of that district.

The Orchards at Dimple Dell, a residential single-family project, is currently being developed southwest of this property. A large portion of hillside northwest of this development is zoned for Open Space (SD(OS)).



SUB12082025-007089
Silver Sage Estates Subdivision
10175 S Dimple Dell Rd

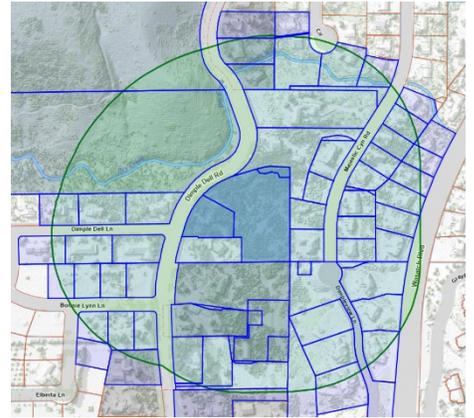
Community Development Department
Sandy City, UT

Property Case History	
Case Number	Case Summary
ANX10152024-006870	Bay Annexation - the R-1-10 Zone was applied which is the most similar zone to the previous County zoning.

Public Notice and Outreach

This item was noticed to all property owners within 500 feet of the proposal. A notice was posted to the Utah Public Notice website and the city website. A physical copy of the notice was posted at City Hall, and public notice signs were placed on the subject property.

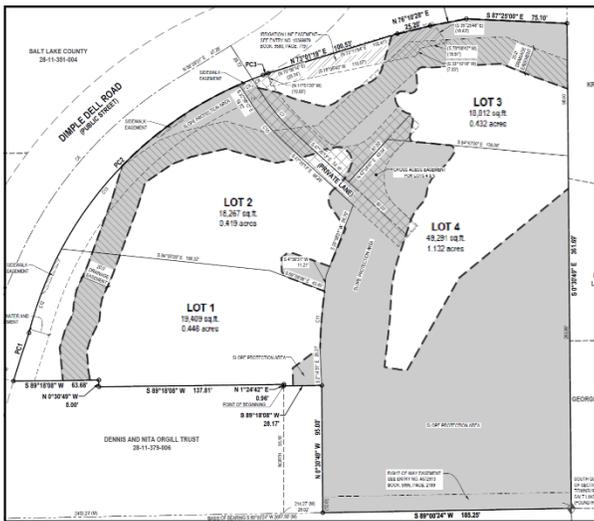
Staff held a virtual neighborhood meeting via Zoom on February 18, 2026. The input received from residents has been summarized in the attached minutes. (see Exhibit “B”).



Analysis

Subdivision

The applicant is proposing to subdivide the three (3) existing parcels and then subdivide them into four (4) single-family residential lots. Street access for the northern two (2) lots will be provided through a private lane. The southern two (2) lots will be accessed from Dimple Dell Road.



The configuration of the proposed lots was driven by the location of sensitive slopes and a drainage corridor that runs along the north and west sides of the property. The private lane allows access over the drainage easement to reach the buildable areas of Lots 3 and 4. The existing natural drainage area is being retained through a drainage easement and is shown on the subdivision plat.

Street improvements will consist of curb, gutter, and sidewalk. No parkstrips are sought as this development to comply with the 45-foot street cross section agreement between Sandy City and Salt Lake County. Street lighting will be installed per Sandy City requirements. A total of three (3) lights will be installed per the standard residential specifications and set no further apart than 145 feet. One will replace the existing light at the south end, another at the north end to illuminate the private lane access, and a third in the middle of the project along the curve of the road.

Sensitive Area Overlay Zone

This property is also within the Sensitive Area Overlay zone. There are significant areas of 30% or greater slope that affects the proposed lots. These areas have been located on the plat, and the buildable areas of each lot are indicated. The City Engineer has also reviewed the slope study and other geotechnical documents provided by the applicant. Besides the steep slopes and drainage channel, there are no other geologic issues that require further mitigation.

Within the Sensitive Overlay zone, vehicle access ways must follow the natural terrain as close as possible to minimize the amount of cuts and fills required. In this case, accessing the eastern buildable areas cannot be achieved without crossing a substantial portion of sensitive slopes. City staff has worked extensively with the developer to identify the least impactful way to reach these building pads, and the current plans reflect the outcome of that collaboration. The Planning Commission may approve this access configuration upon receiving a recommendation from the City Engineer. (see Exhibit A for City Engineer recommendation)

These lots also have large areas of natural vegetation and fall under the Wildland Urban Interface Overlay. Thus, balancing removal of natural vegetation with mitigating fire hazards is an important consideration. A mitigation of removal of natural vegetation is to require fire resistive building materials. Sandy City requires that geotechnical report be provided that in part, analysis the environmental effects of development on wildlife. The report received makes no mention of impacts to wildlife.

New development within Sensitive Areas requires approval of a revegetation plan that outlines how disturbed ground will be restored and stabilized following construction. The applicant has submitted a preliminary plan that will require further refinement at final. Additionally, a portion of the proposed Lot 4 was graded and flattened some time ago to accommodate garden boxes. This previously disturbed area will also need to be regraded and revegetated to return it as close as possible to native conditions.

Special Exceptions

Public street systems are required for access to all residential dwellings unless it can be demonstrated that such access is not achievable based upon certain factors. In this case, the areas of the property that are buildable are set back significantly from Dimple Dell Rd. one of the proposed lots is a flag lot (a permitted lot configuration in the Sensitive Area Overlay Zone) and the other lot technically meets the frontage requirement but is being provided street access through the use of the same private lane. This approach creates the least amount of impacts to the sensitive slopes and required drainage areas. The Planning Commission has the authority to approve through a special exception the use of a private lane to provide street access for up to two residential lots. It must have a minimum paved width of 20 feet and be less than 150 feet in length unless a hammerhead turnaround is provided (which is being shown). Additionally, private access and maintenance agreement must be established to ensure the private lane is properly maintained. The proposed private lane meets all of the requirements listed in the code.

Full street improvements are required for all new subdivisions under Sandy City's Standard Specifications unless the Planning Commission grants a Special Exception based on a recommendation from the City Engineer. Sandy City and Salt Lake County have an existing agreement that the Dimple Dell Road frontage must follow the County's 45-foot street profile. This profile creates a narrower corridor and removes the parkstrip that would otherwise be required. All other applicable street standards are being met, and the City Engineer has issued a positive recommendation for the proposed improvements. (See exhibit C)

Staff Concerns

Neighbors have expressed significant concern about potential impacts to local wildlife, particularly deer that rely on this area as a movement corridor between the upper bench and the Dimple Dell Park area. If future property owners install perimeter fencing, this connection could be severely restricted or eliminated altogether. Although the Sensitive Overlay Zone establishes certain fence material standards through hillside areas, it does not restrict where fencing may be placed, unless it is delineated as a wildlife corridor. The drainage easement that extends through the natural drainage on the north side of the property will already be restricted to fencing. Staff would suggest that a wildlife corridor could be established within that area and the additional land north of the easement.

Residents also raised concerns about how additional streetlighting along Dimple Dell Road could affect wildlife, noting that excessive illumination may discourage deer and other species from using the area. Ensuring adequate lighting for public safety must be balanced with minimizing light pollution and preserving wildlife movement. Public Utilities is requiring three residential-scale streetlights along the corridor, each consisting of a 22-foot pole with a downward-facing LED fixture. These standard city street lights comply with [International Dark-Sky Association](#) guidelines and reduces glare which is wildlife-friendly. Staff believes this will provide the necessary safety while reducing potential impacts on wildlife.



This proposal will involve significant disturbances to protected hillsides during construction. Additionally, protected areas were disturbed prior to the current request. A complete revegetation and restoration plan must be provided by the applicant during the final review process that addresses how all of these areas will be restored to a native condition.

Staff Recommendations

Motion #1 Special Exceptions

Staff recommends that the Planning Commission approve the requested special exception for the Silver Sage Estates Subdivision located at 10175 S Dimple Dell Rd to construct a private lane that will access two (2) residential lots and to waive the parkstrip along the frontage of Dimple Dell Road based upon the following findings:

Findings:

1. The proposed lot configuration equitably balances the needs of the public and presents the most efficient use of the land.
2. A private access agreement and maintenance agreement for the private lane will be recorded on the north two lots to ensure access to Dimple Dell Rd is properly maintained.
3. The public street design will comply with the 45-foot street cross section agreement between Sandy City and Salt Lake County.
4. The proposed public improvements will improve existing conditions and increase public safety through this corridor.
5. Elimination of the parkstrip will allow for retention of the natural drainage channel while allowing for a smoother and gentler curve along Dimple Dell Road.
6. That the City Engineer has provided a recommendation on the proposed development within the Sensitive Area Overlay Zone, including the private lane through the hillside area, and the street profiles that supports these requests.

Motion #2 Subdivision Review

Staff recommends that the Planning Commission determine that preliminary subdivision review is substantially complete for the Silver Sage Estates Subdivision located at 10175 S Dimple Dell Rd based on the following findings and subject to the following conditions:

Findings:

1. That the proposed lot configuration equitably balances the needs of the public and presents the most efficient use of the land.
2. That the proposed lots comply with the requirements of the R-1-10 and Sensitive Area Overlay Zones.
3. That the various City Departments and Divisions have preliminarily approved the proposed subdivision plat.
4. That the City Engineer has provided a recommendation on the proposed development within the Sensitive Area Overlay Zone.

Conditions:

1. That street improvements and right of way dedications on Dimple Dell Rd be carried out in accordance with the approved plans as shown in the application materials.
2. That all lots comply with all requirements of the R-1-10 Zone and the Sensitive Area Overlay Zone.
3. That any area equal to or in excess of a 30% slope be indicated (cross-hatched) on the final plat, and that perspective builders and homeowners be apprised of the restrictive nature of the hillside lots.

4. That all lots comply with the requirements of the Wildland Urban Interface requirements without removal of natural vegetation within the protected slope areas of the lots and homeowners be apprised of this requirement.
5. That a grading and drainage plan be submitted and approved for all lots prior to issuance of a building permit. The grading plan shall include a driveway plan and profile to assure conforming driveway slope. Any down sloping driveway will require approval by the City Engineer.
6. That the applicant complies with each department's comments and redlines throughout the final review process and that all issues be resolved before the subdivision can be recorded.
7. That a revegetation plan be provided at final staff review for all areas of protected hillsides that were previously disturbed or will be through the proposed development.

Planner:



Thomas Irvin
Senior Planner

File Name: S:\USERS\PLN\STAFFRPT\2025\SUB12082025-007089 – SILVER SAGE ESTATES SUBDIVISION\PLANNING COMMISSION\STAFF REPORT

Exhibit "A"
See the attached file for full information

GENERAL NOTES

1. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
2. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
3. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
4. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
5. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
6. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
7. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
8. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
9. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
10. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.

PLAT NOTES

1. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
2. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
3. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
4. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
5. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
6. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
7. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
8. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
9. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.
10. THE SUBDIVISION IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SALT LAKE COUNTY ZONING ORDINANCE AND THE SALT LAKE COUNTY SUBDIVISION ACT.

PROPERTY CURVE TABLE

LINE	BEARING	LENGTH	AREA
1	N 17° 10' 00" E	100.00	100.00
2	S 89° 10' 00" W	100.00	100.00
3	N 17° 10' 00" E	100.00	100.00
4	S 89° 10' 00" W	100.00	100.00

CURVE TABLE

LINE	BEARING	LENGTH	AREA
1	N 17° 10' 00" E	100.00	100.00
2	S 89° 10' 00" W	100.00	100.00
3	N 17° 10' 00" E	100.00	100.00
4	S 89° 10' 00" W	100.00	100.00

LINE TABLE

LINE	BEARING	LENGTH	AREA
1	N 17° 10' 00" E	100.00	100.00
2	S 89° 10' 00" W	100.00	100.00
3	N 17° 10' 00" E	100.00	100.00
4	S 89° 10' 00" W	100.00	100.00

APPROVALS

ENHANCED EASEMENT APPROVAL

PLANNING COMMISSION APPROVAL

CITY ENGINEER APPROVAL

CITY PUBLIC WORKS APPROVAL

CITY UTILITIES APPROVAL

CITY FIRE DEPARTMENT APPROVAL

CITY POLICE DEPARTMENT APPROVAL

CITY HEALTH DEPARTMENT APPROVAL

CITY COMMUNITY DEVELOPMENT APPROVAL

CITY LAND DEPARTMENT APPROVAL

CITY RECORDS & INFORMATION APPROVAL

CITY CLERK APPROVAL

CITY ATTORNEY APPROVAL

CITY ENGINEER APPROVAL

CITY PUBLIC WORKS APPROVAL

CITY UTILITIES APPROVAL

CITY FIRE DEPARTMENT APPROVAL

CITY POLICE DEPARTMENT APPROVAL

CITY HEALTH DEPARTMENT APPROVAL

CITY COMMUNITY DEVELOPMENT APPROVAL

CITY LAND DEPARTMENT APPROVAL

CITY RECORDS & INFORMATION APPROVAL

CITY CLERK APPROVAL

CITY ATTORNEY APPROVAL

1000 Centennial Parkway | Sandy, Utah 84070 | p: 801.568.7250 | f: 801.568.7278 | sandy.utah.gov

59

Exhibit "B"
NEIGHBORHOOD MEETING NOTES AND PUBLIC COMMENT

Neighborhood Meeting Summary

Meeting Date: February 18, 2026
Neighborhood: The Dell #29
Project: Silver Sage Estates Subdivision
Applicant: Alyssa Holbrook

Project Summary

The proposal is a Preliminary Subdivision review for a 4-lot single-family development within the Sensitive Overlay Zone along Dimple Dell Road.

The property is zoned R-1-10. The applicant is also seeking Special Exception approval to create a private lane to access two of the lots.

Meeting Minutes

The neighborhood meeting was conducted online, via Zoom with approximately 12 residents in attendance. After the initial presentation, residents expressed concerns about the following:

Impacts to the Natural Character of Dimple Dell

Several residents brought up concerns about the existing low-density character of the neighborhood that will be impacted by additional development. Deer frequently use the property to migrate up and down the canyon. Additionally, several types of bird's nest in and around the property including great horned owls and hawks. This natural environment is seen as a community amenity residents prefer to retain.

Street lighting was also a concern as it will brighten the roadway further serving to drive wildlife away. It would also impact the dark sky character neighbors have come to enjoy.

Questions were also asked concerning fencing. If the future owners enclose their property with fencing, it will leave little to no access down the canyon for wildlife.

Drainage

As the property is a hillside development, drainage was also a concern. Public Utilities has been making improvements along majestic Canyon which runs up-hill of this development. Residents wanted to understand how building 4 additional homes would impact existing drainage patterns.

It was explained that the natural drainage of the property would not be changed as part of this development. The existing ravine that runs along the west side will continue to be the primary drainage corridor. The proposed private lane at the north that crosses over this ravine will have drainage pipes installed beneath it to allow for the continuous flow of water.

Vehicle Access and Traffic

Residents wanted to know how many more points of vehicle entry were being proposed along Dimple Dell Road (one). It was mentioned that cars frequently speed down the canyon along this stretch and that having additional vehicle entry points may create the potential for accidents. Additionally, in the winter, vehicles often slide down the hill and off the road. It was explained that having full improvements to include curb and gutter would actually serve to prevent this after development.

Exhibit "C"
CITY ENGINEERS RECOMMENDATION
See the attached file for full information

811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK
SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'

SILVER SAGE ESTATES PRELIMINARY PLAT

10143 DIMPLE DELL ROAD
SANDY, UTAH

FOR REVIEW
NOT FOR CONSTRUCTION

DATE PRINTED
January 19, 2026



LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SANDY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
ALYSSA HOLBROOK
4585 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

INDEX OF DRAWINGS

C-001	GENERAL NOTES
C-002	DEMOLITION PLAN
1 OF 1	SLOPE ANALYSIS PER SANDY CITY TOPO
1 OF 1	TREE SURVEY
C-100	PRELIMINARY SITE PLAN
C-101	SIGHT TRIANGLE AND STRIPING PLAN
C-200	PRELIMINARY GRADING AND DRAINAGE PLAN
C-300	PRELIMINARY UTILITY PLAN
C-400	PRELIMINARY EROSION CONTROL PLAN
C-401	RE-VEGETATION PLAN
PP-1	DIMPLE DELL ROAD PLAN AND PROFILE
PP-2	PRIVATE LANE PLAN AND PROFILE
C-500	DETAILS

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

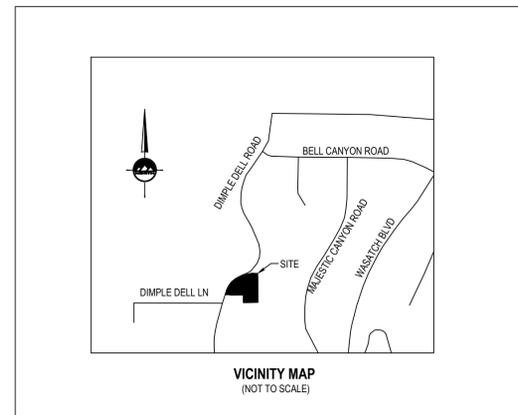
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



GENERAL NOTES

- ALL WORK SHALL CONFORM TO SANDY CITY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

SILVER SAGE ESTATES
PRELIMINARY PLAT
10143 DIMPLE DELL ROAD
SANDY, UTAH



NO. DATE REVISION FOR REVIEW

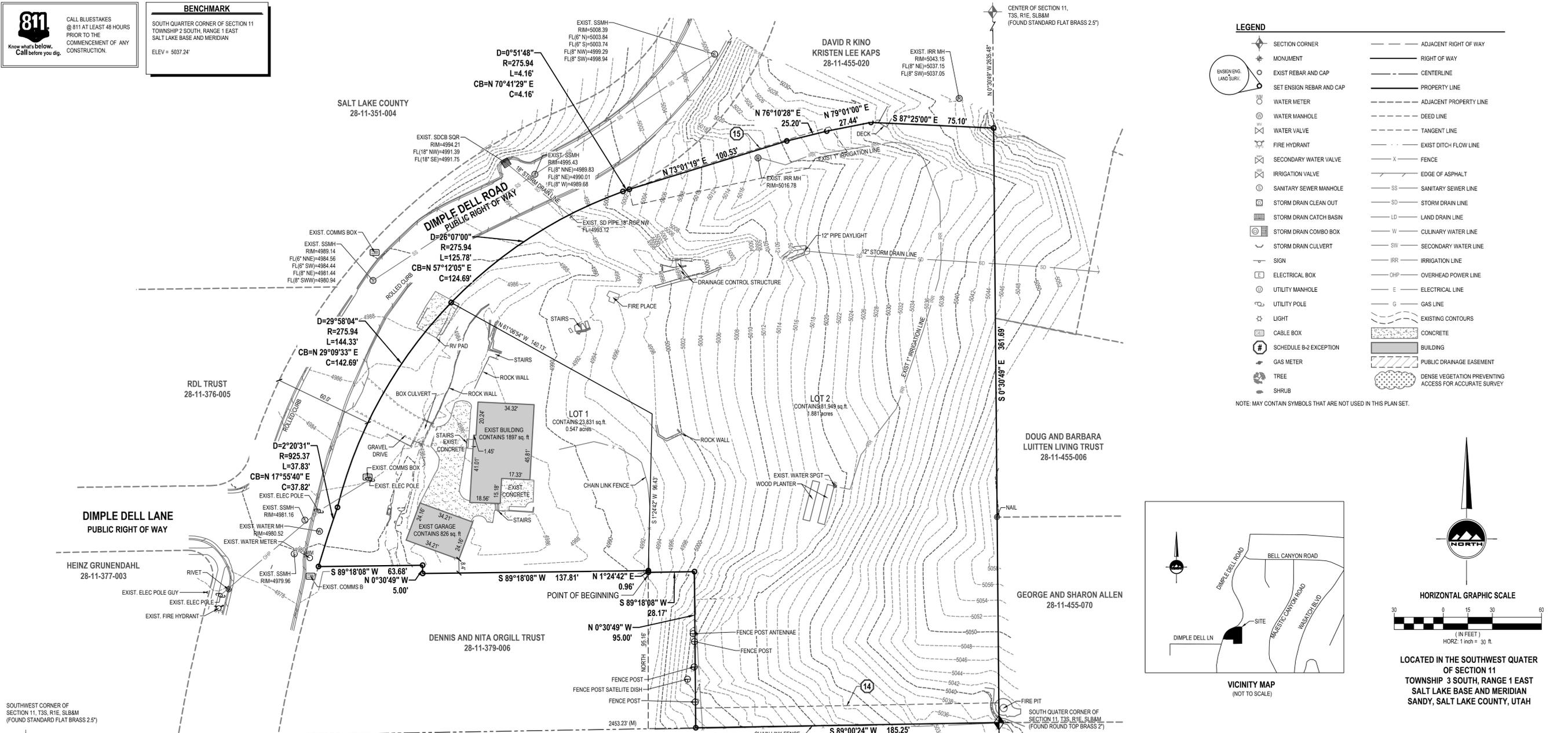
COVER

PROJECT NUMBER 13520 PRINT DATE 2026-01-19
PROJECT MANAGER K.SIMMONS DESIGNED BY M.ELMER

811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

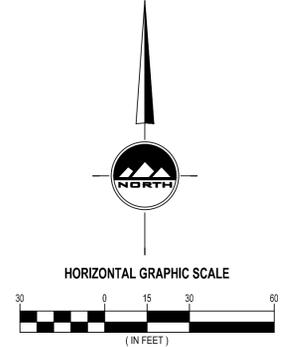
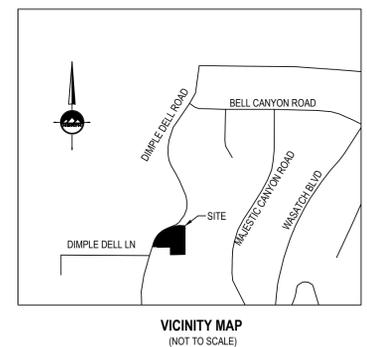
BENCHMARK
SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 3 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'



LEGEND

SECTION CORNER	ADJACENT RIGHT OF WAY
MONUMENT	RIGHT OF WAY
EXIST REBAR AND CAP	CENTERLINE
SET ENSIGN REBAR AND CAP	PROPERTY LINE
WATER METER	ADJACENT PROPERTY LINE
WATER MANHOLE	DEED LINE
WATER VALVE	TANGENT LINE
FIRE HYDRANT	EXIST DITCH FLOW LINE
SECONDARY WATER VALVE	FENCE
IRRIGATION VALVE	EDGE OF ASPHALT
SANITARY SEWER MANHOLE	SS SANITARY SEWER LINE
STORM DRAIN CLEAN OUT	SD STORM DRAIN LINE
STORM DRAIN CATCH BASIN	LD LAND DRAIN LINE
STORM DRAIN COMBO BOX	WD CULINARY WATER LINE
STORM DRAIN CULVERT	SW SECONDARY WATER LINE
SIGN	IRR IRRIGATION LINE
ELECTRICAL BOX	DHP OVERHEAD POWER LINE
UTILITY MANHOLE	E ELECTRICAL LINE
UTILITY POLE	G GAS LINE
LIGHT	EXISTING CONTOURS
CABLE BOX	CONCRETE
SCHEDULE B-2 EXCEPTION	BUILDING
GAS METER	PUBLIC DRAINAGE EASEMENT
TREE	DENSE VEGETATION PREVENTING ACCESS FOR ACCURATE SURVEY
SHRUB	

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



SOUTHWEST CORNER OF SECTION 11, T3S, R1E, S1B&M (FOUND STANDARD FLAT BRASS 2.5")

SURVEYOR'S NARRATIVE

I, Patrick M. Harris do hereby state that I am a Professional Land Surveyor and that I hold certificate no. 266882 as prescribed by the laws of the State of Utah and represent that I have made a survey of the following described property. The Purpose of this survey is to provide an ALTA/NSPS Land Title and Topographic Survey for use by the client. The Basis of Bearing is the line between the South Quarter Corner and the Southwest Quarter Corner of section 11, Township 3 South, Range 1 East, Salt Lake Base and Meridian, said line measures South 89°00'24" West 2667.50 feet.

