



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Agenda

Planning Commission

Dave Bromley
Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
LaNiece Davenport
Craig Kitterman (Alternate)
Jennifer George (Alternate)

Thursday, June 4, 2026

6:15 PM

Council Chambers and Online

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

https://us02web.zoom.us/webinar/register/WN_ZVO5Qf93RTaMAFBcaMGCmw

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/85075210493>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866

(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/85075210493>

Webinar ID: 850 7521 0493

Passcode: 407115

4:00 PM FIELD TRIP

1. [26-307](#) Map

Attachments: [060426.pdf](#)

4:45 PM EXECUTIVE SESSION

2. [26-298](#) Detached Accessory Dwelling Units Work Session

Attachments: [Presentation D-ADUs for Work Session](#)

6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

Public Hearings

3. [GPA0422202](#) Canyon Gate General Plan Amendment
[6-007196](#) 825 E 9085 S
[Community #2, Quarry Bend]

Attachments: [Staff Report-Canyon Gate GPA](#)
4. [REZ04222026](#) Canyon Gate Rezone
[-007195](#) 825 E 9085 S
[Community #2, Quarry Bend]

Attachments: [Staff Report-Canyon Gate REZ](#)
5. [CA02132026-](#) Amendments to Title 21 of the Land Development Code related to Building
[0007114](#) Height

Attachments: [Staff Report](#)
[Exhibit A - Applicant Proposal](#)

Public Meeting Items

6. [SPX0701202](#) Silver Ridge Flats Special Exception Review
[5-006991](#) 886 E. 7800 S.
Community #6, High Point
7. [SPR0407202](#) Silver Ridge Flats Site Plan Review
[5-006948](#) 886 E. 7800 S.
Community #6, High Point
8. [SUB0411202](#) Silver Ridge Flats Subdivision
[5-006998](#) 886 E. 7800 S.
Community #6, High Point

Attachments: [Staff Report](#)
[Exhibit A](#)

Administrative Business

1. Minutes

[26-308](#) Minutes from May 21, 2026 Meeting

Attachments: [05.21.2026 PC Minutes \(DRAFT\).pdf](#)

2. Sandy City Development Report

[26-309](#) Development Report

Attachments: [06.01.2026 DEV REPORT.pdf](#)

3. Director's Report

Adjournment

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Staff Report

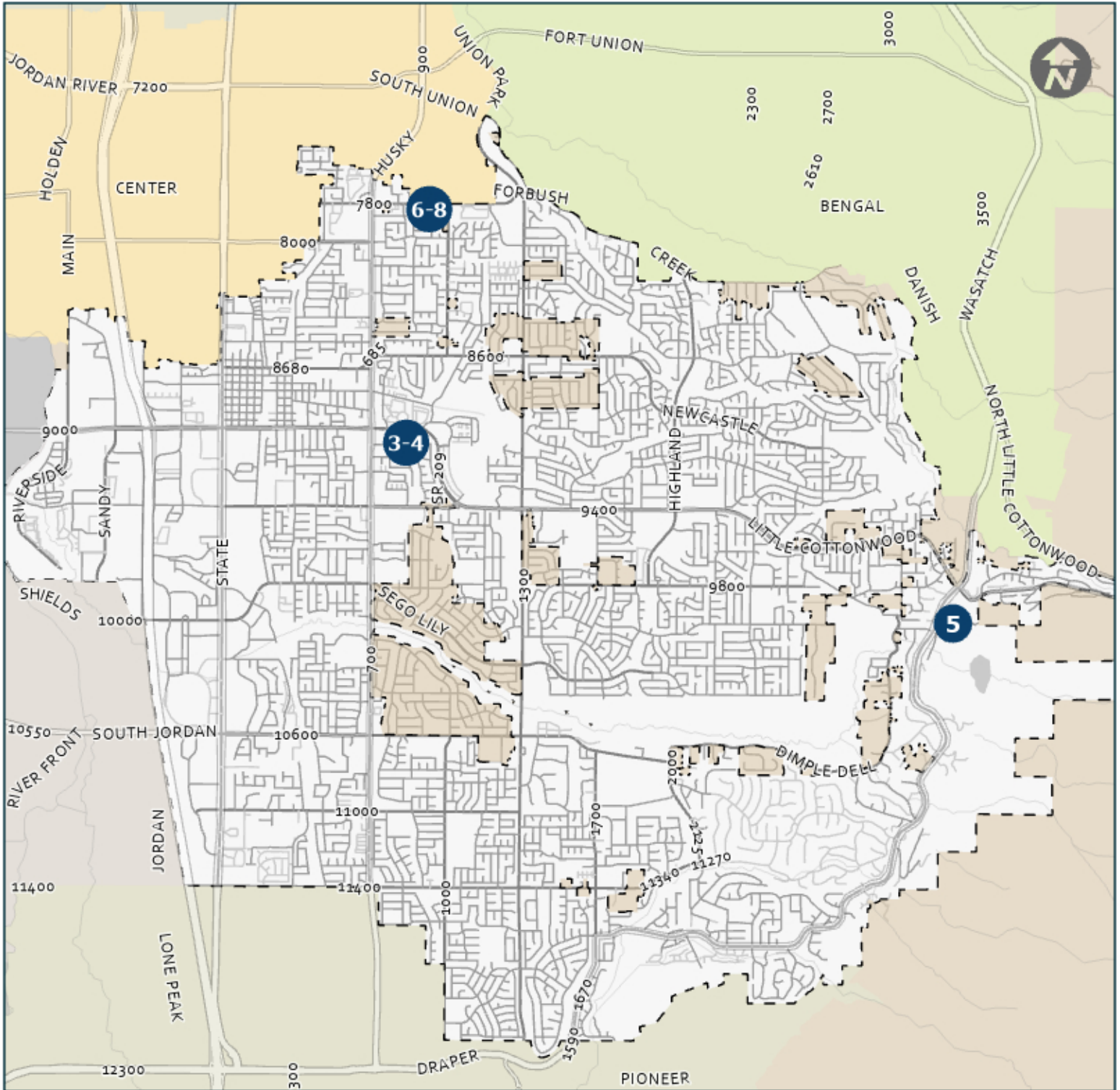
File #: 26-307, **Version:** 1

Date: 6/4/2026

Map

Planning Commission Field Trip

June 4, 2026





See Planning Commission agenda packet for specific addresses and details regarding the application.

 1 Mile

Sandy City, UT
Community Development Department

Agenda Item Number

-  1 Locations to visit on your own
-  1 Locations to be visited on tour



Staff Report

File #: 26-298, **Version:** 1

Date: 6/4/2026

Agenda Item Title:

Detached Accessory Dwelling Units Work Session

Presenter:

Melissa Anderson, Zoning Administrator

Description/Background:

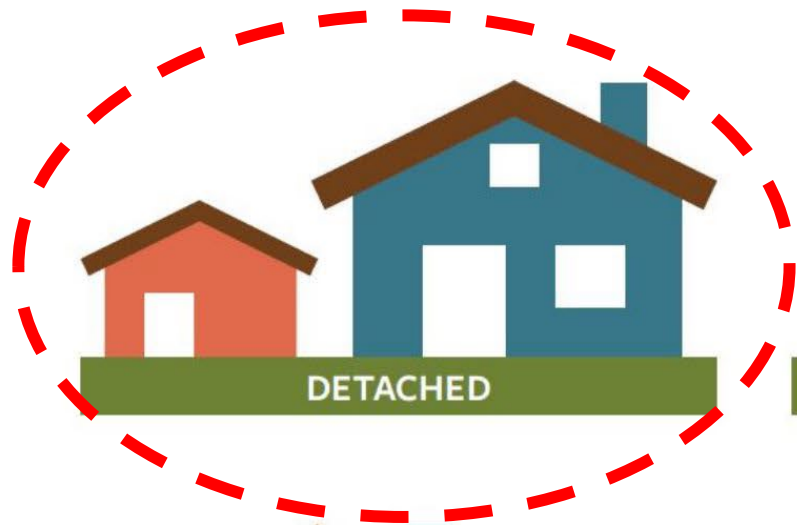
The Utah Legislature passed SB284 during the 2026 legislative session that requires cities to allow detached accessory dwelling units (D-ADU) on residential lots 11,000 square feet or larger. This work session is a continuation of a discussion about D-ADUs to gather information about the Planning Commission's preferences.

Please refer to the attachment for the presentation slides.

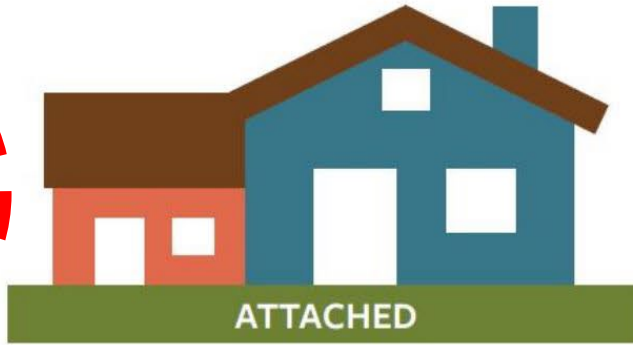


Detached Accessory Dwelling Units

- **New State Law SB 284**
- **D-ADU Requirements**
- **D-ADU Preferences**
Location, Size, Height,
Setbacks, Parking, Basements,
Balconies, Etc....



DETACHED



ATTACHED



INTERIOR (UPPER LEVEL)



INTERIOR (LOWER LEVEL)



ABOVE GARAGE

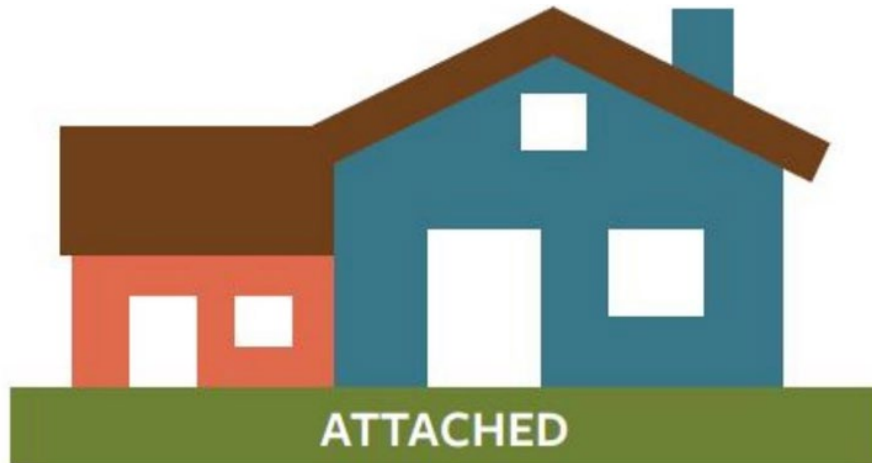


GARAGE CONVERSION

▲ Accessory dwelling units (or ADUs) come in many shapes and styles.

New State Law SB284 - Cities Required to Allow Detached Accessory Dwelling Units

Detached Accessory Dwelling Units (D-ADU) Internal Accessory Dwelling Units (I-ADU)



Internal ADU
Currently Permitted
All Residential Zones
(Basement Apts)



Detached ADU
Must Be Permitted
Residential Lots \geq 11,000 sf
Effective Oct. 1, 2026

Summary of New State Law Requirements



- **Must allow D-ADUs on lots 11,000 s.f. or larger that contain a single-family dwelling in a residential zone**
 - **Allow D-ADUs as Permitted Uses in residential zones (CUP prohibited)**
 - **Require D-ADUs to comply with all applicable building, health and fire codes**
 - **Maximum number of parking spaces city may require for D-ADU:**
 - 1 / 649 s.f. D-ADU**
 - 2 / 650 s.f. or larger D-ADU**
 - **Prohibited from requiring “Design Elements” per state law, except:**
 - May require design of D-ADU to be consistent with primary dwelling**

New State Law Requirements Cont...

Must provide a process to convert legal Accessory Structures into D-ADUs if they meet:

- **Setback requirements**
- **Compliance with building, health, and fire codes**



Common Themes for Detached ADUs within our Region

Majority of cities currently allow D-ADUs

- Owner occupancy
- Only 1 ADU on a lot (1 Internal ADU OR 1 Detached ADU)
- Prohibit D-ADUs to be an STR
- No portable units or units on wheels
- At least one additional parking space
- Must meet all building codes and fire safety requirements

Common Themes for Detached ADUs within our Region, Cont...

- **Size limits vary between cities. Examples are:**
 - Max. 850 s.f. or $\leq 50\%$ of primary dwelling (not incl. garage), whichever is less
 - Percentage of rear yard $\leq 25\%$
 - $\leq 1,000$ s.f.
- **Height limits vary between cities. Examples are:**
 - 20' to peak of roof
 - 1 to 2 stories
 - 1 story and max 20' or the height of the principal structure, whichever is less

Best Practices



| Standard | Internal ADU | Detached ADU |
|---------------------------------------|--------------|-----------------|
| All Single Family Residential Zones | ✓ | Lot ≥ 11,000 sf |
| Permitted Use with Special Use Permit | ✓ | ✓ |
| Clear and Objective Standards | ✓ | ✓ |
| Owner Occupancy | ✓ | ✓ |
| One Address and Utility Meter | ✓ | ✓ |
| Recorded Affidavit | ✓ | ✓ |

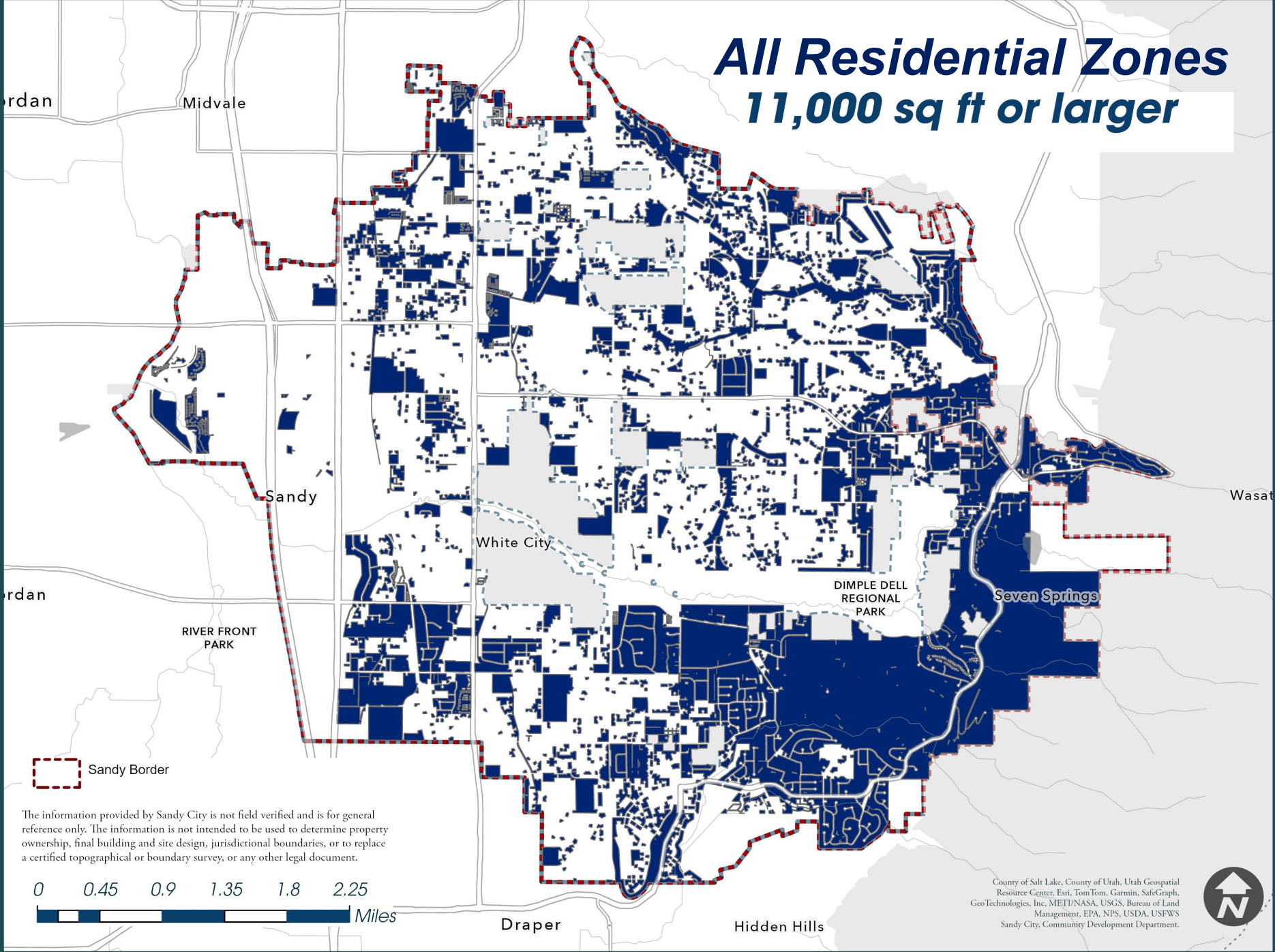
Where Should D-ADUs Be Allowed in Residential Zones?

- 11,000 square-foot lot or greater (*required*)
- 10,000 square-foot lot or greater
- All residential zones if the lot does not exceed a certain percentage of the lot coverage

See map illustrations →

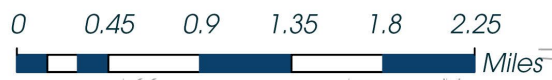


All Residential Zones 11,000 sq ft or larger



 Sandy Border

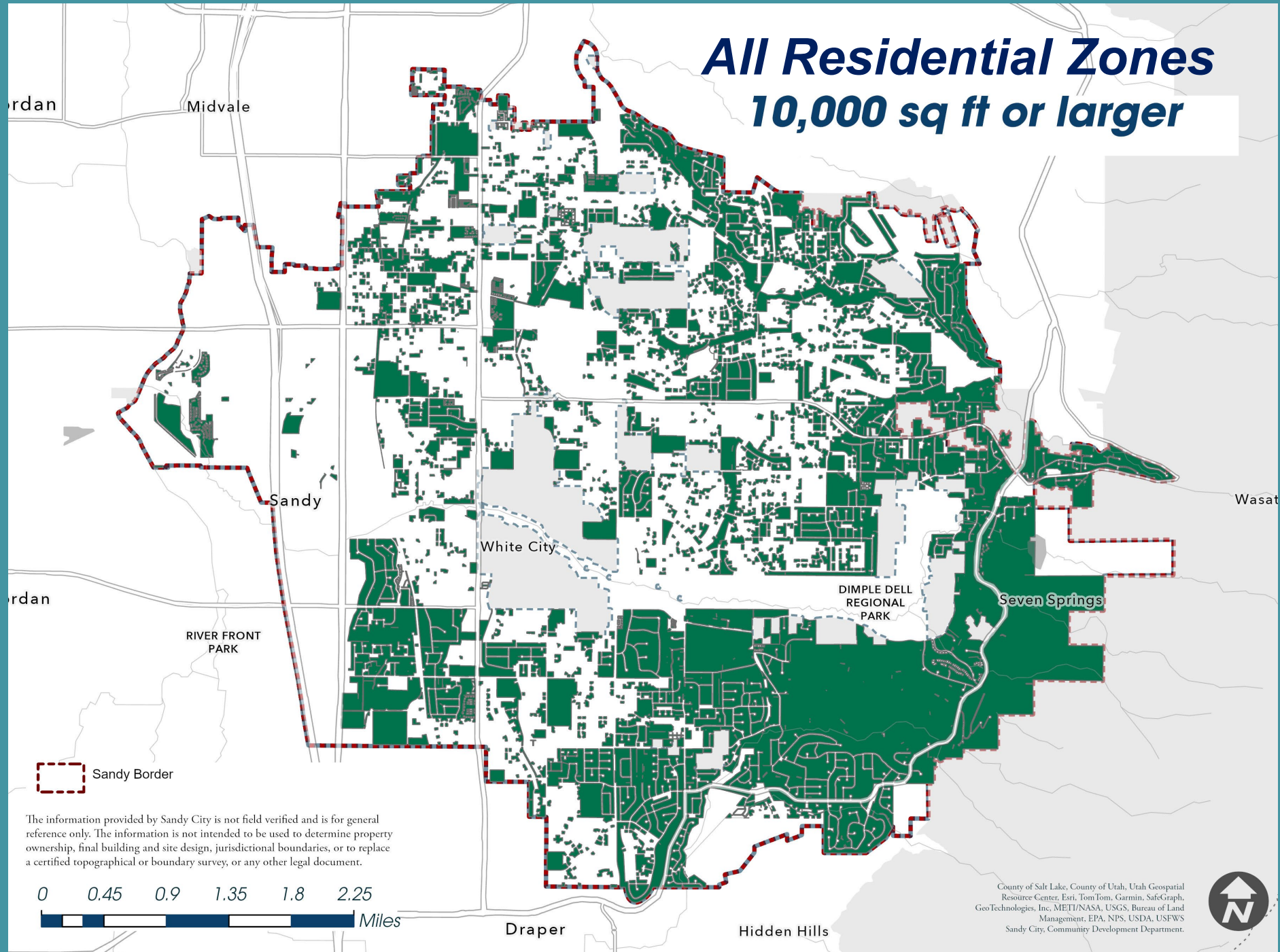
The information provided by Sandy City is not field verified and is for general reference only. The information is not intended to be used to determine property ownership, final building and site design, jurisdictional boundaries, or to replace a certified topographical or boundary survey, or any other legal document.



County of Salt Lake, County of Utah, Utah Geospatial Resource Center, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, USFWS
Sandy City, Community Development Department.



All Residential Zones 10,000 sq ft or larger



 Sandy Border

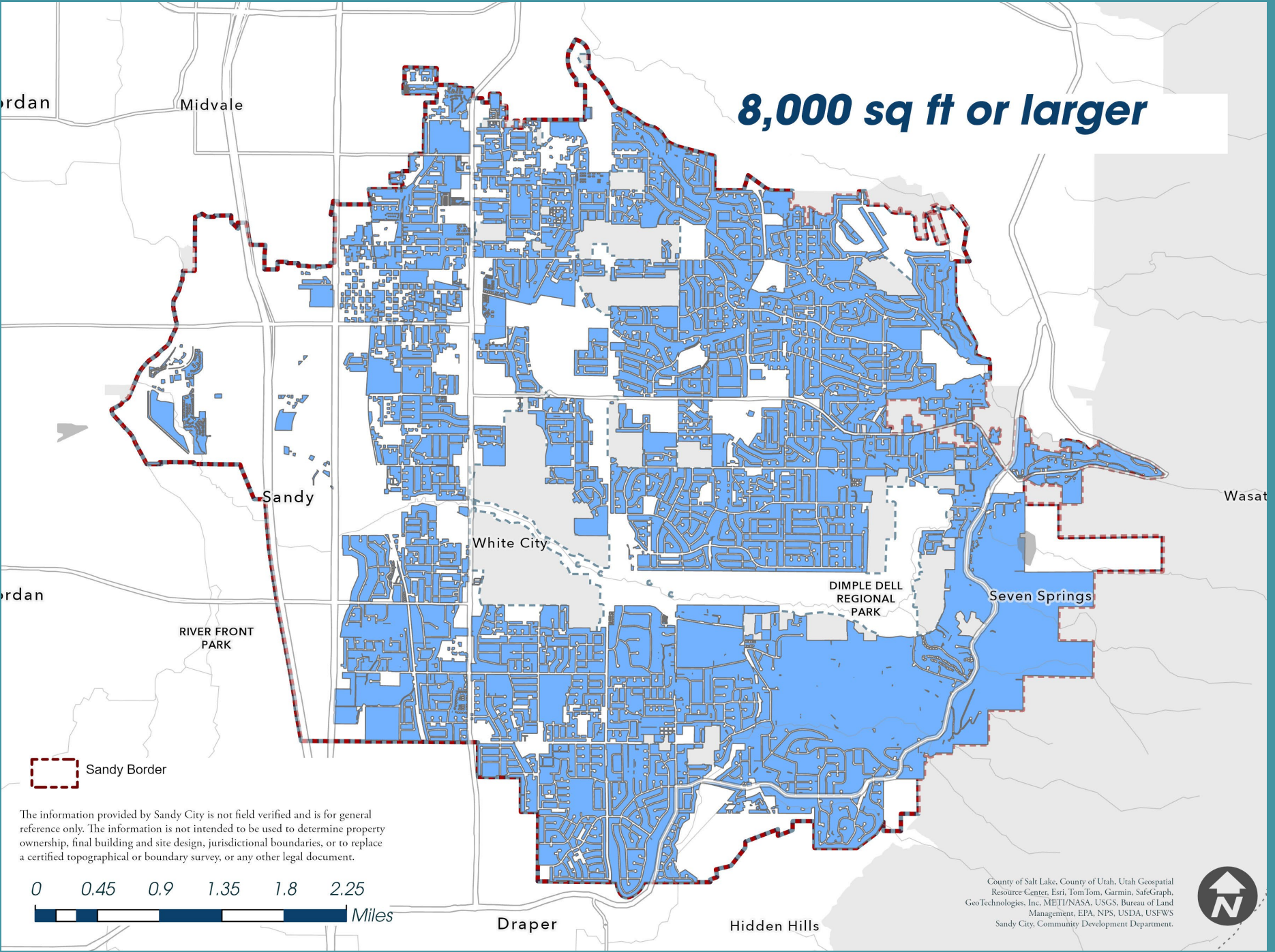
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0 0.45 0.9 1.35 1.8 2.25
 Miles

County of Salt Lake, County of Utah, Utah Geospatial Resource Center, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, USFWS
Sandy City, Community Development Department.

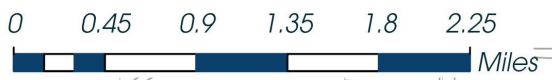


8,000 sq ft or larger



 Sandy Border

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County of Salt Lake, County of Utah, Utah Geospatial Resource Center, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, USFWS
Sandy City, Community Development Department.



How Many ADUs Should Be Allowed on a Lot?

Options

- Allow 2 ADUs on a lot (1 internal to SFD and 1 D-ADU)
- Allow only 1 ADU on a lot (1 internal to SFD or 1 D-ADU)



+
OR



Should Additional Parking Spaces be Required?



Options

- **Require the maximum parking spaces allowed by state law
1 for D-ADU < 650 s.f. and 2 for D-ADU ≥ 650 s.f. in size**
- **Require 1 additional parking space regardless of D-ADU size**
- **Do not require additional parking spaces for D-ADU**
- **Reduced parking spaces if within ¼ mile of Transit Station**

** Existing code requires 4 parking spaces (2 in garage and 2 in driveway)*

How Large Should We Allow D-ADUs?

Options or a Combination of Options

- Maximum size +/- 1,000 square feet
- No larger than the primary dwelling
- Smaller than the primary dwelling (e.g. 50%-75% of dwelling)
- No larger than the maximum rear yard lot coverage (e.g. 25%)

* See *Existing Accessory Structure Size Limits for Comparison* →

| Property Size | Maximum Combined Building Coverage (size of all accessory structures or 25% rear lot coverage, whichever is less) |
|-------------------------------|-----------------------------------------------------------------------------------------------------------------------------|
| 14,999 sq. ft. or smaller | 750 sq. ft. |
| 15,000 sq. ft.—19,999 sq. ft. | 1,000 sq. ft. |
| 20,000 sq. ft.—39,999 sq. ft. | 1,500 sq. ft. |
| 40,000 sq. ft. or larger | 2,000 sq. ft. |

Existing Size Limits for Accessory Structures

How Tall Should We Allow D-ADUs?