COMMITMENT DESCRIPTIONS

The Land referred to herein below is situated in the County of Salt Lake, State of Utah and is described as follows:

Parcel 1:
BEGINNING AT A POINT WHICH IS 185.25 FEET WEST AND NORTH 95 FEET AND WEST 29.69 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE NORTH 01°24'42" EAST 96.43 FEET; THENCE NORTH 60°27'01" WEST 174.79 FEET; THENCE SOUTHERLY ALONG THE CENTERLINE OF DIMPLE DELL DRIVE THE FOLLOWING (5) COURSES, SOUTH 40°57'35" WEST 26.84 FEET; THENCE SOUTH 30°03'54" WEST 35.34 FEET; THENCE SOUTH 25°05'31" WEST 36.42 FEET; THENCE SOUTH 20°10'02" WEST 44.40 FEET; THENCE SOUTH 16°05'47" WEST 44.17 FEET; THENCE SOUTH 73°00'13" EAST 33.00 FEET; THENCE EAST 60.00 FEET; THENCE SOUTH 5.00 FEET; THENCE EAST 136.34 FEET TO THE POINT OF BEGINNING; LESS AND EXCEPTING THEREFROM ANY PORTION LYING WITHIN THE BOUNDS OF DIMPLE DELL ROAD.

Parcel 2:
BEGINNING AT THE SOUTH QUARTER CORNER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE MERIDIAN; AND RUNNING THENCE WEST 185.25 FEET; THENCE NORTH 95 FEET; THENCE WEST 165.94 FEET; THENCE NORTH 5 FEET; THENCE WEST 60.08 FEET; THENCE NORTH 73°00'13" WEST 33 FEET; THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT 93.43 FEET; THENCE NORTH 17°09'30" EAST 150.55 FEET; THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT 103.27 FEET; THENCE NORTH 53°30'07" WEST 30 FEET; THENCE NORTH 89°02'20" EAST 33 FEET, MORE OR LESS; THENCE SOUTH 51°32'45" EAST 33 FEET; THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT 124.51 FEET; THENCE NORTH 61°56'03" EAST 5.88 FEET; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT TO THE SOUTHWEST CORNER OF THE BRAY PROPERTY; THENCE NORTHEASTERLY ALONG SAID LINE TO A POINT NORTH 87°25' WEST 97.87 FEET AND NORTH 361.71 FEET FROM BEGINNING; THENCE SOUTH 87°25' EAST 97.87 FEET; THENCE SOUTH 361.71 FEET TO THE POINT OF BEGINNING. SUBJECT TO AN EASEMENT AS REFERENCED IN THAT CERTAIN GRANT OF EASEMENT FOR IRRIGATION LINES RECORDED MARCH 11, 2008, AS ENTRY NO. 10369979, IN BOOK 9580 AT PAGE 1197 OF THE OFFICIAL RECORDS, LESS AND EXCEPTING THEREFROM ANY PORTION LYING WITHIN THE BOUNDS OF DIMPLE DELL ROAD.

Parcel 3:
BEGINNING NORTH 0°30'49" WEST 322.98 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 0°30'49" WEST 38.71 FEET; THENCE NORTH 87°25' WEST 75.1 FEET; THENCE SOUTH 79°01' WEST 27.44 FEET; THENCE SOUTH 76°10'28" WEST 25.20 FEET; THENCE SOUTH 36° EAST 20.87 FEET; THENCE SOUTH 88°11'39" EAST 21.45 FEET; THENCE NORTH 74°48'22" EAST 23.06 FEET; THENCE NORTH 82°16'34" EAST 24.8 FEET; THENCE SOUTH 23°43'14" EAST 17.48 FEET; THENCE EAST 38.21 FEET TO THE POINT OF BEGINNING.

AS SURVEYED DESCRIPTION

Beginning at a point which is South 89°00'24" East 214.27 feet along the section line, and North 95.12 feet from the South Corner of Section 11, Township 3 South, Range 1 East said point being the POINT OF BEGINNING;

thence North 01°24'42" East 0.96 feet
thence South 89°18'08" West 137.81 feet
thence North 00°30'49" West 5.00 feet;
thence South 89°18'08" West 63.68 feet, to the easterly right of way line of Dimple Dell Road;
thence along the Easterly right of way line of Dimple Dell Road the following 3 calls:
1. Northerly 37.83 feet along the arc of a 925.37 foot radius curve to the right (center bears South 73°14'35" East and the chord bears North 17°55'40" East 37.82 feet with a central angle of 02°20'31");
2. thence Northeasterly 144.33 feet along the arc of a 275.94 foot radius curve to the right (center bears South 75°49'29" East and the chord bears North 29°09'33" East 142.69 feet with a central angle of 29°59'04");
3. thence Northeasterly 125.78 feet along the arc of a 275.94 foot radius curve to the right (center bears South 45°51'25" East and the chord bears North 57°12'05" East 124.69 feet with a central angle of 26°07'00");
thence Easterly 4.16 feet along the arc of a 275.94 foot radius curve to the right (center bears South 19°44'25" East and the chord bears North 70°41'29" East 4.16 feet with a central angle of 00°51'14");
thence North 73°01'19" East 100.53 feet;
thence North 76°10'28" East 25.20 feet;
thence North 79°01'00" East 27.44 feet;
thence South 00°30'49" East 75.10 feet, to the section line;
thence South 00°30'49" East 361.69 feet, along the section line to the South Quarter Corner of Section 11;
thence South 89°00'24" West 185.25 feet, along the South section line;
thence North 00°30'49" West 95.00 feet;
thence South 89°18'08" West 28.17 feet to the point of beginning.

To: (i) James G. Bay and Carol S. Bay, (ii) OnRecord Title LLC, and (iii) Old Republic National Title Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 7(a), 8, 11(a), 13, 16, 17, 18 and 19 of Table A hereof.

The field work was completed on October 25, 2024.
Date of Plat or Map: December 6, 2024.

Date _____ Trent R. Williams, PLS
License No. 8034679

SCHEDULE B-2 EXCEPTIONS

- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is discovered between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met. (Blanket in nature)
- Taxes or assessments which are not now payable, or which are not shown as existing liens by the records of any taxing authority that levies taxes or assessment on real property or by the public records. (Not Survey Related)
- Any facts, interest, or claims which are not shown by the public records but which could be ascertained by an inspection of said land or by making inquiry of persons in possession, or claiming to be in possession, thereof. (Blanket in nature)
- Easements, liens, encumbrances, or claims of easements, liens or encumbrances which are not shown by the public records. (Blanket in Nature)
- Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose. (Blanket in nature)
- Any liens, or right to a lien, for services, labor or material theretofore or hereafter furnished, imposed by law and not shown by the public records. (Not Survey Related)
- (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights. Claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records. (Blanket in nature)
- 2024 General Property Taxes have been PAID (Not Survey Related)
- Said properties are located within the boundaries of Unincorporated, Salt Lake County, and is subject to all assessments and service charges levied thereof. Tax District: 33C (Affects Parcels 1 and 2) (Blanket in Nature)
- Said property is located within the boundaries of Unincorporated, Salt Lake County, and is subject to all assessments and service charges levied thereof. Tax District: 35D (Affects Parcel 3) (Blanket in Nature)
- WATER RIGHTS, claims or title to water, and agreements, covenants, conditions or rights incident thereto, whether or not shown by the public records. (Blanket in nature)
- Subject to all existing roads, street, alleys, ditches, reservoirs, utilities, canals, pipelines, power poles, telephone, sewer, gas or water lines and rights of way and easements thereof. (Blanket in Nature)
- Minerals of whatsoever kind, subsurface and surface substances, including but not limited to coal, lignite, oil, gas, geothermal resources, uranium, clay, rock, sand and gravel in, on, and/or under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not appearing in the Public Records or listed in Schedule B. The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed. (Blanket in nature)
- Easements and/or Right-of-Ways as disclosed by mass instruments of record, including but not limited to that certain Warranty Deed: Recorded: January 11, 1988, Entry No.: 4572913, Book: 5995, Page: 2168, of the Official Records. (Shown on Survey).
- Easements and reservations as referenced in that certain Grant of Easement for Irrigation Lines: Recorded: March 11, 2008 Entry No.: 10369979, Book: 9580, Page: 7197, of the Official Records. (Approximate location shown on Survey)

TABLE A

- All monuments used and set are shown on survey.
- Subject parcel address is 10175 Dimple Dell road
- Parcel is located in Flood Zone X, per FEMA FIRM map 49035C0458G, effective 9/25/2009
- Subject parcel contains 105,760 square feet or 1.88 acres.
- 2 foot contours are shown on survey.
- (a) Exterior dimensions of buildings are shown on survey.
- (b) Substantial features are shown on survey.
- (c) Utilities are shown on survey.
- (d) Adjacent owners are shown on survey.
- No evidence of recent earth moving work observed at time of survey.
- No changes in street right of way lines observed at time of survey.
- All plottable easements are shown on survey.
- All insurance liability minimums have been met.

NOTE: The following name(s) have been checked for judgments and no unsatisfied judgments appear of record, except as shown herein:

Buyer(s)/Borrower(s): Capital Land Holdings LLC Seller(s): James & Carol Bay Revocable Trust Other Parties: James G. Bay and Carol S. Bay
MERS, Inc., solely as nominee for Quicken Loans, LLC Amount: \$204,000.00, Recorded: January 19, 2021, Entry No.: 13536352, Book: 11100, Page: 8108, of the Official Records (Blanket in Nature)

NOTE: The following name(s) have been checked for judgments and no unsatisfied judgments appear of record, except as shown herein:

Warranty Deed
Grantor: James G. Bay and Carol S. Bay
Grantee: James G. Bay and Carol S. Bay, Trustees of The James and Carol Bay Revocable Trust, dated the 24th day of February, 2023 Recorded: September 27, 2023, Entry No.: 14156912, (Parcels 1 and 2)

Warranty Deed
Grantor: Milton O. Gold and Linnie P. Gold, Trustees of the Milton O. Gold Inter Vivos Revocable Trust Agreement dated 11-24-75
Grantee: James G. Bay and Carol S. Bay, husband and wife, as joint tenants Recorded: March 2, 1988, Entry No.: 4592087, (Parcel 2)

Warranty Deed
Grantor: James G. Bay and Carol S. Bay, individually AND James G. Bay and Carol S. Bay, Trustees of The James and Carol Bay Revocable Trust, dated the 24th day of February, 2023, Grantee: James G. Bay and Carol S. Bay, as joint tenants Recorded: September 27, 2023, Entry No.: 14156910

Warranty Deed
Grantor: James G. Bay and Carol S. Bay, husband and wife
Grantee: James G. Bay and Carol S. Bay, Trustees of The James and Carol Bay Revocable Trust, dated the 24th day of February, 2023 Recorded: February 28, 2023, Entry No.: 14076967

ENSIGN
THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR CLIENT
ALYSSA HOLBROOK
4595 S. HOLLADAY FARM LN, HOLLADAY UT
CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

BAY PROPERTY
ALTANSPS LAND TITLE AND TOPOGRAPHIC SURVEY
10175 DIMPLE DELL ROAD
SANDY UTAH

PROFESSIONAL LAND SURVEYOR
No. 286882
PATRICK M. HARRIS
SALT LAKE COUNTY

ALTA/ NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

PROJECT NUMBER 13520 PRINT DATE 12/9/24
DRAWN BY PRG CHECKED BY BDH
PROJECT MANAGER PMH

1 OF 1

SILVER SAGE ESTATES

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11,
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH
JANUARY 2026

SANDY CITY GENERAL PLAT NOTES

- REQUIREMENTS HAVE BEEN IMPOSED RELATING TO THE DEVELOPMENT OF THIS SUBDIVISION AND DEVELOPMENT ON EACH OF THE LOTS.
- BUILDING PERMITS/CERTIFICATES OF OCCUPANCY MAY NOT BE ISSUED UNTIL CERTAIN IMPROVEMENTS HAVE BEEN INSTALLED.
- CERTAIN MEASURES ARE REQUIRED TO CONTROL BLOWING SOIL AND SAND DURING CONSTRUCTION ON A LOT.
- NO DRIVEWAY SHALL BE CONSTRUCTED TO CONVEY STORM WATER RUNOFF TOWARD ANY BUILDING.
- EACH RESIDENTIAL LOT IS REQUIRED TO RETAIN STORM WATER ON SITE. EXCEPT FOR THE PORTION OF THE LOT THAT DRAINS TOWARD THE STREET AND/OR TO SUBDIVISION STORM WATER FLOW CONTROL FEATURE(S) AS LONG AS THE DOWNSTREAM STORM WATER SYSTEM CAN ACCOMMODATE THE FLOWS, DURING AND AFTER CONSTRUCTION. THIS CAN BE ACCOMPLISHED BY USE OF SWALES, RETENTION AREAS, BERMS, PLANTER BEDS, UNDERGROUND INFILTRATION, ETC.
- PROPERTIES ARE TO BE GRADED SUCH THAT STORM WATER RUNOFF WILL DRAIN AWAY FROM STRUCTURES AND TOWARDS PROPERTY BOUNDARIES. HOWEVER, NEW DEVELOPMENT OR REDEVELOPMENT SHALL NOT INCREASE THE BURDEN OF STORM WATER ON NEIGHBORING AND/OR DOWNSTREAM PROPERTIES. STORM WATER RUNOFF SHALL BE ENTIRELY CONTROLLED WITHIN THE LIMITS OF PROJECT SITE. PERPETRATING PROPERTY OWNERS MAY BE LIABLE FOR DAMAGES IN CIVIL COURTS DUE TO DAMAGES CAUSED TO ADJACENT PROPERTIES FROM RUNOFF INCLUDING FLOWS THAT EXISTED BEFORE THE NEW DEVELOPMENTS OR REDEVELOPMENT OCCURRED. ANY CONCENTRATED FLOWS LEAVING A SITE SHALL HAVE AN AGREEMENT/EASEMENT WITH THE AFFECTED PROPERTY OWNERS.
- THE CITY SHALL BE GIVEN THE FIRST RIGHT OF REFUSAL TO PURCHASE WATER RIGHTS ACCOMPANYING THE PROPERTY IN THIS DEVELOPMENT.
- FOR STORM DRAIN MAINTENANCE AGREEMENT, REFERS TO THE RECORDED POST CONSTRUCTION AGREEMENT.

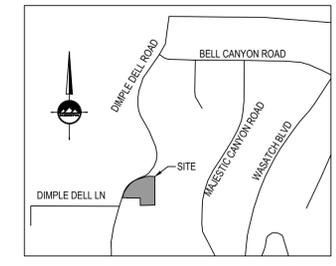
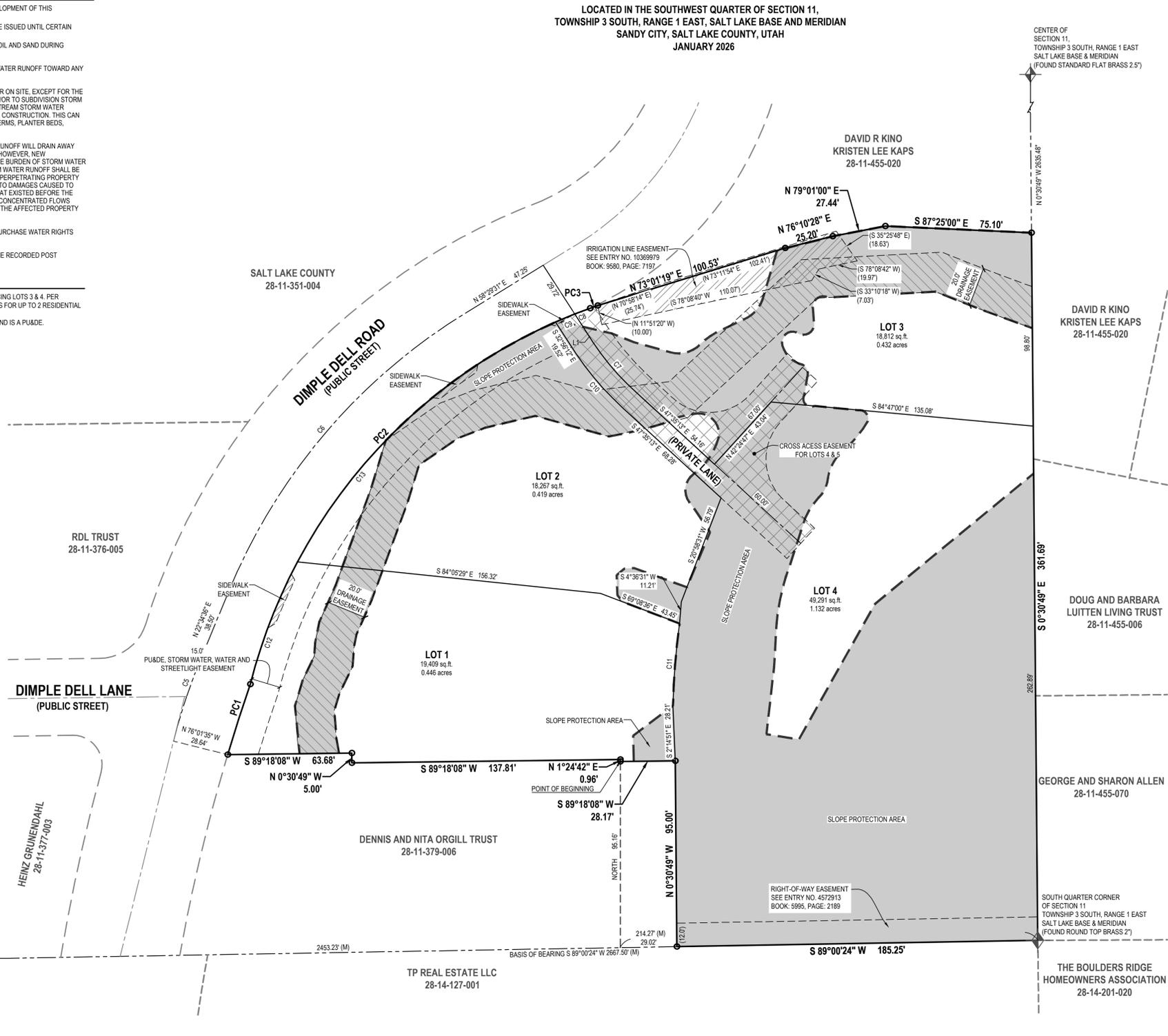
PLAT NOTES

- LOT 2 DOES NOT HAVE ACCESS TO THE PRIVATE LANE SERVICING LOTS 3 & 4. PER 21-21-1(e), PRIVATE LANES CAN ONLY BE UTILIZED AS ACCESS FOR UP TO 2 RESIDENTIAL LOTS.
- PRIVATE LANE HAS CROSS ACCESS IN FAVOR OF LOTS 3 & 4 AND IS A PU&E.

PROPERTY CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
PC1	925.37'	37.83'	2°20'31"	N17°55'40"E	37.82'
PC2	275.94'	270.11'	56°05'04"	N42°13'03"E	259.45'
PC3	275.94'	4.16'	0°51'48"	N70°41'29"E	4.16'

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C5	300.00'	20.15'	3°50'52"	N20°39'10"E	20.14'
C6	301.44'	188.95'	35°54'54"	N40°32'03"E	185.88'
C7	129.61'	33.95'	15°00'37"	S41°01'08"E	33.86'
C8	275.94'	8.40'	1°44'42"	S69°23'14"W	8.40'
C9	275.94'	10.67'	2°12'59"	S67°24'24"W	10.67'
C10	158.50'	36.48'	13°11'14"	S40°59'36"E	36.40'
C11	340.07'	42.10'	7°05'33"	S4°38'32"W	42.07'
C12	275.94'	67.23'	13°57'31"	N21°09'17"E	67.06'
C13	275.94'	183.80'	38°09'52"	N47°12'58"E	180.42'

LINE TABLE		
LINE	BEARING	LENGTH
L1	S32°56'12"E	17.46'



LEGEND

- SECTION CORNER
- PROPOSED STREET MONUMENT PER SALT LAKE CO. SURVEYOR PERMIT
- EXISTING STREET MONUMENT
- SET 5/8" X 24" REBAR WITH YELLOW PLASTIC CAP OR NAIL STAMPED "ENSGN ENG. & LAND SURV."
- SECTION LINE
- SECTION TIE LINE
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- ADJACENT ROAD CENTERLINE
- RIGHT OF WAY
- ADJACENT RIGHT OF WAY
- LOT LINE
- ADJACENT LOT LINE
- EASEMENT
- 30% SLOPE PROTECTION LINE
- IRRIGATION LINE EASEMENT SEE ENTRY NO. 10369979 BOOK: 9880, PAGE: 7197
- 20' DRAINAGE EASEMENT SEE EXHIBIT A SHEET 2
- CROSS ACCESS EASEMENT SEE EXHIBIT B SHEET 2
- SLOPE PROTECTION AREA SEE EXHIBIT C SHEET 3
- SIDEWALK EASEMENT SEE EXHIBIT A SHEET 2

HORIZONTAL GRAPHIC SCALE

0 15 30 60
(IN FEET)
HORZ: 1 inch = 30 ft.

SURVEYOR'S CERTIFICATE

I, TRENT R. WILLIAMS, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 8034679 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyor's Act. I further certify that by authority of the Owners, I have completed a survey of the property described on this subdivision plat in accordance with Section 17-73-504 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to accurately establish the lateral boundaries of the herein described tract of real property, and has been drawn correctly to the designated scale and is a true and correct representation of the herein described lands included in said subdivision, based upon data compiled from records of the county recorder's office. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION

Beginning at a point which is South 89°00'24" West 214.27 feet along the section line, and North 95.16 feet from the South Corner of Section 11, Township 3 South, Range 1 East said point being the POINT OF BEGINNING;

thence North 01°24'42" East 0.96 feet;

thence South 89°18'08" West 137.81 feet;

thence North 00°30'49" West 5.00 feet;

thence South 89°18'08" West 63.68 feet, to the easterly right of way line of Dimple Dell Road;

thence along the Easterly right of way line of Dimple Dell Road the following 2 calls;

- Northerly 37.83 feet along the arc of a 925.37 foot radius curve to the right (center bears South 73°14'35" East and the chord bears North 17°55'40" East 37.82 feet with a central angle of 02°20'31");
- thence Northwesterly 270.11 feet along the arc of a 275.94 foot radius curve to the right (center bears South 75°49'29" East and the chord bears North 42°13'03" East 259.45 feet with a central angle of 56°05'04");

thence Easterly 4.16 feet along the arc of a 275.94 foot radius curve to the right (center bears South 19°44'25" East and the chord bears North 70°41'29" East 4.16 feet with a central angle of 00°51'48");

thence North 70°41'29" East 100.53 feet;

thence North 76°10'28" East 25.20 feet;

thence North 79°01'00" East 27.44 feet;

thence South 87°25'00" East 75.10 feet, to the section line;

thence South 00°30'49" East 361.69 feet, along the section line to the South Quarter Corner of Section 11;

thence South 89°00'24" West 185.25 feet, along the South section line;

thence North 00°30'49" West 5.00 feet;

thence South 89°18'08" West 28.17 feet to the point of beginning.

Contains: 105,779 square feet or approximately 2.428 acres

OWNER'S DEDICATION

Know all men by these presents that the undersigned (s) the owner(s) (hereafter, "the undersigned Owner") of the above-described tract of land and the undersigned Owner do hereby cause the same to be divided into lots, parcels, and streets, together with easements, as set forth, to be hereafter known as

SILVER SAGE ESTATES

and that the undersigned Owners do hereby dedicate to Sandy City, for perpetual use, all streets and other areas shown on this plat as intended for public uses. The undersigned Owners also do hereby dedicate to the lot owners, for perpetual use, all privately-owned streets, lanes, alley, and driveways as non-exclusive vehicular and pedestrian access easements for the use of the lot owners and their invitees. The undersigned Owners also do hereby dedicate to the owners of the following-named facilities, for perpetual use, all privately-owned streets, lanes, alley, and driveways as non-exclusive water, sanitary sewer, storm sewer, public utility, streetlight, and drainage easements, the same to be used for the installation, maintenance and operation of those facilities. The undersigned Owners also hereby convey to any and all public utility companies, a perpetual, non-exclusive easement over the public utility easements shown on this plat, the same to be used for the installation, maintenance and operation of utility lines and facilities. The undersigned Owners also do hereby convey any other easements, as shown on this plat, to the parties indicated by those easements, the same to be used for the installation, maintenance and operation of the facilities, or for other typical purposes, indicated for those easements, as shown hereon.

In witness whereof I / we have hereunto set our hand (s) this _____ day of _____, A.D. 20____

By: _____ By: _____
Its: _____ Its: _____

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH J.S.S.
County of Salt Lake

On the _____ day of _____, A.D. 20____, personally appeared before me _____ of _____ of the signer of the foregoing instrument, who duly acknowledged to me that he/she is a _____ a Utah limited liability company, and is authorized to execute the foregoing Agreement in its behalf and that he/she executed it in such capacity.

MY COMMISSION EXPIRES: _____

RESIDING IN _____ COUNTY.

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH J.S.S.
County of Salt Lake

On the _____ day of _____, A.D. 20____, personally appeared before me _____ of _____ of the signer of the foregoing instrument, who duly acknowledged to me that he/she is a _____ a Utah limited liability company, and is authorized to execute the foregoing Agreement in its behalf and that he/she executed it in such capacity.

MY COMMISSION EXPIRES: _____

RESIDING IN _____ COUNTY.

ENBRIDGE GAS UTAH APPROVAL

ENBRIDGE GAS UTAH - NOTE
QUISTAR GAS COMPANY, DBA ENBRIDGE GAS UTAH ("ENBRIDGE"), APPROVES THIS PLAT SOLELY TO CONFIRM THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. THIS APPROVAL DOES NOT (A) AFFECT ANY RIGHT ENBRIDGE HAS UNDER TITLE 54, CHAPTER 8A, A RECORDED EASEMENT OR RIGHT-OF-WAY, PRESCRIPTIVE RIGHTS, OR ANY PROVISION OF LAW; (B) CONSTITUTE ACCEPTANCE OF ANY TERMS CONTAINED IN ANY PORTION OF THE PLAT; AND (C) GUARANTEE ANY TERMS OR WAIVE ENBRIDGE'S RIGHT TO REQUIRE ADDITIONAL EASEMENTS FOR GAS SERVICE.

APPROVED THIS _____ DAY OF _____, 20____.

BY: _____

TITLE: _____

ROCKY MOUNTAIN POWER APPROVAL

ROCKY MOUNTAIN POWER NOTES:
1. PURSUANT TO UTAH CODE ANN. § 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. § 17-27A-803(4)(C)(III) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
2.1. A RECORDED EASEMENT OR RIGHT-OF-WAY
2.2. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
2.3. TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
2.4. ANY OTHER PROVISION OF LAW.

APPROVED THIS _____ DAY OF _____, 20____.

BY: _____

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SANDY CITY PLANNING COMMISSION

CHAIR, SANDY CITY PLANNING COMMISSION

COTTONWOOD IMPROVEMENT DISTRICT

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE COTTONWOOD IMPROVEMENT DISTRICT

COTTONWOOD IMPROVEMENT DISTRICT

CITY ENGINEER APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SANDY CITY ENGINEER.

SANDY CITY ENGINEER

PUBLIC UTILITIES DEPARTMENT APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SANDY CITY PUBLIC UTILITIES DEPARTMENT

SANDY CITY PUBLIC UTILITIES DEPARTMENT, ENGINEERING MANAGER

SANDY CITY MAYOR APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SANDY CITY MAYOR.

MAYOR

ATTEST: CLERK

SHEET 1 OF 3

PROJECT NUMBER: 13520

MANAGER: K. SIMMONS

DRAWN BY: A. SHELBY

CHECKED BY: T. WILLIAMS

DATE: 2026-01-16

CITY PARKS & RECREATION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SANDY CITY PARKS & RECREATION DIRECTOR

SANDY CITY PARKS & RECREATION DIRECTOR

EASEMENT APPROVAL

CENTURYLINK DATE _____

ROCKY MOUNTAIN POWER DATE _____

ENBRIDGE GAS UTAH DATE _____

COMCAST DATE _____

SALT LAKE COUNTY HEALTH DEPARTMENT APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SALT LAKE COUNTY HEALTH DEPARTMENT.

SALT LAKE COUNTY HEALTH DEPARTMENT

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SANDY CITY PLANNING COMMISSION

CHAIR, SANDY CITY PLANNING COMMISSION

COTTONWOOD IMPROVEMENT DISTRICT

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE COTTONWOOD IMPROVEMENT DISTRICT

COTTONWOOD IMPROVEMENT DISTRICT

CITY ENGINEER APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SANDY CITY ENGINEER.

SANDY CITY ENGINEER

PUBLIC UTILITIES DEPARTMENT APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SANDY CITY PUBLIC UTILITIES DEPARTMENT

SANDY CITY PUBLIC UTILITIES DEPARTMENT, ENGINEERING MANAGER

SANDY CITY MAYOR APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SANDY CITY MAYOR.

MAYOR

ATTEST: CLERK

SHEET 1 OF 3

PROJECT NUMBER: 13520

MANAGER: K. SIMMONS

DRAWN BY: A. SHELBY

CHECKED BY: T. WILLIAMS

DATE: 2026-01-16

CITY ATTORNEY'S APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SANDY CITY ATTORNEY.

SANDY CITY ATTORNEY

SALT LAKE COUNTY RECORDER

RECORDED # _____

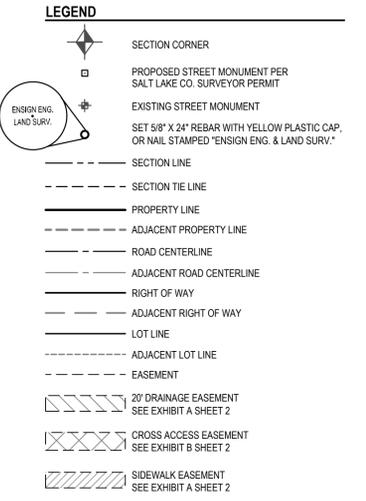
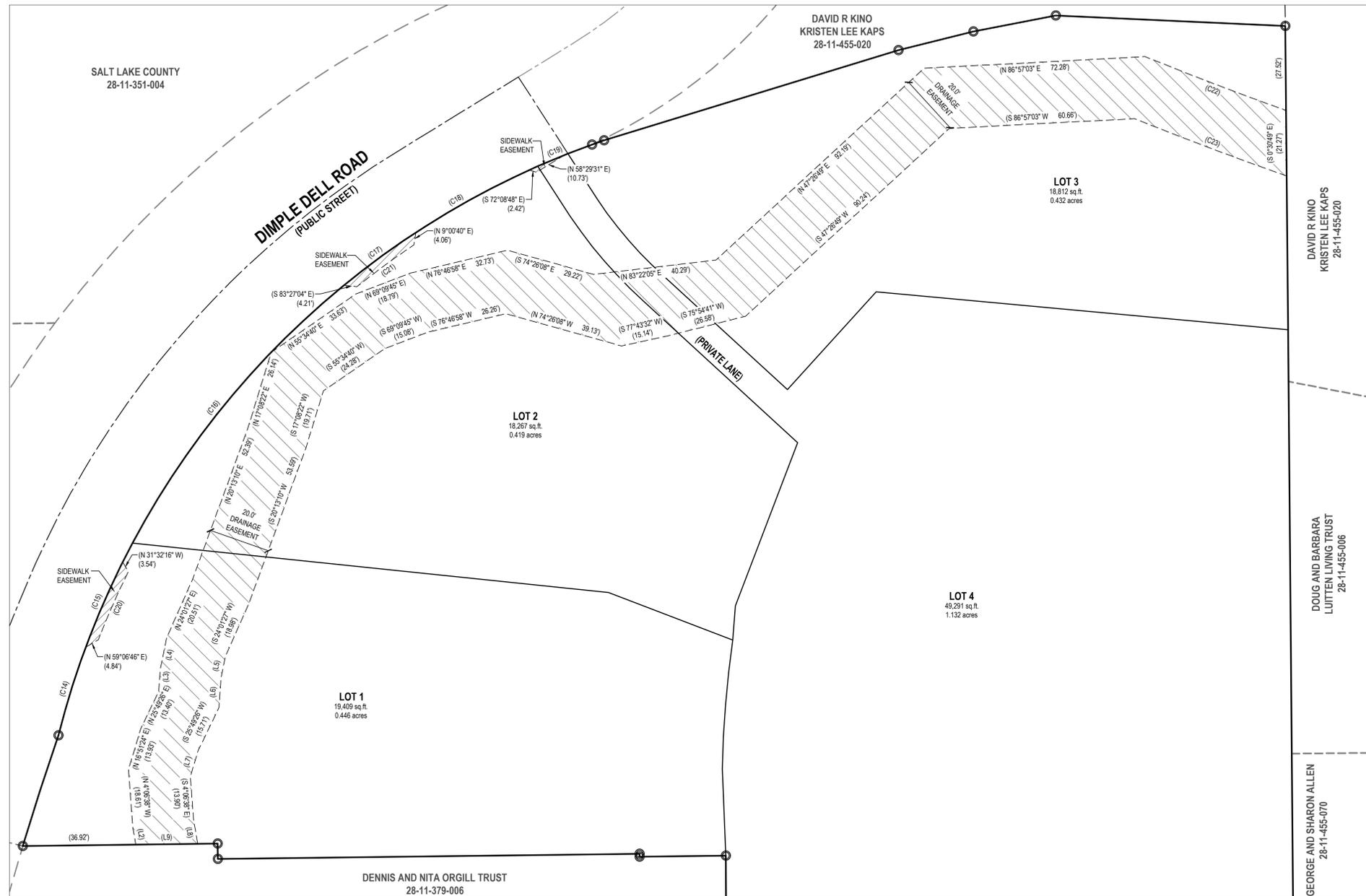
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: _____

DATE: _____ TIME: _____ BOOK: _____ PAGE: _____

FEES _____ DEPUTY SALT LAKE COUNTY RECORDER

SILVER SAGE ESTATES
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11,
 TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
 SANDY CITY, SALT LAKE COUNTY, UTAH
 JANUARY 2026

EXHIBIT "A"



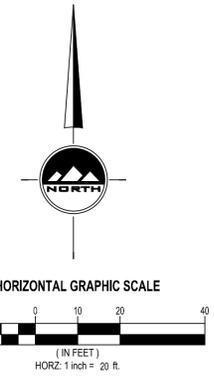
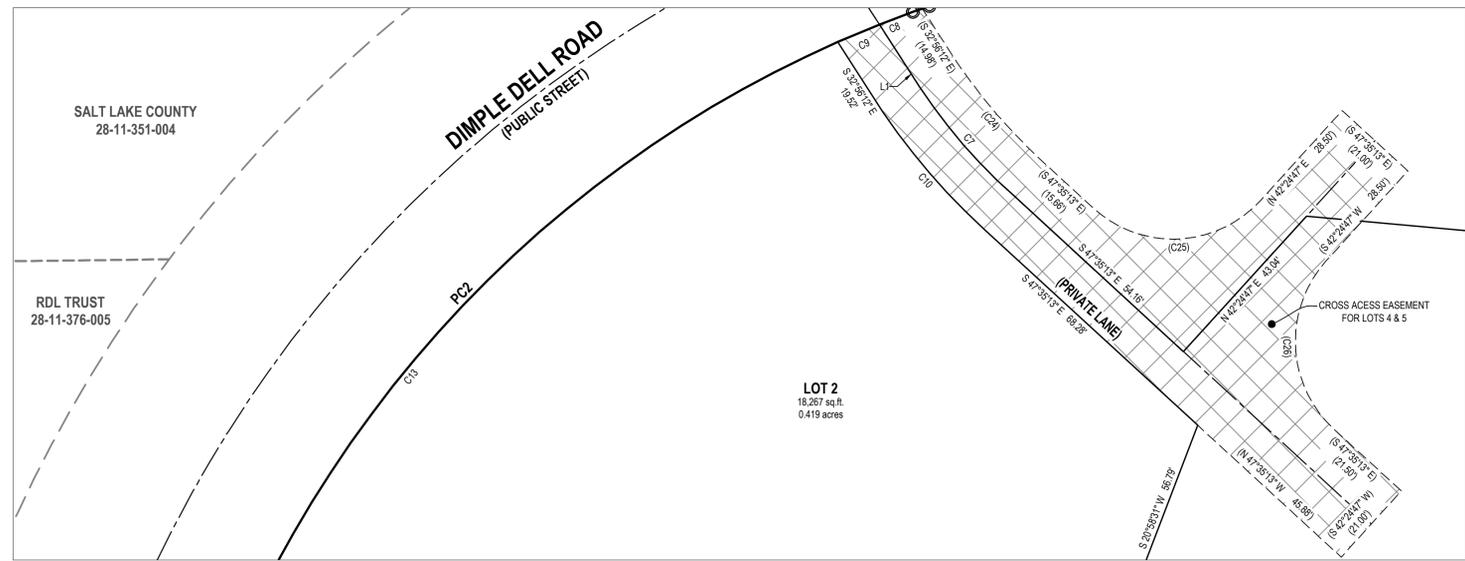
CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C14	275.94'	30.02'	6°14'02"	N17°17'32"E	30.01'
C15	275.94'	30.21'	6°16'23"	N23°32'44"E	30.20'
C16	275.94'	116.35'	24°09'31"	N38°45'41"E	115.49'
C17	275.94'	29.09'	6°02'22"	N53°51'37"E	29.07'
C18	275.94'	42.36'	8°47'43"	N61°16'39"E	42.32'
C19	275.94'	12.45'	2°35'03"	N66°58'02"E	12.44'
C20	272.94'	24.24'	5°05'21"	N23°44'47"E	24.23'
C21	272.94'	23.10'	4°50'58"	N53°52'59"E	23.09'
C22	1145.54'	49.38'	2°28'12"	S69°09'46"E	49.38'
C23	1165.54'	53.09'	2°36'35"	N69°27'09"W	53.08'
C24	137.50'	31.39'	13°04'46"	S41°02'50"E	31.32'
C25	28.00'	43.98'	90°00'00"	N87°24'47"E	39.60'
C26	28.00'	43.98'	90°00'00"	S2°35'13"E	39.60'

LINE TABLE

LINE	BEARING	LENGTH
(L2)	N9°53'42"W	5.99'
(L3)	N3°52'52"E	7.09'
(L4)	N11°28'29"E	10.55'
(L5)	S11°28'29"W	7.02'
(L6)	S3°52'52"W	9.64'
(L7)	S16°51'24"W	8.66'
(L8)	S9°53'42"E	8.22'
(L9)	S89°18'08"W	20.26'

EXHIBIT "B"

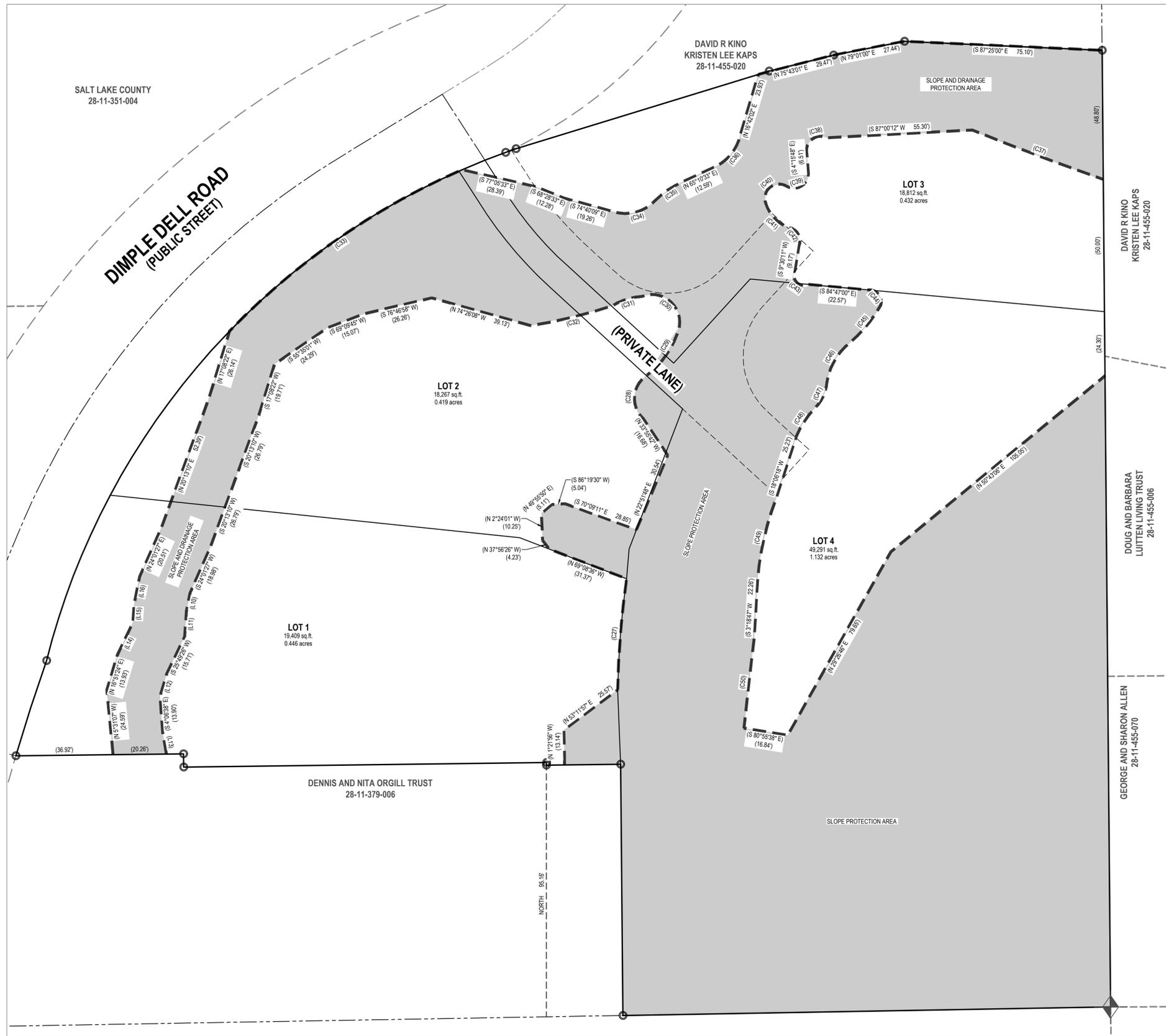


<p align="center">DEVELOPER ALYSSA HOLBROOK 4595 S. HOLLADAY FARM LN HOLLADAY, UT 84117 385-315-0289</p>	<p align="center">SHEET 2 OF 3</p> PROJECT NUMBER : 13520 MANAGER : K.SIMMONS DRAWN BY : A.SHELBY CHECKED BY : T.WILLIAMS DATE : 2026-01-16	<p>SILVER SAGE ESTATES</p> <p>LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN SANDY CITY, SALT LAKE COUNTY, UTAH</p>
	<p align="center">ENSGN THE STANDARD IN ENGINEERING</p> LAYTON 519 North 400 West Layton, UT 84041 Phone: 801.547.1100 WWW.ENSGNENG.COM	SANDY Phone: 801.255.0529 TOOELE Phone: 435.843.3590 CEDAR CITY Phone: 435.865.1453 RICHFIELD Phone: 435.896.2963

SILVER SAGE ESTATES

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11,
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH
JANUARY 2026

EXHIBIT "C"



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C27	340.07'	42.10'	7°05'33"	N4°36'32"E	42.07'
C28	10.32'	18.05'	100°10'26"	N2°39'46"E	15.84'
C29	34.54'	23.36'	38°45'15"	N34°31'19"E	22.92'
C30	10.50'	22.11'	120°42'04"	N50°56'02"W	18.24'
C31	24.11'	12.10'	28°45'46"	S72°30'39"W	11.98'
C32	204.50'	31.71'	8°53'05"	S76°22'44"W	31.68'
C33	276.17'	107.99'	22°24'12"	N55°21'16"E	107.30'
C34	15.50'	17.01'	62°51'59"	N74°54'20"E	16.17'
C35	34.95'	12.86'	21°05'05"	N55°54'02"E	12.79'
C36	17.57'	16.76'	54°40'38"	N39°54'16"E	16.14'
C37	1165.54'	53.09'	2°36'35"	N69°27'09"W	53.08'
C38	5.40'	12.26'	130°03'30"	S50°59'25"W	9.79'
C39	5.48'	12.27'	128°23'04"	S54°03'44"W	9.86'
C40	5.42'	13.69'	144°42'36"	S51°49'26"W	10.33'
C41	14.05'	14.50'	59°08'46"	S46°40'25"E	13.87'
C42	5.18'	7.77'	86°00'26"	S20°56'00"E	7.06'
C43	4.01'	10.02'	143°14'49"	S43°35'24"E	7.61'
C44	4.52'	8.98'	113°47'57"	S39°38'49"E	7.57'
C45	53.24'	18.20'	19°35'00"	S39°31'02"W	18.11'
C46	23.84'	17.66'	42°27'32"	S30°50'11"W	17.26'
C47	15.79'	11.52'	41°48'36"	S25°01'54"W	11.27'
C48	35.87'	12.63'	20°10'34"	S33°23'16"W	12.57'
C49	113.68'	30.72'	15°29'05"	S12°54'43"W	30.63'
C50	1940.93'	34.54'	1°01'11"	S6°28'24"W	34.54'

LINE TABLE		
LINE	BEARING	LENGTH
(L10)	S11°28'29"W	7.02'
(L11)	S3°52'52"W	9.64'
(L12)	S16°51'24"W	8.66'
(L13)	S9°53'42"E	8.22'
(L14)	N25°49'26"E	13.40'
(L15)	N3°52'52"E	7.09'
(L16)	N11°28'29"E	10.55'

LEGEND

- SECTION CORNER
- PROPOSED STREET MONUMENT PER SALT LAKE CO. SURVEYOR PERMIT
- EXISTING STREET MONUMENT
- SET 5/8" X 24" REBAR WITH YELLOW PLASTIC CAP, OR NAIL STAMPED "ENSGN ENG. & LAND SURV."
- SECTION LINE
- SECTION TIE LINE
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- ADJACENT ROAD CENTERLINE
- RIGHT OF WAY
- ADJACENT RIGHT OF WAY
- LOT LINE
- ADJACENT LOT LINE
- EASEMENT
- 30% SLOPE PROTECTION LINE
- IRRIGATION LINE EASEMENT SEE EXHIBIT A SHEET 2
- 20' DRAINAGE EASEMENT SEE EXHIBIT A SHEET 2
- CROSS ACCESS EASEMENT SEE EXHIBIT B SHEET 2
- SLOPE PROTECTION AREA SEE EXHIBIT C SHEET 3
- SIDEWALK EASEMENT SEE EXHIBIT A SHEET 2

NORTH

HORIZONTAL GRAPHIC SCALE

(IN FEET)
HORZ: 1 inch = 20 ft.