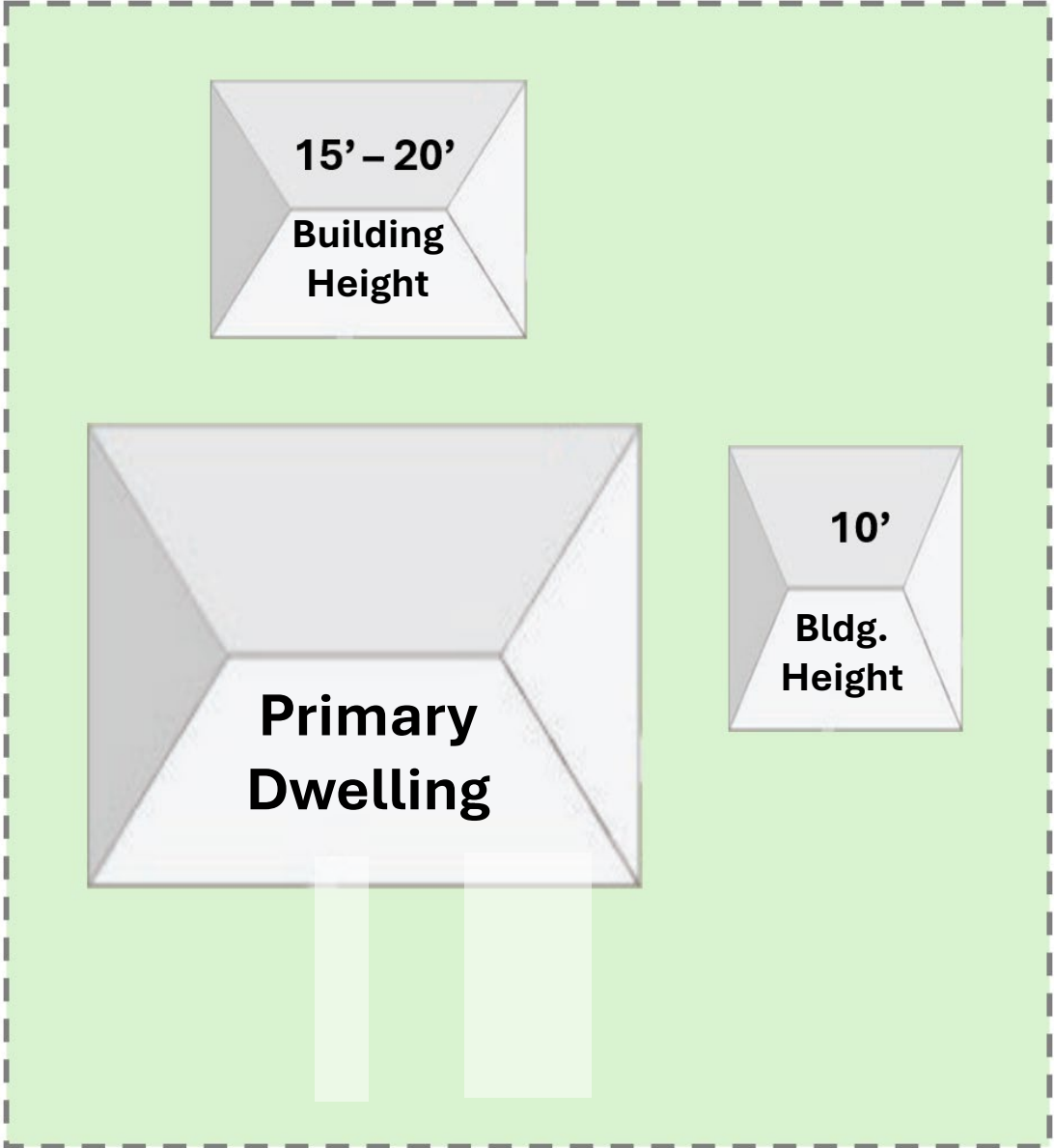
Options

- **Only 1 story**
- **Up to 1.5 stories (with loft)**
- **Up to 2 stories**
- **No taller than the primary dwelling**

* See *Example Images and Existing Accessory Structure Height Limits* →

| | Side Yard | Rear Yard |
|--------------------------|------------------------------|------------------------------|
| Zone | Maximum Height (feet) | Maximum Height (feet) |
| R-1-12 or smaller | 10 | 15 |
| R-1-15 or larger | 10 | 20 |

Existing Height Limits for Accessory Structures



Building Height 1 story ADU





Building Height 1.5 Story ADU with Loft

Building Height 2-Story ADU



Type of Basements

- Fully underground = 1-story
- Half-basement = 1.5-story
- Full walk-out basement = 2-story

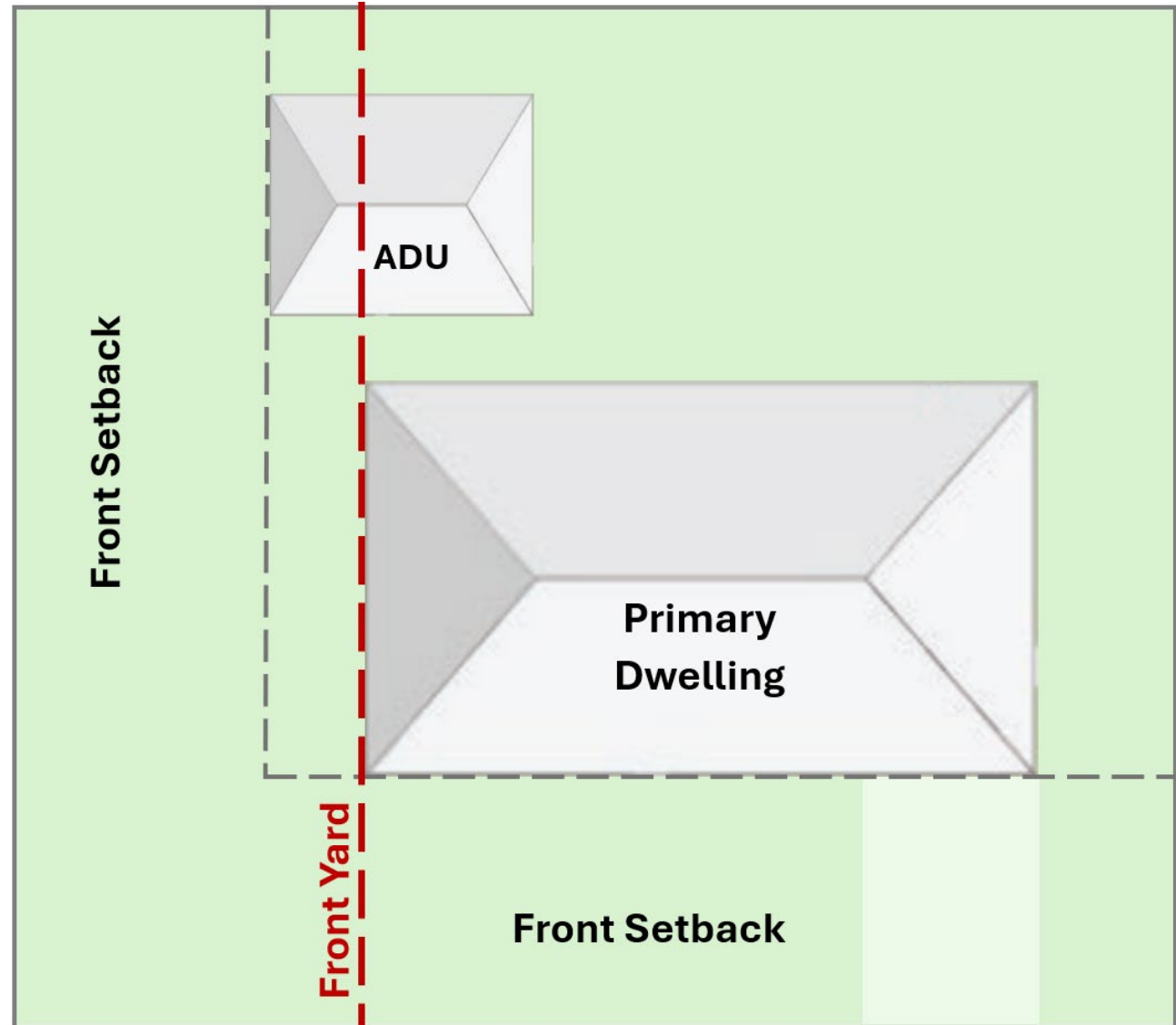


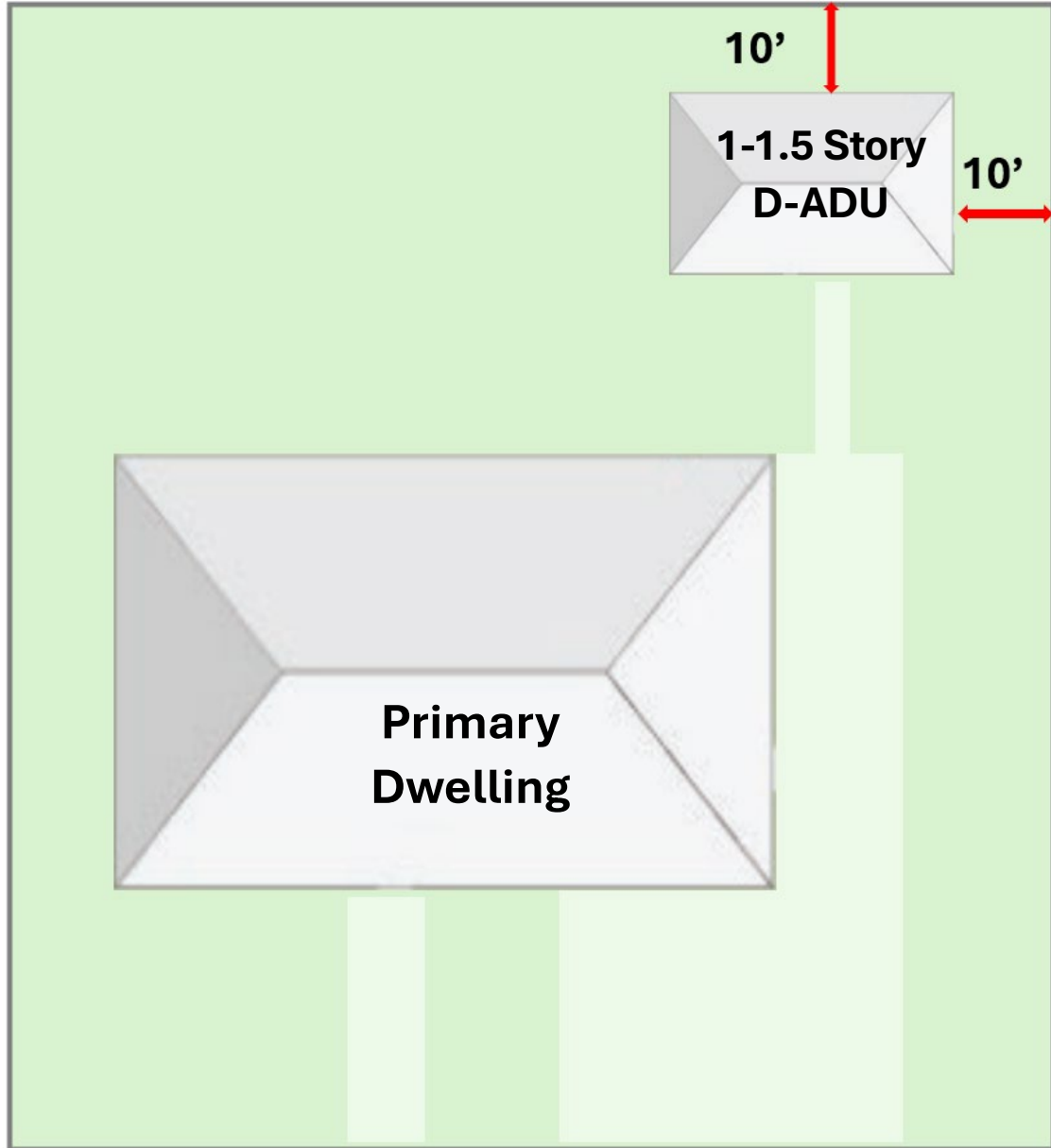
Should Basements Be Allowed?

Best setbacks for D-ADUs?

Front Setback

- Behind Front Setback
- or
- Behind House/Front Yard

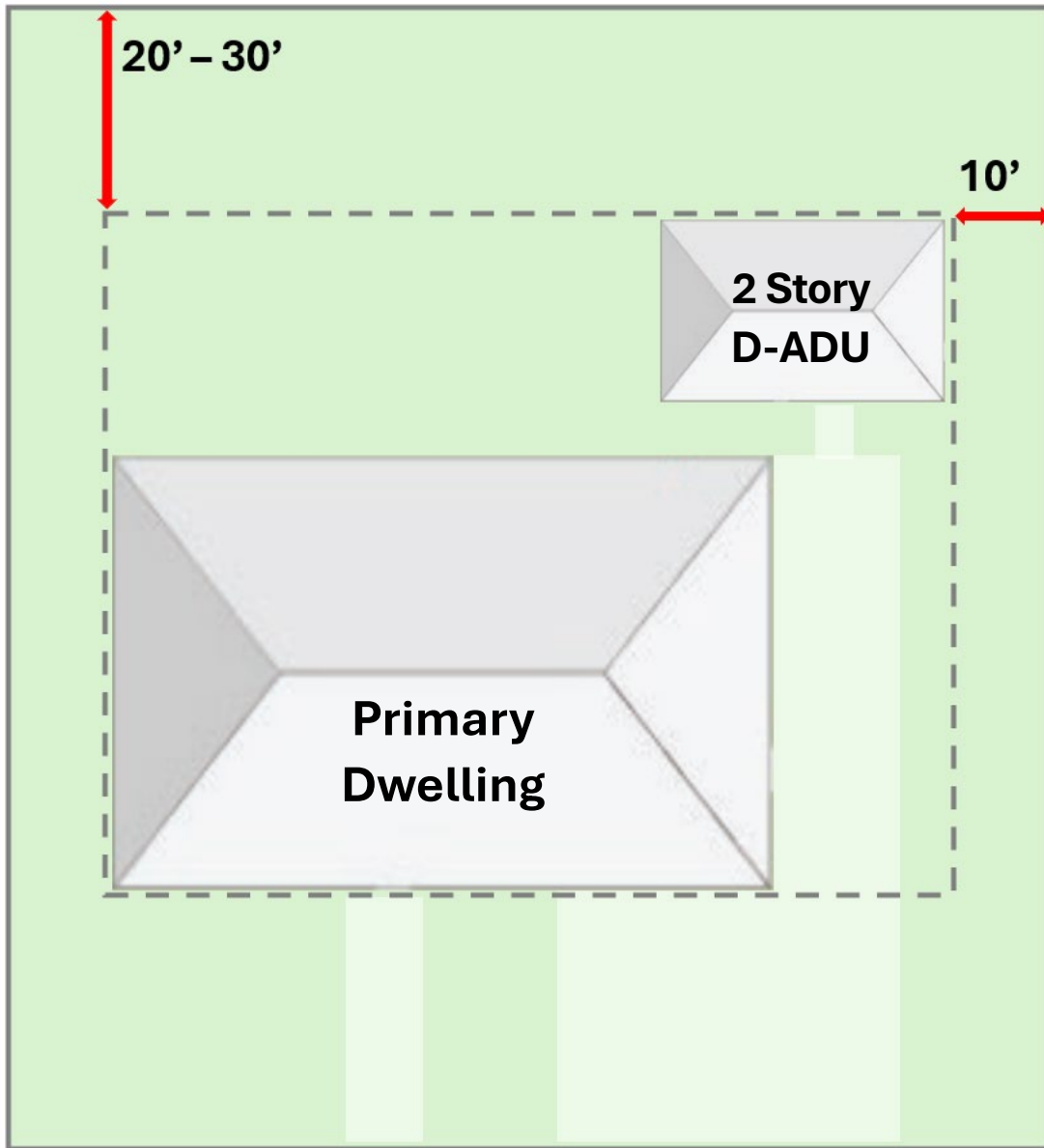




Best setbacks for D-ADUs?

Example: 1 or 1.5 Story D-ADU

| Number of Stories | Setback from Interior Lot Line |
|-------------------|-----------------------------------------------------------|
| 1 story | 10 feet |
| 1.5 story (loft) | 10 feet |
| 2 story | Same Setbacks As Primary Dwelling No less than 10 feet |



Best setbacks for D-ADUs?

Example: 2 Story D-ADU

| Number of Stories | Setback from Interior Lot Line |
|-------------------|-------------------------------------------------------------------|
| 1 story | 10 feet |
| 1.5 story (loft) | 10 feet |
| 2 story | Same Setbacks As Primary Dwelling No less than 10 feet |

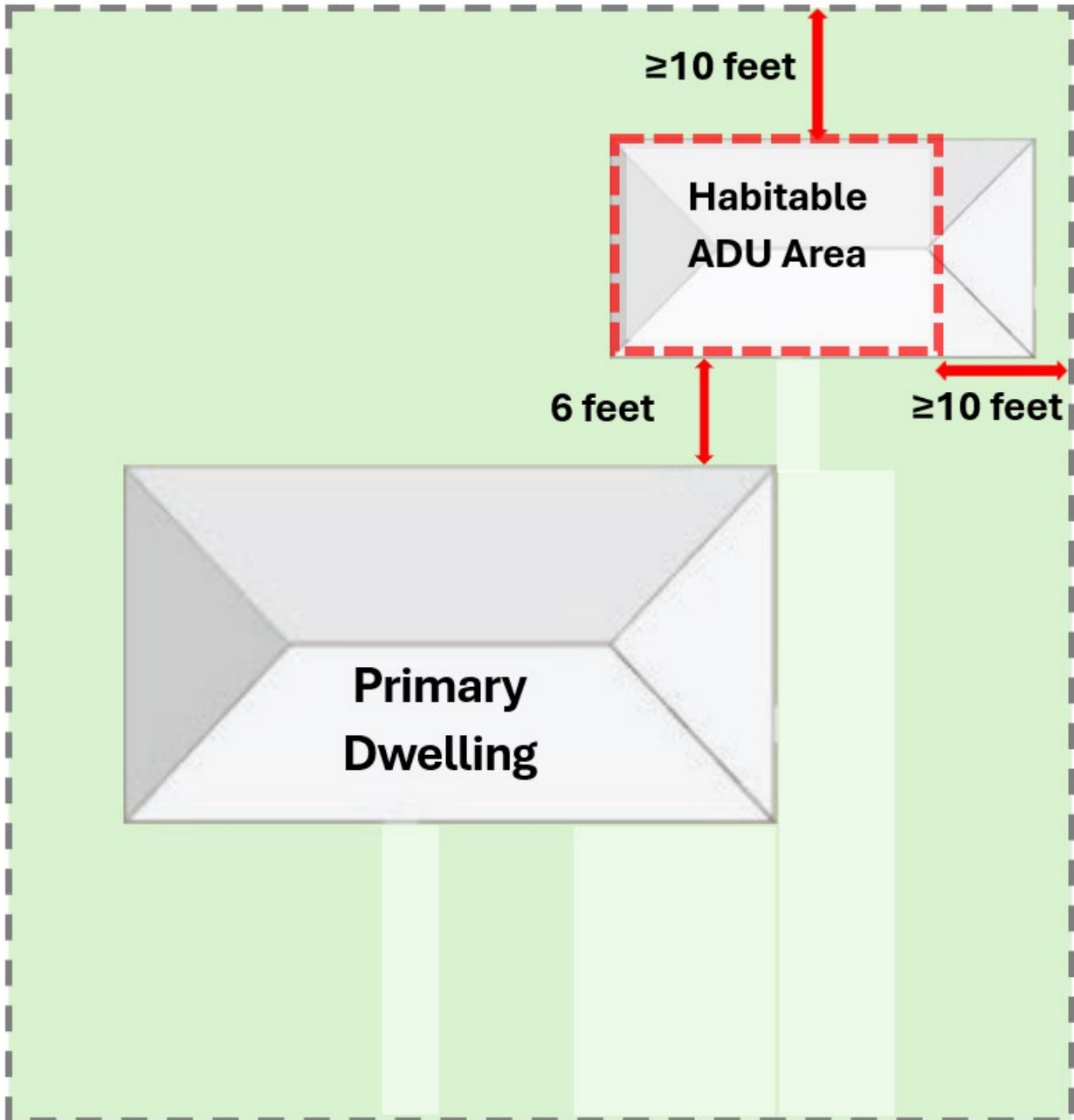
**Should Balconies &
Rooftop Decks Be Allowed?**

or

Only Allow Ground-level Patios?



**Balconies
Rooftop and
Upper-Level Decks**



Conversion of Existing Accessory Structures

- **Must be a legal structure**
- **Habitable Area**
 - **Size**
 - **Height**
 - **Setback**
 - **Windows**

Questions?





Staff Report

File #:
GPA04222026-007196,
Version: 1

Date: 6/4/2026

Agenda Item Title:
Canyon Gate General Plan Amendment
825 E 9085 S
[Community #2, Quarry Bend]

Presenter:
Jake Warner, Long Range Planning Manager

Description/Background:
Nathan Boyer, on behalf of The Boyer Company (applicant), is requesting a change of the future land use designation on one parcel, subject property, (7.2 acres) owned by the Canyons School District at 825 E. 9085 S. from the Institutional (IN) designation to the Medium Density Neighborhood (MN) designation. The subject property is currently used for the Canyons School District's C-Tech facilities. The applicant is seeking to redevelop the property as a townhome project. A neighborhood meeting was held on May 18, 2026.

See the attached staff report for additional information on this request.

Further action to be taken:
The action requested by the Application is a general plan amendment, a legislative item, being presented to the Planning Commission to hold a public hearing and to forward a recommendation to the City Council. The City Council will make the final determination regarding the Application. If the general plan amendment is approved, separate application would be required to be submitted for review and approval of proposed improvements.

Recommended Action and/or Suggested Motion:
Alternatives:
1. Forward a positive recommendation, recommending that the City Council approve the application for a change of the future land use designation of the subject property from the Institutional designation to the Medium Density Neighborhood designation.
2. Forward a negative recommendation, recommending that the City Council not approve the application for a change of the future land use designation from the Institutional designation to the Medium Density Neighborhood designation.
3. Table the decision for a future meeting.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

Staff Report Memorandum June 4, 2026

To: Planning Commission
From: Community Development Department
Subject: Canyon Gate General Plan Amendment
825 E. 9085 S.
[Community #7, Quarry Bend]

GPA04222026-7196
IN to MN
7.2 Acres

Public Hearing Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, at public locations, and a sign posted on site.

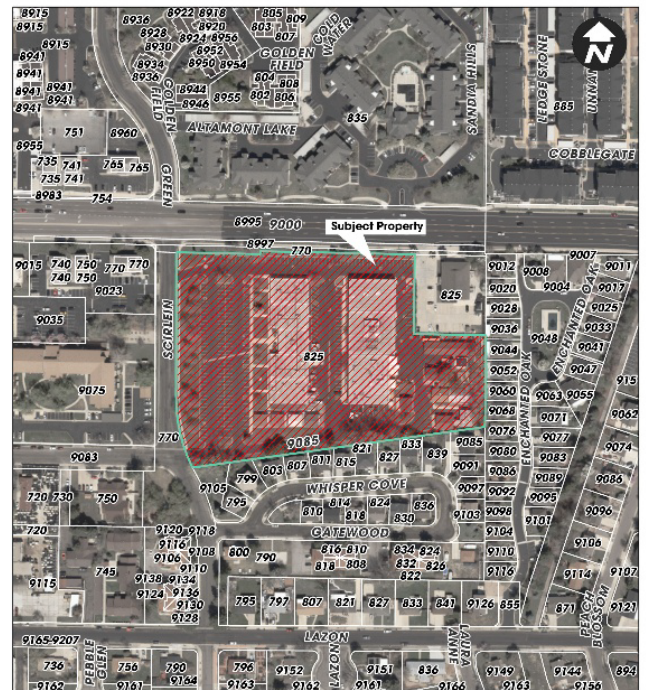
Request

Nathan Boyer, with The Boyer Company (applicant), is requesting a change of the future land use designation for property located at 825 E. 9085 S. The property is currently owned by Canyons School District, and they have authorized The Boyer Company to submit this application. The request is to change the designation of the property from the Institutional (IN) designation to the Medium Density Neighborhood (MN) designation (see Exhibit "A" for Application Materials).

Background

The subject property, one parcel addressed as 825 E. 9085 S., is approximately 7.2 acres in area. The property is currently the location of the Canyons School District's Canyons Technical Education Center (C-Tech). The School District has purchased a new site for the C-Tech facilities and is selling the subject property. The property is designated as Institutional on the future land use map of the Sandy City General Plan, with an overlay designation of Transition Corridor (TC) along 9000 S. The property is zoned R-1-8.

The application is requesting a change of the future land use designation from the Institutional designation to the Medium Density Neighborhood designation. According to a concept plan provided with the application, the applicant proposes to redevelop the property as a townhome development with 86 units. A rezone application is being processed concurrently with this general plan amendment application. The rezone application is requesting a zone change from the R-1-8 Zone to the PUD(12) Zone.



REZ04222026-007195
Property Rezone
825 E 9085 S

Community Development Department
Sandy City, UT

| Property Case History | |
|-----------------------|-----------------------------------------|
| Case Number | Case Summary |
| A #81-4 | Vocational School (6/23/1981) |
| SPR #81-3 | Vocational Center – Jordan School Dist. |
| CUP #87-10 | Jordan School District-Greenhouse |

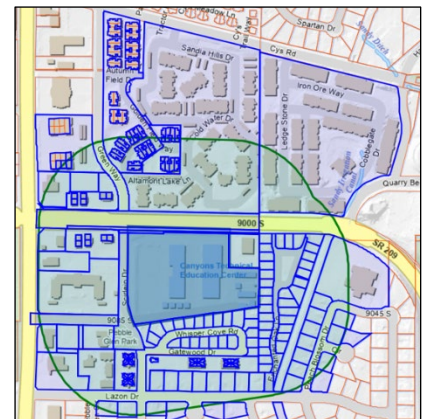
The future land use designations (and existing land use) of the surrounding properties are as follows (see also Exhibit “C” for an area future land use map):

- North: Medium Density Neighborhood
- East: Medium Density Neighborhood
- South: Medium Density Neighborhood
- West: Medium Density Neighborhood and Light Commerce

Public Notice and Outreach

This item was noticed to all property owners within 500 feet of the proposal (see Exhibit “B”) and posted to the property (see Exhibit “E”). The city also issued notice of the public hearing for the proposed rezone on public websites, mailed notice to affected entities and posted in three public locations at least 10 days prior to the Planning Commission public hearing in accordance with the Land Development Code Sec. 21-36-1 and the Utah State Code § 10-9a-205.

Staff held a virtual neighborhood meeting via Zoom on May 18, 2026. Residents within 500 feet of the proposed site were notified by mail. Other than staff and the applicant team, 10 people attended the meeting. Three people commented and asked questions. Those that spoke were generally supportive of the proposal. A summary of the meeting is attached (see Exhibit “D”).



Facts and Findings

- According to the future land use map of the Sandy City General Plan, the future land use designation of the property is currently Institutional (IN), with a Transition Corridor overlay designation along 9000 S. The IN land use designation is intended to provide for land uses “by educational, governmental, healthcare, and other public or semi-public institutions.” (Chapter 7.1, page T26), which is consistent with the current use of the property. The TC designation proposes missing middle housing along the frontage of major corridors as a way to “increase housing diversity and supply” while transitioning from “commercial and high-volume traffic” to existing neighborhoods. (Chapter 7.1, page T28)
- The application is requesting change of the future land use designation to Medium Density Neighborhood (MN). The MN designation aims to provide “missing middle housing options” at up to 12 dwelling units per acre. The existing TC overlay designation would remain in affect.
- The property is surrounded on three sides with properties designated as Medium Density Neighborhood. The fourth side (west) is split between the Light Commerce and Medium Density Neighborhood designations.
- The applicant is proposing to redevelop the site for 86 townhomes with an internal road network and amenities. The proposed density would be approximately 12 units per acre.
- The property is currently zoned R-1-8. The applicant has submitted an accompanying rezone application for the property that requests a zone change from the R-1-8 Zone to the PUD(12) Zone. The rezone application is being processed concurrently with this general plan amendment application.
- Applicable goals, objectives, policies, and recommendations of the Sandy City General Plan:
 - Livability: Neighborhoods and Housing

- Policy: Sidewalks and trails form complete pedestrian networks and are comfortable for users
- Goal: Sandy's neighborhoods in transition take advantage of opportunities and minimize negative impacts
- Policy: Infill development will be consistent with the surrounding area based on average lot size, average setbacks, average heights, and average lot coverage
- Goal: Newly developed housing for all households is in vibrant, attainable, and livable neighborhoods
- Land Use
 - Objective: Sandy's Future Land Use Map includes opportunities for the development of diverse housing types
 - Objective: Ensure that all planning applications are consistent with the General Plan and Future Land Use Map

Conclusions

- The requested land use designation is consistent with General Plan goals, objectives, and policies and the accompanying rezone application.
- A general plan amendment is a legislative item that requires the Planning Commission to make a recommendation to the City Council, after having held a public hearing, with the City Council making the final decision.
- If this general plan application is approved, the rezone application would also need to be approved and additional permits and applications, such as a subdivision, site plan, and building permits, would need to be submitted and approved prior to development of the proposed project.


Planner:



Jake Warner
Long Range Planning Manager

File Name: S:\USERS\PLN\STAFFRPT\2026\GPA04222026-007196\Planning Commission\PC Report-Canyon Gate GPA (5.28.26).PDF

Exhibit "A"
Application Materials



SANDY CITY COMMUNITY DEVELOPMENT

GENERAL DEVELOPMENT APPLICATION

Revised April 2022

Project Information

Name of Proposed Project: Canyons Tech Center Date Submitted: 4/16/2026
 Parcel Tax I.D. Number(s): 28053010460000 Address: 825 E 9085 S

Type of Request (mark all that apply)

| | | | |
|-------------------------------------|------------------------|--------------------------|---------------------------------------------|
| <input type="checkbox"/> | Annexation | <input type="checkbox"/> | Special Exception |
| <input type="checkbox"/> | Code Amendment | <input type="checkbox"/> | Special Use Permit |
| <input type="checkbox"/> | Conditional Use Permit | <input type="checkbox"/> | Street Vacation / Closure / Street Renaming |
| <input checked="" type="checkbox"/> | General Plan Amendment | <input type="checkbox"/> | Subdivision |
| <input checked="" type="checkbox"/> | Rezoning of Property | <input type="checkbox"/> | Telecommunications |
| <input type="checkbox"/> | Sign Review | <input type="checkbox"/> | Temporary Use |
| <input type="checkbox"/> | Site Plan Review | <input type="checkbox"/> | Other (Please Specify) |

Provide a brief summary of the proposed action/request:
Rezone of parcel from R-1-8 to PUD (12) and amend the future land use from Institutional (IN) to Medium Density Neighborhood (MN)

Applicant/Project Contact

By signing this application, you certify that you own the subject property or are authorized to act on behalf of the property owner to make the above referenced land use application(s). You also certify that the application information provided and submitted through the [Cityworks Portal](#) constitutes a complete submittal in compliance with Sandy City Code and Administrative Procedures to the best of your knowledge. You do also acknowledge that you have read and consent to the [disclosure](#) shown at the bottom of the page.

Signature: Nathan R. Boyer Date: April 16, 2026
 Name: NATHAN R. BOYER Company: The Boyer Company, L.C.

Property Owner (if property owner is different than applicant)

By signing this application, you certify that the applicant listed above is authorized to act in your behalf regarding the above referenced land use application.

Signature: Loan Wilcox Date: April 23, 2026
 Name: Loan Wilcox, Business Administrator Company: Canyon School District

Disclosure: The Planning Commission typically meets on the first and third Thursdays of the month. Applicants will be notified of changes in meetings and meetings times. The Planning Division will not officially accept a submittal until the conditions and necessary parts of each application procedure are completed.

Records provided to Sandy City are subject to the Utah Government Records Access and Management Act, Utah Code Ann. §63G-2-101 et seq., which may require Sandy City to produce a copy, including in its original form, to any person upon that person's request. Please consult legal counsel prior to submitting or presenting any record (book, letter, document, paper, map, plan, photograph, film, card, tape, recording, electronic data, or other documentary material regardless of physical form or characteristics) to any officer, official, employee, volunteer or agent of Sandy City for any reason including without limitation, in support of an application or for presentation or display in a meeting. Information that is not provided to Sandy City will not be considered when making decisions.

By signing this application, the property owner is allowing Sandy City staff access over and through the property close to the right-of-way to post legal notice requirements and to take photographs and/or drone footage.

10000 Centennial Parkway | Sandy, Utah 84070 | p: 801.568.7250 | f: 801.568.7278 | sandy.utah.gov

Exhibit "A"
Application Materials (cont.)

City of Sandy
Community Development Department
10000 Centennial Parkway
Sandy, UT 84070

Dear Planning Staff, Planning Commission, and City Council,

We respectfully submit requests for a General Plan Amendment and Zone Change for the property currently occupied by the Canyons Technical Education Center, which is anticipated to relocate. Specifically, we are requesting a General Plan Amendment to change the future land use designation from Institutional to Medium Density Neighborhood, along with a corresponding zone change from R-1-8 (Single-Family Residential) to Planned Unit Development (PUD).

With the anticipated relocation of the existing educational facility, the current Institutional designation is no longer reflective of the site's long-term use. The proposed Medium Density Neighborhood designation establishes a more appropriate framework for future redevelopment, allowing the site to transition into a residential use that aligns with surrounding development patterns.

The subject property is located within a transitional area between the higher-intensity corridor along 9000 South and adjacent residential neighborhoods. Nearby development includes a mix of planned unit developments, multifamily housing, and apartment communities. Together, the proposed land use designation and PUD zoning create a cohesive transition between these varying intensities.

The proposed PUD would facilitate a townhome community with 40% open space, amenities, pedestrian connections to 9000 South and Scirlein Drive, and appropriate buffering through setbacks adjacent to neighboring uses. These design elements help ensure compatibility with surrounding properties while creating a connected and walkable residential environment.