<p>DEVELOPER ALYSSA HOLBROOK 4595 S. HOLLADAY FARM LN HOLLADAY, UT 84117 385-315-0289</p>	<p>SHEET 3 OF 3</p>	<p>SILVER SAGE ESTATES</p> <p>LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN SANDY CITY, SALT LAKE COUNTY, UTAH</p>
	<p>PROJECT NUMBER : 13520 MANAGER : K.SIMMONS DRAWN BY : A.SHELBY CHECKED BY : T.WILLIAMS DATE : 2026-01-16</p>	
<p>ENSGN THE STANDARD IN ENGINEERING</p> <p>LAYTON 319 North 400 West Layton, UT 84041 Phone: 801.547.1100 WWW.ENSGNENG.COM</p> <p>SANDY Phone: 801.255.0529 TOOELE Phone: 435.843.3390 CEDAR CITY Phone: 435.865.1453 RICHFIELD Phone: 435.896.2963</p>	<p>RECORDED # _____</p> <p>STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: _____</p> <p>DATE: _____ TIME: _____ BOOK: _____ PAGE: _____</p> <p>FEES _____ DEPUTY SALT LAKE COUNTY RECORDER</p>	



NO.	DATE	REVISION
		FOR REVIEW

GENERAL NOTES

PROJECT NUMBER 13520	PRINT DATE 2026-01-19
PROJECT MANAGER K.SIMMONS	DESIGNED BY M.ELMER

C-001

GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (CURRENT EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND/OR UTILITY MAPPING PROVIDED TO THE ENGINEER, AND THEREFORE UTILITIES MAY NOT BE LOCATED CORRECTLY, EITHER HORIZONTALLY OR VERTICALLY, AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR IS REQUIRED TO FOLLOW THE PROCEDURE OUTLINED BELOW.
 - CONTRACTOR IS REQUIRED TO LOCATE AND POT-HOLE ALL EXISTING UTILITY LINES (BOTH HORIZONTALLY AND VERTICALLY) THAT AFFECT THE PROJECT CONSTRUCTION, EITHER ON-SITE OR OFF-SITE, AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE DESIGN OF THE SITE AS SHOWN ON THE APPROVED PLANS PRIOR TO ANY CONSTRUCTION. IF IT IS DETERMINED THAT CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) THE ENGINEER MUST BE NOTIFIED IMMEDIATELY TO CORRECT THE CONFLICTS BEFORE ANY WORK CAN BEGIN. IF THE CONTRACTOR FAILS TO FOLLOW THIS ABSOLUTE REQUIREMENT AND CONFLICTS ARISE DURING CONSTRUCTION THE CONTRACTOR WILL BEAR THE SOLE RESPONSIBILITY TO FIX THE CONFLICTS.
 - CONTRACTOR IS REQUIRED TO VERIFY THAT PROPER COVER AND PROTECTION OF EXISTING UTILITY LINES IS MAINTAINED OR ATTAINED WITHIN THE DESIGN ONCE VERIFICATION OF THE EXISTING UTILITIES IS COMPLETED AS OUTLINED IN 16.1 ABOVE.
 - IN ADDITION TO 16.1 AND 16.2 ABOVE THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY "POT-HOLING" A MINIMUM OF 300 FEET AHEAD OF PROPOSED PIPELINE CONSTRUCTION TO AVOID POTENTIAL CONFLICTS WITH DESIGNED PIPELINE ALIGNMENT AND GRADE AND EXISTING UTILITIES.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) AS DETERMINED UNDER 16.1, 16.2 OR 16.3 THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO IDENTIFY AND/OR "POT-HOLE" EXISTING UTILITIES AS REQUIRED IN 16.1, 16.2 AND 16.3 ABOVE, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHenever existing facilities are removed, damaged, broken, or cut in the installation of the work covered by these plans or specifications, said facilities shall be replaced at the contractor's expense with materials equal to or better than the materials used in the original existing facilities. The finished product shall be subject to the approval of the owner, the engineer, and the respective regulatory agency.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
- ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE GOVERNING AGENCY PRIOR TO THE PLACEMENT.
- CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

UTILITY NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-862-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS (CURRENT EDITION), SECTION 215.05 (2) - BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS DETERMINED BY THE GEOTECHNICAL RECOMMENDATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
- THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
- ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (CURRENT EDITION) STANDARDS AND REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET; EDGE TO EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, CONSTRUCT PER GOVERNING AGENCY'S MINIMUM SEPARATION STANDARDS.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

TRAFFIC CONTROL AND SAFETY NOTES

- TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE GOVERNING AGENCY FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE GOVERNING AGENCY.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
- ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAYING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
- THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM HIS OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

GRADING AND DRAINAGE NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
- THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
- ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
- THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
- THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
- THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
BOS	BOTTOM OF STEP
BVC	BEGIN VERTICAL CURVE
C	CURVE
CB	CATCH BASIN
CF	CURB FACE OR CUBIC FEET
CL	CENTER LINE
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEC	ELECTRICAL
ELEV	ELEVATION
EOA	EDGE OF ASPHALT
EVC	END OF VERTICAL CURVE
EW	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FI	FIRE HYDRANT
FL	FLOW LINE OR FLANGE
GB	GRADE BREAK
GF	GARAGE FLOOR
GV	GATE VALVE
HC	HANDICAP
HP	HIGH POINT
IRR	IRRIGATION
K	RATE OF VERTICAL CURVATURE
LD	LAND DRAIN
LF	LINEAR FEET
LP	LOW POINT
MEX	MATCH EXISTING
MH	MANHOLE
MJ	MECHANICAL JOINT
NG	NATURAL GROUND
NIC	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
OC/OW	ON CENTER EACH WAY
OHP	OVERHEAD POWER
P	POINT OF CURVATURE OR PRESSURE CLASS
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PVI	POST INDICATOR VALVE
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PRO	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROOF DRAIN
ROW	RIGHT OF WAY
S	SLOPE
SAN SWR	SANITARY SEWER
SD	STORM DRAIN
SEC	SECONDARY
SS	SANITARY SEWER
STA	STATION
SW	SECONDARY WATER LINE
TBC	TOP BACK OF CURB
TOG	TOP OF GRATE
TOA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
TOP	TOP OF FOUNDATION
TOW	TOP OF WALL
TOS	TOP OF STEP
TRB	TOP OF ROAD BASE
TP	TYPICAL
VC	VERTICAL CURVE
WV	WALL INDICATOR VALVE
W	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

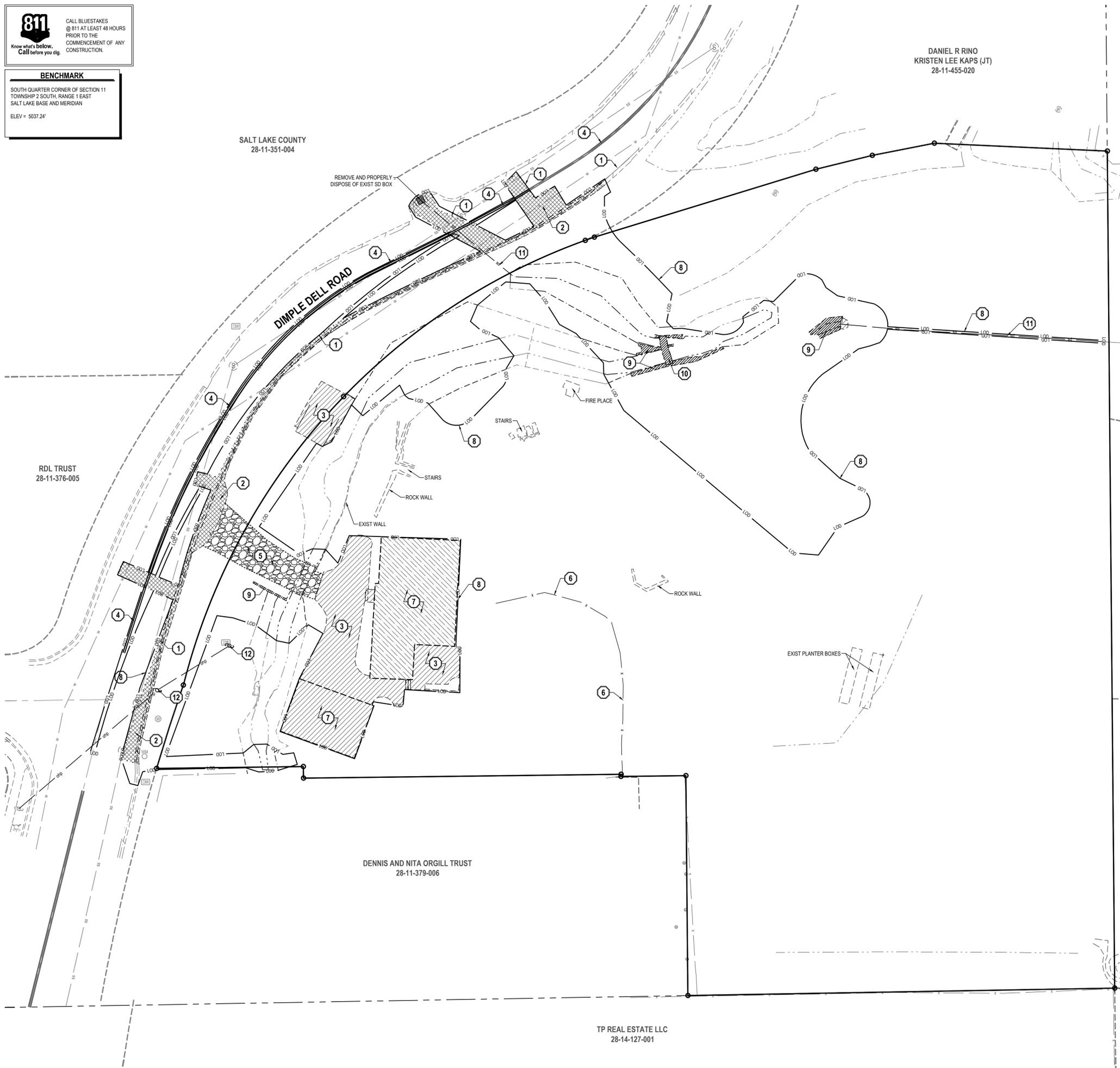
	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	SET ENSIGN REBAR AND CAP		EXISTING FENCE
	EXISTING WATER METER		PROPOSED FENCE
	PROPOSED WATER METER		EXISTING FLOW LINE
	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
	PROPOSED WATER MANHOLE		GRADE BREAK
	EXISTING WATER BOX		EXISTING STORM DRAIN LINE
	EXISTING WATER VALVE		PROPOSED STORM DRAIN LINE
	PROPOSED WATER VALVE		ROOF DRAIN LINE
	EXISTING FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE HYDRANT		HIGHWATER LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING SANITARY SEWER
	EXISTING SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
	PROPOSED SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION BOX		EXISTING LAND DRAIN LINE
	EXISTING IRRIGATION VALVE		PROPOSED LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING STORM DRAIN WATER LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED IRRIGATION LINE
	EXISTING STORM DRAIN COMBO BOX		EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN COMBO BOX		EXISTING ELECTRICAL LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING GAS LINE
	EXISTING STORM DRAIN CULVERT		EXISTING TELEPHONE LINE
	PROPOSED STORM DRAIN CULVERT		ACCESSIBLE ROUTE
	TEMPORARY SAG INLET PROTECTION		SAW CUT LINE
	TEMPORARY IN-LINE INLET PROTECTION		STRAW WATTLE
	ROOF DRAIN		TEMPORARY BERM
	EXISTING ELECTRICAL MANHOLE		TEMPORARY SILT FENCE
	EXISTING ELECTRICAL BOX		LIMITS OF DISTURBANCE
	EXISTING TRANSFORMER		EXISTING WALL
	EXISTING UTILITY POLE		PROPOSED WALL
	EXISTING LIGHT		EXISTING CONTOURS
	PROPOSED LIGHT		PROPOSED CONTOURS
	EXISTING GAS METER		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS MANHOLE		PUBLIC DRAINAGE EASEMENT
	EXISTING GAS VALVE		EXISTING ASPHALT TO BE REMOVED
	EXISTING TELEPHONE MANHOLE		PROPOSED ASPHALT
	EXISTING TELEPHONE BOX		EXISTING CURB AND GUTTER
	EXISTING TRAFFIC SIGNAL BOX		PROPOSED CURB AND GUTTER
	EXISTING CABLE BOX		PROPOSED REVERSE PAN CURB AND GUTTER
	EXISTING BOLLARD		TRANSITION TO REVERSE PAN CURB
	PROPOSED BOLLARD		CONCRETE TO BE REMOVED
	EXISTING SIGN		EXISTING CONCRETE
	PROPOSED SIGN		PROPOSED CONCRETE
	EXISTING SPOT ELEVATION		

811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK
SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'

SALT LAKE COUNTY
28-11-351-004

DANIEL R RINO
KRISTEN LEE KAPS (JT)
28-11-455-020



RDL TRUST
28-11-376-005

DENNIS AND NITA ORGILL TRUST
28-11-379-006

TP REAL ESTATE LLC
28-14-127-001

DOUG AND BARBARA
LUITTEN LIVING TRUST
28-11-455-006

GEORGE AND SHARON ALLEN
28-11-455-070

THE BOULDERS RIDGE
HOMEOWNERS ASSOCIATION
28-14-201-020

MAJESTIC CANYON ROAD

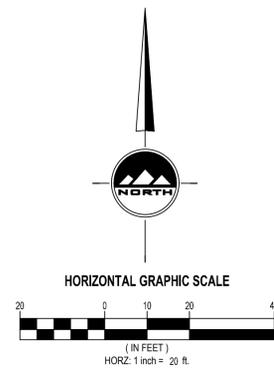
GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOIL, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
4. ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
5. SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
6. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
- 2 REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT.
- 3 REMOVE AND PROPERLY DISPOSE OF EXISTING CONCRETE
- 4 REMOVE EXISTING PAVEMENT MARKINGS FROM EXISTING ASPHALT PAVEMENT BY GRINDING OR WATER BLASTING, OR APPROVED EQUAL, TO MINIMIZE SURFACE SCARRING.
- 5 REMOVE AND PROPERLY DISPOSE OF EXISTING GRAVEL DRIVE.
- 6 REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE.
- 7 REMOVE AND PROPERLY DISPOSE OF EXISTING STRUCTURES, CONCRETE SLABS, STAIRS, ETC., INCLUDING ALL ELECTRICAL APPURTENANCES, IN THIS AREA WHETHER OR NOT IDENTIFIED ON PLANS. CONTRACTOR TO FILL IN ALL HOLES CREATED DURING DEMOLITION WITH STRUCTURAL FILL TO PROPER SUBGRADE ELEVATION.
- 8 LIMIT OF DISTURBANCE.
- 9 REMOVE AND PROPERLY DISPOSE OF EXISTING WALL
- 10 REMOVE AND PROPERLY DISPOSE OF EXISTING DIVERSION STRUCTURE
- 11 REMOVE AND PROPERLY DISPOSE OF EXIST SD PIPE
- 12 OVERHEAD POWER POLE TO BE RELOCATED



ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SANDY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
ALYSSA HOLBROOK
4555 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

**SILVER SAGE ESTATES
PRELIMINARY PLAT**
10143 DIMPLE DELL ROAD
SANDY, UTAH



NO. DATE REVISION FOR REVIEW

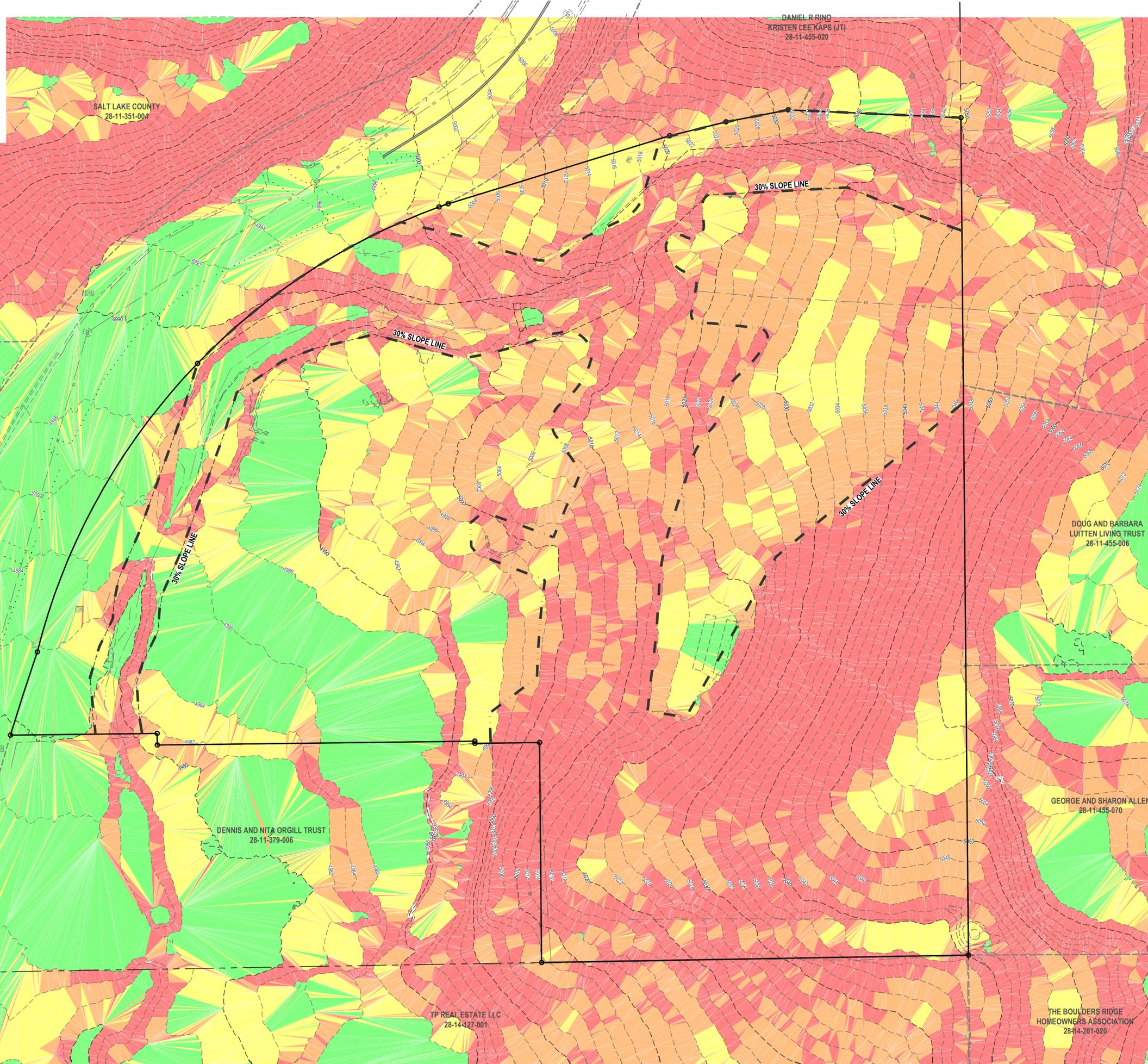
**PRELIMINARY
DEMOLITION PLAN**

PROJECT NUMBER 13520 PRINT DATE 2026-01-19
PROJECT MANAGER K.SIMMONS DESIGNED BY M.ELMER

C-002

811
 CALL BLUESTAKES
 @ 811 AT LEAST 48 HOURS
 PRIOR TO THE
 COMMENCEMENT OF ANY
 CONSTRUCTION.
 Know what's below.
 Call before you dig.