This combined request is consistent with Sandy City's General Plan goals of encouraging well-designed infill development, supporting a range of housing options, and promoting efficient use of existing infrastructure. The flexibility of the PUD zone allows for a site-specific design approach that cannot be achieved under conventional R-1-8 standards, while remaining consistent with the intent of the proposed Medium Density Neighborhood designation.

We appreciate your consideration of this request and look forward to working with staff throughout the review process.

Sincerely,

Boyer Project Company LC

Exhibit "A"
Application Materials (cont.)



LEGAL DESCRIPTION
PREPARED FOR
BOYER 90th SOUTH & SCIRLEIN DR
SANDY CITY, UTAH
(04/16/26)
25-0265
(EC)

BOUNDARY DESCRIPTION

Located in the Southwest Quarter of Section 5, Township 3 South, Range 1 East, Salt Lake Base and Meridian, located in Sandy City, Salt Lake County, Utah, being more particularly described as follows:

Beginning at a point S00°07'00"W 3124.01 feet along the Section line and S89°53'00"E 623.20 feet from the Northwest Corner of Section 5, Township 3 South, Range 1 East, Salt Lake Base and Meridian; thence along the arc of a curve to the right with a radius of 375.00 feet a distance of 177.31 feet through a central angle of 27°05'26" Chord: N13°25'42"W 175.66 feet; thence N00°07'00"E 344.56 feet; thence S89°03'00"E 199.18 feet; thence N00°07'00"E 7.00 feet; thence S89°03'00"E 370.11 feet; thence S00°07'00"W 190.22 feet; thence S89°03'00"E 171.89 feet to the westerly boundary of Enchanted Cove P.U.D. Subdivision according to the official plat thereof recorded as Entry # 6538304 in Book 96-12P Page 431 in the Salt Lake County Recorder's office; thence along said Subdivision S00°07'00"W 221.03 feet to the northerly boundary of Whisper Cove Subdivision P.U.D. according to the official plat thereof recorded as Entry # 8654698 in Book 2003P Page 121 in the Salt Lake County Recorder's office; thence along said subdivision S81°57'42"W 707.11 feet to the point of beginning.

Containing 7.15 acres +/-

Exhibit "B"
 Planning Commission Notice



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN
 COMMUNITY DEVELOPMENT
 DIRECTOR

MONICA ZOLTANSKI
 MAYOR

SHANE E. PACE
 CHIEF ADMINISTRATIVE
 OFFICER

Notice of Public Hearing

NOTICE IS HEREBY GIVEN that on **June 4, 2026** at approximately **6:15 p.m.**, the **Sandy City Planning Commission** will hold a public hearing regarding applications submitted by The Boyer Company (Nathan Boyer) for a general plan amendment (File #GPA04222026-007196) and a rezone (File #REZ04222026-007195) regarding property (approximately 7.2 acres) located at 825 E. 9085 S. The request is to change the future land use designation from Institutional (IN) to Medium Density Neighborhood (MN) and to rezone the property from the R-1-8 Zone (Single-Family Residential Distrit) to the PUD(12) Zone (Planned Unit Development District). A concept plan (see reverse side) submitted with the application shows a townhome project. All application materials and a full staff report for this item can be found at <https://sandyutah.legistar.com> when the agenda is published (typically the Friday preceding the meeting date).

This Planning Commission meeting will be conducted both in-person (in the Sandy City Council Chambers at City Hall, 10000 S. Centennial Pkwy.), and via Zoom Webinar (see details below). Interested parties may attend and participate in the meeting either in-person or by accessing the meeting using the Zoom webinar link below. Attendees wishing to comment who are participating virtually must have a microphone connected to their device (smartphone, laptop, desktop, etc.), otherwise you'll only be able to view the proceedings. A listen-only option is also available by telephone using the phone numbers provided below.

This notice is being sent to known property owners within 500 feet of this proposal. Please forward this information on to others who may be interested. Interested parties may provide comments prior to the meeting (no later than 3 p.m.) to Jake Warner, **Long Range Planning Manager**, at 801-568-7262 or by email at: jwarner@sandy.utah.gov.

How to join Zoom Webinar General Instructions:

- Join on via laptop, desktop or mobile device
- Go to www.zoom.us
- Click 'join a meeting', in the top right-hand corner
- Enter Meeting ID: 850 7521 0493 and click "Join."
- Enter Meeting Password: 407115
- A download should start automatically in a few seconds. If not, click "download here."
- Open download, meeting should begin at 6:15 p.m.
- To make a comment: Select "Participants" in the lower center of the screen. In the Participant Window, select "Raise A Hand" at the lower left to indicate that you would like to make a comment.

You can also join directly through this URL:

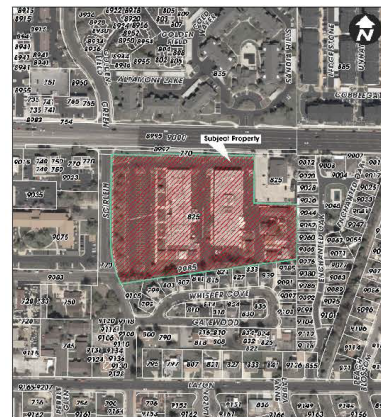
<https://us02web.zoom.us/j/85075210493>

Or join by phone (choose based on your current location):

US: +1 669 444 9171 or +1 719 359 4580 or +1 253 205 0468

Webinar ID: 850 7521 0493

Or find your local number: <https://us02web.zoom.us/j/kc4RQBjvOq>



REZ04222026-007195
 Property Rezone
 825 E 9085 S
Continued Development Department
 Sandy City, UT

10000 Centennial Parkway | Sandy, Utah 84070 | p: 801.568.7250 | f: 801.568.7278 | sandy.utah.gov

Exhibit "B"
 Planning Commission Notice (cont.)

LEGEND

- RESIDENTIAL
- 2-STORY REAR-LOAD TOWNHOMES
- 3-STORY REAR-LOAD TOWNHOMES
- OPEN SPACE
- PRIVATE OPEN SPACE

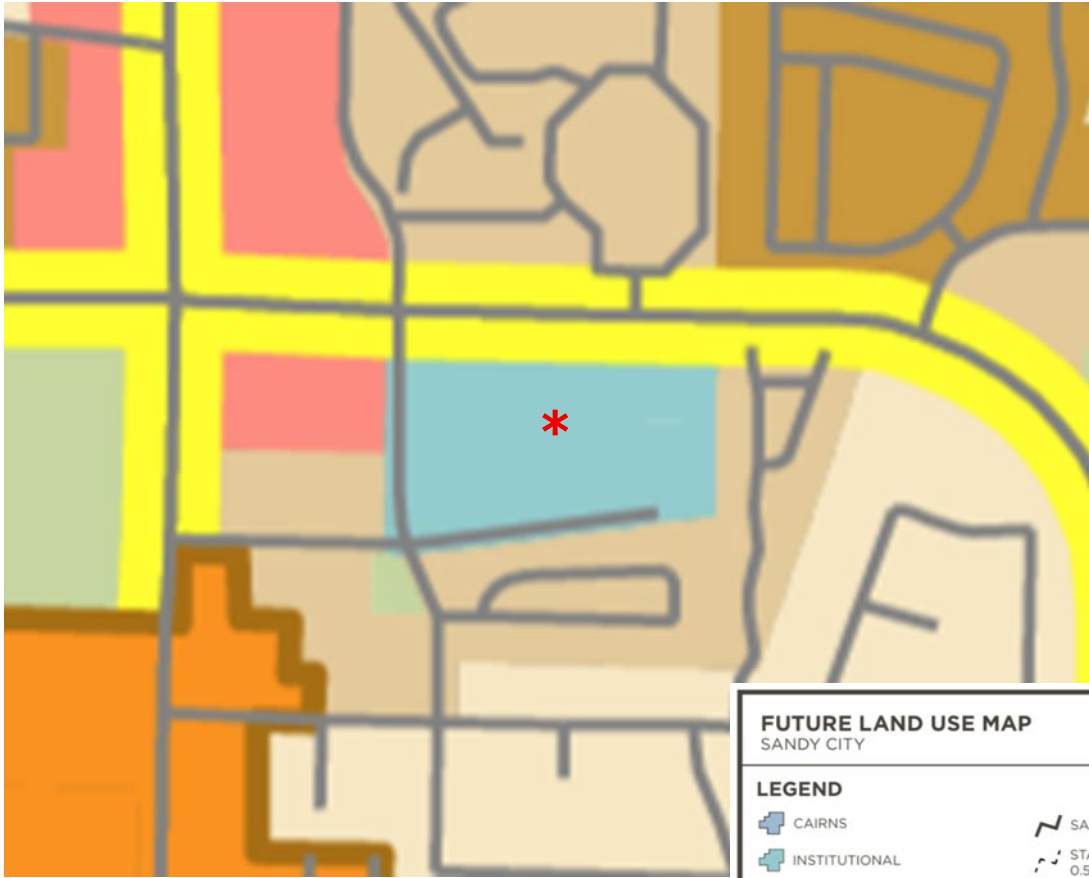
CONCEPT TABULATIONS

| | |
|--------------------------------|-----------------|
| TOTAL ACREAGE | 2,777 ACRES |
| CURRENT ZONING | R-1-54 |
| PROPOSED ZONING | PD3 |
| LOT/UNIT COUNT | 86 |
| UNITS/LAND | 18 |
| 2-STORY REAR-LOAD | 17 |
| 3-STORY REAR-LOAD | 71 |
| TOTAL DENSITY | 18 UNITS/ACRE |
| PROPOSED FINANCIALS PER P.U.D. | |
| TRAIL | 11 |
| BIOPARK | 8 |
| SOFT ADJACENT BLDGS. | 75' |
| FEAR | 20' |
| OPEN SPACE | 12,888 AC (46%) |
| GREEN SPACING | 11,570' (15) |
| ALLEY | 24' (MINIMUM) |

CANYON GATE concept plan
 SANDY, SALT LAKE COUNTY
 4/22/2026
 2: 6:35

10000 Centennial Parkway | Sandy, Utah 84070 | p: 801.568.7250 | f: 801.568.7278 | sandy.utah.gov

Exhibit "C"
Future Land Use Map



FUTURE LAND USE MAP
SANDY CITY

LEGEND

| | |
|------------------------------------------------|--------------------------------------|
| CAIRNS | SANDY BOUNDARY |
| INSTITUTIONAL | STATION BOUNDARY 0.5 MILE |
| NEIGHBORHOOD ACTIVITY CENTERS | I-15 |
| NEIGHBORHOOD ACTIVITY CENTERS FUTURE BUFFER | NEIGHBORHOOD TRANSITION CORRIDORS |
| HEAVY COMMERCE | MAJOR ROADS |
| REGIONAL COMMERCE | LOCAL ROADS |
| LIGHT COMMERCE | RAIL LINES |
| OPEN SPACE | TRANSIT STATIONS |
| HIGH NEIGHBORHOOD | |
| MEDIUM NEIGHBORHOOD | |
| LOW NEIGHBORHOOD | |
| RURAL/VERY LOW NEIGHBORHOOD | |

0' 0.5' 1'
MILES

Exhibit "D"
Neighborhood Meeting-Summary



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN COMMUNITY DEVELOPMENT DIRECTOR

MONICA ZOLTANSKI MAYOR

SHANE E. PACE CHIEF ADMINISTRATIVE OFFICER

Neighborhood Meeting Summary

Date: 5/18/2026

Project Name: Canyon Gate Rezone

Applicant: The Boyer Company, Nathan Boyer

Location: Zoom Webinar

Number of Attendees: 10

Number of Invitees: 170

Project Description:

The application proposes a rezone and general plan amendment of one parcel (approximately 7.2 acres), the existing Canyons Technical Center for redevelopment as a townhome community.

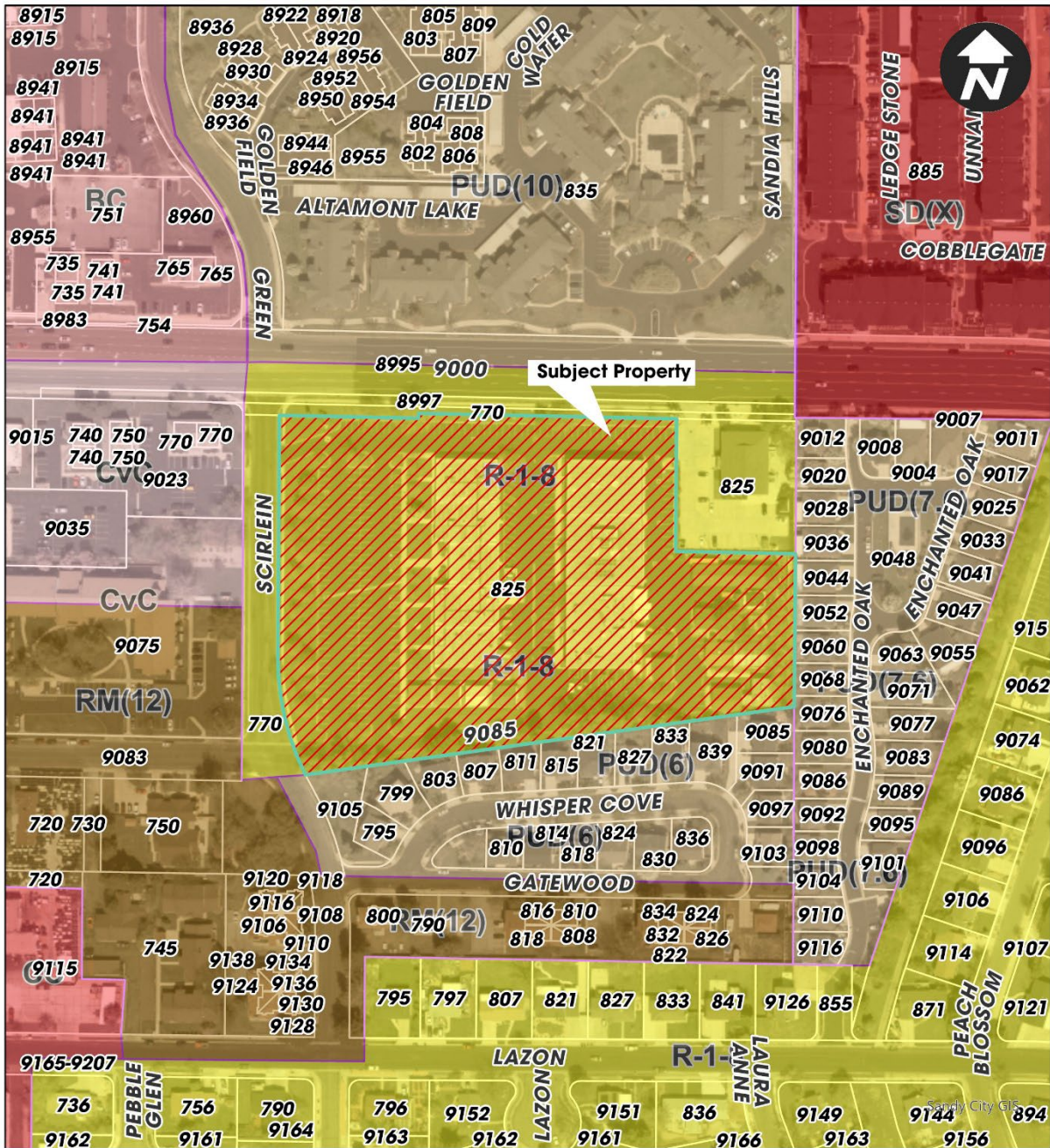
Summary of Attendee Comments:

Other than Planning staff and the applicant team, ten people attended. Staff and the applicant presented the application. Three people commented. Comments were generally supportive. Questions were asked about parking, garages, HOA, landscaping, and fencing. One attendee claimed to be the HOA president of the community to the south. The applicant team committed follow up with her to have additional conversations.

Exhibit "E"
Posted Sign Picture

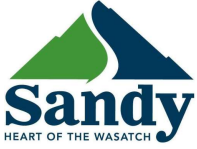


Exhibit "F"
Zoning Map



REZ04222026-007195
Property Rezone
825 E 9085 S

Community Development Department
Sandy City, UT



Staff Report

File #:
REZ04222026-007195,
Version: 1

Date: 6/4/2026

Agenda Item Title:
Canyon Gate Rezone
825 E 9085 S
[Community #2, Quarry Bend]

Presenter:
Jake Warner, Long Range Planning Manager

Description/Background:
Nathan Boyer, on behalf of The Boyer Company (applicant), is requesting a change of zone district on one parcel, subject property, (7.2 acres) owned by the Canyons School District at 825 E. 9085 S. from the R-1-8 Zone ("Single-Family Residential District") to the PUD(12) Zone ("Planned Unit Development District"). The subject property is currently used for the Canyons School District's C-Tech facilities. The applicant is seeking to redevelop the property as a townhome project. A neighborhood meeting was held on May 18, 2026.

See the attached staff report for additional information on this request.

Further action to be taken:
The action requested by the Application is a rezone, a legislative item, being presented to the Planning Commission to hold a public hearing and to forward a recommendation to the City Council. The City Council will make the final determination regarding the Application. If the rezone is approved, separate application would be required to be submitted for review and approval of proposed improvements.

Recommended Action and/or Suggested Motion:
Alternatives:
1. Forward a positive recommendation, recommending that the City Council approve the application for a zone change of the subject property from the R-1-8 Zone to the PUD(12) Zone.
2. Forward a negative recommendation, recommending that the City Council not approve the zone change from the R-1-8 Zone to PUD(12) Zone.
3. Table the decision for a future meeting.



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

Staff Report Memorandum June 4, 2026

To: Planning Commission
From: Community Development Department
Subject: Canyon Gate Rezone
825 E. 9085 S.
[Community #7, Quarry Bend]

REZ04222026-7195
R-1-8 to PUD(12)
7.2 Acres

Public Hearing Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, at public locations, and a sign posted on site.

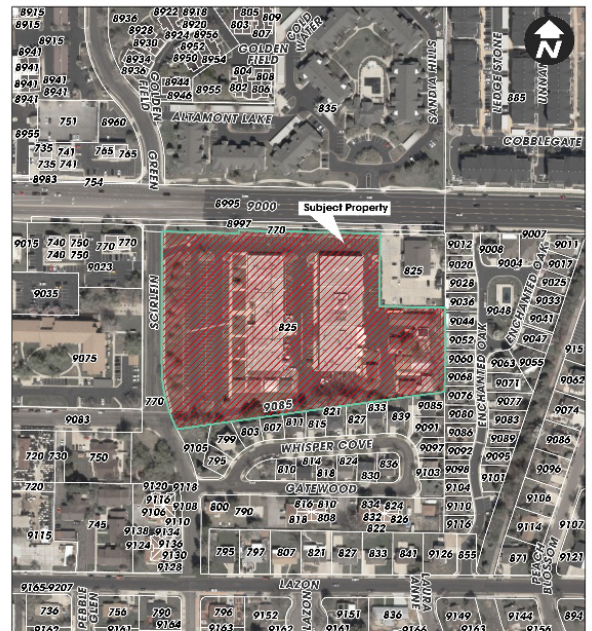
Request

Nathan Boyer, with The Boyer Company (applicant), is requesting a change of zone district for property located at 825 E. 9085 S. The property is currently owned by Canyons School District, and they have authorized The Boyer Company to submit this application. The request is to rezone the property from the R-1-8 (Single-Family Residential District) Zone to the PUD(12) (Planned Unit Development at 12 units per acre) Zone (see Exhibit “A” for Application Materials).

Background

The subject property, one parcel addressed as 825 E. 9085 S., is approximately 7.2 acres in area. The property is currently the location of the Canyons School District’s Canyons Technical Education Center (C-Tech). The School District has purchased a new site for the C-Tech facilities and is selling the subject property. The property is currently zoned R-1-8. The property is in the Institutional (IN) future land use designation, with a Transition Corridor (TC) overlay designation along 9000 S., according the Sandy City General Plan.

The application is requesting a zone change to the PUD(12) Zone (Planned Unit Development at 12 units per acre). According to a concept plan provided with the application, the applicant proposes to redevelop the property as a townhome development with 86 units. A general plan amendment application is being processed concurrently with this rezone application. The general plan amendment application is requesting a change of land use from the Institutional designation to the Medium Density Neighborhood designation.



REZ04222026-007195
Property Rezone
825 E 9085 S

Community Development Department
Sandy City, UT

| Property Case History | |
|-----------------------|-----------------------------------------|
| Case Number | Case Summary |
| A #81-4 | Vocational School (6/23/1981) |
| SPR #81-3 | Vocational Center – Jordan School Dist. |
| CUP #87-10 | Jordan School District-Greenhouse |

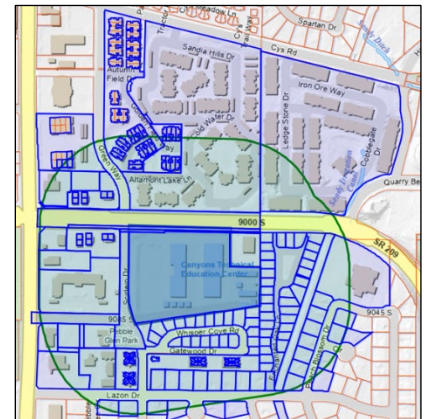
The zoning designations (and existing land use) of the surrounding properties are as follows (see also Exhibit “C” for an area zoning map):

- North: PUD(10) (planned unit development, multi-family residential)
- East: PUD(7.6) (planned unit development, single-family residential)
- South: PUD(6) (planned unit development, single-family residential)
- West: CVC & RM(12) (commercial and senior housing apartments)

Public Notice and Outreach

This item was noticed to all property owners within 500 feet of the proposal (see Exhibit “B”) and posted to the property (see Exhibit “E”). The city also issued notice of the public hearing for the proposed rezone on public websites, mailed notice to affected entities and posted in three public locations at least 10 days prior to the Planning Commission public hearing in accordance with the Land Development Code Sec. 21-36-1 and the Utah State Code § 10-9a-205.

Staff held a virtual neighborhood meeting via Zoom on May 18, 2026. Residents within 500 feet of the proposed site were notified by mail. Other than staff and the applicant team, 10 people attended the meeting. Three people commented and asked questions. Those that spoke were generally supportive of the proposal. A summary of the meeting is attached (see Exhibit “D”).



Facts and Findings

- The zoning designation on the property is currently the R-1-8 Zone, a single-family residential zoning district that requires a minimum lot area of 8,000 square feet. The application is requesting a rezone to the PUD(12) Zone, which would allow for a planned unit development with up to 12 units per acre.
- The property is surrounded on three sides with properties in PUD zoning districts. This includes apartments to the north and small-lot single-family to the east and south. The west side has a senior housing apartment complex and commercial development.
- The applicant is proposing to redevelop the site for 86 townhomes with an internal road network and amenities. The proposed density would be approximately 12 units per acre.
- General Plan (Pace of Progress: Sandy City General Plan 2050) analysis:
 - The subject property is designated as being in the Institutional (IN) future land use category on the future land use map with a Transition Corridor (TC) overlay designation along 9000 S.
 - The IN designation is intended to provide for land uses “by educational, governmental, healthcare, and other public or semi-public institutions.” (Chapter 7.1, page T26)
 - The intention of the TC designation is to provide “missing middle housing types” and to “buffer stable neighborhoods from commercial and high-volume traffic.” Density is expected to not exceed 16 dwelling units per acre.
 - The applicant is processing a general plan amendment, concurrent with this rezone application, that proposes to change the future land use designation from Institutional to Medium Density Neighborhood (MN). The density in MN designated areas is expected to not exceed 12 dwelling units per acre.

- The subject property is not located in a designated station area plan or a neighborhood activity center.
- Applicable goals, objectives, policies, and recommendations include:
 - Livability: Neighborhoods and Housing
 - Policy: Sidewalks and trails form complete pedestrian networks and are comfortable for users
 - Goal: Sandy’s neighborhoods in transition take advantage of opportunities and minimize negative impacts
 - Policy: Infill development will be consistent with the surrounding area based on average lot size, average setbacks, average heights, and average lot coverage
 - Goal: Newly developed housing for all households is in vibrant, attainable, and livable neighborhoods
 - Land Use
 - Objective: Sandy’s Future Land Use Map includes opportunities for the development of diverse housing types
 - Objective: Ensure that all planning applications are consistent with the General Plan and Future Land Use Map

Conclusions

- The requested zone district is consistent with General Plan goals, objectives, and policies. The proposed zone is not consistent with the current future land use designation, but is consistent with the requested future land use designation of the accompanying general plan amendment application.
- A zone change is a legislative item that requires the Planning Commission to make a recommendation to the City Council, after having held a public hearing, with the City Council making the final decision.
- If this rezone application is approved, additional permits and applications, such as a subdivision, site plan, and building permits, would need to be submitted and approved.


Planner:



Jake Warner
Long Range Planning Manager

File Name: S:\USERS\PLN\STAFFRPT\2026\REZ04222026-007195\Planning Commission\PC Report-Canyon Gate Rez (5.28.26).PDF

Exhibit "A"
Application Materials



SANDY CITY COMMUNITY DEVELOPMENT

GENERAL DEVELOPMENT APPLICATION

Revised April 2022

Project Information

Name of Proposed Project: Canyons Tech Center Date Submitted: 4/16/2026
 Parcel Tax I.D. Number(s): 28053010460000 Address: 825 E 9085 S

Type of Request (mark all that apply)

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------|------------|--------------------------|----------------|--------------------------|------------------------|-------------------------------------|------------------------|-------------------------------------|----------------------|--------------------------|-------------|--------------------------|------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------|--------------------------|--------------------|--------------------------|---------------------------------------------|--------------------------|-------------|--------------------------|--------------------|--------------------------|---------------|--------------------------|------------------------|
| <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td><input type="checkbox"/></td><td>Annexation</td></tr> <tr><td><input type="checkbox"/></td><td>Code Amendment</td></tr> <tr><td><input type="checkbox"/></td><td>Conditional Use Permit</td></tr> <tr><td><input checked="" type="checkbox"/></td><td>General Plan Amendment</td></tr> <tr><td><input checked="" type="checkbox"/></td><td>Rezoning of Property</td></tr> <tr><td><input type="checkbox"/></td><td>Sign Review</td></tr> <tr><td><input type="checkbox"/></td><td>Site Plan Review</td></tr> </table> | <input type="checkbox"/> | Annexation | <input type="checkbox"/> | Code Amendment | <input type="checkbox"/> | Conditional Use Permit | <input checked="" type="checkbox"/> | General Plan Amendment | <input checked="" type="checkbox"/> | Rezoning of Property | <input type="checkbox"/> | Sign Review | <input type="checkbox"/> | Site Plan Review | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td><input type="checkbox"/></td><td>Special Exception</td></tr> <tr><td><input type="checkbox"/></td><td>Special Use Permit</td></tr> <tr><td><input type="checkbox"/></td><td>Street Vacation / Closure / Street Renaming</td></tr> <tr><td><input type="checkbox"/></td><td>Subdivision</td></tr> <tr><td><input type="checkbox"/></td><td>Telecommunications</td></tr> <tr><td><input type="checkbox"/></td><td>Temporary Use</td></tr> <tr><td><input type="checkbox"/></td><td>Other (Please Specify)</td></tr> </table> | <input type="checkbox"/> | Special Exception | <input type="checkbox"/> | Special Use Permit | <input type="checkbox"/> | Street Vacation / Closure / Street Renaming | <input type="checkbox"/> | Subdivision | <input type="checkbox"/> | Telecommunications | <input type="checkbox"/> | Temporary Use | <input type="checkbox"/> | Other (Please Specify) |
| <input type="checkbox"/> | Annexation | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | Code Amendment | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | Conditional Use Permit | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input checked="" type="checkbox"/> | General Plan Amendment | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input checked="" type="checkbox"/> | Rezoning of Property | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | Sign Review | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | Site Plan Review | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | Special Exception | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | Special Use Permit | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | Street Vacation / Closure / Street Renaming | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| <input type="checkbox"/> | Telecommunications | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | Temporary Use | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | Other (Please Specify) | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

Provide a brief summary of the proposed action/request:
Rezone of parcel from R-1-8 to PUD (12) and amend the future land use from Institutional (IN) to Medium Density Neighborhood (MN)

Applicant/Project Contact

By signing this application, you certify that you own the subject property or are authorized to act on behalf of the property owner to make the above referenced land use application(s). You also certify that the application information provided and submitted through the [Cityworks Portal](#) constitutes a complete submittal in compliance with Sandy City Code and Administrative Procedures to the best of your knowledge. You do also acknowledge that you have read and consent to the [disclosure](#) shown at the bottom of the page.

Signature: Nathan R. Boyer Date: April 16, 2026
 Name: NATHAN R. BOYER Company: The Boyer Company, L.C.

Property Owner (if property owner is different than applicant)

By signing this application, you certify that the applicant listed above is authorized to act in your behalf regarding the above referenced land use application.

Signature: Loan Wilcox Date: April 23, 2026
 Name: Loan Wilcox, Business Administrator Company: Canyons School District

Disclosure: The Planning Commission typically meets on the first and third Thursdays of the month. Applicants will be notified of changes in meetings and meetings times. The Planning Division will not officially accept a submittal until the conditions and necessary parts of each application procedure are completed.

Records provided to Sandy City are subject to the Utah Government Records Access and Management Act, Utah Code Ann. §63G-2-101 et seq., which may require Sandy City to produce a copy, including in its original form, to any person upon that person's request. Please consult legal counsel prior to submitting or presenting any record (book, letter, document, paper, map, plan, photograph, film, card, tape, recording, electronic data, or other documentary material regardless of physical form or characteristics) to any officer, official, employee, volunteer or agent of Sandy City for any reason including without limitation, in support of an application or for presentation or display in a meeting. Information that is not provided to Sandy City will not be considered when making decisions.

By signing this application, the property owner is allowing Sandy City staff access over and through the property close to the right-of-way to post legal notice requirements and to take photographs and/or drone footage.

10000 Centennial Parkway | Sandy, Utah 84070 | p: 801.568.7250 | f: 801.568.7278 | sandy.utah.gov

Exhibit "A"
Application Materials (cont.)

City of Sandy
Community Development Department
10000 Centennial Parkway
Sandy, UT 84070

Dear Planning Staff, Planning Commission, and City Council,

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We appreciate your consideration of this request and look forward to working with staff throughout the review process.

Sincerely,

Boyer Project Company LC

Exhibit "A"
Application Materials (cont.)



LEGAL DESCRIPTION
PREPARED FOR
BOYER 90th SOUTH & SCIRLEIN DR
SANDY CITY, UTAH
(04/16/26)
25-0265
(EC)

BOUNDARY DESCRIPTION

Located in the Southwest Quarter of Section 5, Township 3 South, Range 1 East, Salt Lake Base and Meridian, located in Sandy City, Salt Lake County, Utah, being more particularly described as follows:

Beginning at a point S00°07'00"W 3124.01 feet along the Section line and S89°53'00"E 623.20 feet from the Northwest Corner of Section 5, Township 3 South, Range 1 East, Salt Lake Base and Meridian; thence along the arc of a curve to the right with a radius of 375.00 feet a distance of 177.31 feet through a central angle of 27°05'26" Chord: N13°25'42"W 175.66 feet; thence N00°07'00"E 344.56 feet; thence S89°03'00"E 199.18 feet; thence N00°07'00"E 7.00 feet; thence S89°03'00"E 370.11 feet; thence S00°07'00"W 190.22 feet; thence S89°03'00"E 171.89 feet to the westerly boundary of Enchanted Cove P.U.D. Subdivision according to the official plat thereof recorded as Entry # 6538304 in Book 96-12P Page 431 in the Salt Lake County Recorder's office; thence along said Subdivision S00°07'00"W 221.03 feet to the northerly boundary of Whisper Cove Subdivision P.U.D. according to the official plat thereof recorded as Entry # 8654698 in Book 2003P Page 121 in the Salt Lake County Recorder's office; thence along said subdivision S81°57'42"W 707.11 feet to the point of beginning.

Containing 7.15 acres +/-

Exhibit "B"
Planning Commission Notice



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE
OFFICER

Notice of Public Hearing

NOTICE IS HEREBY GIVEN that on **June 4, 2026** at approximately **6:15 p.m.**, the **Sandy City Planning Commission** will hold a public hearing regarding applications submitted by The Boyer Company (Nathan Boyer) for a general plan amendment (File #GPA04222026-007196) and a rezone (File #REZ04222026-007195) regarding property (approximately 7.2 acres) located at 825 E. 9085 S. The request is to change the future land use designation from Institutional (IN) to Medium Density Neighborhood (MN) and to rezone the property from the R-1-8 Zone (Single-Family Residential Distrit) to the PUD(12) Zone (Planned Unit Development District). A concept plan (see reverse side) submitted with the application shows a townhome project. All application materials and a full staff report for this item can be found at <https://sandyutah.legistar.com> when the agenda is published (typically the Friday preceding the meeting date).

This Planning Commission meeting will be conducted both in-person (in the Sandy City Council Chambers at City Hall, 10000 S. Centennial Pkwy.), and via Zoom Webinar (see details below). Interested parties may attend and participate in the meeting either in-person or by accessing the meeting using the Zoom webinar link below. Attendees wishing to comment who are participating virtually must have a microphone connected to their device (smartphone, laptop, desktop, etc.), otherwise you'll only be able to view the proceedings. A listen-only option is also available by telephone using the phone numbers provided below.

This notice is being sent to known property owners within 500 feet of this proposal. Please forward this information on to others who may be interested. Interested parties may provide comments prior to the meeting (no later than 3 p.m.) to Jake Warner, **Long Range Planning Manager**, at 801-568-7262 or by email at: jwarner@sandy.utah.gov.

How to join Zoom Webinar General Instructions:

- Join on via laptop, desktop or mobile device
- Go to www.zoom.us
- Click 'join a meeting', in the top right-hand corner
- Enter Meeting ID: 850 7521 0493 and click "Join."
- Enter Meeting Password: 407115
- A download should start automatically in a few seconds. If not, click "download here."
- Open download, meeting should begin at 6:15 p.m.
- To make a comment: Select "Participants" in the lower center of the screen. In the Participant Window, select "Raise A Hand" at the lower left to indicate that you would like to make a comment.

You can also join directly through this URL:

<https://us02web.zoom.us/j/85075210493>

Or join by phone (choose based on your current location):

US: +1 669 444 9171 or +1 719 359 4580 or +1 253 205 0468

Webinar ID: 850 7521 0493

Or find your local number: <https://us02web.zoom.us/j/kc4RQBjvOq>



REZ04222026-007195
Property Rezone
825 E 9085 S
Community Development Department
Sandy City, UT

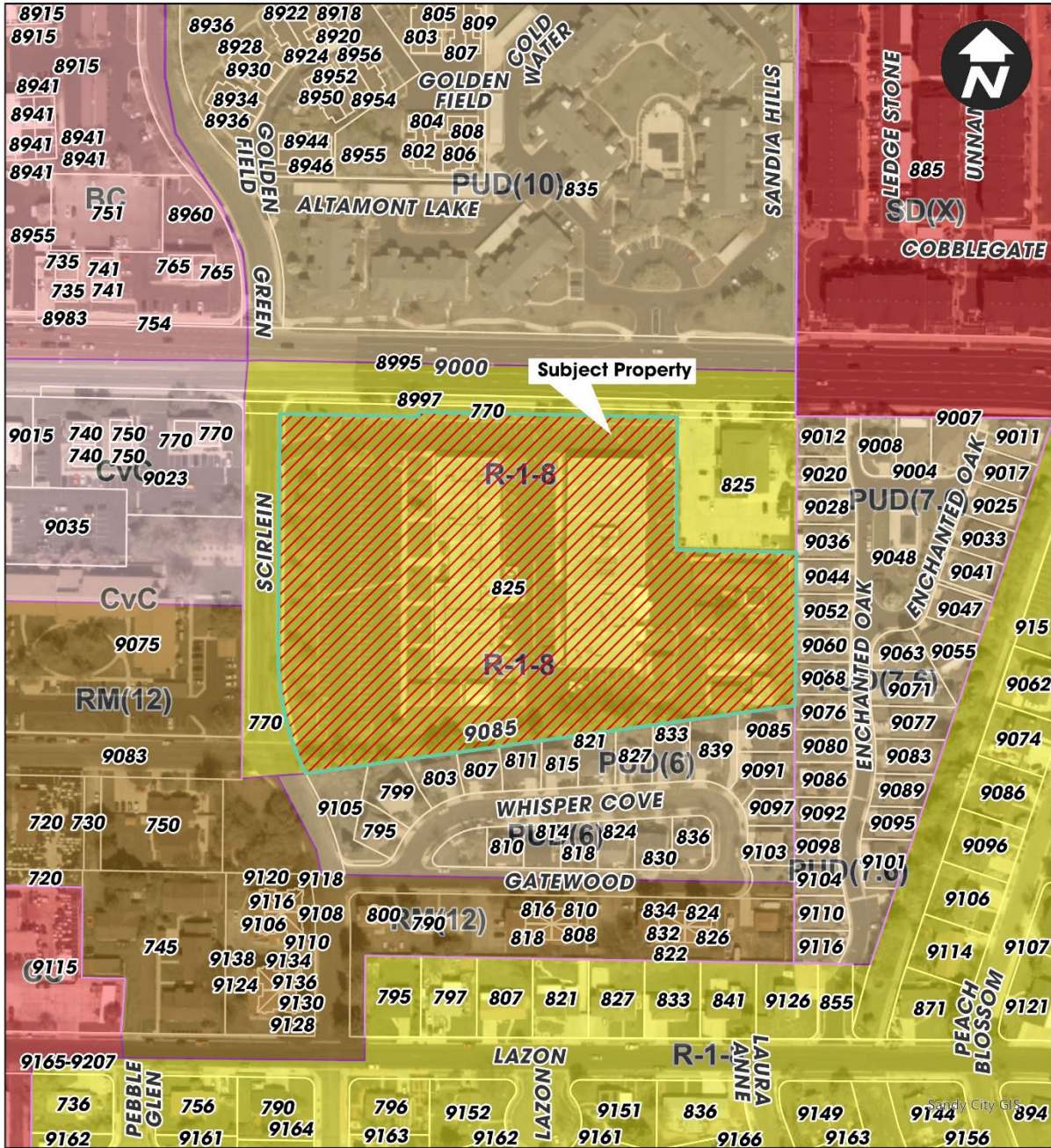
10000 Centennial Parkway | Sandy, Utah 84070 | p: 801.568.7250 | f: 801.568.7278 | sandy.utah.gov

Exhibit "B"
 Planning Commission Notice (cont.)



10000 Centennial Parkway | Sandy, Utah 84070 | p: 801.568.7250 | f: 801.568.7278 | sandy.utah.gov

Exhibit "C"
Zoning Map



REZ04222026-007195
Property Rezone
825 E 9085 S

Community Development Department
Sandy City, UT

Exhibit "D"
Neighborhood Meeting-Summary



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN COMMUNITY
DEVELOPMENT DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

Neighborhood Meeting Summary

Date: 5/18/2026

Project Name: Canyon Gate Rezone

Applicant: The Boyer Company, Nathan Boyer

Location: Zoom Webinar

Number of Attendees: 10

Number of Invitees: 170

Project Description:

The application proposes a rezone and general plan amendment of one parcel (approximately 7.2 acres), the existing Canyons Technical Center for redevelopment as a townhome community.

Summary of Attendee Comments:

Other than Planning staff and the applicant team, ten people attended. Staff and the applicant presented the application. Three people commented. Comments were generally supportive. Questions were asked about parking, garages, HOA, landscaping, and fencing. One attendee claimed to be the HOA president of the community to the south. The applicant team committed follow up with her to have additional conversations.

Exhibit "E"
Posted Sign Picture

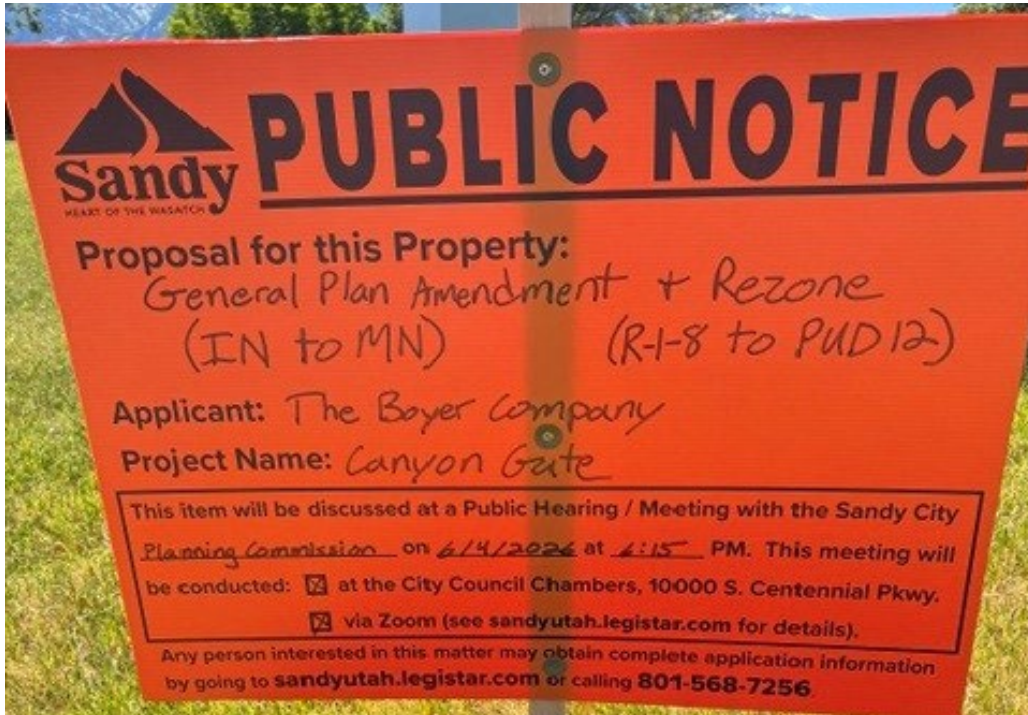
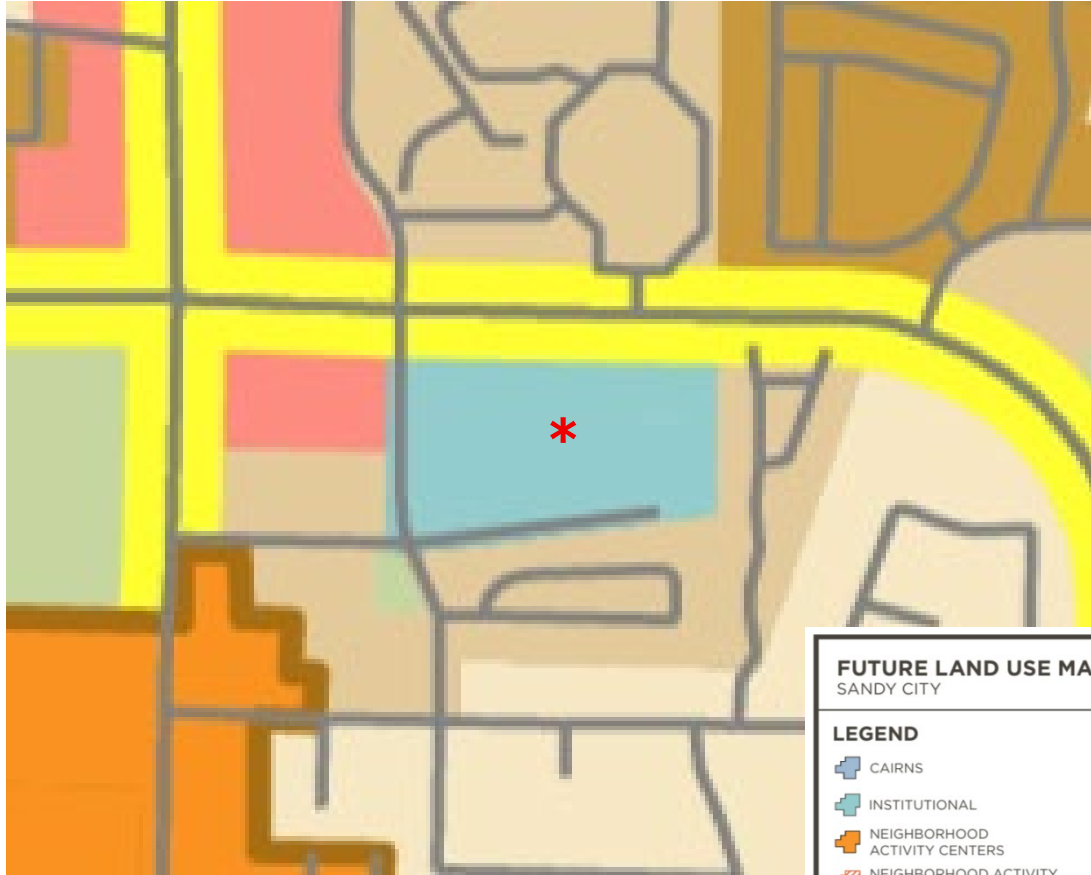


Exhibit "F"
Future Land Use Map



FUTURE LAND USE MAP
SANDY CITY

LEGEND

| | |
|---------------------------------------------|-----------------------------------|
| CAIRNS | SANDY BOUNDARY |
| INSTITUTIONAL | STATION BOUNDARY 0.5 MILE |
| NEIGHBORHOOD ACTIVITY CENTERS | I-15 |
| NEIGHBORHOOD ACTIVITY CENTERS FUTURE BUFFER | NEIGHBORHOOD TRANSITION CORRIDORS |
| HEAVY COMMERCE | MAJOR ROADS |
| REGIONAL COMMERCE | LOCAL ROADS |
| LIGHT COMMERCE | RAIL LINES |
| OPEN SPACE | TRANSIT STATIONS |
| HIGH NEIGHBORHOOD | |
| MEDIUM NEIGHBORHOOD | |
| LOW NEIGHBORHOOD | |
| RURAL/VERY LOW NEIGHBORHOOD | |

0' 0.5' 1'
MILES



Staff Report

File #: CA02132026-0007114,
Version: 1

Date: 6/4/2026

Agenda Item Title:

Amendments to Title 21 of the Land Development Code related to Building Height

Presenter:

Melissa Anderson, Zoning Administrator

Description/Background:

The applicant Jeff Knighton, representing Dave Hunt (property owner), has applied to amend Title 21, *Land Development Code*, Chapter 20, *Residential Development Standards*, by revising the residential building height standards. The proposal would allow building heights in residential zones where the predominant slope on the lot is 30 percent or greater to be measured from the natural grade rather than the finished grade. The applicant's proposal is included with this report as Exhibit "A."

On July 7, 2022, the property owner Dave Hunt submitted for a new home to be built at 3351 E. 9980 S. The plans indicated a home that was too tall and would not comply with the maximum 35-foot height limit. There were also issues relating to meeting setbacks on the site plan and design issues with the grading plan that was also required for properties within the Sensitive Area Overlay Zone. There were several review cycles and design iterations before the city was finally able to approve plans for the home that met all the city code requirements.

A revised plan was approved on October 24, 2023, and permit was issued on March 3, 2024, with a condition that *"a full survey of grading and structure before occupancy can be obtained. Survey must meet requirements of the approved grading plan and house plan."* That plan reflected reduced floor to ceiling heights across all levels in order to have a fourth-floor roof top space fit under the maximum building height. During construction, the home was not built according to the approved plans as was verified upon receiving a survey from the applicant.

The property owner petitioned the city to allow for temporary occupancy of the home. On February 6, 2026, the city and property owner entered into an agreement to allow for temporary occupancy subject to conditions. The agreement allowed the owner to pursue options to bring the home into compliance; either through a proposed amendment to city code, or through modifications made to the home. The agreement requires the owner to commence renovation before July 1, 2026 (which would require an approved building permit for the proposed renovations) and complete the improvements required to meet city code by December 31, 2026. To date, the city has not received a building permit application nor seen plans on how the home could be renovated to meet the city's building height requirement; however, the property owner's representative has applied to amend the city code to adjust the method by which building height is measured (Exhibit "A.").

Please see the attached staff report and exhibits for the full details of this item.

Further action to be taken:

The final decision on this item will be made by the City Council

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission forward a negative recommendation to the City Council to amend Title 21, of the Sandy Municipal Code, relating to Building Height, as shown in Exhibit "A", based on the following findings:

Findings:

1. The City Council may amend land use ordinances consistent with the purposes of the Sandy Land Development Code, the Sandy City General Plan, and the Utah Code, Municipal Land Use, Development, and Management Act per Title 21 Chapter 5 of the Sandy Municipal Code.
2. The proposal is reviewed by the Planning Commission and City Council in accordance with the requirements of Title 21 Chapter 5 of the Sandy Municipal Code.
3. The proposal does not comply with the purpose of the Land Development Code under Section 21-1-03 because it does not promote public health, safety, and welfare, nor facilitate the orderly growth and development of Sandy City.
4. The proposal does not comply with the Sandy City General Plan because it does not encourage appropriate development standards in residential zones for the reasons cited in the report analysis.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE
OFFICER

Staff Report Memorandum June 4, 2026

To: City Council via Planning Commission
From: Community Development Department
Subject: Amendments to Title 21 of the Land Development Code related to Building Height CA02132026-0007114

Public Hearing Notice: This item has been noticed on public websites, sent to affected entities and posted in three public locations at least 10 days prior to the Public Hearing.

Request

The applicant Jeff Knighton, representing Dave Hunt (property owner), has applied to amend Title 21, *Land Development Code*, Chapter 20, *Residential Development Standards*, by revising the residential building height standards. The proposal would allow building heights in residential zones where the predominant slope on the lot is 30 percent or greater to be measured from the natural grade rather than the finished grade. The applicant’s proposal is included with this report as Exhibit “A.”

Background

On July 7, 2022, the property owner Dave Hunt submitted for a new home to be built at 3351 E. 9980 S. The plans indicated a home that was too tall and would not comply with the maximum 35-foot height limit. There were also issues relating to meeting setbacks on the site plan and design issues with the grading plan that was also required for properties within the Sensitive Area Overlay Zone. There were several review cycles and design iterations before the city was finally able to approve plans for the home that met all the city code requirements.

A revised plan was approved on October 24, 2023, and permit was issued on March 3, 2024, with a condition that *"a full survey of grading and structure before occupancy can be obtained. Survey must meet requirements of the approved grading plan and house plan."* That plan reflected reduced floor to ceiling heights across all levels in order to have a fourth-floor roof top space fit under the maximum building height. During construction, the home was not built according to the approved plans as was verified upon receiving a survey from the applicant.

The property owner petitioned the city to allow for temporary occupancy of the home. On February 6, 2026, the city and property owner entered into an agreement to allow for temporary occupancy subject to conditions. The agreement allowed the owner to pursue options to bring the home into compliance; either through a proposed amendment to city code, or through modifications made to the home. The agreement requires the owner to commence renovation before July 1, 2026 (which would require an approved building permit for the proposed renovations) and complete the improvements required to meet city code by December 31, 2026. To date, the city has not received a building permit application nor seen plans on how the home could be renovated to meet the city's building height requirement; however, the property owner’s representative has applied to amend the city code to adjust the method by which building height is measured (Exhibit “A.”).

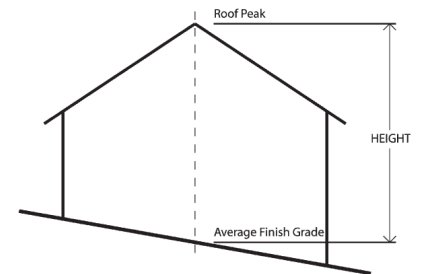
| Case History | |
|--------------------|------------------------------------------------------------------------------------------------------|
| Case Number | Case Summary |
| S#03-04 | Larson Webster Subdivision No. 1 (2005) |
| SUB-05-19-005649 | Larson Webster Subdivision No. 2: Amendment to Lot #2 of the Larson Webster Subdivision No. 1 (2019) |
| RES07072022-028538 | Building permit for a new residential single-family home (case on hold) |
| COD02092026-008329 | Code violation for building non-compliance (open case) |

Public Notice

The city issued notice of the public hearing for the proposed code amendments on public websites, mailed notice to affected entities and posted in three public locations at least 10 days prior to the Planning Commission public hearing in accordance with the Land Development Code Sec. 21-36-1 and the Utah State Code § 10-20-205.

Analysis

The city code states that all primary dwellings in residential zones are limited to a maximum building height of 35 feet (Sec. 21-20-2(a)). The method of measuring building height is based on the code definition for building height, which is “the vertical distance from the average finished grade surface of the building to the highest point of the coping of a flat roof, to the top of a mansard roof, or the top of the ridge for a gable, hip, or gambrel roofs” (Sec. 21-37-3(20)). This method of regulating and measuring building height for residential dwellings has been consistently applied for decades in Sandy.



The applicant proposes to amend the city code by offering an alternative method of measuring residential building height where the “predominant slope within the building envelope is 30% or greater.” The proposal would allow an applicant to voluntarily apply an alternative building height measurement by restricting habitable portions of the structure to a maximum of 35 feet when measured vertically from the existing (natural) grade to the peak of the roof. Specifics of the applicant’s proposal is included as Exhibit “A” of this report.

As proposed, staff does not support the amendment to the city code for the following reasons:

- Taller Homes:** The proposed method of measuring building height would enable taller homes to be constructed in steep slope areas and staff does not support increasing the height limit to allow taller homes in residential neighborhoods. The applicant’s proposal is an administrative solution to a new home that was constructed contrary to the approved plans and taller than the maximum 35-foot height limit. Therefore, the proposal would enable taller homes to be constructed where they are currently not allowed to be constructed as tall.
- Inequity:** As proposed, the applicant would be able to have a taller building, while existing homeowners have not been allowed to use the same methodology for measuring building height. Consequently, existing homeowners were disadvantaged at the time they had their home built because they did not have the proposed new code available to use.
- Inconsistent Enforcement:** There have been previous instances when a new home was being constructed taller than the code allows. In these cases, the owner was required to correct the situation by physically changing the structure to meet the building height limit. Alternatively, the proposed code amendment would not just allow taller homes, but it would reward a mistake when others were required to physically alter the structure to correct the code enforcement violation.
- Revisions Required:** The proposed language of the text would need significant changes for it to be implementable and consistent with related sections of the code. For example, current code measures to the top plate of the building rather than “habitable space” and the city is unable to enforce things that cannot be seen and verified.

Non-Conforming Uses

The proposed code amendment would not create any non-conforming situations.

Land Development Code Purpose Compliance

The Sandy City Land Development Code in 21-1-3 lists the criteria explaining the intent and purpose of the Ordinance. The purpose is:

21-1-3 Purpose

This Code is adopted to implement Sandy City’s General Plan and to promote public health, safety, convenience, aesthetics, welfare; efficient use of land; sustainable land use and building practices; transportation options and accessibility; crime prevention; timely citizen involvement in land use decision making; and efficiency in development review and land use administration. Specifically, this Code is established to promote the following purposes:

1. General

- a. To facilitate the orderly growth and development of Sandy City.
- b. To facilitate adequate provision for transportation, water, sewage, schools, parks, and other public requirements.
- c. To stabilize property values.
- d. To enhance the economic well-being of Sandy City and its inhabitants.

2. Implementation of General Plan

To coordinate and ensure the implementation of the City’s General Plan through effective execution of development review requirements, adequate facility and services review and other goals, policies, or programs contained in the General Plan.

3. Comprehensive, Consistent and Equitable Regulations

To establish a system of fair, comprehensive, consistent and equitable regulations, standards and procedures for review and approval of all proposed land development within the City.

4. Efficiently and Effectively Managed Procedures

- a. To promote fair procedures that are efficient and effective in terms of time and expense.
- b. To be effective and responsive in terms of the allocation of authority and delegation of powers and duties among ministerial, appointed, and elected officials.
- c. To foster a positive customer service attitude and to respect the rights of all applicants and affected citizens.

Staff find the proposed code amendment is inconsistent with the purpose of the Land Development Code because the proposal does not promote public health, safety, and welfare, nor facilitate the orderly growth and development of Sandy City for the reasons cited in the analysis (above).

General Plan Compliance

The Sandy City General Plan encourages appropriate development standards for all uses and zoning categories within the city. As proposed, the code amendment is not consistent with the General Plan because it does not encourage appropriate development standards in residential zones for the reasons cited in the analysis (above).

Recommendation

Staff recommends that the Planning Commission forward a negative recommendation to the City Council to amend Title 21, of the Sandy Municipal Code, relating to building height, as shown in Exhibit “A”, based on the following findings:

Findings:

1. The City Council may amend land use ordinances consistent with the purposes of the Sandy Land Development Code, the Sandy City General Plan, and the Utah Code, Municipal Land Use, Development, and Management Act per Title 21 Chapter 5 of the Sandy Municipal Code.
2. The proposal is reviewed by the Planning Commission and City Council in accordance with the requirements of Title 21 Chapter 5 of the Sandy Municipal Code.
3. The proposal does not comply with the purpose of the Land Development Code under Section 21-1-03 because it does not promote public health, safety, and welfare, nor facilitate the orderly growth and development of Sandy City.
4. The proposal does not comply with the Sandy City General Plan because it does not encourage appropriate development standards in residential zones for the reasons cited in the report analysis.

Planner:



Melissa Anderson
Zoning Administrator

Exhibits:

- A. Applicant's proposed code amendments

File Name: S:\USERS\PLN\STAFFRPT\2026\CA02132026-0007114 - BLDG. HEIGHT CODE AMEND\STAFF REPORT\STAFF REPORT - BUILDING HEIGHT.FINAL.DOCX

EXHIBIT "A"

Request for Text Amendment

To: Sandy City Planning Commission & City Council

Subject: Modernization of Building Height Standards for Steep Slope Topography

Affected Section: Sec. 21-20-2 (Residential Building Setbacks and Building Heights)

I. Purpose and Necessity

The current Sandy City building height calculation, which utilizes an average finished grade, works well for traditional mostly flat-lot residential developments. With many of the remaining residential lots in the city on more steeply sloped lots, this "one-size-fits-all" approach has become technically detrimental to modern hillside construction and is less effective in encouraging build massing that is compatible with the natural landscape and other properties views.

Strict adherence to average grade on steep slopes often forces:

- Excessive Earthwork: Massive grading and retaining walls to artificially lower a "finished" grade to meet height requirements.
- Design Inefficiency: Homes that fight the natural terrain instead of responding to it.
- Visual Massing Issues: "Wall-on-the-hill" effects where downhill façades become disproportionately tall to balance the average.

This amendment seeks to align Sandy City with neighboring jurisdictions—such as Park City, Cottonwood Heights, and Salt Lake City—which utilize existing grade or point-by-point measurements to protect natural topography.

II. Proposed Code Language

Add a new subsection to Sec. 21-20-2 (or the relevant hillside overlay section) as follows:

(X) Height Exceptions for Steep Slope Residential Lots.

For any residential lot where the predominant slope within the building envelope is thirty percent (30%) or greater, the following alternative height measurement standards shall apply to encourage terrain-responsive design and minimize grading:

1. *Measurement Baseline:* At the applicant's discretion, building height may be measured from the existing (natural) grade at any given point of building coverage rather than the average finished grade.
2. *Maximum Height Envelope:* No habitable portion of the structure shall exceed thirty-five (35) feet when measured vertically from the existing grade directly below.

EXHIBIT "A"

3. *Downhill Massing Safeguard: To protect neighborhood character and viewsheds, no downhill-facing façade may exceed a maximum vertical height of thirty-five (35) feet as measured from the lowest adjacent existing grade to the highest wall top plate.*
4. *Prohibition of Artificial Grade Increases: Existing grade shall not be artificially raised through the use of fill or retaining structures for the purpose of increasing the allowable height envelope.*

III. Consistency with the General Plan

The Sandy City General Plan and Sensitive Area Overlay Zone emphasize the protection of the city's natural assets, specifically the mountain bench. This amendment aligns with those goals by:

- Promoting Sensitive Land Design: Encouraging "terrain-responsive" architecture that follows the natural "flow" of the mountain rather than requiring massive excavation.
- Reducing Scarring: Minimizing the need for expansive retaining walls and artificial grading, preserving the natural visual character of the Sandy bench.
- Preserving Open Character: Utilizing existing grade as a baseline ensures that homes do not appear unnaturally "lofted" above native terrain.

IV. Why This Benefits the General Public

Updating the height methodology for steep slopes provides tangible community benefits:

- View Protection: By measuring height from the *existing* grade at every point, buildings are incentivized to step down the hillside, preventing the "wall-on-the-hill" effect that blocks views for neighbors.
- Infrastructure Sustainability: Reduced grading leads to less soil erosion and lower impacts on city storm-drainage systems caused by massive site disturbances.
- Predictability and Transparency: Clear, objective rules for slopes over 30% provide neighbors and developers with a defensible standard, reducing the need for contentious variance requests or administrative appeals.

V. Shared Safeguards and Implementation

To ensure this amendment is not used to circumvent density or massing intentions, the following safeguards are integrated:

- Anti-Manipulation Clause: Existing natural grade cannot be artificially raised through fill or debris for the purpose of gaining additional height.

EXHIBIT "A"

- **Static Zoning Protections:** This amendment does not increase allowed density, lot coverage, or unit counts; it only adjusts the vertical envelope relative to native topography.
- **Standard Setbacks:** All existing residential setbacks and usable land requirements remain in effect to ensure adequate separation between structures.
- **Administrative Review:** Any project utilizing this calculation must undergo formal review to verify slope percentages and "Existing Grade" benchmarks.