BENCHMARK
 SOUTH QUARTER CORNER OF SECTION 11
 TOWNSHIP 2 SOUTH, RANGE 1 EAST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 5037.24'



SLOPES TABLE			
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR
1	0.00%	10.00%	Green
2	10.00%	20.00%	Yellow
3	20.00%	30.00%	Orange
4	30.00%	200.00%	Red

ENSIGN
 THE STANDARD IN ENGINEERING

LAYTON
 919 North 400 West
 Layton, UT 84041
 Phone: 801.547.1100

SANDY
 Phone: 801.255.0529

TOOELE
 Phone: 435.843.3590

CEDAR CITY
 Phone: 435.865.1453

RICHFIELD
 Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
 ALYSSA HOLBROOK
 4585 S. HOLLADAY FARM LN
 HOLLADAY UT

CONTACT:
 ALYSSA HOLBROOK
 PHONE: 385-315-0289

**SILVER SAGE ESTATES
 PRELIMINARY PLAT
 10143 DIMPLE DELL ROAD
 SANDY, UTAH**

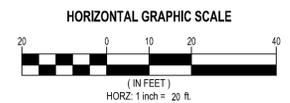


NO.	DATE	REVISION FOR REVIEW

**SLOPE ANALYSIS
 PER SANDY CITY TOPO**

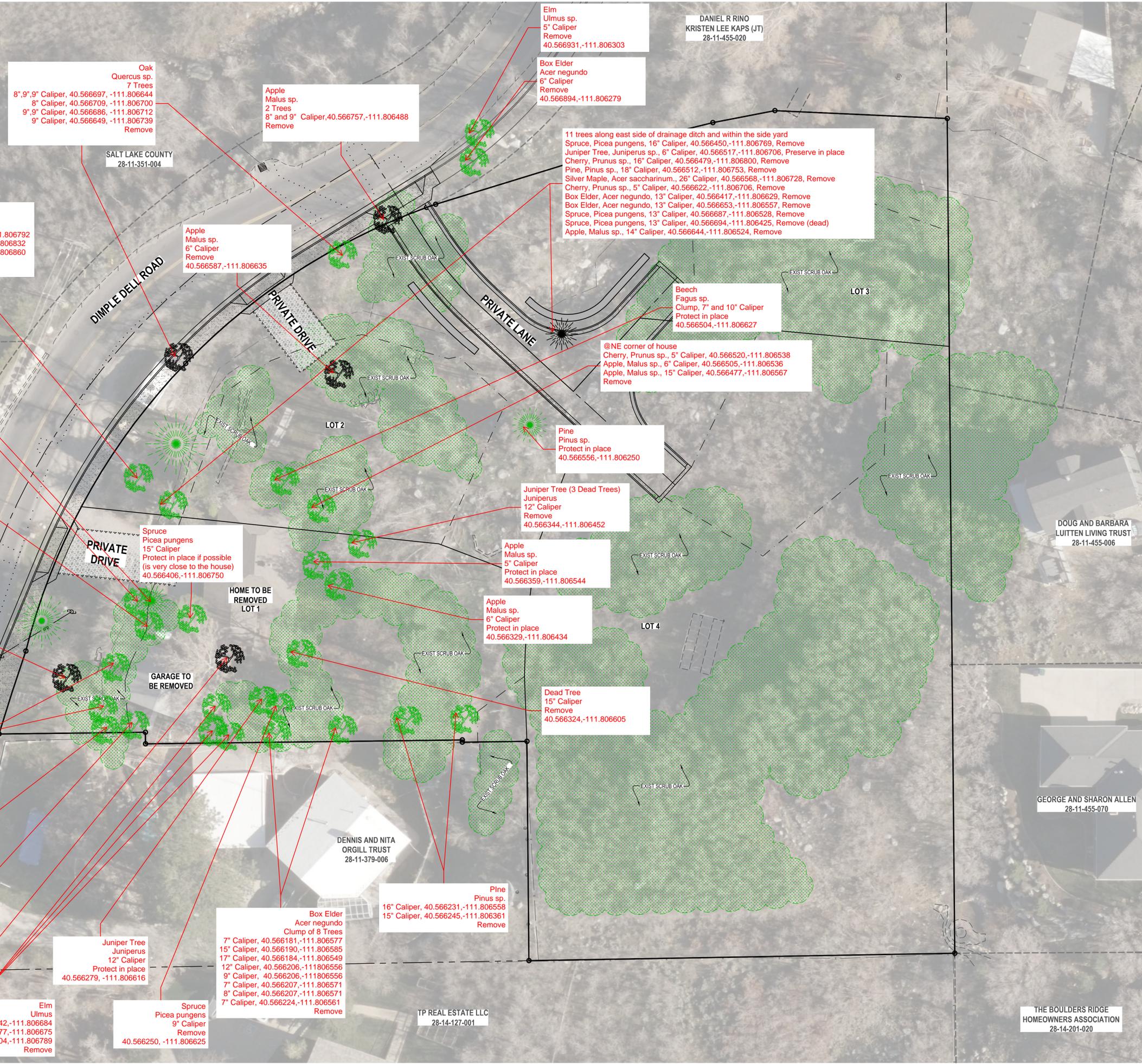
PROJECT NUMBER: 13520
 PRINT DATE: 2026-01-19
 PROJECT MANAGER: K. SIMMONS
 DESIGNED BY: M. ELMER

1 OF 1



811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK
SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'



- NOTES**
1. VEGETATION SHALL BE REMOVED ONLY WHEN ABSOLUTELY NECESSARY FOR THE CONSTRUCTION OF BUILDINGS, ROADS AND FILLED AREAS.
 2. ALL AREAS ON DEVELOPMENT SITES CLEARED OF NATURAL VEGETATION IN THE COURSE OF CONSTRUCTION OF OFF-SITE IMPROVEMENTS SHALL BE REPLANTED WITH VEGETATION WITH GOOD EROSION CONTROL CHARACTERISTICS.
 3. NEW PLANTINGS SHALL BE PROTECTED WITH A MULCH MATERIAL AND FERTILIZED IN CONJUNCTION WITH THE PLANTING AND WATERING SCHEDULE.
 4. THE USE OF PERSONS OR FIRMS HAVING EXPERIENCE IN THE PRACTICE OF REVEGETATION SHALL SUPERVISE THE PLANTING AND INSTALLATION OF REVEGETATION COVER.
 5. AFTER COMPLETION OF OFF-SITE IMPROVEMENTS, VEGETATION SHOULD BE PLANTED IN ALL DISTURBED AREAS DURING THE FOLLOWING TIME PERIODS ONLY: MARCH 15 THROUGH MAY 15 AND SEPTEMBER 15 THROUGH OCTOBER 31. IF IRRIGATED, PLANTING MAY BE DONE DURING SUMMER MONTHS.
 6. GENERALLY, NO VEGETATION SHALL BE REMOVED ON A CONTINUOUS HILLSIDE, CREST (UPSLOPE OR DOWNSLOPE), WITH A SLOPE 30 PERCENT OR GREATER.
 7. TOPSOIL REMOVED DURING SITE CONSTRUCTION SHALL BE RESERVED FOR LATER USE ON AREAS REQUIRING VEGETATION OR LANDSCAPING SUCH AS CUT AND FILL SLOPES.
 8. ALL DISTURBED SOIL SURFACES SHALL BE STABILIZED OR COVERED PRIOR TO NOVEMBER 1. IF THE PLANNED IMPERVIOUS SURFACES CANNOT BE ESTABLISHED PRIOR TO NOVEMBER 1, A TEMPORARY TREATMENT ADEQUATE TO PREVENT EROSION SHALL BE INSTALLED ON THOSE SURFACES.
 9. THE PROPERTY OWNER AND/OR DEVELOPER SHALL BE FULLY RESPONSIBLE FOR ANY DESTRUCTION OR DAMAGE OF NATIVE OR APPLIED VEGETATION IDENTIFIED AS NECESSARY FOR SOIL RETENTION AND SHALL BE RESPONSIBLE TO REPLACE SUCH DESTROYED VEGETATION. THEY SHALL CARRY THE RESPONSIBILITY BOTH FOR EMPLOYEES AND SUBCONTRACTORS FROM THE FIRST DAY OF CONSTRUCTION UNTIL THE FINAL ACCEPTANCE OF IMPROVEMENTS. THE PROPERTY OWNER AND/OR DEVELOPER SHALL REPLACE ALL DESTROYED VEGETATION WITH VARIETIES OF VEGETATION APPROVED BY THE DIRECTOR.

LEGEND

EXISTING VEGETATION - SCRUB OAK-UNPROTECTED

- SANDY CITY NOTES**
- VEGETATION AND REVEGETATION NOTES**
1. VEGETATION SHALL BE REMOVED ONLY WHEN ABSOLUTELY NECESSARY FOR THE CONSTRUCTION OF BUILDINGS, ROADS, AND FILLED AREAS.
 2. ALL AREAS ON DEVELOPMENT SITES CLEARED OF NATURAL VEGETATION IN THE COURSE OF CONSTRUCTION OF OFF-SITE IMPROVEMENTS SHALL BE REPLANTED WITH VEGETATION WHICH HAS GOOD EROSION CONTROL CHARACTERISTICS.
 3. NEW PLANTINGS SHALL BE PROTECTED WITH A MULCH MATERIAL AND FERTILIZED IN CONJUNCTION WITH THE PLANTING AND WATERING SCHEDULE DESCRIBED IN SUBSECTION (b)(3)(E) OF THIS SECTION.
 4. THE USE OF PERSONS OR FIRMS HAVING EXPERTISE IN THE PRACTICE OF REVEGETATION (E.G., LICENSED LANDSCAPE ARCHITECTS OR CERTIFIED NURSERYMEN) SHALL SUPERVISE THE PLANTING AND INSTALLATION OF REVEGETATION COVER.
 5. AFTER THE COMPLETION OF OFF-SITE IMPROVEMENTS, VEGETATION SHOULD BE PLANTED IN ALL DISTURBED AREAS DURING THE FOLLOWING TIME PERIODS ONLY:
1. MARCH 15 THROUGH MAY 15 AND SEPTEMBER 15 THROUGH OCTOBER 31
 6. IF IRRIGATED, PLANTING MAY BE DONE DURING SUMMER MONTHS
 7. GENERALLY, NO VEGETATION SHALL BE REMOVED ON A CONTINUOUS HILLSIDE, CREST (UPSLOPE OR DOWNSLOPE), WITH A SLOPE 30 PERCENT OR GREATER. HOWEVER, FOR USES SUCH AS TRAILS AND OPEN SPACE IMPROVEMENTS, THE CITY ENGINEER MAY APPROVE DESIGNATED AREAS OF VEGETATION THAT CAN BE REMOVED OR DISTURBED IN CONJUNCTION WITH A REVEGETATION OR SLOPE STABILIZATION PLAN.
 8. TOPSOIL REMOVED DURING SITE CONSTRUCTION SHALL BE RESERVED FOR LATER USE ON AREAS REQUIRING VEGETATION OR LANDSCAPING SUCH AS CUT AND FILL SLOPES.
 9. ALL DISTURBED SOIL SURFACES SHALL BE STABILIZED OR COVERED PRIOR TO NOVEMBER 1. IF THE PLANNED IMPERVIOUS SURFACES (E.G., ROADS, DRIVEWAYS, ETC.) CANNOT BE ESTABLISHED PRIOR TO NOVEMBER 1, A TEMPORARY TREATMENT ADEQUATE TO PREVENT EROSION SHALL BE INSTALLED ON THOSE SURFACES.
 10. THE PROPERTY OWNER AND/OR DEVELOPER SHALL BE FULLY RESPONSIBLE FOR ANY DESTRUCTION OR DAMAGE OF NATIVE OR APPLIED VEGETATION IDENTIFIED AS NECESSARY FOR SOIL RETENTION AND SHALL BE RESPONSIBLE TO REPLACE SUCH DESTROYED VEGETATION. THEY SHALL CARRY THE RESPONSIBILITY BOTH FOR EMPLOYEES AND SUBCONTRACTORS FROM THE FIRST DAY OF CONSTRUCTION UNTIL THE FINAL ACCEPTANCE OF IMPROVEMENTS. THE PROPERTY OWNER AND DEVELOPER SHALL REPLACE ALL DESTROYED VEGETATION WITH VARIETIES OF VEGETATION APPROVED BY THE DIRECTOR.

ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SANDY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
ALYSSA HOLBROOK
4555 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

**SILVER SAGE ESTATES
PRELIMINARY PLAT**

10143 DIMPLE DELL ROAD
SANDY, UTAH

NO.	DATE	REVISION
		FOR REVIEW

TREE SURVEY

PROJECT NUMBER: 13520
PROJECT DATE: 2026-01-19

PROJECT MANAGER: K. SIMMONS
DESIGNED BY: M. ELMER

811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK
SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'

DANIEL R RINO
KRISTEN LEE KAPS (JT)
28-11-455-020

SALT LAKE COUNTY
28-11-351-004

GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
4. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
5. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
6. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 MATCH EXISTING IMPROVEMENTS
- 2 INSTALL ASPHALT PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 11C-400
- 3 INSTALL 30" STANDARD HIGH BACK CURB AND GUTTER PER SANDY CITY STANDARD DETAIL CG-01 AND SPECIFICATIONS
- 4 INSTALL 4" THICK CONCRETE SIDEWALK PER SANDY CITY STANDARD DETAIL SW-03 AND SPECIFICATIONS
- 5 EXIST FIRE HYDRANT
- 6 NOT USED
- 7 SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT
- 8 INSTALL FIRE HYDRANT WITH GATE VALVE PER SANDY CITY STANDARD DETAIL WTR-01
- 9 INSTALL 24" STANDARD HIGH BACK CURB AND GUTTER PER DETAIL 10C-500
- 10 NOT USED
- 11 INSTALL 2" RIBBON CURB
- 12 INSTALL 24" REVERSE PAN CURB AND GUTTER PER DETAIL 11C-500
- 13 TRANSITION FROM 24" STANDARD HIGH BACK CURB AND GUTTER TO 24" REVERSE PAN CURB AND GUTTER
- 14 INSTALL DRIVE APPROACH PER SANDY CITY DETAIL DA-04
- 15 RELOCATE EXIST UTILITY POLE. COORDINATE WORK WITH ROCKY MOUNTAIN POWER
- 16 INSTALL MODULAR BLOCK RETAINING WALL - DESIGN BY OTHERS

ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SANDY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

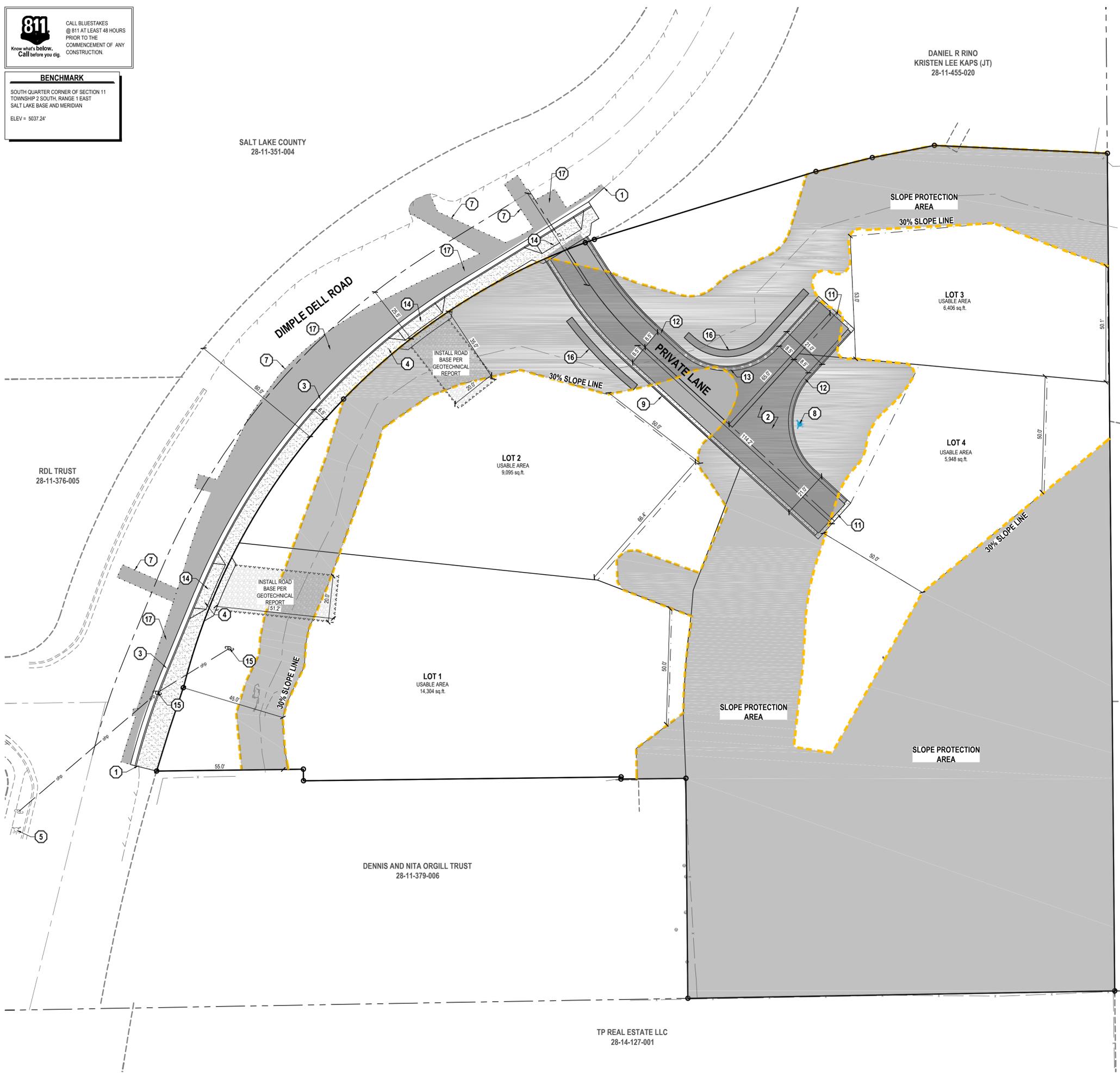
CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
ALYSSA HOLBROOK
4595 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289



**SILVER SAGE ESTATES
PRELIMINARY PLAT
10143 DIMPLE DELL ROAD
SANDY, UTAH**

MAJESTIC CANYON ROAD

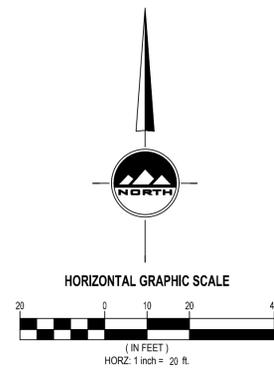
DOUG AND BARBARA
LUITTEN LIVING TRUST
28-11-455-006

GEORGE AND SHARON ALLEN
28-11-455-070

DENNIS AND NITA ORGILL TRUST
28-11-379-006

TP REAL ESTATE LLC
28-14-127-001

THE BOULDERS RIDGE
HOMEOWNERS ASSOCIATION
28-14-201-020



NO. DATE REVISION FOR REVIEW

**PRELIMINARY
SITE PLAN**

PROJECT NUMBER 13520 PRINT DATE 2026-01-19
PROJECT MANAGER K. SIMMONS DESIGNED BY M. ELMER

C-100

811
 Know what's below.
 Call before you dig.

CALL BLUESTAKES
 @ 811 AT LEAST 48 HOURS
 PRIOR TO THE
 COMMENCEMENT OF ANY
 CONSTRUCTION.

BENCHMARK

SOUTH QUARTER CORNER OF SECTION 11
 TOWNSHIP 2 SOUTH, RANGE 1 EAST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 5037.24'



LAYTON
 919 North 400 West
 Layton, UT 84041
 Phone: 801.547.1100

SANDY
 Phone: 801.255.0529

TOOELE
 Phone: 435.843.3590

CEDAR CITY
 Phone: 435.865.1453

RICHFIELD
 Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
 ALYSSA HOLBROOK
 4595 S. HOLLADAY FARM LN
 HOLLADAY UT

CONTACT:
 ALYSSA HOLBROOK
 PHONE: 385-315-0289

**SILVER SAGE ESTATES
 PRELIMINARY PLAT
 10143 DIMPLE DELL ROAD
 SANDY, UTAH**

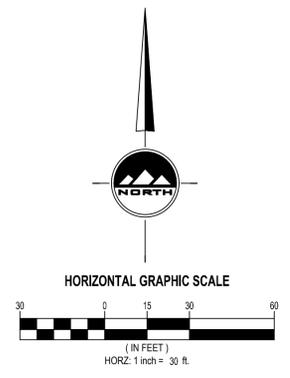


NO. DATE REVISION FOR REVIEW

**PRELIMINARY
 SIGHT TRIANGLE AND
 STRIPING PLAN**

PROJECT NUMBER: 13520
 PRINT DATE: 2026-01-19
 PROJECT MANAGER: K. SIMMONS
 DESIGNED BY: M. ELMER

C-101



811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK
SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'

SALT LAKE COUNTY
28-11-351-004

DANIEL R RINO
KRISTEN LEE KAPS (JT)
28-11-455-020

RDL TRUST
28-11-376-005

DENNIS AND NITA ORGILL TRUST
28-11-379-006

TP REAL ESTATE LLC
28-14-127-001

GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3. ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
4. ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
5. DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
6. PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
7. THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
8. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
9. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
10. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SANDY CITY NOTES

- WATER NOTES**
1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR ROY THACKER OR WILLIS BILBREY, 801-568-7280, AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING ANY CONSTRUCTION.
 2. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
 3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
 4. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, METERS, BOXES, VAULTS, VALVES, FIRE HYDRANTS, BLOWOFFS, VAULTS, ETC. RELATING TO THE WATER SYSTEM. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
 5. CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
 6. WATER LINES SHALL BE INSTALLED 4-FEET OFF LIP OF GUTTER ON THE NORTH AND/OR EAST SIDE OF ROADWAY. WATER LINES SHALL NOT BE INSTALLED WITHIN OR THROUGH PARKING STALLS OR UNDER CONCRETE PAVEMENT, UNLESS WATER LINE IS TO BE MAINTAINED BY PRIVATE PROPERTY OWNER.
 7. A MINIMUM OF 48-INCHES AND A MAXIMUM 60-INCHES OF COVER FROM THE TOP OF THE PIPE TO THE FINISH GRADE IS REQUIRED.
 8. FOR CONSTRUCTION EAST OF THE UTAH TRANSIT AUTHORITY'S TRAX LINE, USE DUCTILE IRON PIPE, USE THICKNESS CLASS 52 OR BETTER.
 9. FOR CONSTRUCTION WEST OF UTAH TRANSIT AUTHORITY'S TRAX LINE, USE POLYVINYL CHLORIDE (PVC) PIPE, USE CLASS 14 OR BETTER. 10 GAUGE WIRE SHALL BE PLACED ON TOP OF THE PIPE PER SANDY CITY SPECIFICATIONS FOR FUTURE RELOCATION. NO DEFLECTION IN PIPE JOINTS WILL BE ALLOWED.
 10. ALL MECHANICAL JOINTS MUST BE RESTRAINED USING MEGA LUGS FOR DIP AND ROMAC GRIP RINGS FOR PVC OR APPROVED EQUAL. MEGA LUGS SHALL NOT BE ALLOWED ON PVC PIPE.
 11. USE 6 INCH COMPRESSION TYPE HYDRANT BY MUELLER CENTURION OR CLOW MEDALLION. EXISTING HYDRANTS REQUIRED FOR FIRE PROTECTION THAT DO NOT MEET CURRENT STANDARDS SHALL BE UPGRADED TO MEET CURRENT SANDY CITY STANDARDS AND SPECIFICATIONS.
 12. WHEN THE DISTANCE FROM THE WATER MAIN TO THE FIRE HYDRANT IS GREATER THAN 6-FEET, AN ADDITIONAL AUXILIARY VALVE SHALL BE FLANGED TO THE FIRE HYDRANT.
 13. ALL DEAD ENDS SHALL BE PLUGGED WITH A 2-INCH WASHOUT OR END WITH A FIRE HYDRANT.
 14. ALL DUCTILE IRON WATER LINES, FITTINGS AND VALVES SHALL BE POLY-BAGGED IN ACCORDANCE WITH SANDY CITY STANDARDS AND SPECIFICATIONS.
 15. ALL WATER LINES SHALL BE BEDDED WITH SAND (6-INCHES MINIMUM BELOW AND 12-INCHES MINIMUM ON EACH SIDE AND ON TOP OF THE PIPE).

SANDY SUBURBAN IMPROVEMENT DISTRICT NOTES:

1. ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH SANDY SUBURBAN IMPROVEMENT DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.

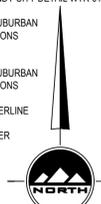
SEWER CONSTRUCTION NOTES

1. SEWER IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH SANDY SUBURBAN IMPROVEMENT DISTRICT (SSID) DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS. COPIES OF THE DISTRICT STANDARDS ARE AVAILABLE AT THE DISTRICT OFFICE, 8655 SOUTH 700 WEST, SANDY, UTAH 84070.
2. VIDEO INSPECTION, AIR TESTS, VACUUM TESTS OF MANHOLES AND DEFLECTION TESTS SHALL BE PERFORMED ON ALL INSTALLED SEWER IMPROVEMENTS PRIOR TO FINAL ACCEPTANCE. ADDITIONAL TESTS MAY BE REQUIRED BY THE DISTRICT ENGINEER OR INSPECTOR. DEFECTS DESIGNATED BY THE DISTRICT ENGINEER OR INSPECTOR SHALL BE REPAIRED AT NO COST TO THE DISTRICT PRIOR TO ACCEPTANCE OF THE SEWER IMPROVEMENTS.