EXHIBIT "A"

Comparisons: Existing vs. Proposed Code

To help the City Council visualize why the current code is technically detrimental on 30% or greater slopes, we compare the "Averaging" method with the "Existing Grade Envelope" method.

1. Existing Method: Average Finished Grade

Under current code, height is measured from the average finished grade to the peak of the roof.

- **The Conflict:** On a steep 30% slope, the "average" point sits deep in the middle of the footprint. To stay under 35 feet at that "average" point, the downhill side of the house often ends up appearing 45–50 feet tall relative to the ground.
- Additionally, when designing to an average finished grade, architectural design is reduced with height problems to surrounding neighbors and grading manipulation to maximize height.
- **The Result:** A bulky, "top-heavy" appearance on the downhill side and a perverse incentive to use massive amounts of fill on the uphill side to raise the "average".

EXHIBIT A - AVG HEIGHT PRODUCES WALLS HIGHER THAN 35' AND ARCHITECTURAL DESIGN IS REDUCED.

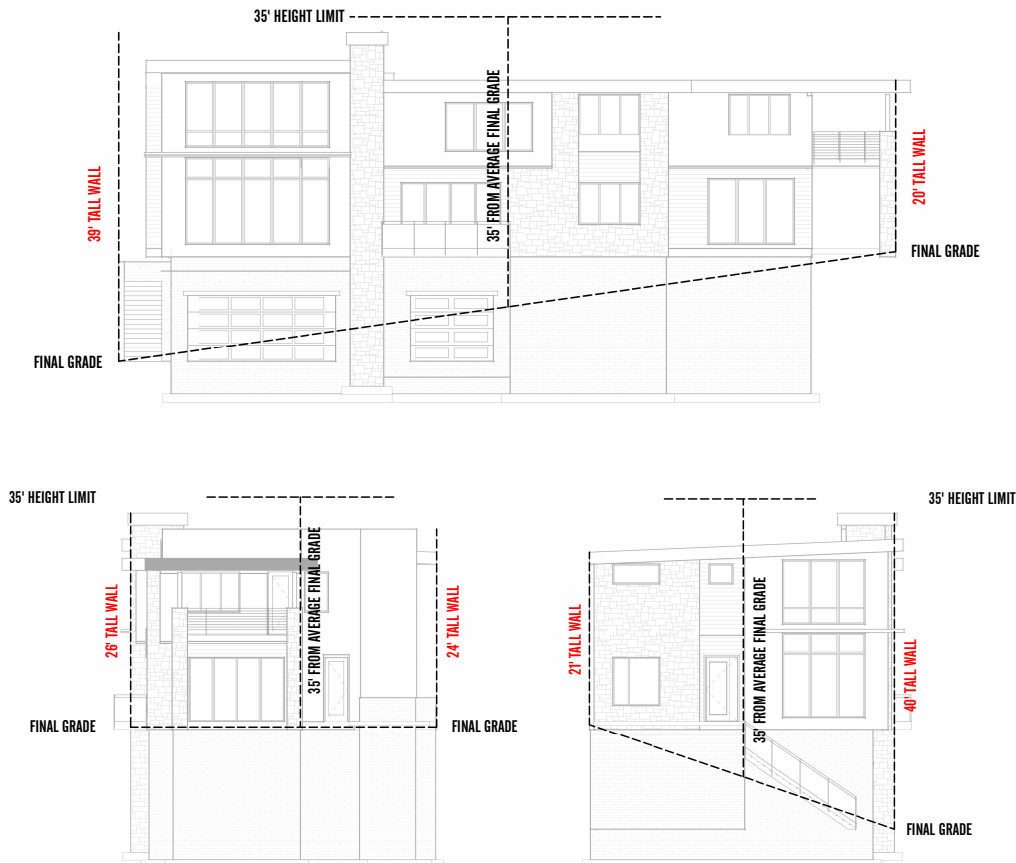


EXHIBIT "A"

EXHIBIT B - AVG HEIGHT DISCOURAGES SLOPE CONCIOUS ARCHITECTURE.

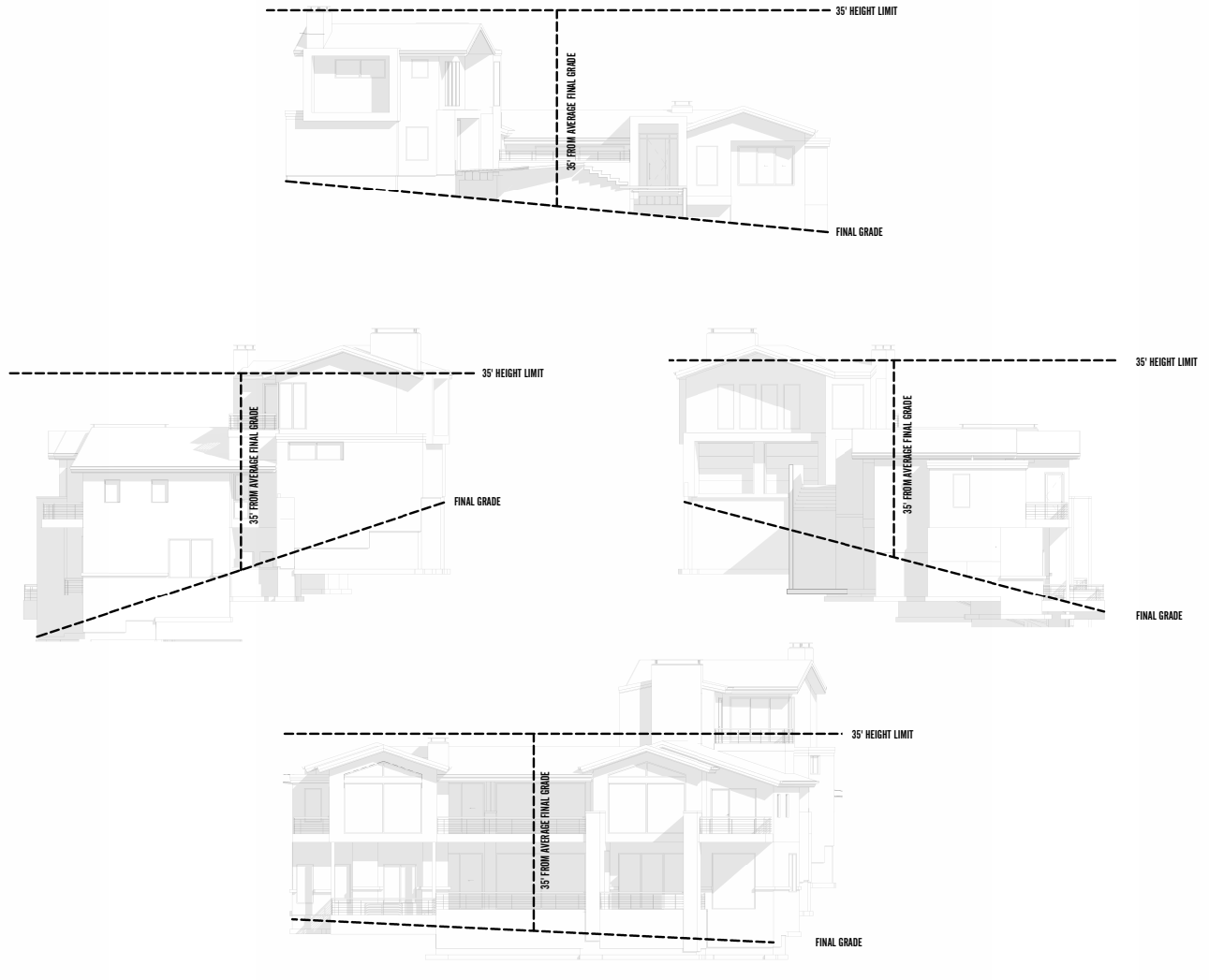


EXHIBIT "A"

2. Proposed Method: Existing Grade Envelope (for 30%+ Slopes)

The proposed amendment adopts a "Point-by-Point" or "Envelope" approach similar to surrounding jurisdictions.

- **The Concept:** A 35-foot vertical "limit line" is projected upward, mirroring the exact contours of the natural mountain. All habitable space must fit entirely within this terrain-responsive envelope.
- Height is further confirmed using topography and roof height markers.
- **The Result:** The structure is required to "step" or terrace down the hill. This keeps the roofline parallel to the mountain, significantly reducing visual mass for neighbors looking up or down the slope.

EXHIBIT C - 35' VERTICAL ENVELOPE ALLOWS FOR BETTER SITE CARE AND SLOPE CONSCIOUS DESIGN

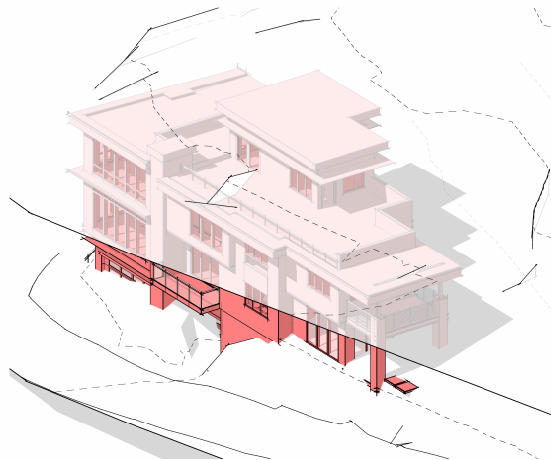
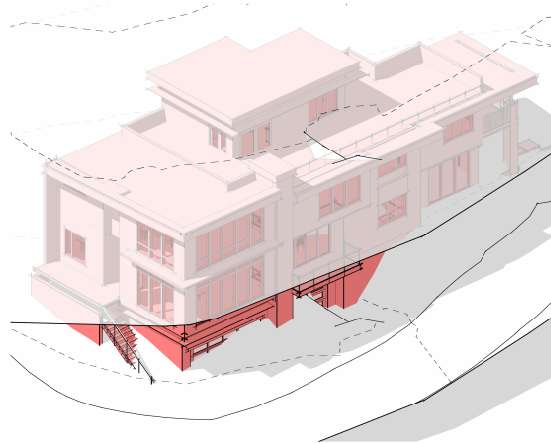


EXHIBIT "A"

EXHIBIT D - SLOPE CONCIOUS DESIGN

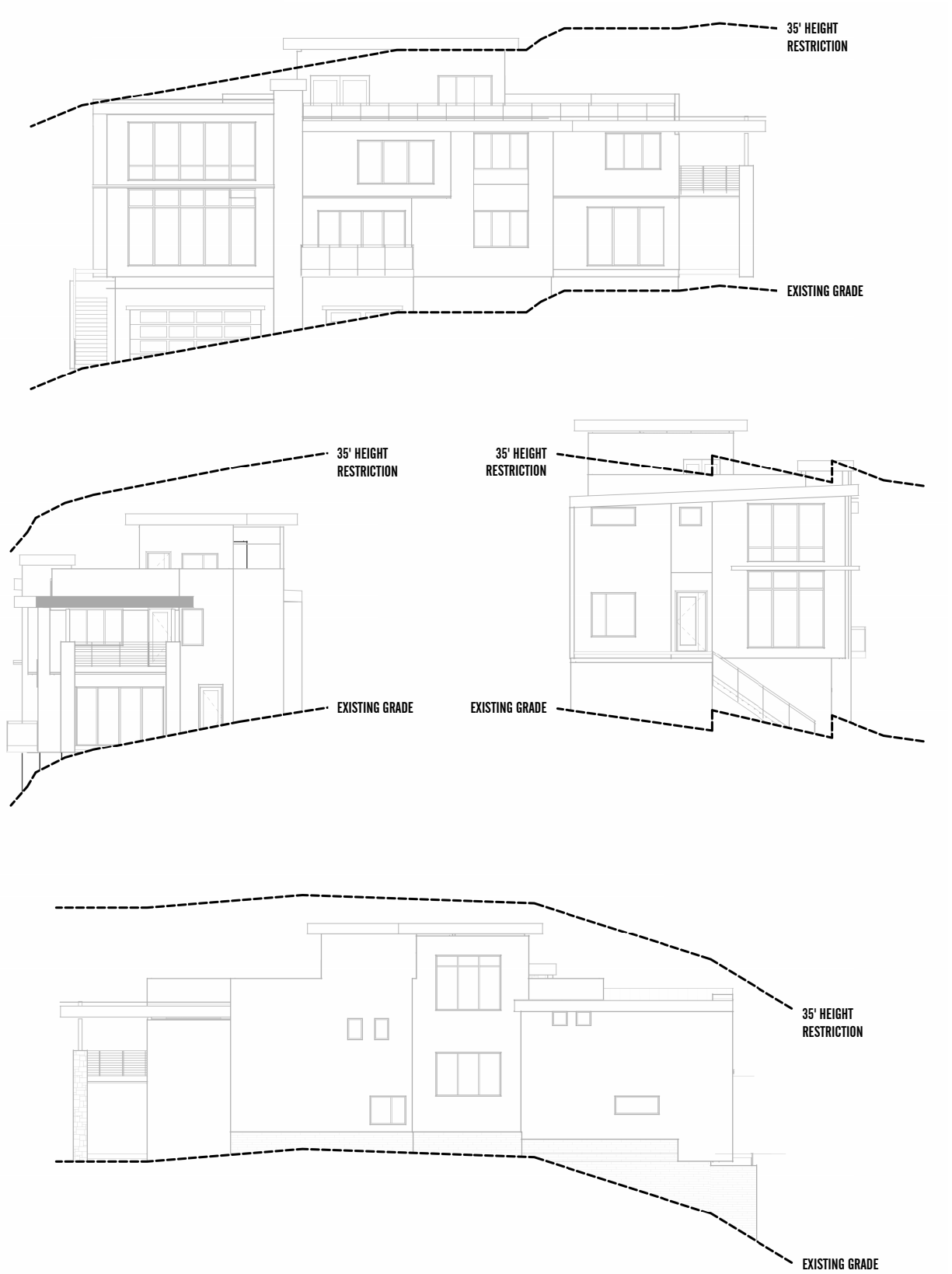


EXHIBIT "A"

EXHIBIT E - SLOPE CONCIOUS DESIGN CONT.

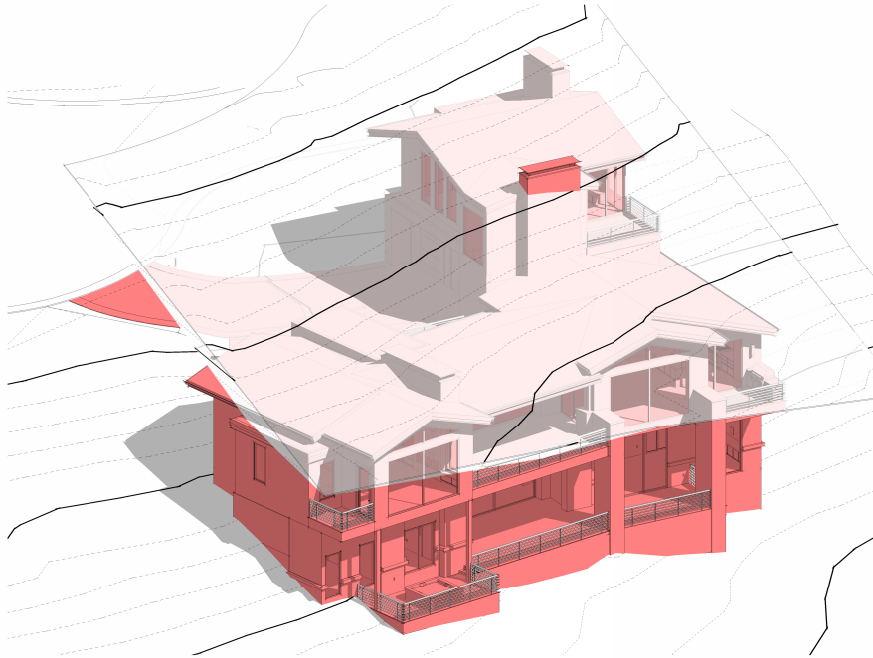
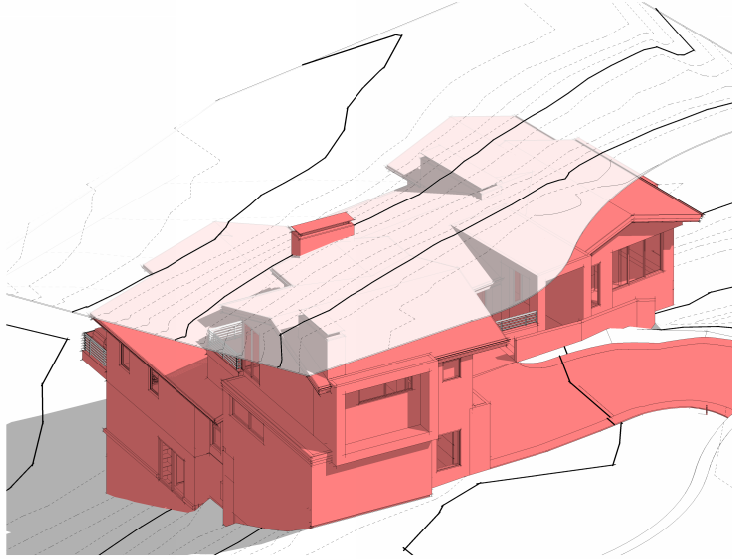


EXHIBIT "A"

EXHIBIT F - SLOPE CONCIOUS DESIGN CONT.

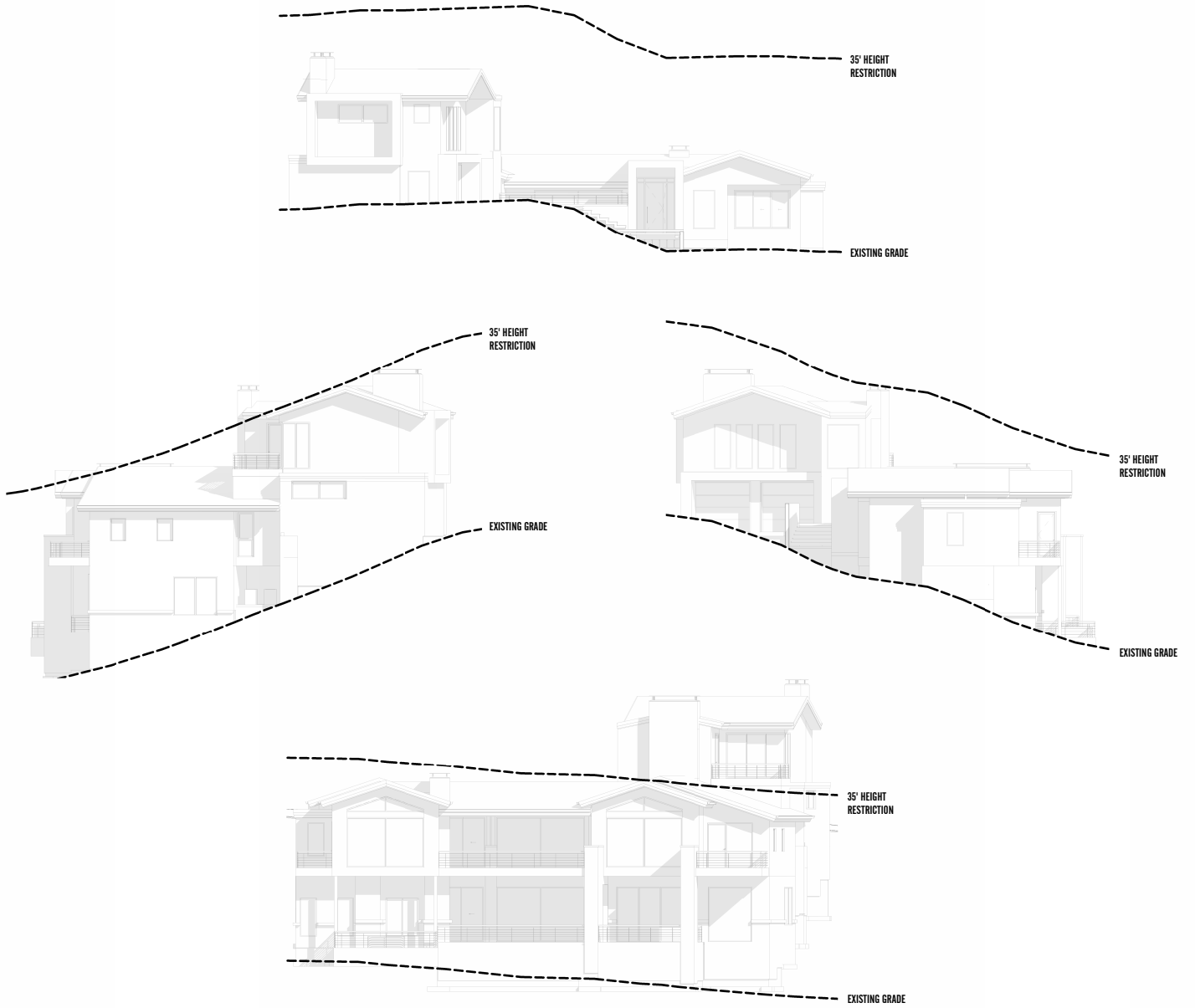


EXHIBIT "A"

EXHIBIT G - HEIGHT CALCULATION PLAN

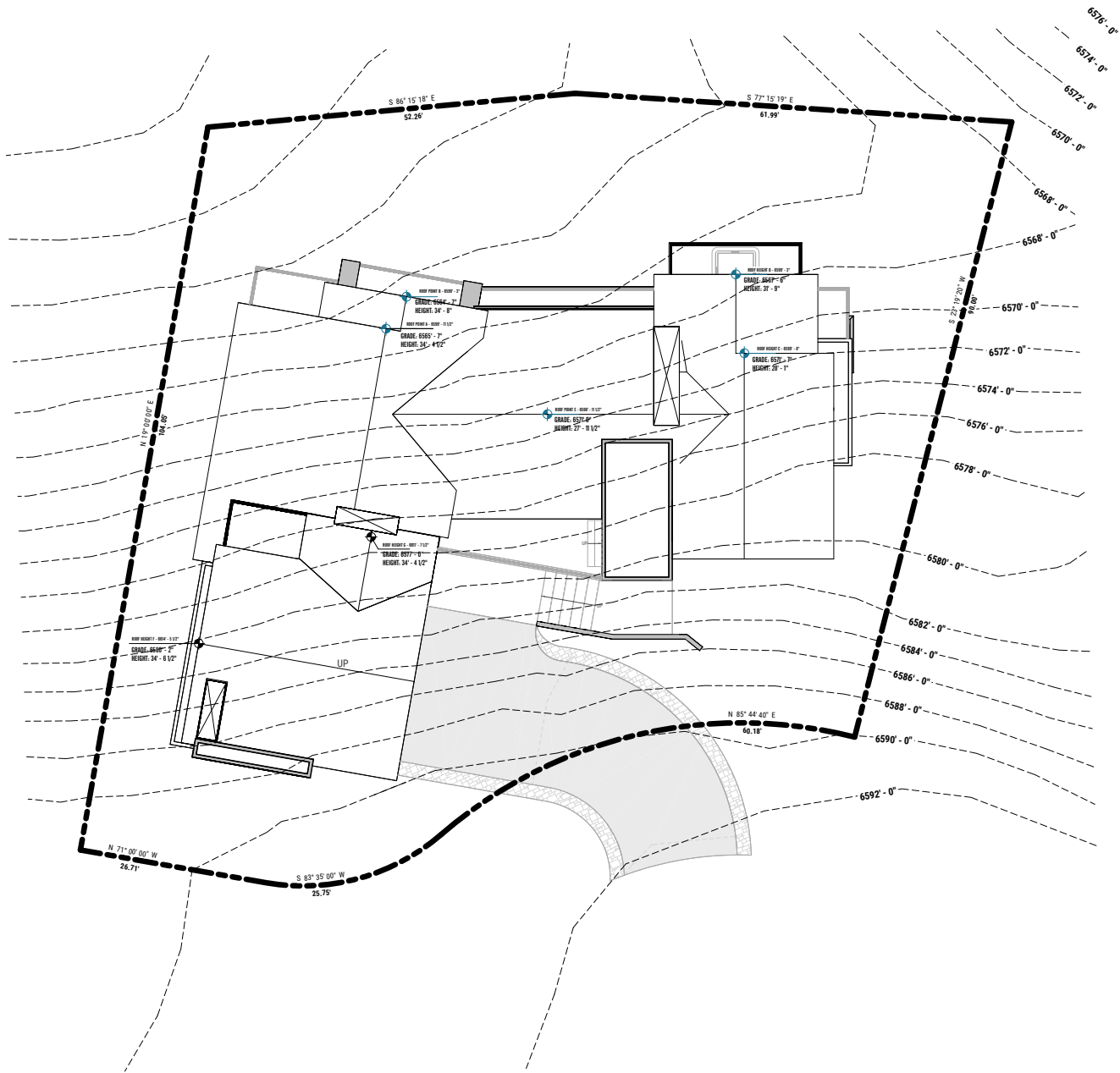


EXHIBIT "A"

EXHIBITS

EXHIBIT "A"

EXAMPLE HOMES CURRENTLY ON SALE





Staff Report

File #:
SPX07012025-006991,
Version: 1

Date: 6/4/2026

Agenda Item Title:
Silver Ridge Flats Special Exception Review
886 E. 7800 S.
Community #6, High Point

Presenter:
Cache Hancey, Senior Planner

Description/Background:

The applicant, Andrew Gutierrez, is requesting a preliminary subdivision, site plan, and special exception review for a property located at 886 E. 7800 S. The proposal consists of consolidating two (2) existing properties and then subdividing them into nine (9) residential townhome units. Additionally, he is seeking site plan and special exception approval to only require a single point of ingress and egress onto 7800 S, a private road to access the proposed units, and a reduced right of way width and private street improvements.

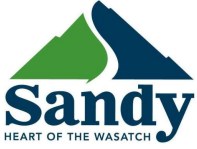
Please see the attached staff report and attachments for full details of the request.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission approve the requested special exceptions described in the staff report for the Silver Ridge Flats Subdivision located at 886 E. 7800 S. based on upon the following findings:

Findings:

1. That the proposed configuration equitably balances the needs of the public and presents the most efficient use of the land.
2. That the requests meet the criteria of the code as shown in the analysis of the staff report.
3. The precedence of adjoining improvements would be continued and maintained.



Staff Report

File #:
SPR04072025-006948,
Version: 1

Date: 6/4/2026

Agenda Item Title:
Silver Ridge Flats Site Plan Review
886 E. 7800 S.
Community #6, High Point

Presenter:
Cache Hancey, Senior Planner

Description/Background:

The applicant, Andrew Gutierrez, is requesting a preliminary subdivision, site plan, and special exception review for a property located at 886 E. 7800 S. The proposal consists of consolidating two (2) existing properties and then subdividing them into nine (9) residential townhome units. Additionally, he is seeking site plan and special exception approval to only require a single point of ingress and egress onto 7800 S, a private road to access the proposed units, and a reduced right of way width and private street improvements.

See the attached staff report and exhibits for full details of the request.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission determine preliminary site plan review is complete for the proposed Silver Ridge Flats development located at 886 E. 7800 S. based on the following findings and subject to the following conditions:

Findings:

1. That the proposed lot configuration is an efficient use of the land.
2. The proposed configuration equitably balances the needs of the public
3. That the proposed unit count conforms to the requirements of the RM(10) zone.
4. That the various City Departments and Divisions have preliminarily approved the proposed site plan.
5. That the associated Preliminary Subdivision and Special Exception are congruent with the proposed site plan.

Conditions:

1. That street improvements be carried out according to Plan and Profiles

approved by the Sandy City Engineer and specifically:

- a. That 7800 South Street be further improved and dedicated to include a 41' half-width street to include a 10-foot-wide streetscape behind the curb and gutter (2' stamped concrete, 8' multi-use trail).
 - b. That the proposed 880 East private street be built
2. That the developer proceeds through the final site plan review process with staff prior to the start of any construction. The final site plan shall comply with all Development Code requirements and those modifications required or allowed by the Planning Commission.
 3. That all City provisions, codes, and ordinances are adhered to during the review, construction, and operations process of this project.
 4. That the residential lots comply with all requirements of the RM(10) zone.
 5. That the development complies with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.



Staff Report

File #:
SUB04112025-006998,
Version: 1

Date: 6/4/2026

Agenda Item Title:
Silver Ridge Flats Subdivision
886 E. 7800 S.
Community #6, High Point

Presenter:
Cache Hancey, Senior Planner

Description/Background:

The applicant, Andrew Gutierrez, is requesting a preliminary subdivision, site plan, and special exception review for a property located at 886 E. 7800 S. The proposal consists of consolidating two (2) existing properties and then subdividing them into nine (9) residential townhome units. Additionally, he is seeking site plan and special exception approval to only require a single point of ingress and egress onto 7800 S, a private road to access the proposed units, and a reduced right of way width and private street improvements.

See the attached staff report and exhibits for full details of the request.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission determine that preliminary subdivision review is substantially complete for the Silver Ridge Flats Subdivision at 886 E. 7800 S. based on the following findings and subject to the following conditions:

Findings:

1. That the proposed lot configuration is an efficient use of the land.
2. The proposed configuration equitably balances the needs of the public
3. That the proposed unit count conforms to the requirements of the RM(10) zone.
4. That the various City Departments and Divisions have preliminarily approved the proposed subdivision plat.
5. That the associated Site Plan and Special Exception are congruent with the proposed subdivision.

Conditions:

1. That all necessary road dedications be carried out through the plat.

-
2. That a Homeowners Association for the subdivision be established. A set of CC&R's be recorded with the plat to regulate and ensure maintenance of all common areas. Said documents shall include language that requires use of garages be such that they be used to park vehicles at all times and that garages will not be used for any long-term storage. That the subdivision CC&R's include language that limits parking on all surface stalls to residents and their guests and that stalls shall not be used for any long-term parking of vehicles (more than 5 consecutive days).
 3. That the applicant complies with each department's comments and redlines throughout the final review process and that all issues be resolved before the subdivision can be recorded.
 4. All structures and improvements for individual homes are to be restricted to the platted pad site, including but not limited to pop-outs, chimneys, porches, patios, decks, stairways, etc., and may not be built in the common areas.
 5. That all City provisions, codes, and ordinances are adhered to during the review, construction, and operations process of this project.
 6. That the Special Exception application is approved to permit only one access point.
 7. That a reciprocal extensible private cross access easement be provided to the surrounding properties to the west to allow for future pedestrian and vehicular access when/if they redevelop further to enable the future connectivity and secondary points of access in the future as shown in the Master Plan Road Stuf Exhibit.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE
OFFICER

Staff Report Memorandum June 4, 2026

To: Planning Commission
From: Community Development Department
Subject: Silver Ridge Flats – Preliminary Subdivision, Site Plan, and Special Exception Review

886 E. 7800 S.
Community #6, High Point

SUB07112025-006998
SPR04072025-006948
SPX07012025-006991
RM(10) Zone
0.91 Acres, 9 units

Public Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, at public locations, and a sign posted on site.