SCOPE OF WORK:

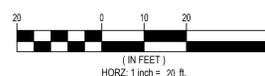
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- 1 RELOCATE EXIST UTILITY POLE, COORDINATE WORK WITH ROCKY MOUNTAIN POWER
- 2 EXIST FIRE HYDRANT
- 3 EXIST UTILITY POLE
- 4 EXIST WATER METER TO BE REMOVED. DISCONNECT AT MAIN PER SANDY CITY STANDARDS AND SPECIFICATIONS.
- 5 EXIST WATER MH TO BE REMOVED. DISCONNECT AT MAIN PER SANDY CITY STANDARDS AND SPECIFICATIONS.
- 6 EXIST COMMS BOX
- 7 EXIST SSMH - PROTECT IN PLACE
- 8 EXIST IRR MH
- 9 INSTALL 6" POLYWRAPPED DUCTILE IRON (OR BETTER) WATER LINE, INCLUDING ALL THRUST BLOCKING AND FITTINGS, PER SANDY CITY STANDARDS AND SPECIFICATIONS
- 10 INSTALL 1" METER WITH 1" TYPE K RIGID COPPER PIPE FROM MAIN TO METER PER SANDY CITY DETAIL WTR-09, CONTINUE 1" TYPE K RIGID COPPER PIPE FOR 12' PAST METER.
- 11 INSTALL 4" SDR-35 PVC SANITARY SEWER LATERAL, INCLUDING CLEANOUTS AT MAXIMUM 100-FOOT SPACING, INSTALLATION AND TRENCHING PER SANDY SUBURBAN IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS @ 2.0% MIN SLOPE
- 12 INSTALL FIRE HYDRANT ASSEMBLY COMPLETE PER SANDY CITY DETAIL WTR-01
- 13 INSTALL 4" SANITARY SEWER CLEANOUT PER SANDY SUBURBAN IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS WITH TRAFFIC RATED COVER
- 14 INSTALL 4" SANITARY SEWER CLEANOUT PER SANDY SUBURBAN IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS
- 15 FIELD LOCATE AND CONNECT TO EXIST CULINARY WATERLINE
- 16 FIELD LOCATE AND CONNECT TO EXIST SANITARY SEWER



THE BOULDERS RIDGE
HOMEOWNERS ASSOCIATION
28-14-201-020

HORIZONTAL GRAPHIC SCALE



ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SANDY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
ALYSSA HOLBROOK
4555 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

**SILVER SAGE ESTATES
PRELIMINARY PLAT**
10143 DIMPLE DELL ROAD
SANDY, UTAH



NO. DATE REVISION FOR REVIEW

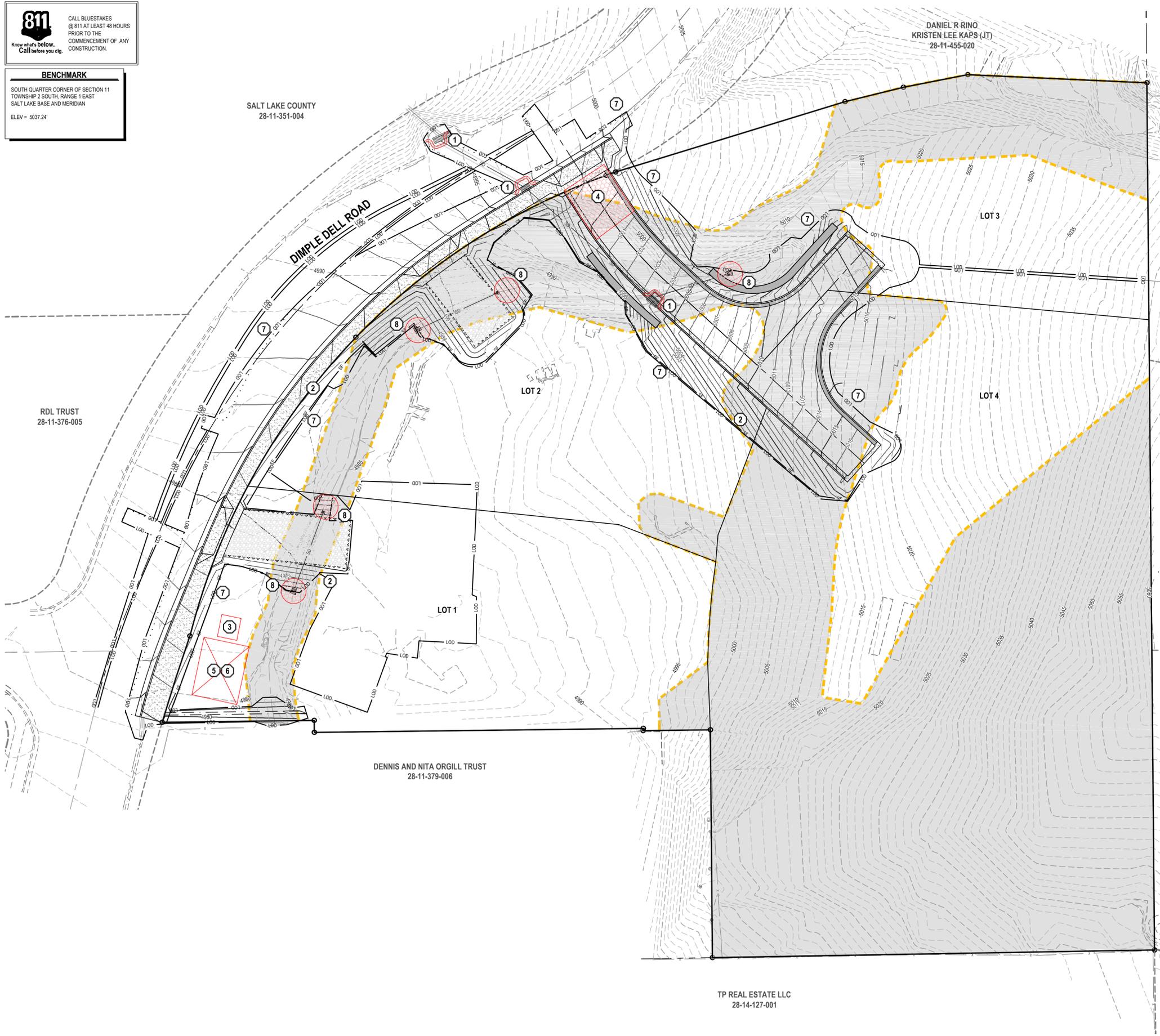
**PRELIMINARY
UTILITY PLAN**

PROJECT NUMBER 13520 PRINT DATE 2026-01-19
PROJECT MANAGER K. SIMMONS DESIGNED BY M. ELMER

C-300

811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK
SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'



DANIEL R RINO
KRISTEN LEE KAPS (JT)
28-11-455-020

GENERAL NOTES

- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY. MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
- DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
- DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
- VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
- NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.
- CONTRACTOR TO REVEGETATE ALL DISTURB SLOPES WITH EROSION CONTROL, BLANKET AND NATIVE SEED MIX.

SCOPE OF WORK:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- INLET PROTECTION PER DETAIL 3/C-600.
 - SILT FENCE PER DETAIL 5/C-600.
 - PORTABLE TOILET PER DETAIL 4/C-600.
 - VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 2/C-600.
 - SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
 - SUGGESTED STOCKPILE AREA.
 - LIMITS OF DISTURBANCE.
 - INSTALL OUTLET PROTECTION PER DETAIL 3/C-600.

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SANDY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
ALYSSA HOLBROOK
4555 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

RDL TRUST
28-11-376-005

SALT LAKE COUNTY
28-11-351-004

DENNIS AND NITA ORGILL TRUST
28-11-379-006

GEORGE AND SHARON ALLEN
28-11-455-070

TP REAL ESTATE LLC
28-14-127-001

THE BOULDERS RIDGE
HOMEOWNERS ASSOCIATION
28-14-201-020

**SILVER SAGE ESTATES
PRELIMINARY PLAT**
10143 DIMPLE DELL ROAD
SANDY, UTAH

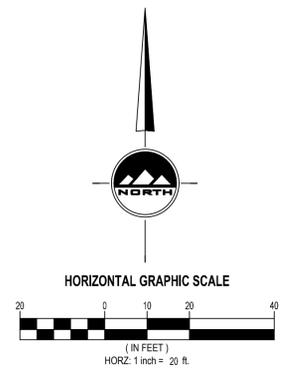


NO.	DATE	REVISION FOR REVIEW

**PRELIMINARY
EROSION CONTROL
PLAN**

PROJECT NUMBER: 13520
PRINT DATE: 2026-01-19
PROJECT MANAGER: K. SIMMONS
DESIGNED BY: M. ELMER

C-400



811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK
SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'

DANIEL R RINO
KRISTEN LEE KAPS (JT)
28-11-455-020

SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- ① RE-VEGETATE DISTURBED GROUND PER SANDY CITY STANDARDS AND SPECIFICATIONS AND NOTES ON THIS SHEET (TYP)

SANDY CITY NOTES

- VEGETATION AND REVEGETATION NOTES**
- VEGETATION SHALL BE REMOVED ONLY WHEN ABSOLUTELY NECESSARY FOR THE CONSTRUCTION OF BUILDINGS, ROADS, AND FILLED AREAS
 - ALL AREAS ON DEVELOPMENT SITES CLEARED OF NATURAL VEGETATION IN THE COURSE OF CONSTRUCTION OF OFF-SITE IMPROVEMENTS SHALL BE REPLANTED WITH VEGETATION WHICH HAS GOOD EROSION CONTROL CHARACTERISTICS.
 - NEW PLANTINGS SHALL BE PROTECTED WITH A MULCH MATERIAL AND FERTILIZED IN CONJUNCTION WITH THE PLANTING AND WATERING SCHEDULE DESCRIBED IN SUBSECTION 80(3)(E) OF THIS SECTION.
 - THE USE OF PERSONS OR FIRMS HAVING EXPERTISE IN THE PRACTICE OF VEGETATION (E.G., LICENSED LANDSCAPE ARCHITECTS OR CERTIFIED NURSERYMEN) SHALL SUPERVISE THE PLANTING AND INSTALLATION OF VEGETATION COVER.
 - AFTER THE COMPLETION OF OFF-SITE IMPROVEMENTS, VEGETATION SHOULD BE PLANTED IN ALL DISTURBED AREAS DURING THE FOLLOWING TIME PERIODS ONLY:
 - MARCH 15 THROUGH MAY 15 AND SEPTEMBER 15 THROUGH OCTOBER 31
 - IF IRRIGATED, PLANTING MAY BE DONE DURING SUMMER MONTHS
 - GENERALLY, NO VEGETATION SHALL BE REMOVED ON A CONTINUOUS HILLSIDE, CREST (UPSLOPE OR DOWNSLOPE), WITH A SLOPE 30 PERCENT OR GREATER. HOWEVER, FOR USES SUCH AS TRAILS AND OPEN SPACE IMPROVEMENTS, THE CITY ENGINEER MAY APPROVE DESIGNATED AREAS OF VEGETATION THAT CAN BE REMOVED OR DISTURBED IN CONJUNCTION WITH A REVEGETATION OR SLOPE STABILIZATION PLAN.
 - TOPSOIL REMOVED DURING SITE CONSTRUCTION SHALL BE RESERVED FOR LATER USE ON AREAS REQUIRING VEGETATION OR LANDSCAPING SUCH AS CUT AND FILL SLOPES.
 - ALL DISTURBED SOIL SURFACES SHALL BE STABILIZED OR COVERED PRIOR TO NOVEMBER 1. IF THE PLANNED IMPERVIOUS SURFACES (E.G., ROADS, DRIVEWAYS, ETC.) CANNOT BE ESTABLISHED PRIOR TO NOVEMBER 1, A TEMPORARY TREATMENT ADEQUATE TO PREVENT EROSION SHALL BE INSTALLED ON THOSE SURFACES.
 - THE PROPERTY OWNER AND/OR DEVELOPER SHALL BE FULLY RESPONSIBLE FOR ANY DESTRUCTION OR DAMAGE OF NATIVE OR APPLIED VEGETATION IDENTIFIED AS NECESSARY FOR SOIL RETENTION AND SHALL BE RESPONSIBLE TO REPLACE SUCH DESTROYED VEGETATION. THEY SHALL CARRY THE RESPONSIBILITY BOTH FOR EMPLOYEES AND SUBCONTRACTORS FROM THE FIRST DAY OF CONSTRUCTION UNTIL THE FINAL ACCEPTANCE OF IMPROVEMENTS. THE PROPERTY OWNER AND DEVELOPER SHALL REPLACE ALL DESTROYED VEGETATION WITH VARIETIES OF VEGETATION APPROVED BY THE DIRECTOR.



LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SANDY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
ALYSSA HOLBROOK
4555 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

**SILVER SAGE ESTATES
PRELIMINARY PLAT
10143 DIMPLE DELL ROAD
SANDY, UTAH**

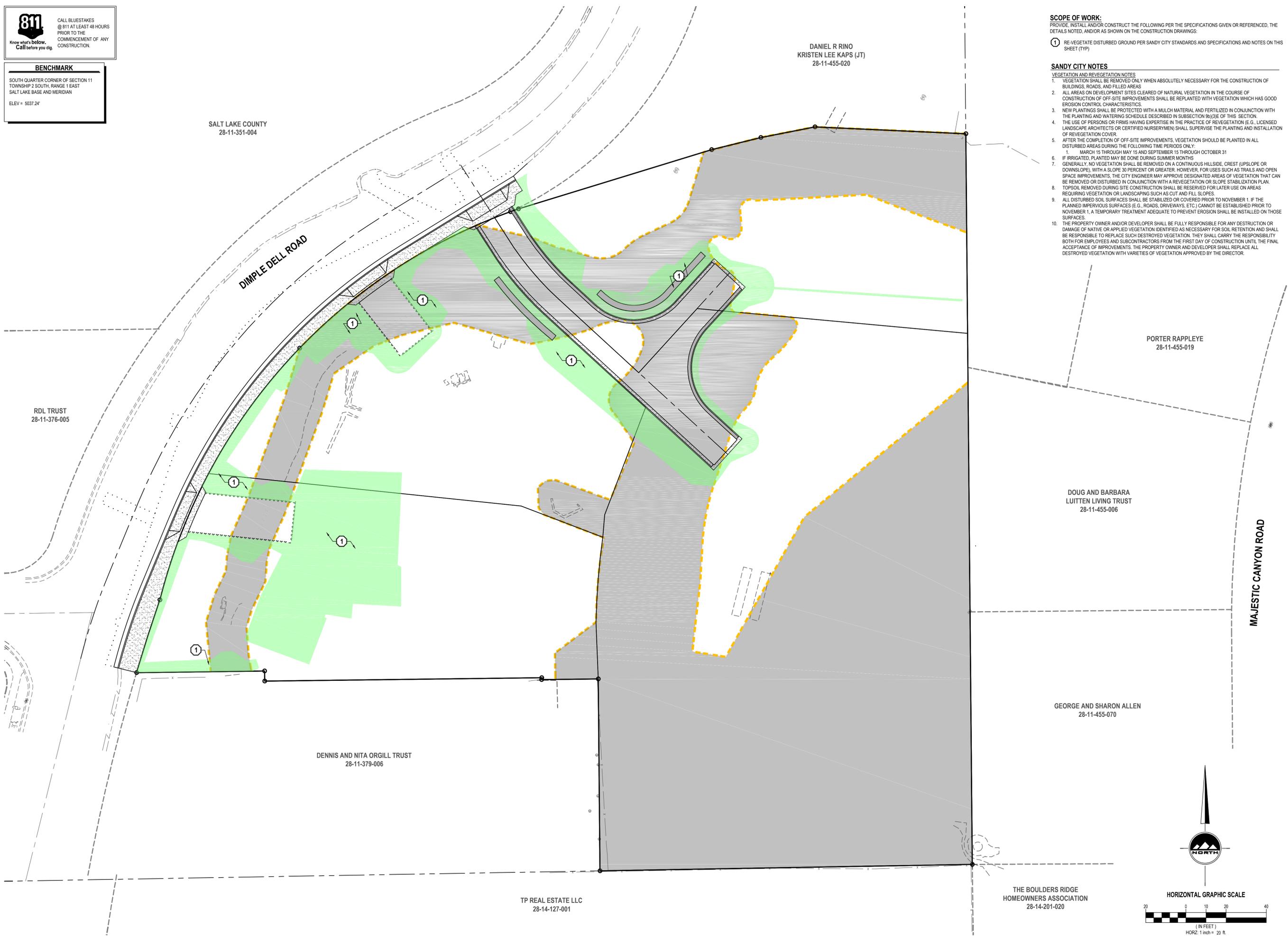


NO. DATE REVISION FOR REVIEW

**PRELIMINARY
RE-VEGETATION PLAN**

PROJECT NUMBER 13520 PRINT DATE 2026-01-19
PROJECT MANAGER K. SIMMONS DESIGNED BY M. ELMER

C-401





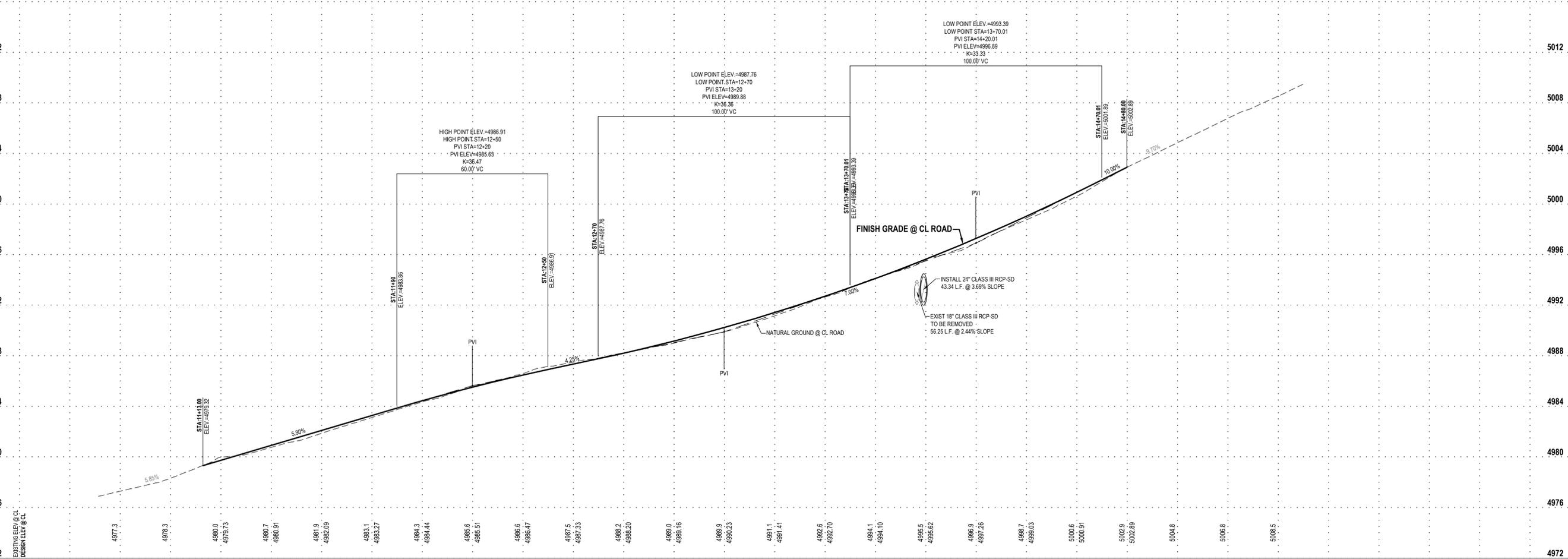
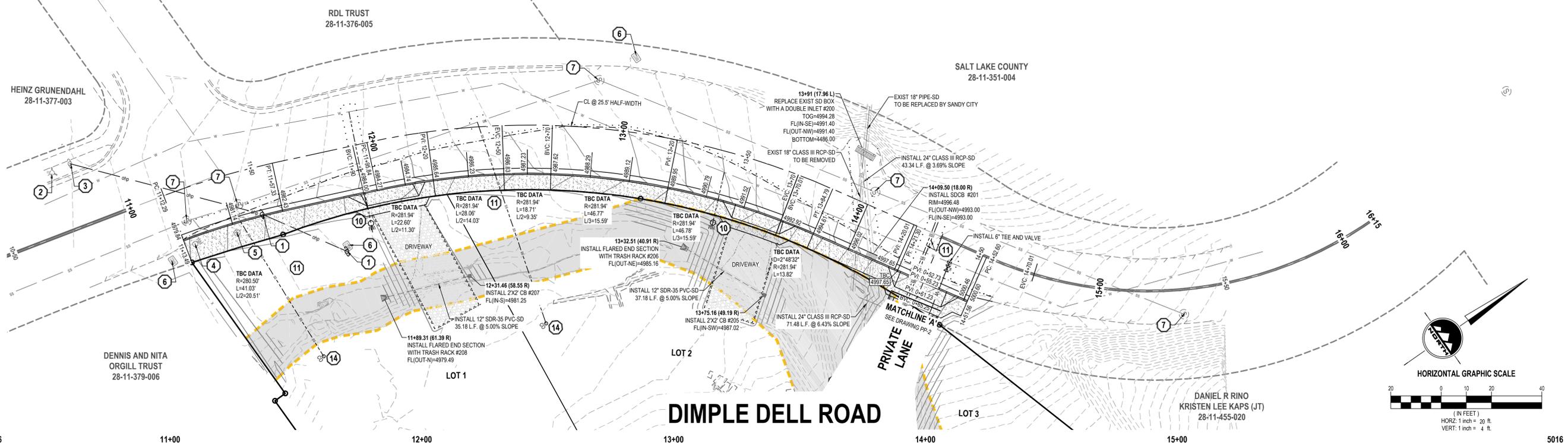
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK

SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'

SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE
DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 RELOCATE EXIST UTILITY POLE, COORDINATE WORK WITH ROCKY MOUNTAIN POWER
- 2 EXIST FIRE HYDRANT
- 3 EXIST UTILITY POLE
- 4 EXIST WATER METER TO BE REMOVED. DISCONNECT AT MAIN PER SANDY CITY STANDARDS AND SPECIFICATIONS.
- 5 EXIST WATER MH TO BE REMOVED. DISCONNECT AT MAIN PER SANDY CITY STANDARDS AND SPECIFICATIONS.
- 6 EXIST COMMS BOX
- 7 EXIST SSMH
- 8 EXIST IRR MH
- 9 INSTALL 6" POLYWRAPPED DUCTILE IRON (OR BETTER) WATER LINE, INCLUDING ALL THRUST BLOCKING AND FITTINGS, PER SANDY CITY STANDARDS AND SPECIFICATIONS
- 10 INSTALL 1" METER WITH 1" TYPE K RIGID COPPER PIPE FROM MAIN TO METER PER SANDY CITY DETAIL WTR-09, CONTINUE 1" TYPE K RIGID COPPER PIPE FOR 12" PAST METER.
- 11 INSTALL 4" SDR-35 PVC SANITARY SEWER LATERAL, INCLUDING CLEANOUTS AT MAXIMUM 100-FOOT SPACING. INSTALLATION AND TRENCHING PER SANDY SUBURBAN IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS @ 2.0% MIN SLOPE
- 12 INSTALL FIRE HYDRANT ASSEMBLY COMPLETE PER SANDY CITY DETAIL WTR-01
- 13 INSTALL 4" SANITARY SEWER CLEANOUT PER SANDY SUBURBAN IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS WITH TRAFFIC RATED COVER
- 14 INSTALL 4" SANITARY SEWER CLEANOUT PER SANDY SUBURBAN IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS



ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SANDY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
ALYSSA HOLBROOK
4555 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

**SILVER SAGE ESTATES
PRELIMINARY PLAT**
10143 DIMPLE DELL ROAD
SANDY, UTAH



NO. DATE REVISION FOR REVIEW

**DIMPLE DELL ROAD
PLAN AND PROFILE**

PROJECT NUMBER 13520 PRINT DATE 2026-01-19
PROJECT MANAGER K. SIMMONS DESIGNED BY M. ELMER



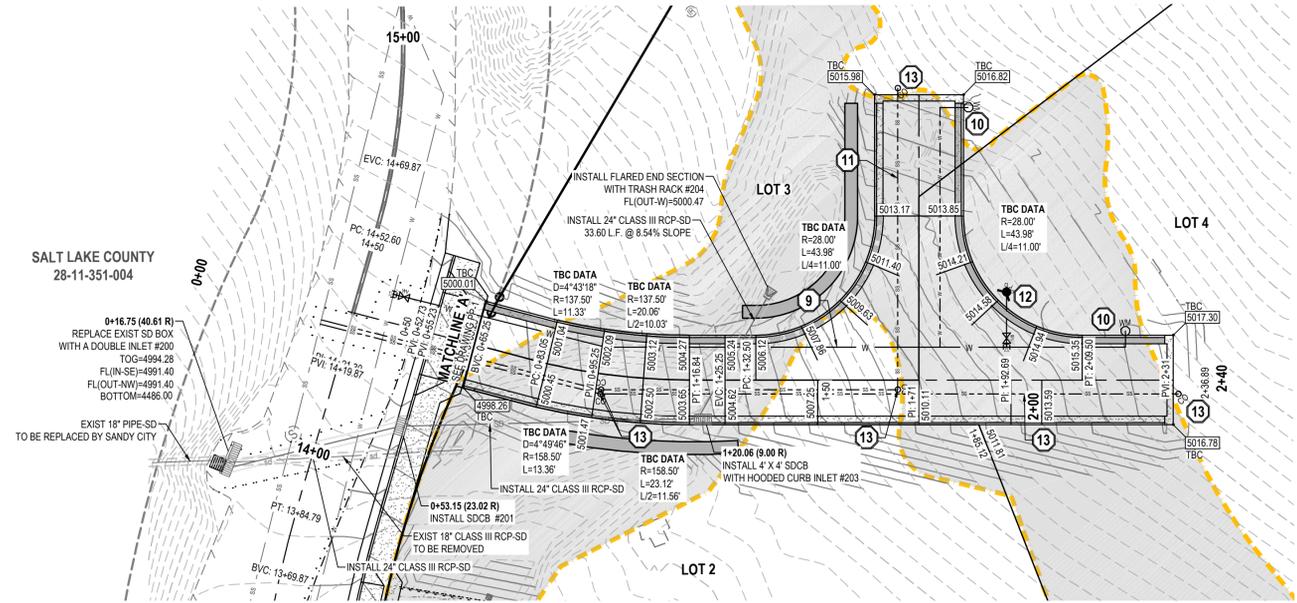
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Call before you dig.