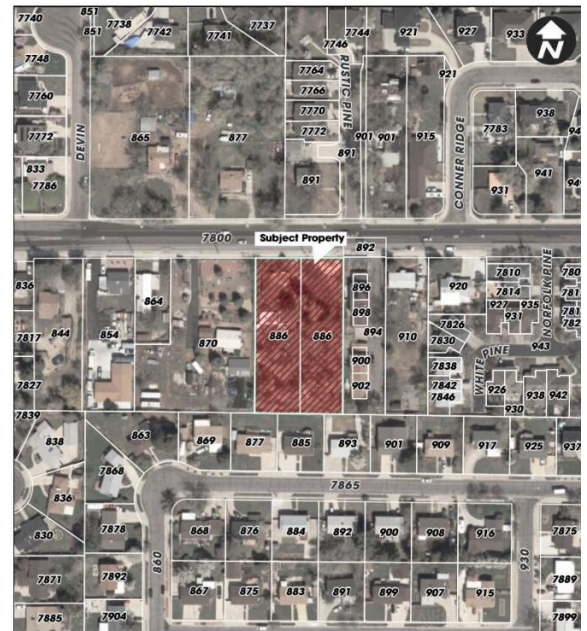
Request

The applicant, Andrew Gutierrez, is requesting a preliminary subdivision, site plan, and special exception review for a property located at 886 E. 7800 S. The proposal consists of consolidating two (2) existing properties and then subdividing them into nine (9) residential townhome units. Additionally, he is seeking site plan and special exception approval to only require a single point of ingress and egress onto 7800 S, a private road to access the proposed units, and a reduced right of way width and private street improvements. (See Exhibit A to review application materials).

Background

The subject properties consist of approximately 0.91 acres within the RM(10) Zone. The only existing development on the property is a single-family home that will be demolished as part of this project. The surrounding properties are zoned primarily R-1-8 and built out as single-family homes except for the property directly to the east which is multi-family. The residential area to the north is located within Midvale City.

This property was annexed into the city from unincorporated in April of 2024. In November of 2024, the property was rezoned from R-1-8 to RM 10.

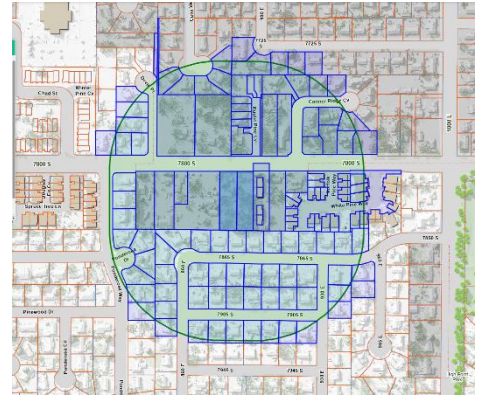


SUB07112025-006998
SPR04072025-006948
Silver Ridge Flats
886 E 7800 S
Community Development Department
Sandy City, UT

| Property Case History | |
|-----------------------|-----------------------------------------------------|
| Case Number | Case Summary |
| ANX01032024-006689 | Annexation from unincorporated, Approved April 2024 |
| REZ06212024-006789 | Rezone from R-1-8 to RM 10, Approved November 2024 |

Public Notice and Outreach

This item was noticed to all property owners within 500 feet of the proposal. A notice was posted on the Utah Public Notice website and the city website. A physical copy of the notice was posted at City Hall, and public notice signs were placed on the subject property.



Analysis

Site Plan

There are nine (9) proposed townhome units on site, which is the maximum number of units for this lot size permitted within the RM(10) zone. Street access for these units will be through a single ingress/egress from 7800 S. It is proposed that the newly constructed roads are private with a reciprocal access easement to the adjoining property to the west for future development. Public street improvements will consist of curb, gutter, and a new 8’ sidewalk along 7800 S. The parkstrip will consist of 2’ wide stamped concrete. There are multiple detention ponds on site to contain stormwater runoff. A private street is proposed to provide access to the townhomes. This street will be a temporary dead end, with a hammerhead that provides for future connection when/if the properties to the west redevelop.

The units are 1,196 sq/ft on average with a maximum of 1,376 sq/ft and a minimum of 1,059 sq/ft. Each unit includes additional limited common area at the rear which would allow for fencing and exclusive use of the area by the adjacent unit owner. There are a total of thirteen (13) garage parking stalls and fourteen (14) uncovered parking stalls, for a total of 27 parking stalls. This provides an average of 3 stalls per unit.



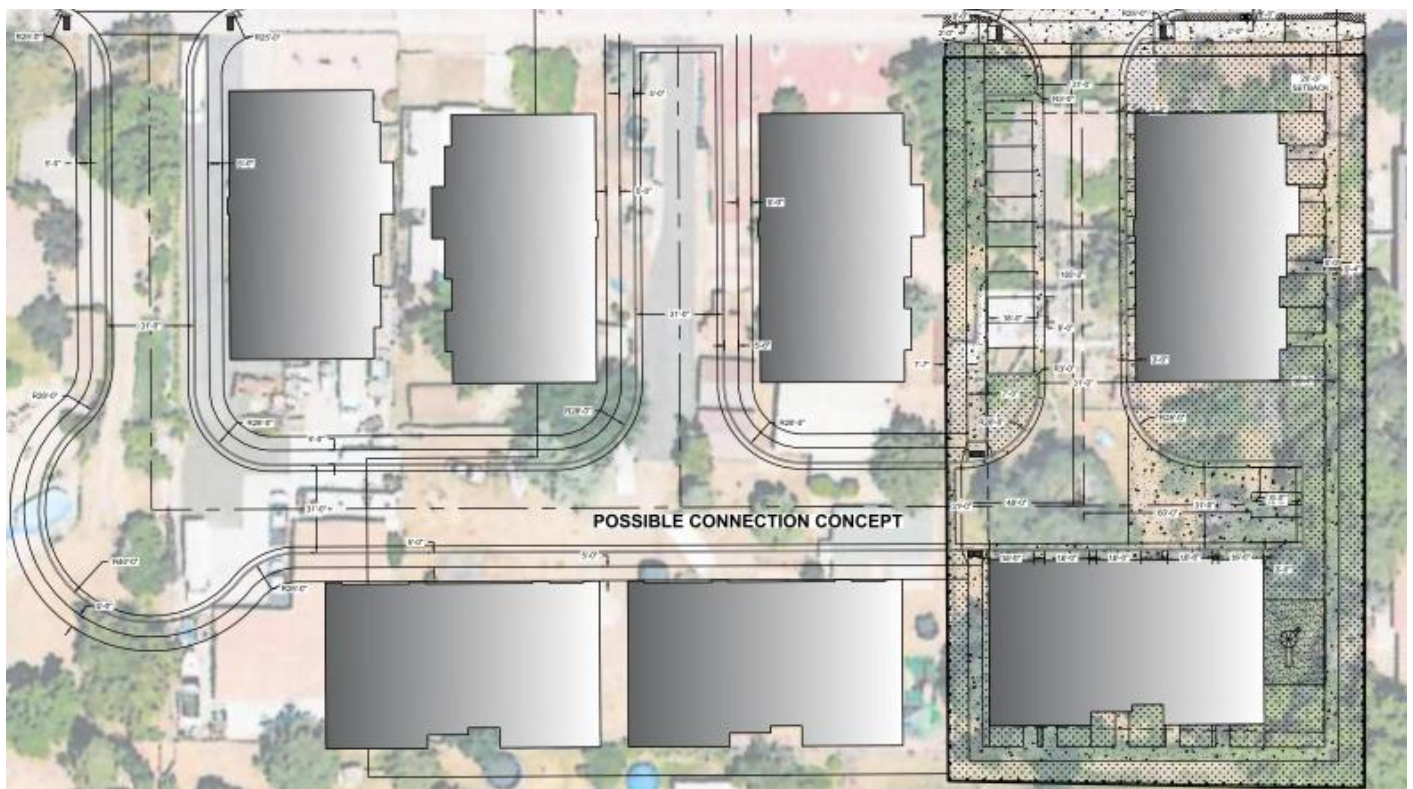
Each of the townhome units have access from the front and rear of the units with a sidewalk surrounding the perimeter of the property for pedestrian access. There will be a five (5) plex and a four (4) plex built on site. Each unit will be two-stories. The landscaping will be maintained by the owner and/or HOA. There is minimal sodded lawn provided adjacent to the playground structure. Most of the site landscaping consists of crushed rock and plantings.

Subdivision

The applicant is proposing to combine the existing two (2) parcels and then subdivide them into nine (9) townhome units, limited common and common areas. The plat will address the required public street dedication along 7800 South. The common area will consist of a private street, off street parking, sidewalks, and landscape areas that would be shared open space (not fenced). The limited common areas will be located at the front of the units for the driveway into each unit's garage, and a rear yard area that could be fenced. An extensible private street easement will be provided to enable future private roads to connect in the future for both pedestrian and vehicular ingress and egress.

Special Exception

This development, as referenced in the applicant's letter (See Exhibit B), due to the narrowness of the lot and the existing development and infrastructure is requesting a special exception to allow for a private street, one point of access, and reduce the right of way width and improvements on a private street. The access point onto 7800 S. is being designed to consist of 27' of asphalt, 2.5' feet of curb and gutter (on both sides), a single 5' sidewalk and no parkstrip. The private street would also have 90 degree parking stalls along the private street. The street consists of a hammerhead turn-around that is also stubbed to the western property line that would allow connection to future potential redevelopment to the west potentially creating an additional access point to 7800 South in the future.



Recommendation

Motion #1 Special Exceptions

Staff recommends that the Planning Commission approve the requested special exceptions described in the staff report for the Silver Ridge Flats Subdivision located at 886 E. 7800 S. based on upon the following findings:

Findings:

1. That the proposed configuration equitably balances the needs of the public and presents the most efficient use of the land.
2. That the requests meet the criteria of the code as shown in the analysis of the staff report.
3. The precedence of adjoining improvements would be continued and maintained.

Motion #2 Preliminary Site Plan Review

Staff recommends that the Planning Commission determine preliminary site plan review is complete for the proposed Silver Ridge Flats development located at 886 E. 7800 S. based on the following findings and subject to the following conditions:

Findings:

1. That the proposed lot configuration is an efficient use of the land.
2. The proposed configuration equitably balances the needs of the public
3. That the proposed unit count conforms to the requirements of the RM(10) zone.
4. That the various City Departments and Divisions have preliminarily approved the proposed site plan.
5. That the associated Preliminary Subdivision and Special Exception are congruent with the proposed site plan.

Conditions:

1. That street improvements be carried out according to Plan and Profiles approved by the Sandy City Engineer and specifically:
 - a. That 7800 South Street be further improved and dedicated to include a 41' half-width street to include a 10-foot-wide streetscape behind the curb and gutter (2' stamped concrete, 8' multi-use trail).
 - b. That the proposed 880 East private street be built
2. That the developer proceeds through the final site plan review process with staff prior to the start of any construction. The final site plan shall comply with all Development Code requirements and those modifications required or allowed by the Planning Commission.
3. That all City provisions, codes, and ordinances are adhered to during the review, construction, and operations process of this project.
4. That the residential lots comply with all requirements of the RM(10) zone.
5. That the development complies with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.

Motion #3 Preliminary Subdivision Review

Staff recommends that the Planning Commission determine that preliminary subdivision review is substantially complete for the Silver Ridge Flats Subdivision at 886 E. 7800 S. based on the following findings and subject to the following conditions:

Findings:

1. That the proposed lot configuration is an efficient use of the land.

2. The proposed configuration equitably balances the needs of the public
3. That the proposed unit count conforms to the requirements of the RM(10) zone.
4. That the various City Departments and Divisions have preliminarily approved the proposed subdivision plat.
5. That the associated Site Plan and Special Exception are congruent with the proposed subdivision.

Conditions:

1. That all necessary road dedications be carried out through the plat.
2. That a Homeowners Association for the subdivision be established. A set of CC&R's be recorded with the plat to regulate and ensure maintenance of all common areas. Said documents shall include language that requires use of garages be such that they be used to park vehicles at all times and that garages will not be used for any long-term storage. That the subdivision CC&R's include language that limits parking on all surface stalls to residents and their guests and that stalls shall not be used for any long-term parking of vehicles (more than 5 consecutive days).
3. That the applicant complies with each department's comments and redlines throughout the final review process and that all issues be resolved before the subdivision can be recorded.
4. All structures and improvements for individual homes are to be restricted to the platted pad site, including but not limited to pop-outs, chimneys, porches, patios, decks, stairways, etc., and may not be built in the common areas.
5. That all City provisions, codes, and ordinances are adhered to during the review, construction, and operations process of this project.
6. That the Special Exception application is approved to permit only one access point.
7. That a reciprocal extensible private cross access easement be provided to the surrounding properties to the west to allow for future pedestrian and vehicular access when/if they redevelop further to enable the future connectivity and secondary points of access in the future as shown in the Master Plan Road Stuf Exhibit.

Planner:



Cache Hancey
Senior Planner

File Name(s):

S:\Users\PLN\STAFFRPT\2026\SUB04112025-006998 Silver Ridge Flats Sub
S:\Users\PLN\STAFFRPT\2026\SPR04072025-006948 Silver Ridge Flats SP
S:\Users\PLN\STAFFRPT\2026\SPX07012025-006991 Silver Ridge Flats

Exhibit "A" – See the attached file for full information

SILVER RIDGE FLATS PUD
 LOCATED IN THE NORTHWEST 1/4 OF SECTION 22,
 TOWNSHIP 2 SOUTH RANGE 1 EAST,
 SALT LAKE COUNTY, UTAH

PLANNING COMMISSION
 APPROVED BY THE PLANNING COMMISSION ON _____ AT _____ O'CLOCK P.M. ON _____

SANDY CITY ENGINEER
 APPROVED BY SANDY CITY ENGINEER _____ AT _____ O'CLOCK P.M. ON _____

SANDY CITY PLUMBER
 APPROVED BY SANDY CITY PLUMBER _____ AT _____ O'CLOCK P.M. ON _____

SANDY CITY ELECTRICIAN
 APPROVED BY SANDY CITY ELECTRICIAN _____ AT _____ O'CLOCK P.M. ON _____

SANDY CITY MECHANICAL
 APPROVED BY SANDY CITY MECHANICAL _____ AT _____ O'CLOCK P.M. ON _____

SANDY CITY FIRE
 APPROVED BY SANDY CITY FIRE _____ AT _____ O'CLOCK P.M. ON _____

SANDY CITY HEALTH DEPARTMENT
 APPROVED BY SANDY CITY HEALTH DEPARTMENT _____ AT _____ O'CLOCK P.M. ON _____

SANDY CITY MAYOR
 APPROVED BY SANDY CITY MAYOR _____ AT _____ O'CLOCK P.M. ON _____

SANDY CITY RECORDER
 APPROVED BY SANDY CITY RECORDER _____ AT _____ O'CLOCK P.M. ON _____

PERMITS AND FEES

PLANNING COMMISSION _____

SANDY CITY ENGINEER _____

SANDY CITY PLUMBER _____

SANDY CITY ELECTRICIAN _____

SANDY CITY MECHANICAL _____

SANDY CITY FIRE _____

SANDY CITY HEALTH DEPARTMENT _____

SANDY CITY MAYOR _____

SANDY CITY RECORDER _____

RECORD OF SURVEY

PLANNING COMMISSION _____

SANDY CITY ENGINEER _____

SANDY CITY PLUMBER _____

SANDY CITY ELECTRICIAN _____

SANDY CITY MECHANICAL _____

SANDY CITY FIRE _____

SANDY CITY HEALTH DEPARTMENT _____

SANDY CITY MAYOR _____

SANDY CITY RECORDER _____

RECORD OF SURVEY

PLANNING COMMISSION _____

SANDY CITY ENGINEER _____

SANDY CITY PLUMBER _____

SANDY CITY ELECTRICIAN _____

SANDY CITY MECHANICAL _____

SANDY CITY FIRE _____

SANDY CITY HEALTH DEPARTMENT _____

SANDY CITY MAYOR _____

SANDY CITY RECORDER _____

Exhibit "B" – Special Exception Letter



[CONSULTING ENGINEERS AND SURVEYORS](http://www.gilsonengineering.com)
12401 South 450 East, Unit C2
(801) 571-9414
Fax: (801) 571-9449
www.gilsonengineering.com

September 23, 2025

Sandy City
Planning Commission
10000 S. Centennial Pkwy
Sandy, Utah 84070

Re: Request for Special Exceptions – 886 E 7800 S, Sandy, UT

Dear Planning Commission,

On behalf of Gilson Engineering, we respectfully submit this request for a Special Exception for the proposed low-density multifamily development located at 886 East 7800 South in Sandy, Utah. The proposed development consists of fewer than 30 units (10 townhomes) and has been designed to comply with applicable city engineering, fire, and planning standards, while also accommodating site-specific constraints.

We are requesting approval of three coordinated exceptions, all of which have been reviewed with appropriate city departments and are consistent with the intent of the Sandy City Municipal Code:

1. Hammerhead Turnaround in Lieu of Standard Cul-de-sac

Due to site limitations, we propose a hammerhead turnaround instead of a traditional cul-de-sac. This design:

- Has been reviewed and approved by the Sandy City Fire Marshal, with a certified AutoTURN exhibit confirming full maneuverability for emergency vehicles;
- Integrates efficiently into the site circulation, reducing impervious surfaces and enhancing overall layout functionality;
- Supports emergency access without compromising safety or service delivery.

This design complies with city code allowances for alternative turnaround configurations, meeting all functional and safety criteria.

2. Modified Right-of-Way Configuration

The site proposes a standard full-width right-of-way (curb, gutter, park strip, sidewalk) from 7800 South to the southern building. West of this point, a reduced right-of-way—with curb and gutter only—is proposed to accommodate emergency and service vehicles, consistent with engineering and fire standards.

This narrower section:

- Serves as a future connection point aligned with the long-range circulation plan;
- Functions primarily as low-volume vehicular and emergency access, with minimal pedestrian activity;
- Preserves full pedestrian infrastructure where most needed, ensuring safety and stormwater management near occupied buildings.

Exhibit "B" – Special Exception Letter Continued

This layout balances current site constraints with future connectivity goals and is in keeping with city design standards.

3. Single Point of Ingress/Egress

The proposed development includes a single access point from 7800 South. While dual access is typically required for multifamily projects, the site is physically constrained by existing development and limited right-of-way, rendering a secondary access infeasible.

To mitigate this, we have incorporated the approved hammerhead turnaround and will install NFPA-compliant fire sprinkler systems in all residential units. The single access road is designed to meet Sandy City standards for geometry, width, and structural section, and supports safe movement of passenger, emergency, and service vehicles.

Additionally, the hammerhead has been positioned as a future extension point to align with long-term city planning efforts.

Summary of Compliance and Justification

We believe this Special Exception request aligns with the intent of Sandy City's standards and meets all applicable criteria:

- Maintains public health, safety, and welfare, including emergency response access and fire protection;
- Ensures adequate utility and service infrastructure, with full improvements at key circulation points;
- Provides flexibility to accommodate site constraints while preserving long-term planning objectives;
- Reduces unnecessary impervious surface, promoting more efficient land use and site circulation;
- Supports the surrounding land use character and broader planning intent of the area.

Attached with this request are:

- Site Plan showing the proposed turnaround and right-of-way layout;
- AutoTURN Exhibit approved by the Sandy City Fire Marshal.

We respectfully request the Planning Commission's favorable consideration and approval of this Special Exception. Thank you for your time and attention to this matter. Please feel free to contact us with any questions or to discuss further details.

Sincerely,



Brad Gilson



GUTIERREZ PROPERTY

LOCATION: SANDY, UTAH 84047



VICINITY MAP

OWNER: GUTIERREZ
 8908 S RIVER FRONT PKWY
 SUITE 486
 SOUTH JORDAN, UT 84095
 PHO: 385-443-1500
 EMAIL: utahrcoman@gmail.com

ENGINEER: GISELSON ENGINEERING
 12401 SOUTH 450 EAST, UNIT C-2
 DRAPER, UTAH 84020
 CONTACT: BRANDON PREECE
 PHONE: 385-443-1500
 EMAIL: brandon@giseelsonengineering.com

SURVEY: GISELSON ENGINEERING
 12401 SOUTH 450 EAST, UNIT C-2
 DRAPER, UTAH 84020
 CONTACT: JOSH MADSEN
 PHONE: 801-571-3414
 EMAIL: josh@giseelsonengineering.com

| SHEET NO. | NAME |
|-----------|-----------------------------------------|
| | COVER SHEET |
| | RECORD OF SURVEY |
| | PLAT |
| G-101 | GENERAL NOTES |
| C-100 | EXISTING SITE & DEMOLITION PLAN |
| C-101 | EXISTING SITE & DEMOLITION PLAN |
| C-102 | OVERALL SITE |
| C-103 | PROPOSED SITE & HORIZONTAL CONTROL PLAN |
| C-104 | PROPOSED SITE & HORIZONTAL CONTROL PLAN |
| C-201 | UTILITY PLAN |
| C-202 | UTILITY PLAN |
| C-301 | GRADING & DRAINAGE PLAN |
| C-302 | GRADING & DRAINAGE PLAN |
| C-401 | ROADWAY PROFILE |
| C-402 | HAMMERHEAD SECTION PROFILE |
| C-501 | DETAILS |
| C-502 | DETAILS |
| C-503 | DETAILS |
| C-504 | DETAILS |
| C-505 | DETAILS |
| C-601 | FUTURE CONNECTIVITY PLAN |
| C-602 | POST CONSTRUCTION STORMWATER |
| C-603 | FIRE TRUCK/AUTO TURN EXHIBIT |
| ER-101 | EROSION CONTROL PLAN |
| ER-102 | EROSION CONTROL DETAILS |
| 4-1 | 4-FLEX 3D VIEWS |
| 4-2 | 4-FLEX FLOOR PLANS - FIRST FLOOR |
| 4-3 | 4-FLEX ROOF PLAN |
| 4-4 | 4-FLEX ELEVATIONS |
| 5-1 | PERSPECTIVE VIEWS - 5-FLEX |
| 5-2 | 5-FLEX LEVEL 1 FLOOR PLAN |
| 5-3 | ROOF PLAN |
| 5-4 | 5-FLEX ELEVATIONS |
| LP-100 | LANDSCAPING OVERALL PLAN |
| LP-101 | LANDSCAPING COVER |
| IR-501 | IRRIGATION DETAILS |
| IR-502 | IRRIGATION COVER |
| IR-503 | IRRIGATION DETAILS |
| IR-504 | IRRIGATION DETAILS |
| ES001 | PHOTOMETRIC SITE PLAN |
| ES002 | PHOTOMETRIC DETAIL |

LEGAL DESCRIPTION
 PER ENTRY #14220603, BOOK 11771 PAGE 9485-9486, RECORDED 2/15/2024
 COMMENCING 889.5 FEET WEST OF THE NORTH-EAST CORNER OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE COUNTY, UTAH, AND RUNNING THENCE WEST 73 FEET; THENCE SOUTH 18 RODS; THENCE EAST 73 FEET; THENCE NORTH 18 RODS TO THE PLACE OF BEGINNING.

ALSO:
 COMMENCING 961.50 FEET WEST OF THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE COUNTY, UTAH, AND RUNNING THENCE WEST 73 FEET; THENCE SOUTH 18 RODS; THENCE EAST 78 FEET; THENCE NORTH 18 RODS TO THE PLACE OF BEGINNING.

LESS & EXCEPTING:
 THE INTEREST OF THE WIDENING OF 7800 SOUTH STREET, BEING PART OF A VENTURE TRACT OF PROPERTY SITUATE IN THE NE1/4 NW1/4 OF SECTION 32, T.2S., R.1E., S.L.B.M., THE BOUNDARIES OF SAID PARCEL OF LAND ARE DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHEAST CORNER OF SAID ENTIRE TRACT, WHICH POINT IS WEST 961.50 FEET (MEASURED 861.73 FEET) ALONG THE SECTION LINE FROM THE NORTH QUARTER CORNER OF SAID SECTION 32; THENCE WEST 73 FEET ALONG THE SECTION LINE; THENCE NORTH 18 RODS TO THE WESTERLY BOUNDARY LINE OF SAID ENTIRE TRACT; THENCE SOUTH 34.50 FEET ALONG THE WESTERLY BOUNDARY LINE OF SAID ENTIRE TRACT; THENCE EAST 78.00 FEET ALONG THE WESTERLY BOUNDARY LINE OF SAID ENTIRE TRACT; THENCE NORTH 34.5 FEET ALONG THE EASTERLY BOUNDARY LINE OF SAID ENTIRE TRACT TO THE POINT OF BEGINNING.
 THE ABOVE BEARINGS 0°19'25" COUNTERCLOCKWISE TO EQUAL HIGHWAY BEARINGS.)

ALSO LESS & EXCEPTING FOR THE WIDENING OF 7800 SOUTH STREET, BEING PART OF A VENTURE TRACT OF PROPERTY SITUATE IN THE NE1/4 NW1/4 OF SECTION 32, T.2S., R.1E., S.L.B.M., THE BOUNDARIES OF SAID PARCEL OF LAND ARE DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHEAST CORNER OF SAID ENTIRE TRACT, WHICH POINT IS WEST 889.5 FEET (MEASURED 888.73 FEET) ALONG THE SECTION LINE FROM THE NORTH QUARTER CORNER OF SAID SECTION 32; THENCE WEST 73 FEET ALONG THE SECTION LINE; THENCE NORTH 18 RODS TO THE CORNER OF SAID ENTIRE TRACT; THENCE SOUTH 34.50 FEET PERPENDICULARLY DISTANT SOUTHERLY FROM THE CENTERLINE OF SAID STREET, NORTH OPPOSITE ENGINEERS STATION 34+53.15; THENCE EAST 73.00 FEET; THENCE TO THE POINT OF BEGINNING. WESTERN BOUNDARY LINE OF SAID ENTIRE TRACT TO THE POINT OF BEGINNING.
 (NOTE: ROTATE ABOVE BEARINGS 0°19'25" COUNTERCLOCKWISE TO EQUAL HIGHWAY BEARINGS.)