BENCHMARK

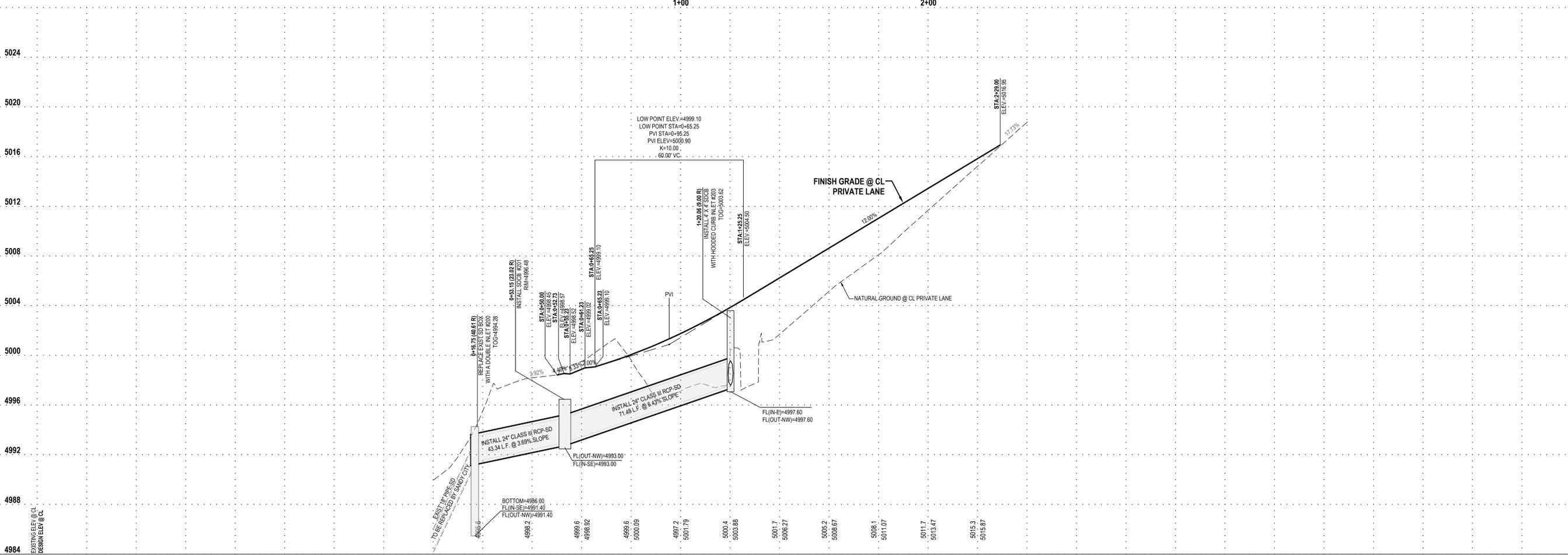
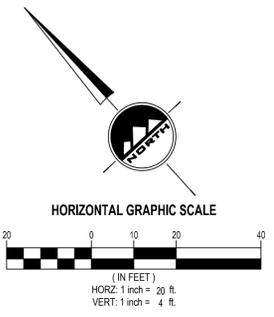
SOUTH QUARTER CORNER OF SECTION 11
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 5037.24'

SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE
DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 RELOCATE EXIST UTILITY POLE, COORDINATE WORK WITH ROCKY MOUNTAIN POWER
- 2 EXIST FIRE HYDRANT
- 3 EXIST UTILITY POLE
- 4 EXIST WATER METER TO BE REMOVED. DISCONNECT AT MAIN PER SANDY CITY STANDARDS AND SPECIFICATIONS.
- 5 EXIST WATER MH TO BE REMOVED. DISCONNECT AT MAIN PER SANDY CITY STANDARDS AND SPECIFICATIONS.
- 6 EXIST COMMS BOX
- 7 EXIST SSMH
- 8 EXIST IRR MH
- 9 INSTALL 6" POLYWRAPPED DUCTILE IRON (OR BETTER) WATER LINE, INCLUDING ALL THRUST BLOCKING AND FITTINGS, PER SANDY CITY STANDARDS AND SPECIFICATIONS
- 10 INSTALL 1" METER WITH 1" TYPE K RIGID COPPER PIPE FROM MAIN TO METER PER SANDY CITY DETAIL WTR-09, CONTINUE 1" TYPE K RIGID COPPER PIPE FOR 12" PAST METER.
- 11 INSTALL 4" SDR-35 PVC SANITARY SEWER LATERAL, INCLUDING CLEANOUTS AT MAXIMUM 100-FOOT SPACING. INSTALLATION AND TRENCHING PER SANDY SUBURBAN IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS @ 2.0% MIN SLOPE
- 12 INSTALL FIRE HYDRANT ASSEMBLY COMPLETE PER SANDY CITY DETAIL WTR-01
- 13 INSTALL 4" SANITARY SEWER CLEANOUT PER SANDY SUBURBAN IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS WITH TRAFFIC RATED COVER
- 14 INSTALL 4" SANITARY SEWER CLEANOUT PER SANDY SUBURBAN IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS



PRIVATE LANE



ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SANDY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
ALYSSA HOLBROOK
4565 S. HOLLADAY FARM LN
HOLLADAY UT

CONTACT:
ALYSSA HOLBROOK
PHONE: 385-315-0289

SILVER SAGE ESTATES
PRELIMINARY PLAT
10143 DIMPLE DELL ROAD
SANDY, UTAH



NO.	DATE	REASON FOR REVIEW

PRIVATE DRIVE PLAN AND PROFILE

PROJECT NUMBER: 13520
PRINT DATE: 2026-01-19
PROJECT MANAGER: K. SIMMONS
DESIGNED BY: M. ELMER



SANDY CITY PUBLIC WORKS

RYAN KUMP, PE
PUBLIC WORKS DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE PACE
CHIEF ADMINISTRATIVE OFFICER

CITY ENGINEERS RECOMMENDATION MEMORANDUM

Date: February 27, 2026
To: Thomas Irvine, Development Services Manager
From: Britney Ward, P.E., City Engineer/Assistant Public Works Director

Project Name: Silver Sage Estates
Plan Case Number: SUB12082025-007089
Project Address: 10175 S Dimple Dell Rd

In accordance with the Sandy City Land Development Code Chapter 21-15-4(b)(7)a, the above referenced property qualifies for special exception to allow a private lane in the Sensitive Area Overlay Zone through a 30% or greater slope. It is recommended that the exception be approved and construction of the private lane be allowed on the subject property.

Findings include the following:

“Streets, roadways, and private streets, lanes, and driveways through protected 30 percent or greater slopes are prohibited unless all the following criteria are met and approved by the Planning Commission upon recommendation of the Director and City Engineer:

1. *No alternative location for access is feasible or available;*

The parcel of land being subdivided has little existing street frontage, restricted to the northwest corner of the property. The remaining parcel boundary is surrounded by developed single family homes. The parcel has been subdivided to provide 4 buildable lots, dictated by the 30% or greater slope areas. Hence, Lots 3 and 4 have no street frontage along Dimple Dell Rd. Lots 1 and 2 both have street frontage onto Dimple Dell Rd, however there are existing 30% or greater slopes along the full frontage. To gain access to all four lots, it is necessary to cut through the steep slope. To limit the amount of cut required, the development has combined the access into Lots 3 and 4, and identified the least impactful locations for accesses into the other 2 lots.

2. *No individual segment or increment of the street, roadway, private street, lane, or driveway is more than 150 feet in length that crosses any continuous 30 percent or greater slopes;*

The private lane has been located as far north as possible to provide clear sight distance coming in and out of the access. While the private lane is greater than 150’, it includes a hammer head turn-around for fire. To gain access to the buildable area withing Lot 4, an access over 150’ is needed.

3. *All crossings of a continuous 30 percent or greater slope shall be designed and constructed to eliminate significant adverse environmental, or safety impacts as determined by AASHTO guidelines and geotechnical*



SANDY CITY PUBLIC WORKS

RYAN KUMP, PE
PUBLIC WORKS DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE PACE
CHIEF ADMINISTRATIVE OFFICER

report recommendations;

The developer is required to ensure AASHTO sight distance triangles are clear upon installation of the accesses and that they be maintained. Because this development is on the inside of a horizontal curve, there will be some landscaping that needs to be removed. However, all accesses have been located in a location that provides the least impact to existing landscaping.

4. *Under no circumstances shall any segment of a street, roadway, private street, lane, or driveway cross a continuous slope greater than 50 percent; and*

The private lane utilizes old drainage channels with previously altered slopes as well as an old road that was cut into the slope and material pushed towards the south. While the extent of the drainage channel regrading is unknown, the subdivisions grading design utilized the cross slope of the private lane to reduce the amount of cut required. The existing slope appears to be stable as it is full of grown natural vegetation. The previous cut access appears to still be sparingly used by the single family home to the north of this parcel. However, they do not have current access rights. For more information, please see the slope analysis letter from CMT Technical Services submitted with the development.

5. *Streets, roadways, private streets, lanes, and driveways shall follow natural contour lines where possible. If the natural contour lines do not reasonably facilitate access to the development site, an alternative private access road or driveway may be designed and submitted for approval."*

The private lane utilizes old drainage channels with previously altered slopes as well as an old road that was cut into the slope and material pushed towards the south. While the extent of the drainage channel regrading is unknown, the subdivisions grading design utilized the cross slope of the private lane to reduce the amount of cut required. The existing slope appears to be stable as it is full of grown natural vegetation. The previous cut access appears to still be sparingly used by the single family home to the north of this parcel. However, they do not have current access rights. For more information, please see the slope analysis letter from CMT Technical Services submitted with the development.

In 2014, SLCO and Sandy City agreed to develop Dimple Dell Ln with a 45 foot cross section consisting of two 13 foot travel lanes, two 4 foot bike lanes, 2.5 foot curb and gutter on both sides and a six foot cub-adjacent sidewalk on one side. Despite the major collector classification of the road, this was done to preserve the rural feel of Dimple Dell Ln while providing space for active transportation users. In accordance with this agreement and uniformity of other developments along Dimple Dell Rd since this time, the subject development will construct a six foot sidewalk with no park strip. Therefore, it is recommended that a special exception be granted to waive installation of a park strip along the frontage of this property.



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #: 26-062, **Version:** 1

Date: 3/5/2026

Minutes from the February 19, 2026 Meeting



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Minutes

Planning Commission

Dave Bromley
Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
LaNiece Davenport
Craig Kitterman (Alternate)
Jennifer George (Alternate)

Thursday, February 19, 2026

6:15 PM

Council Chambers and Online

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

https://us02web.zoom.us/webinar/register/WN_rCEyIIIN8RICm07kGB-uxmw

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/84200628067>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866
(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/84200628067>

Webinar ID: 842 0062 8067

Passcode: 628733

4:45 PM FIELD TRIP

1. [26-045](#) Map

Attachments: [021926.pdf](#)

6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

- Present** 6 - Commissioner Dave Bromley
Commissioner Cameron Duncan
Commissioner Ron Mortimer
Commissioner Daniel Schoenfeld
Commissioner Steven Wrigley
Commissioner Jennifer George

- Absent** 3 - Commissioner David Hart
Commissioner Craig Kitterman
Commissioner LaNiece Davenport

Public Hearings

DRAFT

2. [REZ1120202](#) Fortner Rezone
[5-007084](#) 8564 S. 1000 E.
[\(PC\)](#) [Community #6, High Point]

Attachments: [PC Report-Fortner Rez \(2.3.26\).pdf](#)

Jake Warner presented this item to the Planning Commission.

Josh Becker, 12800 Lone Map, Texas, further presented this item to the Planning Commission.

Steven Wrigley asked if the units will be owner occupied or rentals.

Josh Becker said they will be owner occupied.

Cameron Duncan asked if the units will be townhouse style and if so will there be a common area and who will be responsible to maintain that.

Josh Becker said the units will be individually owned and platted so each homeowner will be responsible to maintain their property.

Daniel Schoenfeld opened this item for public comment.

Paul OBrien, 8381 S Park Hurst Circle, shared his concerns about the crosswalk on 8600 S and 1000 E.

Ron Larsen, 963 E 8600 S, asked if the city is going to impose the same requirements on this developer that were given to him.

Mike Derricott, 8566 S Johnsonway Drive, said this development sets a bad standard for the neighborhood and does not support the project.

Shannon Maynard, 8536 S 1000 E, said the property should remain zoned for single family homes.

Matthew Clayton, 982 E Merewood Court, shared concerns about traffic and safety.

Owen Tucker, 8548 S Harvard Park Drive, shared concerns about traffic and safety.

Daniel Derricott, 8558 S Johnsonway Dr, shared concerns relating to the crosswalk.

Richard Hill, 936 E 8560 S, shared concerns relating to safety.

Christy Rimmasch, 905 E Edgefield Road, shared concerns relating to safety and the crosswalk.

Carla Thorup, 975 E Addington Circle, shared concerns relating to safety.

Tyler Hansen, 8514 S Fayeway Drive, asked how this development aligns with the zoning.

Daniel Schoenfeld closed this item to public comment.

Jake Warner spoke about housing affordability and the general plan.

Dave Bromley asked staff to explain the possibility of medium density housing creeping into surrounding neighborhoods.

Jake Warner spoke about neighborhood designations and trying to balance density. He also said that Salt Lake County currently has a project going on in this area and it's expected that they will implement road improvements.

Cameron Duncan clarified that this item is for a rezone and the next phase would be the site plan that talks about road widening and set backs.

Dave Bromley asked if there's an RM10.

Jake Warner said that with the RM Zone, the applicant has to request the density with the zone and each of them come with a different set of regulations. There's an RM 6, 8, 10 and 12 although the density is closer to nine units per acre, there are other factors an applicant needs to consider when deciding.

Britney Ward, Sandy City Engineer, confirmed that Salt Lake county is planning to do right of way improvements in this area and also addressed the concerns relating to road improvements and safety issues.

Jennifer George asked how far down 8600 S and 1000 E the improvements will go.

Brittney Ward said that along 1000 E, on the west side, the improvements will go south down to 8600 S.

Jennifer George asked if there will be a right hand turn lane added.

Britney Ward said yes.

Cameron Duncan asked how far along in for the design process they're in and if she knows when construction will begin.

Britney Ward said the design level is at 30% with the county project and the hope is to begin construction this summer. With the east side of 1000 E and north side of 8600 S there isn't a project timeline just yet because there's no funding.

Cameron Duncan asked if there will be enough shoulder space for on street parking given the new road width and bike lane.

Brittney Ward said that's yet to be determined because of the grading in this area.

Jennifer George asked if flashing lights would be installed on the crosswalk.

Britney Ward said yes - pedestrian activated crossing lights will be installed however it hasn't happened yet because there isn't a place to install them within the current right of way. She did say one way that residents can help move the improvements along is to help provide the needed dedication to get them installed.

James Sorensen clarified with Britney Ward that she does have the funding to install the pedestrian activated crossing lights but needs the right of way dedication in order to do so.

Britney Ward said yes.

Dave Bromley asked if it's for the diagonal cross walk or the one going east across 1000 East.

Britney Ward said it's for the existing diagonal crosswalk.

Ivan Hooper, Sandy City Traffic Engineer, spoke about trips relating to the development and said that the average number of trips for a six unit development is about 40-60 trips. He also said this is a negligible volume and adding 1-2% doesn't add a lot more congestion and delay.

Dave Bromley asked what the current width of the right of way is.

Ivan Hooper said 66 feet and will be going to 84 feet.

Dave Bromley spoke about the general plan and the need for a city to grow and mature and having a variety of income variations is a positive thing for the community.

Ron Mortimer said he's not a fan of the concept plan and understands that will come further down because right now the application is for a rezone.

Dave Bromley said that's why he questioned the RM10.

Ron Mortimer asked what authority they have as commissioners to help mitigate things like access and setbacks.

Cameron Duncan made a motion to approve the rezone with the RM12.

Dave Bromley said he's not convinced since he doesn't know what the differences are and shares the same concerns as Ron Mortimer. He also said he doesn't know if it's an RM10 would this mitigate things like a different driveway access or additional parking if there isn't a common area.

Jennifer George asked if the rezoning would address these concerns or would it be part of the site plan.

Dave Bromley said the zoning is going to drive what's allowed and if it's enough to put in something that's allowed then they don't have a lot of leeway. And he doesn't know what the limitations are.

Jake Warner said that staff understands the concerns and have been working with the applicant. He also hopes to have better zoning tools with the comprehensive code rewrite to better correlate with the general plan.

Mike Wilcox said an RM10 would limit it to five units based on the square footage the applicant has. He also said staff discussed the driveway issue and currently the RM zone isn't allowed to utilize alleys to feed rear loading units.

A motion was made by Cameron Duncan, seconded by Dave Bromley, that the

Planning Commission forward a positive recommendation, recommending that the City Council approve the application for a zone change of the subject property from the R-1-10 Zone to the RM(12) Zone. The motion carried by the following roll call vote:

Yes: 4 - Dave Bromley
Cameron Duncan
Daniel Schoenfeld
Jennifer George

No: 2 - Ron Mortimer
Steven Wrigley

Absent: 3 - David Hart
Craig Kitterman
LaNiece Davenport

Nonvoting: 0

DRAFT

- 3. [REZ0113202](#) 106 Church Rezone
[6-007102](#) 166 E. 10600 S.
[\(PC\)](#) [Community #11, Crescent]

Attachments: [PC Report-106 Church Rez \(2.10.26\).pdf](#)

Jake Warner presented this item to the Planning Commission.

Matt Sneyde further presented this item to the Planning Commission.

Daniel Schoenfeld opened this item for public comment.

Roger Brown, 10703 S Hollow Cove, asked if Hollow Bend Drive could be widened to accommodate the additional traffic and if the island off of 10600 S could be removed so cars can make a left.

Wade Sharp said he doesn't have an issue with the rezoning but is concerned that the development will increase traffic on Hollow Bend Drive and believes the road belongs to the HOA.

Robert Zheng, 10698 S Hollow Cove, asked if the road could be widened and also believes the road belongs to the HOA.

Daniel Schoenfeld closed this item to public comment.

Jake Warner said staff is aware of the road issues and the HOA's involvement and these issues will need to be resolved prior to approval of a subdivision application. He also said that it's a public road and maintenance of the park strips is the HOA's responsibility.

Mike Wilcox said the road is public with a storm drain retention which sits in the public right of way and maintained by the HOA.

Cameron Duncan asked about the median on 10600 S.

Ivan Hooper said the median belongs to the city and was put there for a good reason.

A motion was made by Dave Bromley, seconded by Steven Wrigley, that the Planning Commission forward a positive recommendation, recommending that the City Council approve the application for a zone change of the subject property from the R-1-40A Zone to the R-1-10 Zone. The motion carried by the following roll call vote:

- Yes:** 6 - Dave Bromley
 Cameron Duncan
 Ron Mortimer
 Daniel Schoenfeld
 Steven Wrigley
 Jennifer George

- Absent:** 3 - David Hart
 Craig Kitterman
 LaNiece Davenport

Nonvoting: 0

Administrative Business

An all in favor motion was made by Cameron Duncan to approve the meeting minutes from 02.05.2026.

1. Minutes

[26-046](#)

Minutes from the Feb 5, 2026 Meeting

Attachments: [02.05.2026 PC Minutes \(DRAFT\).pdf](#)

2. Director's Report

Adjournment

An all in favor motion was made by Ron Mortimer to adjourn.