REFERENCES
 1. PLAT BOOK 13 PAGE 10 AT THE OFFICE OF THE RECORDER OF SALT LAKE COUNTY, UTAH
 2. COTTONWOOD ARMS CONDOMINIUM, RECORDED MAY 13, 1981, AS ENTRY NO. 200743, BOOK 13 PAGE 98 AT THE OFFICE OF THE RECORDER OF SALT LAKE COUNTY, UTAH
 3. SALT LAKE COUNTY SURVEYOR FILE # S88-01-0011

SITE NOTES:
 0.941 ACRES
 RM10 RESIDENTIAL MULTI-FAMILY
 ADJACENT ZONING
 RIGHT OF WAY - 7800 SOUTH ROAD - NORTH UNINCORPORATED SL COUNTY A-1-WEST UNINCORPORATED SL COUNTY A-1-EAST

DISCLAIMER NOTE
 ALL CITY LOCATIONS SHOWN HEREON ARE APPROXIMATE TO THE BEST OF OUR KNOWLEDGE AND BELIEF. WE DO NOT WARRANT THE EXACT BOUNDARIES AND VERTICAL DIMENSIONS OF ANY PROPERTY SHOWN HEREON. THIS PLAN IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION OR ANY OTHER PURPOSE WITHOUT THE EXPRESSED WRITTEN CONSENT OF GISELSON ENGINEERING. WE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

CALL BEFORE YOU DIG
 IT'S THE LAW
 1-800-662-4111
 208-2110

GISELSON ENGINEERING
 Consulting Engineers & Surveyors
 12401 SOUTH 450 EAST, UNIT C-2, DRAPER, UT 84020
 (801) 571-3414 FAX (801) 571-3418

BRANDON PREECE
 Professional Engineer
 No. 1618
 State of Utah

JOSH MADSEN
 Professional Surveyor
 No. 1618
 State of Utah

SCALE BAR: 1" = 40' (FOR PLAN)

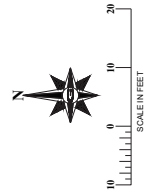
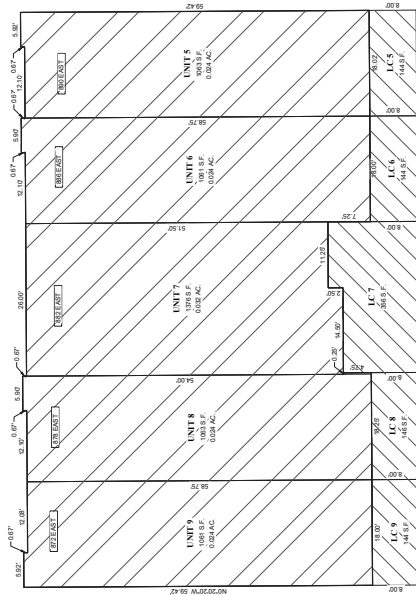
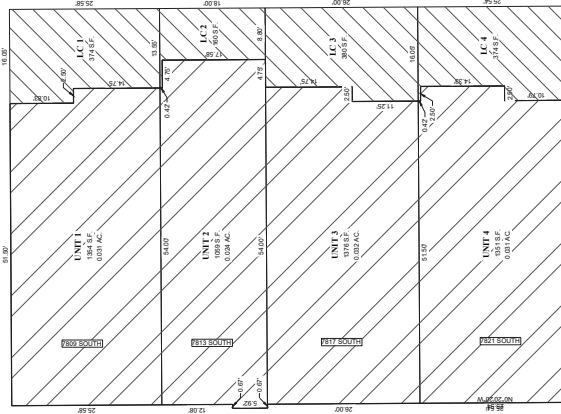
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COVER
 GUTIERREZ PROPERTY
 898 EAST 7800 SOUTH
 SANDY, UTAH

COVER
 PROJECT # 100.021.25
 DRAWING #



SILVER RIDGE FLATS PUD
 LOCATED IN THE NORTHWEST 1/4 OF SECTION 32,
 TOWNSHIP 2 SOUTH, RANGE 1 EAST,
 SALT LAKE COUNTY, UTAH
 AS SHOWN ON THE PLAT
 886 EAST 7800 SOUTH
 SALT LAKE COUNTY, UTAH



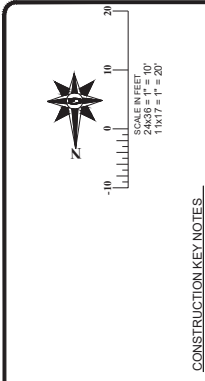


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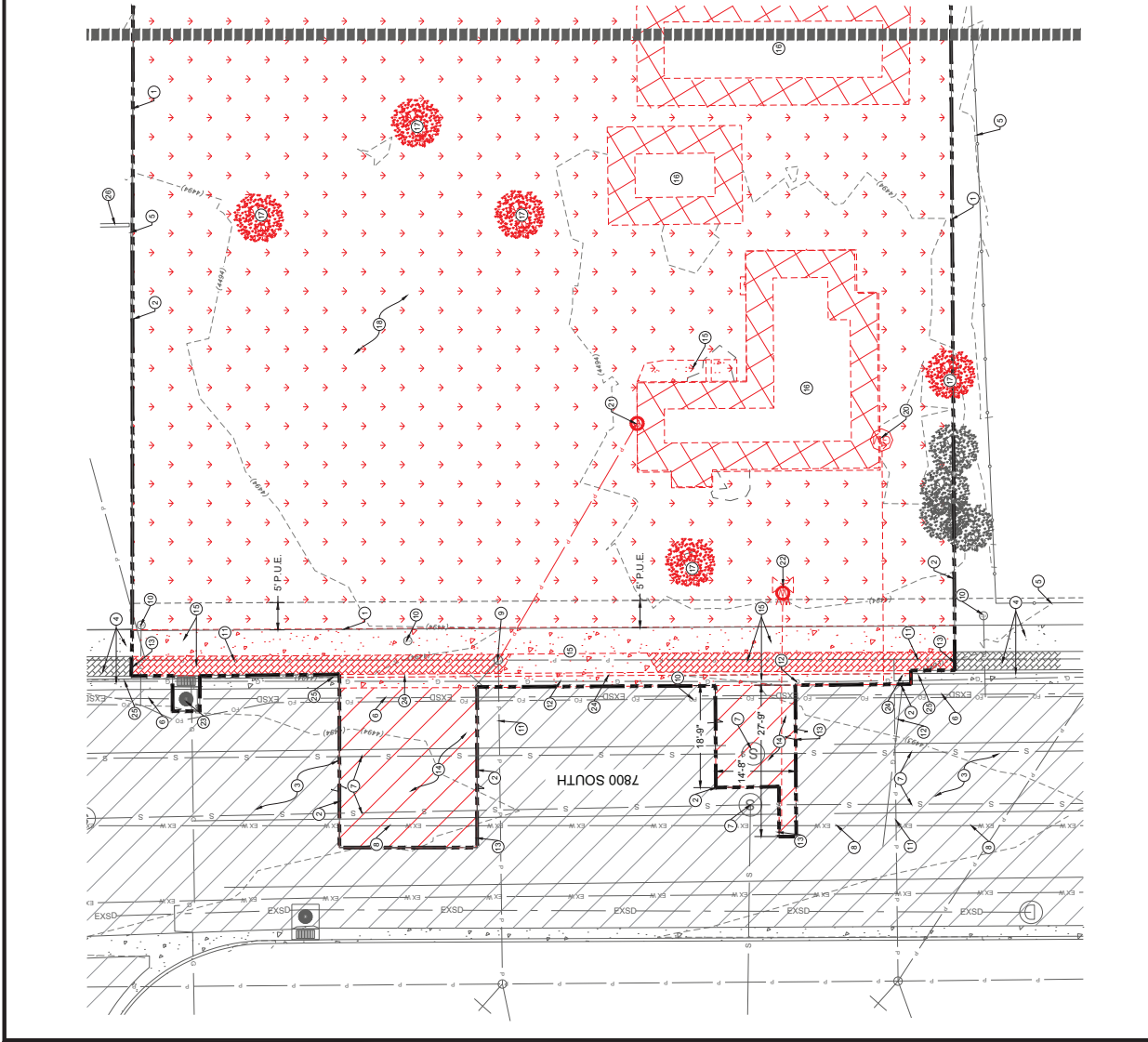
EXISTING / DEMOLITION PLAN
GUTIERREZ PROPERTY
 886 EAST 7800 SOUTH
 SANDY, UTAH

PROJECT: 100.021.25
 C.100



- CONSTRUCTION KEY NOTES**
- 1 EXISTING PROPERTY LINE
 - 2 LIMITS OF DISTURBANCE
 - 3 PROTECT IN PLACE EXISTING ASPHALT
 - 4 PROTECT IN PLACE EXISTING CONCRETE
 - 5 PROTECT IN PLACE EXISTING FENCE
 - 6 PROTECT IN PLACE EXISTING 24\"/>

- LEGEND**
- DEMO EXISTING ASPHALT
 - DEMO EXISTING CONCRETE
 - DEMO EXISTING STAMPED CONCRETE
 - CLEAR AND GRUB
 - EXISTING ASPHALT
 - EXISTING CONCRETE
 - EXISTING STAMPED CONCRETE
 - DEMO EXISTING BUILDINGS
 - LIMITS OF DISTURBANCE
 - SAW CUT



DISCLAIMER NOTE
 UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE TO THE BEST OF OUR KNOWLEDGE AND BELIEF. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR DEMOLITION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES NOT SHOWN IN THESE PLANS.

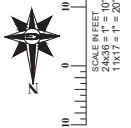


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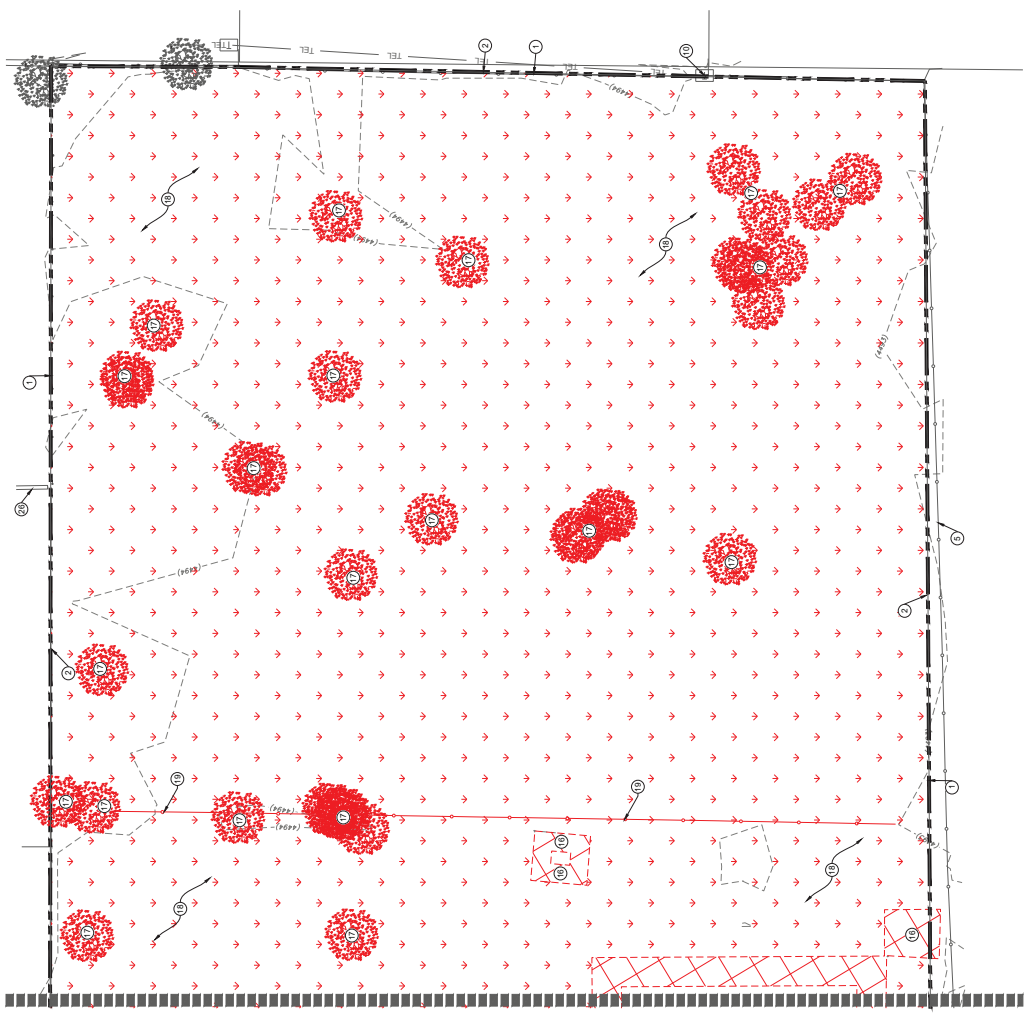
886 EAST 7800 SOUTH
SANDY, UTAH
GUTIERREZ PROPERTY
EXISTING / DEMOLITION PLAN

PROJECT # 100.021.25
C.101



- CONSTRUCTION KEY NOTES**
- 1 EXISTING PROPERTY LINE
 - 2 LIMITS OF DISTURBANCE
 - 3 PROTECT IN PLACE EXISTING ASPHALT
 - 4 PROTECT IN PLACE EXISTING CONCRETE
 - 5 PROTECT IN PLACE EXISTING FENCE
 - 6 PROTECT IN PLACE EXISTING 24" RCP STORM DRAIN
 - 7 PROTECT IN PLACE EXISTING WATER LINE
 - 8 PROTECT IN PLACE EXISTING SEWER LINE
 - 9 PROTECT IN PLACE EXISTING LIGHT POLE
 - 10 PROTECT IN PLACE EXISTING FIBER OPTIC
 - 11 PROTECT IN PLACE EXISTING POWER LINE
 - 12 PROTECT IN PLACE EXISTING GAS LINE
 - 13 SAW CUT EXISTING ASPHALT TO PROVIDE A SMOOTH CLEAN EDGE
 - 14 REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT
 - 15 REMOVE AND PROPERLY DISPOSE OF EXISTING CONCRETE
 - 16 REMOVE AND PROPERLY DISPOSE OF EXISTING BUILDINGS
 - 17 REMOVE AND PROPERLY DISPOSE OF EXISTING TREES
 - 18 CLEAR AND GRUB
 - 19 REMOVE AND PROPERLY DISPOSE OF EXISTING CHAIN LINK FENCE
 - 20 REMOVE AND PROPERLY DISPOSE OF EXISTING GAS METER
 - 21 RELOCATE EXISTING POWER METER
 - 22 REMOVE AND PROPERLY CAP AT MAIN SALVAGE EXISTING 3/4" METER TO RETURN TO CITY.
 - 23 PROTECT IN PLACE EXISTING STORM DRAIN STRUCTURE.
 - 24 REMOVE AND PROPERLY DISPOSE OF EXISTING CURB AND GUTTER.
 - 25 PROTECT IN PLACE EXISTING CURB AND GUTTER.
 - 26 PROTECT IN PLACE EXISTING WALL.

- LEGEND**
- DEMO EXISTING ASPHALT
 - DEMO EXISTING CONCRETE
 - DEMO EXISTING STAMPED CONCRETE
 - CLEAR AND GRUB
 - EXISTING ASPHALT
 - EXISTING CONCRETE
 - EXISTING STAMPED CONCRETE
 - DEMO EXISTING BUILDINGS
 - LIMITS OF DISTURBANCE
 - SAW CUT



MATCH LINE SHEET C.101

DISCLAIMER NOTE
UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE TO THE BEST OF OUR KNOWLEDGE AND BELIEF. THE CONTRACTOR SHALL VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES NOT SHOWN AT THEIR PROPER LOCATION.

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IT'S THE LAW**
1-800-662-4111
208-2100

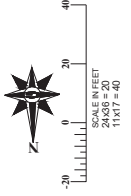


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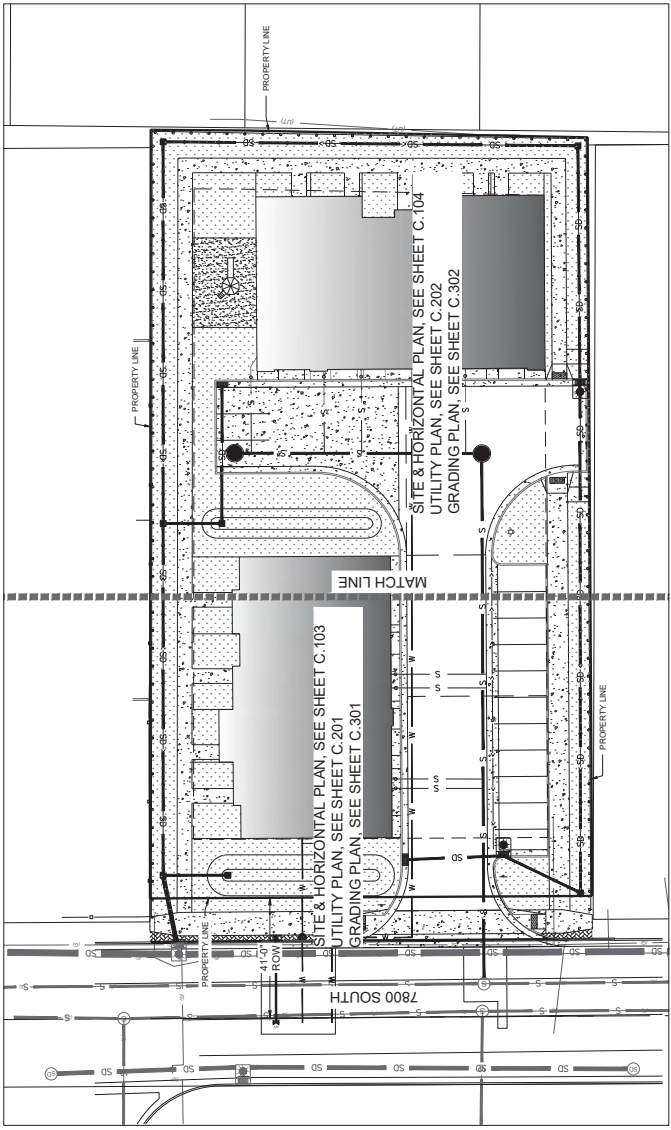
SCALE READERS: ON FINAL SHEET
ALWAYS CHECK FOR SCALE SHEET

OVERALL SITE PLAN
GUTIERREZ PROPERTY
 886 EAST 7800 SOUTH
 SANDY, UTAH

C.102



| SITE DATA | |
|-----------------------|----------------|
| PARCEL SIZE (SQFT) | 39,028.14 SQFT |
| BUILDING AREA (SQFT) | 10,845.85 SQFT |
| LANDSCAPE AREA (SQFT) | 10,012.09 SQFT |
| IMPERVIOUS (SQFT) | 18,170.20 SQFT |



DISCLAIMER NOTE
 UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE. THE EXACT HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES SHALL BE DETERMINED BY THE ENGINEER OR SURVEYOR. THE ENGINEER OR SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF UTILITIES PRIOR TO CONSTRUCTION. THE ENGINEER OR SURVEYOR SHALL NOT BE RESPONSIBLE FOR THE LOCATION OF UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

CALL BEFORE YOU DIG
 IT'S THE LAW
 1-800-662-4111
 208-2110

CONSTRUCTION KEY NOTES

- PROPERTY LINE
- INSTALL CONCRETE DRIVE APPROACH PER SANDY CITY STANDARD DETAIL SW-03 ON SHEET C.501
- INSTALL 30" STANDARD CURB & GUTTER PER SANDY CITY STANDARD DETAIL SW-03 ON SHEET C.501
- INSTALL 2" CONCRETE STAMP IN KIND PER SANDY CITY, SW-03 ON SHEET C.501
- DETENTION POOL AREA SEE GRADING PLAN FOR DETAILS.
- CONNECT TO EXISTING CURB & GUTTER DIMENSIONS
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS
- CONNECT NEW SIDEWALK INTO EXISTING LANDSCAPE AREA REFER TO LANDSCAPE PLANS BY OTHERS
- INSTALL ASPHALT PAVEMENT PER DETAIL 'A' ON SHEET C.501.
- 4" WHITE PAINT PARKING STRIPING PER LATEST VERSION OF MUTCD TYP.
- 20'x60" CLEAR-VIEW SIGHT TRIANGLE. NO OBSTACLES ALLOWED WITHIN THE TRIANGLE. MEASUREMENTS FROM TOP BACK OF CURB ARE ALLOWED WITHIN THE TRIANGLE.
- INSTALL 30" MODIFIED CURB & GUTTER PER SANDY CITY STANDARD DETAIL CC-01 ON SHEET C.501
- INSTALL 6" CONCRETE CURB WALL PER SANDY CITY DETAIL CC-01.
- CONSTRUCT DRAINAGE SWALE RIP RAP NOT REQUIRED SEE DETAIL 6/A-C.501
- INSTALL 4" CONCRETE WATERWAY PER STANDARD DETAIL CC-03 SEE SHEET C.504
- INSTALL 6" RIB TRAP PER SANDY CITY STANDARD PLAN SW-04 SEE SHEET C.504
- INSTALL R8-31 "NO PARKING FIRE LANE" SIGN PER LATEST VERSION OF MUTCD
- INSTALL 6-FOOT CONCRETE BLOCK FENCE. SEE DETAIL A ON SHEET C.504
- INSTALL VEHICULAR CONCRETE ON PRIVATE ROAD PER DETAIL 'A' SEE SHEET C.505.
- TRANSITION TO 6" STANDARD CURB
- INSTALL ADA RAMP & DETECTABLE WARNING SURFACE PER SANDY CITY STANDARD DETAIL SW-01 SHEET C.501.
- INSTALL R1-1 "STOP" SIGN PER LATEST VERSION OF MUTCD. SEE SHEET C.505 FOR DETAIL
- INSTALL R2-1 "SPEED LIMIT 15" SIGN PER LATEST VERSION OF MUTCD. SEE SHEET C.505 FOR DETAIL
- INSTALL 6" VINYL FENCE

SANDY CITY STREELIGHT NOTES

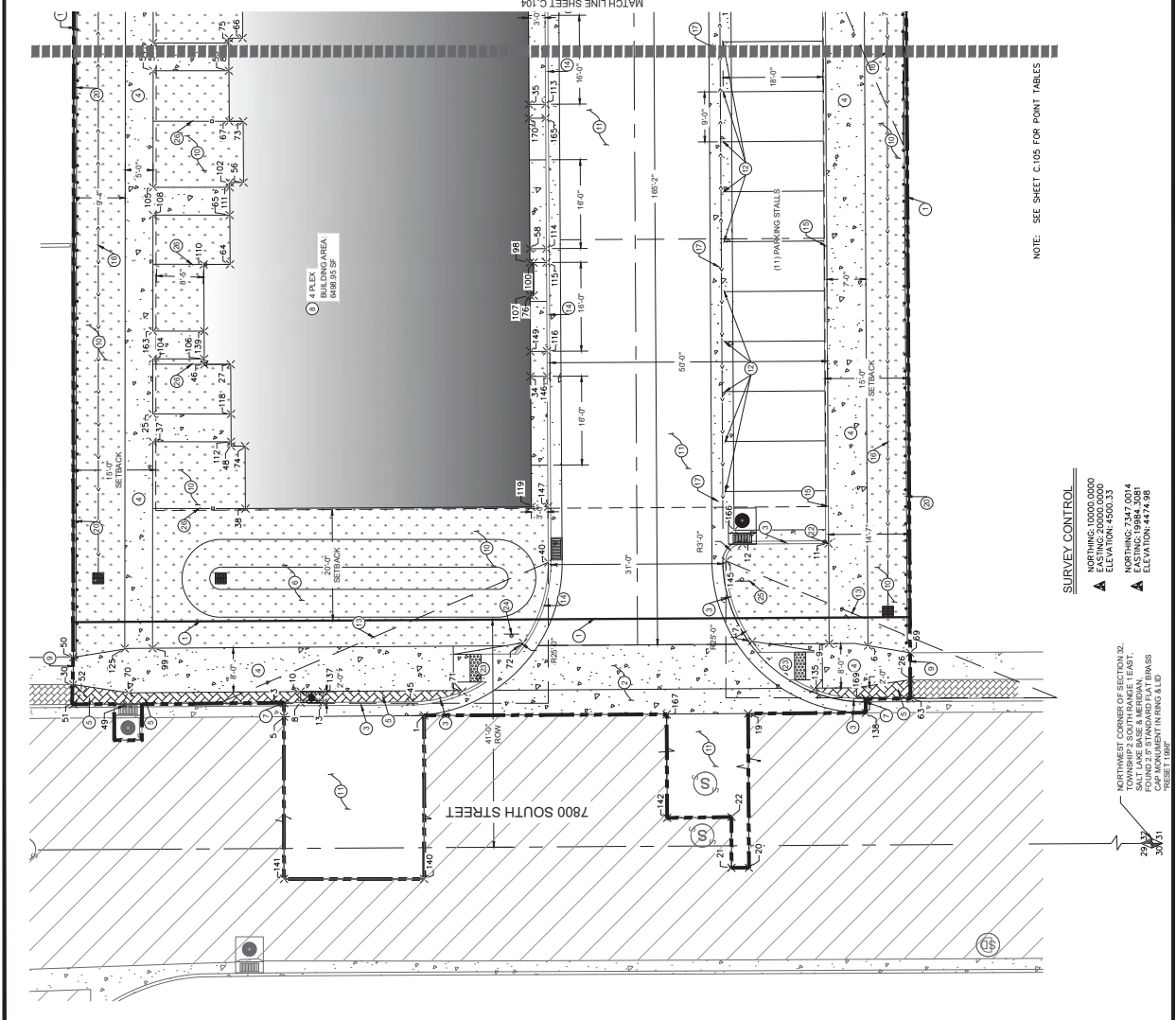
- NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR 24 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- MINIMUM OF 15-FOOT CLEARANCE FROM THE LIGHT FIXTURE TO THE POWER EACH SIDE OF PREP FOR CONDUIT AND WIRES TO THE POWER.
- A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE ATTENDED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT TO REVIEW SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT.
- SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW INSTALLATIONS SHALL BE LOCATED AS INDICATED ON THE MAP. APPROVAL MUST BE OBTAINED FROM SANDY CITY PUBLIC UTILITIES INSPECTOR. PROPOSED STALLS BE INSTALLED IN A MANNER THAT WILL NOT HINDER THE OPERATION OF FIRE HYDRANTS, UNDERGROUND WATER SYSTEM ISOLATION VALVES, AND OTHER INSTALLATIONS WITHIN CLOSE PROXIMITY TO TREES SHALL BE APPROVED BY SANDY CITY PUBLIC UTILITIES INSPECTOR. OVERHEAD POWER LINES FOR STREELIGHTS ARE NOT ALLOWED

LEGEND

- PROPOSED CONCRETE
- PROPOSED BUILDINGS
- PROPOSED LANDSCAPE
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING STAMPED CONCRETE
- LIMITS OF DISTURBANCE
- PROPERTY LINE

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE TO THE BEST OF OUR KNOWLEDGE AND BELIEF. THE ENGINEER HAS CONDUCTED VISUAL SURVEYS AND HAS REVIEWED RECORD DRAWINGS AND FIELD NOTES TO THE EXTENT POSSIBLE. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE UTILITY LOCATIONS SHOWN HEREON. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF UTILITIES AT THE PROJECT LOCATION.



NOTE: SEE SHEET C.105 FOR POINT TABLES

SURVEY CONTROL

- ▲ NORTHING: 1000.0000
- ▲ EASTING: 2000.0000
- ▲ NORTHING: 4500.33
- ▲ EASTING: 4500.33
- ▲ NORTHING: 7347.0014
- ▲ EASTING: 19984.0981
- ▲ ELEVATION: 4474.95

UTAH STATE PLANNING COMMISSION
 TOWNSHIP 3 SOUTH RANGE 1 EAST
 SALT LAKE BASE & MERIDIAN
 CAP MONUMENT IN RING & L.D.
 RESET 11987

29/27
 3/1/21



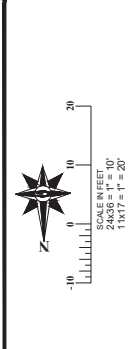
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SITE & HORIZONTAL CONTROL PLAN
 GUTIERREZ PROPERTY
 898 EAST 7900 SOUTH
 SANDY, UTAH

PROJECT # 100.021.25
 C.104



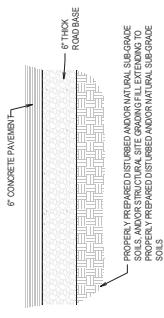
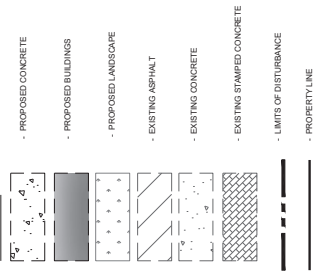
CONSTRUCTION KEY NOTES

- PROPERTY LINE
- INSTALL CONCRETE DRIVE APPROACH PER SANDY CITY STANDARD DETAIL DA-03 ON SHEET C-501
- INSTALL 30" STANDARD CURB & GUTTER PER SANDY CITY STANDARD DETAIL CG-01 ON SHEET C-501
- INSTALL SIDEWALK PER SANDY CITY STANDARD DETAIL SW-03 ON SHEET C-501
- INSTALL 2" CONCRETE STAMP IN KIND PER SANDY CITY DETENTION POND AREA SEE GRADING PLAN FOR DETAILS.
- CONNECT TO EXISTING CURB & GUTTER
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS
- CONNECT NEW SIDEWALK INTO EXISTING LANDSCAPE AREA REFER TO LANDSCAPE PLANS BY OTHERS
- INSTALL ASPHALT PAVEMENT PER DETAIL 'A' ON SHEET C-501.
- 4" WHITE PAINT PARKING STRIPING PER LATEST VERSION OF M.U.T.C.D. TYP.
- 20'x60' CLEAR-VIEW SIGHT TRIANGLE, NO OBSTACLES (INCLUDING VEGETATION) OVER THREE FEET HIGH, AS MEASURED FROM THE BACK OF CURB, ARE ALLOWED WITHIN THE TRIANGLE.
- INSTALL 30" MODIFIED CURB & GUTTER PER SANDY CITY STANDARD DETAIL CG-01 ON SHEET C-501
- INSTALL 6" CONCRETE CURB WALL PER SANDY CITY DETAIL CG-01
- CONSTRUCT DRAINAGE SMALL RIP RAP NOT REQUIRED SEE DETAIL B/C.501
- INSTALL 4" CONCRETE WATERWAY PER STANDARD DETAIL CG-03 SEE SHEET C-504
- INSTALL STREET LIGHT PER SANDY CITY STANDARD PLAN SL-04 SEE SHEET C-503
- INSTALL RB-21 "NO PARKING FIRE LANE" SIGN PER LATEST VERSION OF M.U.T.C.D.
- INSTALL 6'-FOOT CONCRETE BLOCK FENCE, SEE DETAIL 'A' ON SHEET C-504 FOR CONCRETE ON PRIVATE ROAD PER DETAIL 'A' SEE SHEET C-504
- TRANSITION TO 6" STANDARD CURB
- INSTALL ADA RAMP & DETECTABLE WARNING SURFACE PER SANDY CITY STANDARD DETAIL SW-07 SEE SHEET C-501.
- NOT TO SCALE SEE SHEET C-501 FOR LATEST VERSION OF M.U.T.C.D.
- INSTALL 2" x 2" x 1/4" SLOTTED STEEL LATEST VERSION OF M.U.T.C.D. SEE SHEET C-504 FOR DETAIL.
- INSTALL 6" VINYL FENCE

SANDY CITY STREETLIGHT NOTES

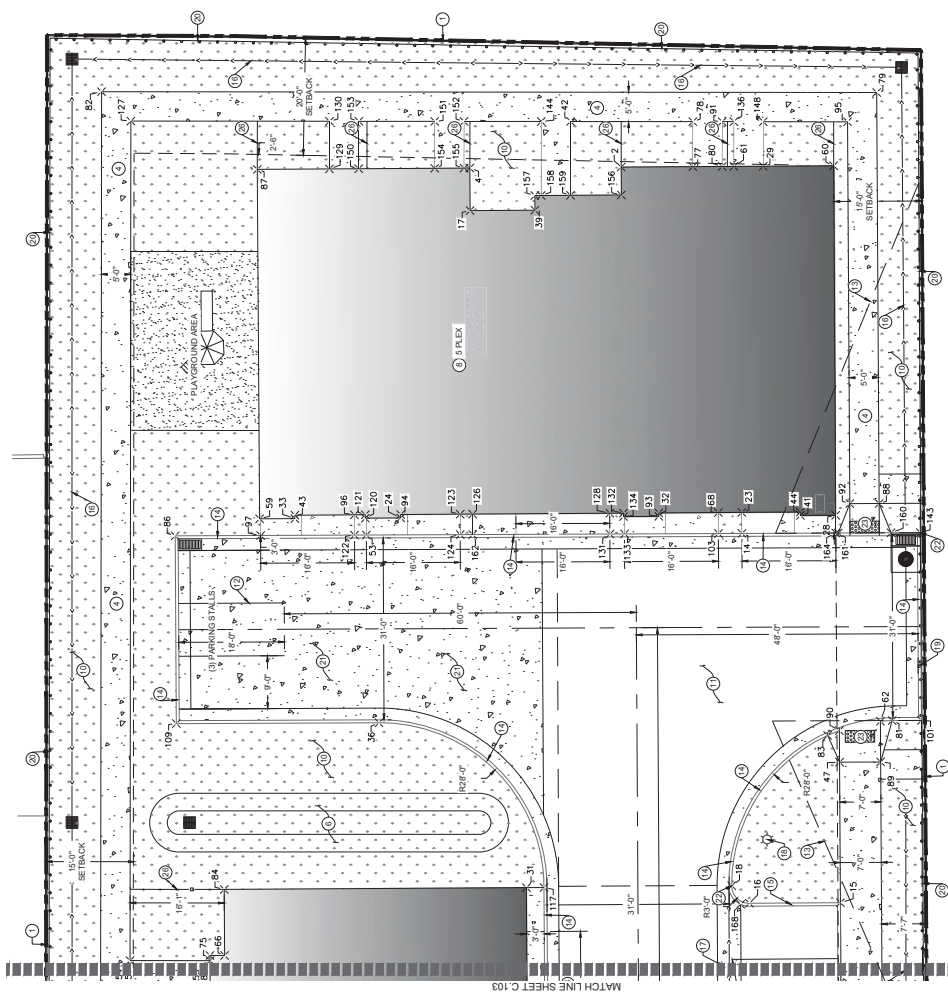
- NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR PRIOR TO BEGINNING CONSTRUCTION BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
- MINIMUM OF 15-FOOT WIRE STRENGTH FORECAST (1/4-4 FEET EACH SIDE OF PIPE) FOR CONDUIT AND WIRES TO THE POWER A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
- ALL OF SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS SHALL BE REFERRED TO FOR THE DEVELOPMENT AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT.
- SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
- SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- INSTALLATIONS SHALL BE LOCATED AS INDICATED ON THE PLANS UNLESS APPROVED BY THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
- WILL NOT HINDER THE OPERATION OF FIRE HYDRANTS, UNDERGROUND WATER SYSTEM ISOLATION VALVES, AND OTHER INSTALLATIONS WITHIN CLOSE PROXIMITY TO TREES SHALL BE APPROVED BY SANDY CITY PUBLIC UTILITIES INSPECTOR.
- OVERHEAD POWER LINES FOR STREETLIGHTS ARE NOT ALLOWED.