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Staff Report

File #: 26-063, **Version:** 1

Date: 3/5/2026

Development Report

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Pending										
SWIG - State Street	10187 S STATE ST	SPR01062025-006903	06/25/2025			CBD	Pranavi Koka - Bowma		mwilcox	Pending
Bicentennial Park Localscapes Conversion	552 E 8680 S	SPR01242024-006702	03/12/2024			OS	Ben Rodes	2088607297	sstringham	Pending
Storm Mountain Park Localscapes Conversion	11426 S 1000 E	SPR01242024-006703	03/08/2024			OS	Ben Rodes	2088607297	sstringham	Pending
Sandy Shulsen Mixed Use	10116 S MONROE ST, 84070	SPR02082023-006482	12/14/2023			CBD-A&C	David Denison	801-836-6235	mwilcox	Pending
Compass Apartments	179 West 9270 South	SPR02212024-006719	09/27/2024			RC	Cole Peterson	8014484486	mwilcox	Pending
Architectural Components HQ Site Plan	9352 S 670 W	SPR03132025-006926	01/23/2026		0.69	ID	Josh Naylor	8015577523	tirvin	Pending
The Orchards at Dimple Dell	10216 S DIMPLE DELL RD	SPR03262024-006738	05/01/2024			R-1-10	Brett Lovell	8017064693	tirvin	Pending
Jordan Credit Union	9260 S 300 E	SPR04142025-006949	02/04/2026		0.60	R-1-8	Nate Reiner		cspencer	Pending
Rasht Development Project	8475 S STATE ST	SPR04242024-006758	03/21/2025		0.98	RC	Ramin Nasrabadi		cspencer	Pending
Sandy Station Townhomes	8925 S HARRISON ST	SPR05132025-006965			1.36	RC	David Kelly	3852835285	mwilcox	Pending
MACU Event Center/ SLCO	9575 S STATE ST	SPR09062024-006841			0.96	CBD	Jordan Gray	3582145760	cspencer	Pending
MedVet Urgent Care - Modified Site Plan Rev	10291 S STATE ST	SPR10022024-006862				CBD	Michelle Martin		sstringham	Fees Due
SEG Redevelopment Phase 3 - West Facade	10450 S STATE ST	SPR11102025-007071			1.34	CBD	Larry Oldham	8018243351	cspencer	Pending
Under Review										
SEG Phase 4a	10450 S STATE ST	SPR02032026-007110			1.34	CBD	Larry Oldham	8015311144	cspencer	Preliminary Review
Mark Ray Office Building	7865 S 700 E	SPR04172025-006955			0.26	BC	Robert Money	8015731029	cspencer	Preliminary Review
Thackeray Towns Site Plan	10760 S 700 E	SPR06242021-006083	06/24/2021		4.00	PUD(10)	John Sawyer		tirvin	Under Review
Silver Sage Business Park II	10895 S 700 E	SPR07232025-007003	02/04/2026		0.56	SD(PO Silv	Kyle Spencer		cspencer	Preliminary Review
GSL Electric	601 SANDY PKWY, 84070	SPR10092025-007056				CR-PUD	Cynthia Bithell		cspencer	Final Review
Centennial Village	235 W SEGO LILY DR	SPR12282021-006237	07/28/2022		0.49	CBD-A&C	Dan Simons	(801) 230-1339	mwilcox	Under Review
Resubmit										
LHM Ford Pro-Elite	10990 S AUTO MALL DR	SPR01212026-007103			4.82	AM-D	Brandon McDougald		cspencer	Resubmit
Gutierrez Multifamily Site Plan	886 E 7800 S	SPR04072025-006948			0.47	RM(10)	Elisha Deschenie		tirvin	Resubmit
Sandy Towns Site Plan	1270 E 8600 S	SPR06052025-006976			0.43	CN	Riley Streit		tirvin	Resubmit
iONNA Sandy UT	151 W 10600 S	SPR07012025-006992	12/10/2025		0.43	AM	Jess Cain		cspencer	Resubmit
Creek Rd Office Condos - 5th AMD	7410 CREEK RD 301 84093	SPR07072021-006096	09/23/2021			PO	Marcus Green		tirvin	Resubmit
Sandy City Public Utilities Vac Truck Water C	9140 S 150 E	SPR07252024-006802			6.23	ID	Tyler Shelley	8019151082	cspencer	Resubmit
Middle Mile Infrastructure	10935 S 700 E	SPR08072025-007014	12/05/2025		0.57	SD(PO Silv	Alec Geist		cspencer	Resubmit
EOS Fitness	10365 S 1300 E	SPR09032025-007035			5.53	CC	Art Babcock		cspencer	Resubmit
UTA Trax Line Operator Restroom Facility	167 E 9000 S	SPR10012025-007049				R-1-7.5(HS	Wade Edwards		cspencer	Resubmit
Kuwahara Wholesale	8575 STATE ST, 84070	SPR10162023-006639				SD(FM-HS	Alex Kuwahara	8016916592	tirvin	Resubmit
Smith's 153 Fuel Center	10305 S 1300 E	SPR11112024-006885	07/28/2025		10.38	CC	AWA - Jalaine Gibson	8018970849	cspencer	Resubmit
Wooded Creek Estates Site Plan	951 E 8800 S	SPR12052025-007088			0.31	R-1-8	Brandon Harris		tirvin	Resubmit
Red Sky Apartments	10145 S CENTENNIAL PKWY	SPR12062022-006452	05/08/2023		1.45	CBD	Corey Solum		lmarble	Resubmit
On Hold										
Band Fire Warehouse	9618 S 500 W	SPR01272023-006477			0.51	ID	Jesse Reynolds		cspencer	On Hold
Summit Two - Phase 1	10250 MONROE ST, 84070	SPR03292022-006291				CBD-O	Raddon Summit Hotel,		cspencer	On Hold
Sandy Park Center retail pad	9835 S MONROE ST	SPR04152022-006306			0.73	CBD-O	LeeAnn Miller	3852996262	cspencer	On Hold
Classic Fun Center	9151 S MONROE ST	SPR06142024-006783			5.12	RC	David Henderson		cspencer	On Hold
Master Muffler	9235 S 700 E	SPR06292022-006355			0.44	CC	Brandy Donecker	2103716751	cspencer	On Hold
Smith's Altaview Fuel Center	10315 S 1300 E	SPR07202021-006107			0.46	CC	Anderson Wahlen & A	801-913-8406	cspencer	On Hold
Harmons Landscape Improvements	7755 S 700 E	SPR07262022-006365			7.12	CN	Frank Lunquist		cspencer	On Hold
Summit Two at the Cairns	10250 S CENTENNIAL PKWY	SPR08032021-006124			5.07	CBD-O	Anthony Lyman	8012304582	cspencer	On Hold
ECLAIR FRENCH PASTRY	7948 S 1300 E	SPR08092024-006809				SD(Smart)	KARRAR ALJEWARI	3852295300	cspencer	On Hold
Office Building at 11000 South	65 E 11000 S	SPR09202023-006624			0.18	LC	Alta Construction		cspencer	On Hold
Stage Office Storage Building	8238 700 E, 84070	SPR09212022-006407	12/07/2023			BC	Ross Drummond	8015737620	cspencer	On Hold
Wasatch Pain Solutions	1420 E SEGO LILY DR	SPR10072024-006865	01/28/2025		0.66	CC	Robert Howell	4357709668	cspencer	On Hold

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Casa Brazil Market	8671 S STATE ST	SPR11112024-006884			0.22	CN(HSN)	Patricia Jacobs	8017358513	cspencer	On Hold
Under Construction										
Woodhaven Estates	7613 S 300 E	SPR01102023-006464	12/18/2023		0.02	PUD (12)	Brandon Fry		tirvin	Under Construction
The Rio at 94th	115 W 9400 S	SPR01242023-006473			0.38	RM(12)	Jacob Toombs	8017879344	tirvin	Under Construction
St. Anna Greek Orthodox Church	9201 S 1300 E	SPR01262022-006258	03/25/2022		3.00	CN	James Derby	8016801385	cspencer	Under Construction
MACU Event Cenenter/ SLCO	9575 S STATE ST	SPR01292024-006706			0.96	CBD	Jordan Gray	3582145760	cspencer	Under Construction
Sandy City Fire Station #31	9295 S MONROE ST	SPR02132024-006711	04/19/2024			RC	Trevon Beutler	4353195847	mwilcox	Under Construction
UTA Civic Center Station - Site Modification	10015 S BEETDIGGER BLVD	SPR02172023-006487				MU	Nick Duerksen	8012012050	mwilcox	Under Construction
WM Fuel #5235 Sandy, UT	9081 S QUARRY BEND DR	SPR03112022-006282	01/03/2023			SD(X)	Ryan Alvarez		cspencer	Under Construction
Quick Quack Car Wash Conversion	10640 S 700 E	SPR04212025-006957			1.10	CN	Polo Padilla		cspencer	Under Construction
Sandy Amphitheater Plaza Expansion	1245 E 9400 S	SPR04242023-006523	07/21/2023		7.13	SD(MU)	Mearle Marsh		mwilcox	Under Construction
Dimple Dell Park - 300 East Trailhead	321 E 10195 S	SPR05132022-006318	07/12/2022		5.00	OS	Dan Sonntag	8012058201	tirvin	Under Construction
Dimple Dell Park - Badger Cove Trailhead	1651 E BADGER CV	SPR05132022-006320	08/25/2022		4.63	OS	Dan Sonntag		tirvin	Under Construction
Dimple Dell Park - Wrangler Trailhead	10305 S 1300 E	SPR05132022-006324	08/25/2022		10.38	CC	Dan Sonntag		tirvin	Under Construction
Alta Canyon Sports Center	9565 S HIGHLAND DR	SPR06302025-006990	09/17/2025		1.51	OS	Dan Medina		cspencer	Under Construction
AFCU Sandy Landscape Remodel	2104 E 9400 S	SPR07262022-006364	08/16/2022		2.23	PO	Brad Illingsworth		cspencer	Under Construction
Bicentennial Park Improvements	530 E 8680 S	SPR07272023-006575	10/17/2023			OS	Jeremy Garcia		sstringham	Under Construction
The Ridges at Dimple Dell	1405 E 10600 S	SPR08032021-006125	11/19/2021		0.02	MU	Brad Reynolds Constru	8015980246	mwilcox	Under Construction
AFCU Sandy ADA Site Improvements	2104 E 9400 S	SPR08112023-006586			2.23	PO	Brad Illingsworth		cspencer	Under Construction
JVWCD 700 East Well House	7618 S 700 E	SPR08212023-006589			0.80	PUD(12)	Kevin Rubow	8015654377	cspencer	Under Construction
Utah HPC - Phase 2	10450 S STATE ST	SPR09062024-006844	09/19/2024		1.34	CBD	Larry Oldham	8015311144	cspencer	Under Construction
Meadows at Cy Road Site Plan	8777 S 700 E	SPR10162024-006872	02/25/2025			PUD(10)	Brad Reynolds		tirvin	Under Construction
Mountain America Credit Union	9446 S HIGHLAND DR	SPR10222024-006875	04/01/2025		0.70	SD(Magna)	Michael Shane Sanders		cspencer	Under Construction
OneTen Apartments	11011 S AUTO MALL DR	SPR10242022-006427	08/18/2023		2.65	CBD	Corey Solum		mwilcox	Under Construction
Hansen Warehouse Modified	9127 S 255 W	SPR11142024-006887			1.31	RC	Reid Wintersteen	6083862723	cspencer	Under Construction
Cedarwood at Sandy - Expansion	575 E 11000 S	SPR11172022-006447	02/21/2023		3.87	SD(EH)	Ryan Griffiths	8019102756	tirvin	Under Construction
Main Street Park	70 E 8760 S	SPR12032021-006220	01/28/2022		0.92	R-1-7.5(HS)	DAN MEDINA	801-201-2202	mwilcox	Under Construction
9000 South C-Store	694 W 9000 S	SPR12172024-006901	05/09/2025		1.77	RC	Thomas Hunt	8016644724	cspencer	Under Construction
Complete										
Medically Vulnerable Peoples Program (MVI)	8955 S HARRISON ST	SPR08282024-006825			1.00	RC	Shasta Galyon	9079038553	manderson	Complete
Others										
90th South Mixed Use Master Plan Amendm	8925 S HARRISON ST	SPR01022025-006902	02/07/2025		1.36	RC	David Kelly	3852835285	mwilcox	Approved
Sandy East Village Ph 3 & Dry Creek Apartm	166 E MIDVILLAGE BLVD	SPR11142022-006445				MU	IBI Group		mwilcox	Approved

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Pending										
Dimple Dell Ridge Consolidation	1727 DIMPLE DELL RD 84092	SUB03192024-006733				R-1-20A	Efren Lopez		tirvin	Received
East Town Village Condo Plat	8327 STATE ST 84070	SUB06132023-006550		1.00		MU	Charles Akerlow		tirvin	Fees Due
Pinecone Lot Line Adjustment	734 E 10600 S	SUB06272025-006989			0.35	CN	Pinecone Properties		tirvin	Open
Sandy City Centre Plat Second Amended and	215 W 10000 S, 84070	SUB08152022-006383		4.00		CBD-A&C	David A Jenkins	8016312999	mwilcox	Open
Cole 825 E 8600 S Consolidation	825 E 8600 S	SUB08232024-006817			0.71	R-1-8	Tyler Cole	8019139315	tirvin	Open
Almond/Williams lot line adjustment	409 E SEGO LILY DR	SUB08292025-007030			0.23	R-1-8(INF)	Wendy L Almond		tirvin	Received
Rasht Consolidation	8475 S STATE ST	SUB09022025-007034			0.98	RC	Ramin Nasrabadi		tirvin	Received
Olsen Subdivision	265 E MAIN ST	SUB09092025-007036		2.00	0.57	R-1-7.5(HS)	Bryce Dallimore		tirvin	Open
Monte Cristo 104 Lot Line Adjust	3773 E QUAIL HILL LN	SUB09112025-007037			0.34	R-1-15	David Jenkins	8016312999	tirvin	Received
Brandon Park 3 Amended Plat	1960 E BRANDON PARK WAY	SUB09242024-006855				R-1-12	Scott Hancock	8015974833	tirvin	Open
Sandy Station Block 20 Subdivision	8982 S 250 E	SUB09282022-006410	09/15/2023	2.00		R-1-7.5(HS)	Mark stephenson	8015148797	tirvin	Pending
Alta Canyon Lot Line Adjustment	9565 S HIGHLAND DR	SUB11032025-007064			1.51	OS	Jetta Marrott		tirvin	Received
Silver Sage Estates Subdivision	10175 S DIMPLE DELL RD	SUB12082025-007089		4.00	0.68	R-1-10	Alyssa Holbrook		tirvin	Pending
Mark Ray Office Building	7865 S 700 E	SUB12122025-007091			0.26	BC	Robert Money	8015731029	sstringham	Open
Under Review										
Crescent Wood Estates	543 E 10735 S	SUB02032022-006262	02/03/2022		0.50	R-1-20A	Arthur J. (A.J.) Kim	8019133400	tirvin	Under Review
Thackery Towns Subdivision	10760 S 700 E	SUB02192026-007115			4.00	PUD(10)	Riley Young		tirvin	Preliminary Review
Southeast Industrial Park Amended Condomin	8496 S HARRISON ST	SUB02222022-006272	04/08/2022	16.00	1.95	RC	Jessica Rice		tirvin	Under Review
Aspen Plaza Condo Amendment	849 E 9400 S	SUB03262024-006735				SD(CC)-Ti	SCOTT A DILLEY	8017067384	tirvin	Under Review
Dimple Dell Ridge Consolidation	1727 E DIMPLE DELL RD	SUB04012024-006741	08/10/2025		0.81	R-1-20A	Efren Lopez		tirvin	Under Review
Sandy Jordan Credit Union Subdivision	9260 S 300 E	SUB04142025-006950	02/04/2026	1.00	0.60	R-1-8	Nate Reiner		cspencer	Under Review
9854 S. Building, LLC Condo	9854 S 700 E	SUB06092025-006981			2.36	CN	Kenneth Chapman		tirvin	Under Review
Crabtree Subdivision	2845 E LITTLE COTTONWOOD RD	SUB06142022-006347	06/26/2025	2.00		R-1-15	Tami Crabtree	8012314484	tirvin	Final Review
Sierra Estates III	3677 E LITTLE COTTONWOOD RD	SUB06172024-006786		2.00		R-1-10	S. Scott CARLSON	8014503511	tirvin	Under Review
Monroe Street Center Plat Amendment	111 W 9000 S	SUB07182025-007000		1.00	0.31	RC	Mark Sudbury		tirvin	Under Review
Smith's Altaview SUB	10315 S 1300 E	SUB07202021-006108	09/23/2021	4.00	0.46	CC	Anderson Wahlen & A		tirvin	Final Review
Hartman Estates 2 lot Subdivision	3853 E LITTLE COTTONWOOD LN	SUB08052025-007011		2.00		R-1-15	David Jenkins	8016312999	tirvin	Preliminary Review
9272 Office Condominiums	9272 S 700 E	SUB08212024-006814	02/09/2026		3.03	CC	Brook Hintze	8018601515	tirvin	Final Review
Transwest Estates No. 1 Amended Subdivisio	1479 E LONGDALE DR	SUB08232024-006818			0.26	R-1-10	Carson Fairbourn	3853549995	tirvin	Under Review
Silver Sage Business Park II	10935 S 700 E	SUB08252025-007024			0.57	SD(PO Silv	Kyle Spencer		cspencer	Final Review
Kuwahara Wholesale	8575 STATE ST, 84070	SUB10162023-006638		1.00		SD(FM-HS)	Alex Kuwahara	8016916592	tirvin	Under Review
Pepperwood Phase 10C Amended	3 S COBBLEWOOD CV	SUB11012021-006197	11/19/2021	2.00	0.71	PUD(1.62)	David Jenkins	8016312999	mwilcox	Under Review
Sequoia Cove Subdivision	1368 E COPPERCREEK RD	SUB11142025-007080	02/09/2026	5.00	1.02	R-1-8	Sequoia Development,		tirvin	Final Review
South Towne Market Place Subdivision	10130 S STATE ST	SUB12182023-006671	04/03/2024	2.00	4.89	CBD	Jason Boal		mwilcox	Under Review
Resubmit										
Corner Bend Subdivision	2186 E POWDERKEG DR	SUB01142022-006249	06/21/2022		0.18	R-1-8	Dan Moore	801-554-8920	tirvin	Resubmit
Dimple Dell Ridge Lot 1 Amended Plat	1703 E DIMPLE DELL RD	SUB01182022-006256	07/05/2022	1.00	0.69	R-1-20A	Mark Goodsell	801-361-0909	tirvin	Resubmit
GSL Electric New Production Facility	595 W SANDY PKWY	SUB01252024-006704		1.00	1.70	CR-PUD	Carl Greene	8016413894	cspencer	Resubmit
Firefly Subdivsion	517 E 8680 S	SUB03172025-006927	08/10/2025	29.00	0.30	R-1-7.5(HS)	Jacob Robert Ballstaedi	8014555131	tirvin	Resubmit
Jeremy Day Subdivision	8 SHADOW WOOD LN Sandy UT	SUB04032025-006944				PUD(1.62)	Blake Peterson	8017553548	tirvin	Resubmit
Red Sky Apartments	10140 S CENTENNIAL PKWY	SUB04102023-006516	05/08/2023	1.00		CBD-P	Corey Solum		mwilcox	Resubmit
Sandy Park Center Lot 3 Amended	9835 S MONROE ST	SUB04152022-006305	06/07/2022	2.00	0.73	CBD-O	LeeAnn Miller	3852996262	tirvin	Resubmit
Sandy Station Townhomes Plat	8925 S HARRISON ST	SUB05132025-006966		64.00	1.36	RC	David Kelly	3852835285	mwilcox	Resubmit
Sandy Towns Subdivision	1270 E 8600 S	SUB06052025-006977		1.00	0.43	CN	Riley Streit		tirvin	Resubmit
Thackeray Towns Subdivision	10760 S 700 E	SUB06242021-006082	06/24/2021	41.00	4.00	PUD(10)	John Sawyer		tirvin	Resubmit
Quick Quack Sandy Harmons	7708 S 700 E	SUB06252024-006790		3.00	0.33	CN	Russ Nelson		tirvin	Resubmit
Hidden Hollow Subdivision	10665 S Dimple Dell Rd	SUB06252025-006987		4.00	4.02	R-1-40A	Garrett Schmidt		tirvin	Resubmit

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Oberland Road Subdivision	2900 E OBERLAND RD	SUB06282022-006352		3.00		R-1-40A	Dustin Freckleton	5127796368	tirvin	Resubmit
Indigo Subdivision	348 E 8000 S	SUB07112025-006996		20.00	1.00	RM(12)	Damian Mora		tirvin	Resubmit
Gutierrez Multifamily Subdivision	886 E 7800 S	SUB07112025-006998			0.47	RM(10)	Elisha Deschenie		tirvin	Resubmit
Badger Cove	1651 E BADGER COVE	SUB09132023-006609				OS	Dustin Wiberg	8018287865	tirvin	Resubmit
Falls Creek Subdivision	2873 E WASATCH BLVD	SUB09152025-007042	12/02/2025	2.00	0.49	PUD(2)	Greg Timothy		tirvin	Resubmit
Pepperwood Phase 9 Plat Amendment	98 E LONE HOLLOW	SUB09262025-007046			2.27	PUD(1.62)	jerry Robinson		tirvin	Resubmit
Fox Hollow Plat Amendment	9476 S FOX CIR	SUB10142024-006868		1.00	0.22	R-1-8	Craig Lawrence	8015732516	tirvin	Resubmit
Classic Fun Center	9151 S MONROE ST	SUB10262024-006878		2.00	5.12	RC	David Henderson	8016084007	tirvin	Resubmit
Wooded Creek Estates	951 E 8800 S	SUB12052025-007087		8.00	0.31	R-1-8	Brandon Harris		tirvin	Resubmit
On Hold										
Meek Subdivision	3761 E LITTLE COTTONWOOD LN	SUB02282024-006722	04/23/2024	2.00		R-1-8	Robert Meek	3854810189	tirvin	On Hold
Raddon Summit Subdivision	10250 MONROE ST, 84070	SUB08312022-006390		3.00		CBD-O	Raddon Summit Hotel,		cspencer	On Hold
Under Construction										
Woodhaven Estates Subdivision	7613 S 300 E	SUB01182023-006471	12/18/2023	24.00	0.02	PUD (12)	Brandon Fry		tirvin	Under Construction
OneTen Apartments	109 W 11000 S	SUB03292023-006511	08/18/2023	1.00		CBD	Corey Solum		mwilcox	Under Construction
Tate Woods Subdivision	485 E 7800 S	SUB03312025-006940	06/24/2025	2.00	0.15	R-1-6	GreenRock LLC	8019317228	tirvin	Under Construction
Lot 4 Jason K Circle	182 E 9000 S	SUB04102024-006745	12/20/2024	2.00	0.63	R-1-8	Jill Kinder	8017184622	tirvin	Under Construction
Monte Cristo at LaCaille	9701 S 3775 E	SUB04262021-006034	11/29/2021	13.00		R-1-15	Chris McCandless	8015974575	mwilcox	Under Construction
Hagan Road Subdivision	11523 S HAGAN	SUB05072021-006045	06/02/2021			R-1-20A	Blair Johnson	8013011078	tirvin	Under Construction
Alta Park Subdivision	11190 S 1000 E	SUB05072024-006766	07/02/2024	4.00		R-1-8	Hayley Pratt, Castlewo	407-617-0698	tirvin	Under Construction
KV Larson Subdivision	963 E 8600 S	SUB06132023-006549	02/02/2024	8.00	2.50	SD(R-1-7)	Ronald K. Larson	2067137789	tirvin	Under Construction
Park Lane Amended	1775 E 11400 S	SUB07082022-006359	09/21/2022	2.00	0.35	SD(R-2-A)	Laine Fluekiger	8015715541	tirvin	Under Construction
Alta Canyon 2 Subdivision	9855 S 3100 E	SUB07132023-006568	07/12/2024	4.00	1.79	R-1-15	Dana Conway	8018914880	tirvin	Under Construction
Longpath Subdivision	11510 S HAGAN RD	SUB08292022-006389	11/21/2022	1.00	0.56	R-1-20A	Kyle Simons	8013814687	tirvin	Under Construction
Sandy Station Block 59 Subdivision	8810 S 90 E	SUB09232022-006408	09/15/2023	2.00	0.12	R-1-7.5(HS)	Mark stephenson	8015148797	tirvin	Under Construction
Brand Estates Subdivision	285 E 11000 S	SUB10112022-006417	08/31/2023	12.00	4.46	R-1-15	Kyle Denos	8017937660	tirvin	Under Construction
The Meadows at Cy Road	8777 S 700 E	SUB10162024-006871	02/25/2025	33.00		PUD(10)	Brad Reynolds Constru		tirvin	Under Construction
Sandy Oaks Subdivision Phase 5	8449 S 300 E	SUB11222022-006448	02/22/2023	2.00		R-1-7.5(HS)	Greg Larsen	8016081600	tirvin	Under Construction
Complete										
Little Cottonwood Estates (aka Alana Meadow)	3170 E LITTLE COTTONWOOD RD	SUB01042023-006461	06/15/2023	12.00		R-1-15	Skylar Tolbert		tirvin	Complete
Cyprus Credit Union Subdivision	8955 S 700 E	SUB01122022-006248	07/05/2023	2.00	0.78	BC	Cyprus Credit Union		dwheelwright	Complete
Crescent View Peaks	137 E 11000 S	SUB04272021-006035	06/18/2021			R-1-40A	Kyle Simons	8013814687	tirvin	Complete