LEGEND



VEHICULAR CONCRETE

DISCLAIMER NOTE
 UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE TO THE BEST OF OUR KNOWLEDGE AND BELIEF. THE CLIENT SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL UTILITIES SHOWN ON THIS PLAN. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY UTILITIES NOT SHOWN AT THEIR PROPER LOCATION.



NOTE: SEE SHEET C.105 FOR POINT TABLES



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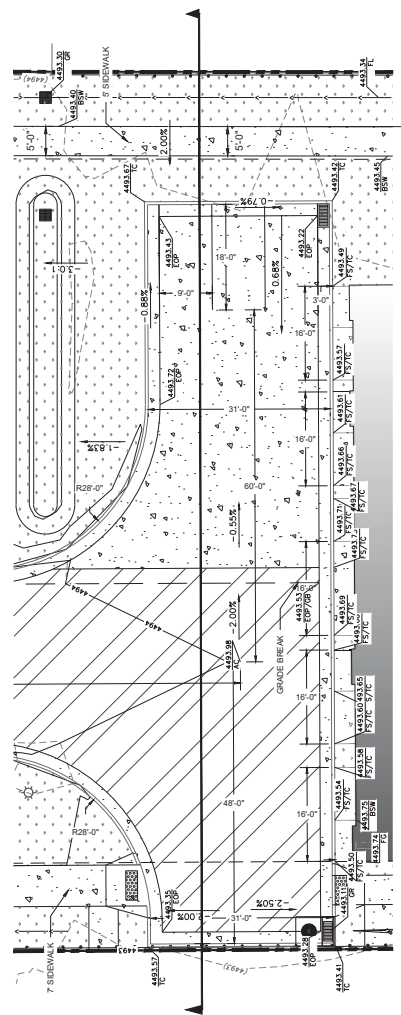
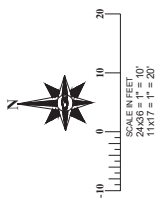
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| DATE | MAY 2024 |
| PROJECT NAME | HAMMERHEAD SECTION |
| PROJECT NUMBER | |
| DESIGNED BY | |
| CHECKED BY | |
| APPROVED BY | |

HAMMERHEAD SECTION PROFILE
 GUTIERREZ PROPERTY
 886 EAST 7800 SOUTH
 SANDY, UTAH

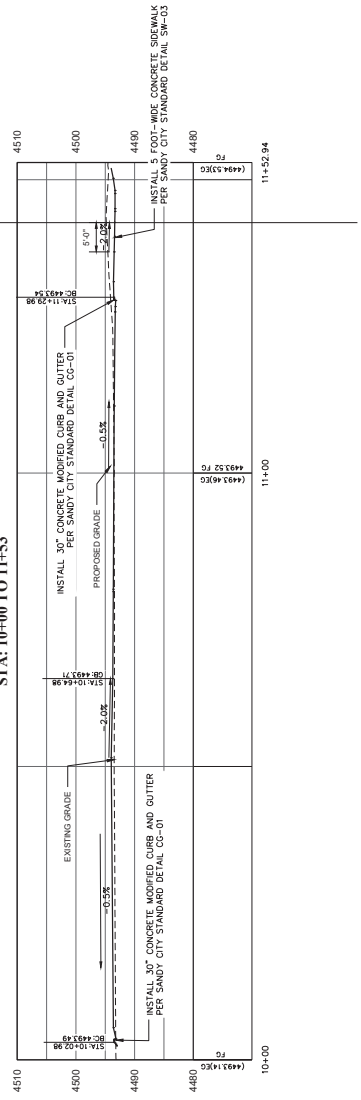
C.402
 PROJECT # 100.021.25
 DRAWING

CALL BEFORE YOU DIG
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 208-2100

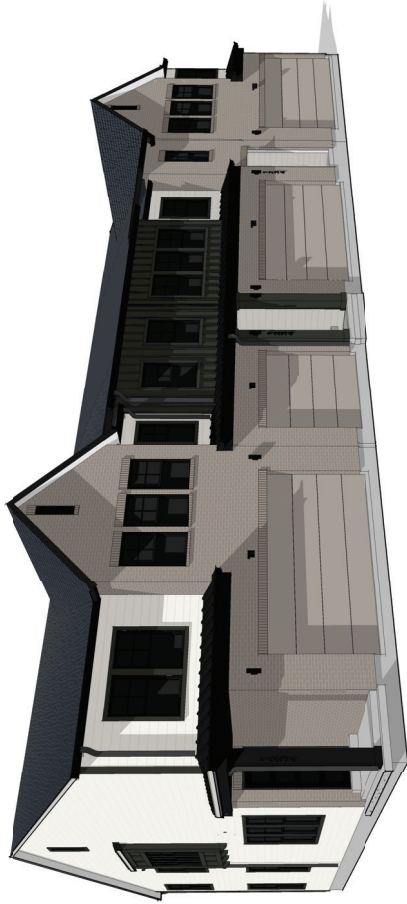
DISCLAIMER NOTE
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HAMMERHEAD PROFILE
 STA: 10+00 TO 11+53



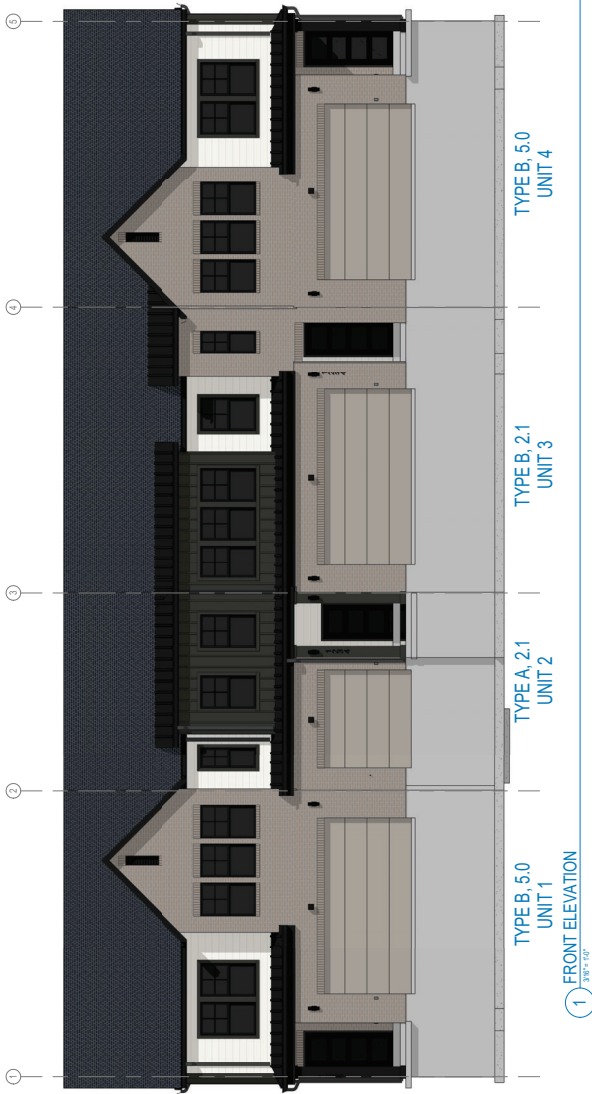
- TYPICAL ROAD SECTION:**
1. INSTALL 30" CONCRETE MODIFIED CURB AND GUTTER PER SANDY CITY STANDARD DETAIL CG-01
 2. INSTALL 5' FOOT-WIDE CONCRETE SIDEWALK PER SANDY CITY STANDARD DETAIL SW-03 (UNTREATED BASE COURSE). SHALL BE CONSTRUCTED ACCORDING TO THE "SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION" (LATEST EDITION). THE SPECIFICATIONS CAN BE FOUND IN PDF FORMATION ONLINE AT [WWW.SANDY.UTAH.GOV](http://www.sandy.utah.gov). THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.



FRONT PERSPECTIVE - STYLE B



REAR PERSPECTIVE - STYLE B



1 FRONT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"

ELEVATION MATERIAL AREA SUMMARY

| FRONT | MATERIAL | SQ. FT. | % |
|-------|-------------------|---------|-----|
| FRONT | HARDYKIN TM BRICK | 483 | 57 |
| | SIDING WOODBOARD | 57 | 7 |
| | SHB | 203 | 24 |
| | STUCCO | - | - |
| TOTAL | | 841 | 100 |

ELEVATION MATERIAL AREA SUMMARY

| REAR | MATERIAL | SQ. FT. | % |
|-------|-------------------|---------|-----|
| REAR | HARDYKIN TM BRICK | - | - |
| | SIDING WOODBOARD | 772 | 87 |
| | SHB | 113 | 13 |
| | STUCCO | - | - |
| TOTAL | | 885 | 100 |

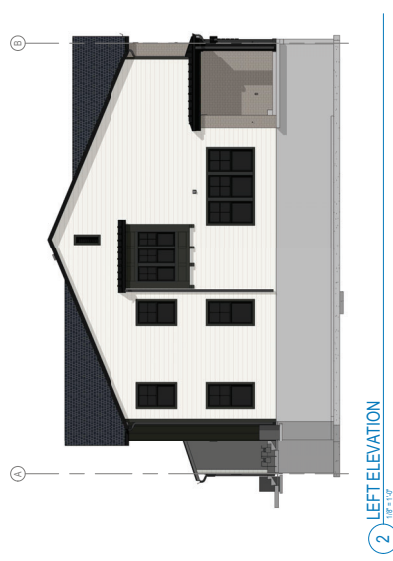
ELEVATION MATERIAL AREA SUMMARY

| LEFT & RIGHT | MATERIAL | SQ. FT. | % |
|--------------|-------------------|---------|-----|
| LEFT & RIGHT | HARDYKIN TM BRICK | 1239 | 58 |
| | SIDING WOODBOARD | 139 | 11 |
| | SHB | 1 | 0 |
| | STUCCO | - | - |
| TOTAL | | 1381 | 100 |

MATERIAL SELECTION

| | |
|--|-----------------------|
| | HARDYKIN TM BRICK |
| | SIDING WOODBOARD |
| | SHB |
| | STUCCO |
| | HARDIE BOARD TRIM |
| | GREY ASPHALT SHINGLES |

CONSTRUCTION TYPE 5B



2 LEFT ELEVATION
1/8" = 1'-0"



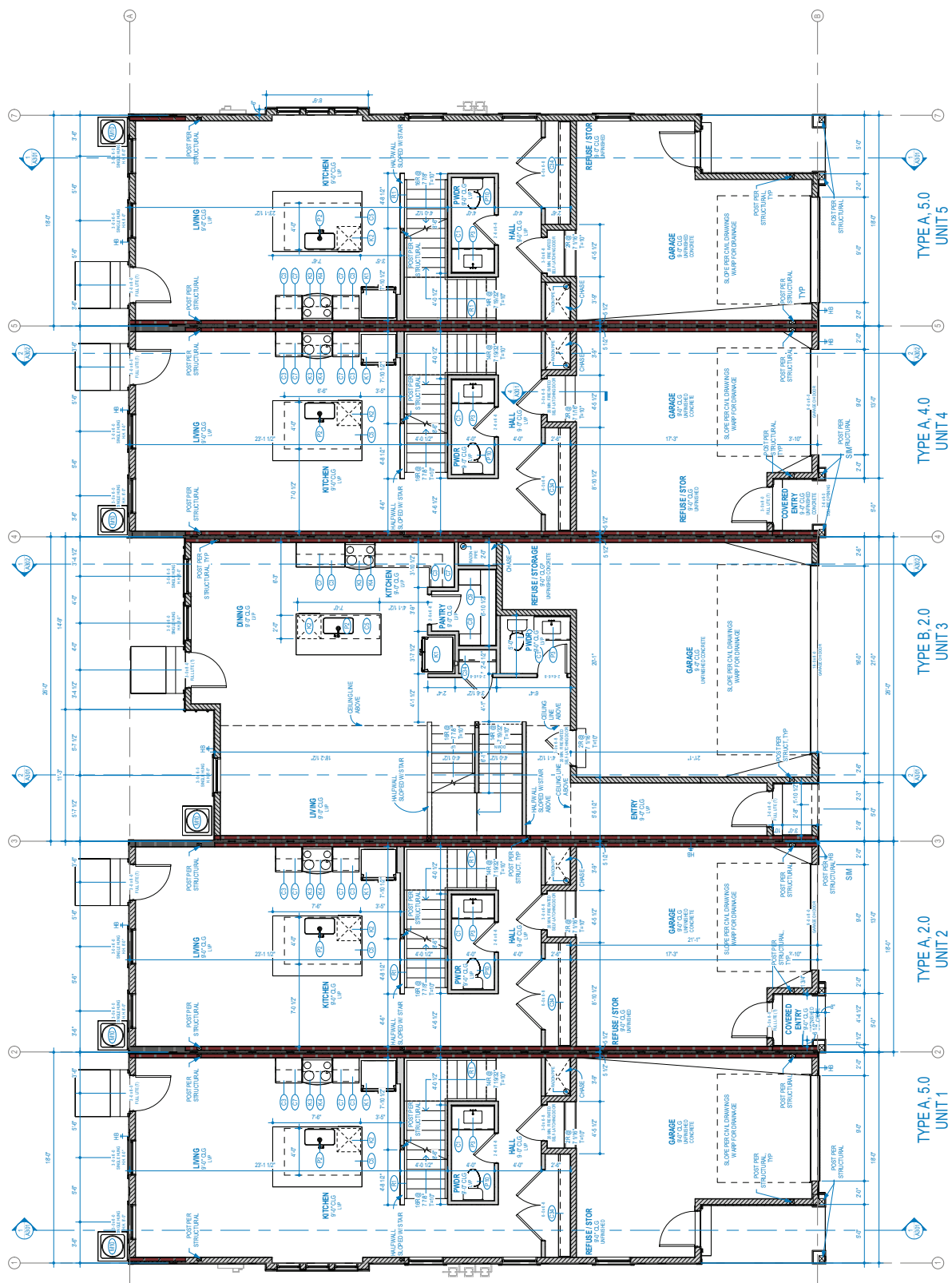
4 RIGHT ELEVATION
1/8" = 1'-0"



FRONT PERSPECTIVE - 5-PLEX



REAR PERSPECTIVE - 5-PLEX



1 LEVEL 1 CONCEPT
18" = 1'-0"

GUTIERREZ TOWNHOMES
5-PLEX LEVEL 1 FLOOR PLAN



1 FRONT ELEVATION
3/8" = 1'-0"



3 REAR ELEVATION
3/8" = 1'-0"

ELEVATION MATERIAL AREA SUMMARY

| PROFIT | MATERIAL | SQ. FT. | % |
|--------|--------------------|---------|-----|
| | HICKORY 1/4" BRICK | 91 | 54 |
| | SEING WOODBOARD | 291 | 24 |
| | 8/8" S/1000 | 48 | 12 |
| | STUCCO | 127 | 90 |
| | TOTAL | 1227 | 100 |





ELEVATION MATERIAL AREA SUMMARY

| 8/8" | MATERIAL | SQ. FT. | % |
|------|--------------------|---------|-----|
| | HICKORY 1/4" BRICK | 91 | 95 |
| | SEING WOODBOARD | 247 | 20 |
| | STUCCO | 127 | 90 |
| | TOTAL | 1227 | 100 |

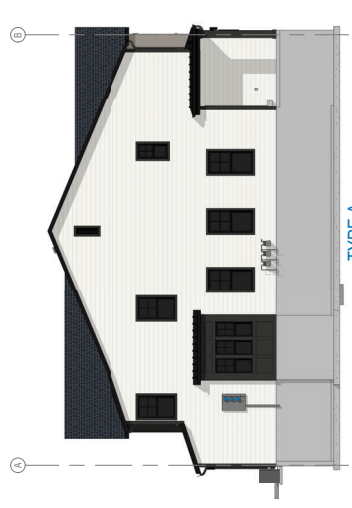
ELEVATION MATERIAL AREA SUMMARY

| LEFT EIGHT | MATERIAL | SQ. FT. | % |
|------------|--------------------|---------|-----|
| | HICKORY 1/4" BRICK | 124 | 49 |
| | SEING WOODBOARD | 110 | 11 |
| | 8/8" S/1000 | 10 | 1 |
| | STUCCO | 10 | 1 |
| | TOTAL | 1390 | 100 |

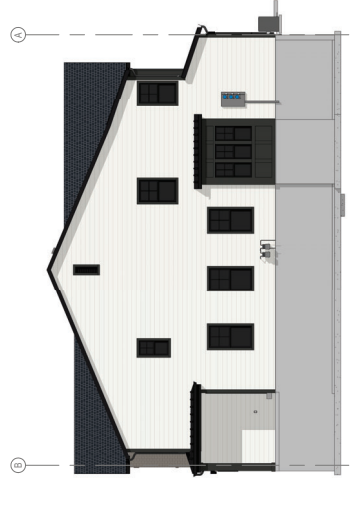
MATERIAL SELECTION

| | |
|-----------------------------------------------------------------------------------|--------------------------------------|
|  | BEEHIVE BRICK MONOCOLOR SH |
|  | HARDIE SIDING S/1/541 WHITE SNOW |
|  | HARDIE B.B. TRIM S/1/709 IRON ORE |
|  | GREY ASPHALT SHINGLES |

CONSTRUCTION TYPE 5b



2 LEFT ELEVATION
1/8" = 1'-0"



4 RIGHT ELEVATION
1/8" = 1'-0"



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #: 26-308, **Version:** 1

Date: 6/4/2026

Minutes from May 21, 2026 Meeting



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Minutes

Planning Commission

Dave Bromley
Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
LaNiece Davenport
Craig Kitterman (Alternate)
Jennifer George (Alternate)

Thursday, May 21, 2026

6:15 PM

Council Chambers and Online

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

https://us02web.zoom.us/webinar/register/WN_UloFhd8DRNmWwuVqIWi3kw

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/84323717494>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866
(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/84323717494>

Webinar ID: 843 2371 7494

Passcode: 688353

5:00 PM EXECUTIVE SESSION

Meeting went into Recess

Meeting reconvened

6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

- Present** 11 - Commissioner Craig Kitterman
- Commissioner Jennifer George
- Commissioner Jennifer George
- Commissioner LaNiece Davenport
- Commissioner LaNiece Davenport
- Commissioner Cameron Duncan
- Commissioner Dave Bromley
- Commissioner David Hart
- Commissioner Daniel Schoenfeld
- Commissioner Ron Mortimer
- Commissioner Steven Wrigley

Public Meeting Items

DRAFT

1. [SPR0422202](#) Jazz Box Phase 4b (Site Plan Review)
[6-007197](#) 10450 S. State Street
[Community #9, Commercial Area]

Attachments: [Staff Report](#)

[Exhibit A](#)

[Exhibit B](#)

[Exhibit C](#)

[Exhibit D](#)

Mike Wilcox, Sandy City Planning Director, introduced this item to the Planning Commission.

Larry Oldham, Architect with Babcock Design, 672 W Houseman St, Stansbury Park, presented this item to the Planning Commission.

Steven Wrigley asked if the building is attached to the mall.

Larry Oldham said there's a small section that's attached to the mall with some interior Jazz space in the existing Macy's store.

Steven Wrigley asked if the larger building will take up most of the parking on the east side.

Larry Oldham said it will take up a significant amount of parking.

Dave Bromley asked if there will be a gated, restricted parking lot adjacent to the Mall Ring Road.

Larry Oldham said it hasn't been determined if it will be gated but there will be a 24 hour security presence there.

David Hart asked the applicant if he's okay with the findings and conditions in the staff report.

Larry Oldham said that there's a condition about the sidewalk going south on the west side of Mall Ring Road that they are requesting further discussion on. He wanted to know if they could keep the current pedestrian pathway on the east side of Mall Ring Road instead of the proposed sidewalk location and listed the reasons for their request.

LaNiece Davenport wanted to clarify the applicant's request that their concern is with the placement of the sidewalks and not the connection with the existing ones.

Larry Oldham spoke about the connections.

LaNiece Davenport wanted to clarify the parking with 300 parking spaces, 150 shared and 150 dedicated to SEG and the Jazz.

Larry Oldham said the Jazz probably have about 130 and the remaining will be to Intermountain Health reserved for doctor parking but the remainder would be public parking.

Clinton Spencer, Sandy City Development Services Manager, further presented this item to the Planning Commission.

Steven Wrigley asked if a fence would help satisfy the applicant's request regarding the sidewalk.

Clinton Spencer said that a fence could be put up to help keep people out but they'll also have a 4 ft concrete retaining wall between the level of the sidewalk and the parking level; the amenity space is pushed far back from the pedestrian level; and 24 hour security.

David Hart said a sidewalk is needed, especially with a proposed IHC facility just to the north and to have people cross the street four times just to avoid potential onlookers is wrong and said the ordinance needs to be followed.

Cameron Duncan asked if there's a sidewalk on the south side of the hockey practice facility.

Clinton Spencer said yes.

LaNiece Davenport said she doesn't think there's enough pedestrian needs for the back of the facility.

Dave Bromley said he agreed with LaNiece Davenport.

David Hart said he feels that there will be people moving all over the place.

Mike Wilcox said there are other retail stores on the south of that location as well so if you're walking from the mall entrance, which is on the north side of the proposed IHC, there are pedestrians that walk down through that area.

David Hart said there's also restaurants and a walkway should be provided.

Daniel Schoenfeld opened this item for public comment.

Daniel Schoenfeld closed this item to public comment.

Dave Bromley said he's in agreement with LaNiece Davenport regarding the sidewalk and asked if there's additional input.

Ron Mortimer said he likes the sidewalk because there needs to be a refuge area for pedestrians otherwise people are going to be up against the curb and in the street and said there's other ways to screen the back of the house.

David Hart said pedestrians will be in the street if a sidewalk isn't provided.

A motion was made by David Hart, seconded by Cameron Duncan, that the Planning Commission determine that the proposed “Development Enhancements” contained in the architect’s letter (see Exhibit A) be accepted as justifying any actual or perceived short comings in meeting the applicable Cairns Design Standards and further motions that Preliminary Site Plan Review is complete for the Jazz Box Phase 4 project, located at 10450 S. State St., based on the four findings and subject to the ten conditions detailed in the staff report. The motion carried by the following roll call vote:

- Yes:** 7 - LaNiece Davenport
Cameron Duncan
Dave Bromley
David Hart
Daniel Schoenfeld
Ron Mortimer
Steven Wrigley

- Nonvoting:** 2 - Craig Kitterman
Jennifer George

DRAFT

2. [SUB0227202](#) Sandy Shulsen Subdivision (Preliminary Subdivision Review)
[6-007151](#) 10116 S Monroe Street
[Community #9, Commercial Area]

Attachments: [Staff Report](#)
[Exhibit A](#)

Mike Wilcox, Sandy City Planning Director, introduced this item to the Planning Commission.

David Dennison, with Gardner Group, 201 S Main Street, Salt Lake City, presented this item to the Planning Commission.

LaNiece Davenport said that the staff report noted decades worth of considerations on the property and asked for a better understanding of what the issues have been.

James Sorensen, Community Development Director, said he's grateful the project is finally at this point and gave a brief run down of this property.

David Dennison said two main issues have been with UDOT regarding easements and a ditch that runs right down the middle of the property. He said they now have the required easements that they need, they've worked with the water master and now have all their legal documents in place to move forward.

Clinton Spencer, Sandy City Development Services Manager, further presented this item to the Planning Commission.

Daniel Schoenfeld opened this item for public comment.

Daniel Schoenfeld closed this item to public comment.

A motion was made by Dave Bromley, seconded by Steven Wrigley that the Planning Commission determine that preliminary subdivision review is substantially complete for the Sandy Shulsen Subdivision at 10116 S Monroe Street based on the four findings and subject to the three conditions detailed in the staff report. The motion carried by the following roll call vote:

Yes: 7 - LaNiece Davenport
Cameron Duncan
Dave Bromley
David Hart
Daniel Schoenfeld
Ron Mortimer
Steven Wrigley

Nonvoting: 2 - Craig Kitterman
Jennifer George

1. Minutes

[26-280](#) Minutes from the May 7, 2026 Meeting

Attachments: [05.07.2026 PC Minutes \(DRAFT\).pdf](#)

An all in favor motion was made to approve the meeting minutes from May 7, 2026.

2. Sandy City Development Report

3. Director's Report

Adjournment

An all in favor motion was made to adjourn.

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #: 26-309, **Version:** 1

Date: 6/4/2026

Development Report

| PROJECT NAME | ADDRESS | CASE NUMBER | APPROVED | LOTS | ACRES | ZONE | CONTACT | CONTACT # | PLANNER | STATUS |
|-----------------------------------------------|-------------------------|--------------------|------------|------|-------|-------------|------------------------|--------------|------------|--------------------|
| Pending | | | | | | | | | | |
| SWIG - State Street | 10187 S STATE ST | SPR01062025-006903 | 06/25/2025 | | | CBD | Pranavi Koka - Bowma | | mwilcox | Pending |
| Bicentennial Park Localscapes Conversion | 552 E 8680 S | SPR01242024-006702 | 03/12/2024 | | | OS | Ben Rodes | 2088607297 | sstringham | Pending |
| Storm Mountain Park Localscapes Conversion | 11426 S 1000 E | SPR01242024-006703 | 03/08/2024 | | | OS | Ben Rodes | 2088607297 | sstringham | Pending |
| Sandy Shulsen Mixed Use | 10116 S MONROE ST | SPR02082023-006482 | 12/14/2023 | | 0.83 | CBD-A&C | Howard Cooke | 801-664-8132 | mwilcox | Pending |
| Compass Apartments | 179 W 9270 S | SPR02212024-006719 | 09/27/2024 | | 3.29 | RC | Cole Peterson | 8014484486 | mwilcox | Pending |
| The Orchards at Dimple Dell | 10216 S DIMPLE DELL RD | SPR03262024-006738 | 05/01/2024 | | | R-1-10 | Brett Lovell | 8017064693 | tirvin | Pending |
| Jordan Credit Union | 9260 S 300 E | SPR04142025-006949 | 02/04/2026 | | 0.60 | R-1-8 | Nate Reiner | | cspencer | Pending |
| Jazz Phase 4b | 10450 S STATE ST | SPR04222026-007197 | 05/22/2026 | | 1.04 | CBD | Larry Oldham | 8018243351 | cspencer | Pending |
| Rasht Development Project | 8475 S STATE ST | SPR04242024-006758 | 03/21/2025 | | 0.98 | RC | Ramin Nasrabadi | | cspencer | Pending |
| Sandy Station Townhomes | 8925 S HARRISON ST | SPR05132025-006965 | | | 1.36 | RC | David Kelly | 3852835285 | mwilcox | Pending |
| UTA Trax Line Operator Restroom Facility | 167 E 9000 S | SPR10012025-007049 | | | | R-1-7.5(HS) | Wade Edwards | | cspencer | Pending |
| GSL Electric | 601 SANDY PKWY, 84070 | SPR10092025-007056 | | | | CR-PUD | Cynthia Bithell | | cspencer | Pending |
| Smith's 153 Fuel Center | 10305 S 1300 E | SPR11112024-006885 | 07/28/2025 | | 10.38 | CC | AWA - Jalaine Gibson | 8018970849 | cspencer | Pending |
| Under Review | | | | | | | | | | |
| Outback/Bonefish Dual Restuarant | 11114 S STATE ST | SPR02272026-007157 | | | 2.40 | CBD | Craig Chaney - Merrick | 4258025331 | cspencer | Preliminary Review |
| National Flood and Fire Addition | 8682 S SANDY PKWY | SPR03132026-007168 | | | 1.24 | CR-PUD | National Flood and Fir | | cspencer | Preliminary Review |
| Liberty Drug | 10600 S 1000 E | SPR03232026-007171 | | | | SD(Carnati | Corey Boyd | | cspencer | Preliminary Review |
| Gutierrez Multifamily Site Plan | 886 E 7800 S | SPR04072025-006948 | | | 0.47 | RM(10) | Elisha Deschenie | | tirvin | Preliminary Review |
| Silver Sage Business Park II | 10895 S 700 E | SPR07232025-007003 | 02/04/2026 | | 1.13 | SD(PO Silv | Kyle Spencer | | cspencer | Final Review |
| Middle Mile Infrastructure | 10935 S 700 E | SPR08072025-007014 | 12/05/2025 | | | SD(PO Silv | Alec Geist | | cspencer | Final Review |
| Jiffy Lube | 2081 E 9400 S | SPR10182022-006422 | 03/19/2024 | | 4.38 | CN | Justin Soha | 801-381-6255 | cspencer | Under Review |
| Resubmit | | | | | | | | | | |
| LHM Ford Pro-Elite | 10990 S AUTO MALL DR | SPR01212026-007103 | | | 4.82 | AM-D | Brandon McDougald | | cspencer | Resubmit |
| Architectural Components HQ Site Plan | 9352 S 670 W | SPR03132025-006926 | 01/23/2026 | | 0.69 | ID | Josh Naylor | 8015577523 | cspencer | Resubmit |
| Church Modified Site Plan | 166 E 10600 S | SPR03272026-007183 | | | 1.94 | R-1-40A | GW Group Ventures, L | | cspencer | Resubmit |
| Synergy North | 8860 S 700 W | SPR04032026-007188 | | | 21.48 | OS | Trevor Hodgson | 8017212640 | cspencer | Resubmit |
| Mark Ray Medical/Dental Office Building | 7865 S 700 E | SPR04172025-006955 | 03/06/2026 | | 0.26 | BC | Robert Money | 8015731029 | cspencer | Resubmit |
| Sandy Towns Site Plan | 1270 E 8600 S | SPR06052025-006976 | | | 0.55 | CN | Riley Streit | | tirvin | Resubmit |
| iONNA Sandy UT | 151 W 10600 S | SPR07012025-006992 | 12/10/2025 | | 0.43 | AM | Jess Cain | | cspencer | Resubmit |
| Creek Rd Office Condos - 5th AMD | 7410 CREEK RD 301 84093 | SPR07072021-006096 | 09/23/2021 | | | PO | Marcus Green | | chancey | Resubmit |
| Sandy City Public Utilities Vac Truck Water C | 9140 S 150 E | SPR07252024-006802 | | | 6.23 | ID | Tyler Shelley | 8019151082 | cspencer | Resubmit |
| EOS Fitness | 10365 S 1300 E | SPR09032025-007035 | | | 5.53 | CC | Art Babcock | | cspencer | Resubmit |
| Kuwahara Wholesale | 8575 STATE ST, 84070 | SPR10162023-006639 | | | | SD(FM-HS | Alex Kuwahara | 8016916592 | chancey | Resubmit |
| Wooded Creek Estates Site Plan | 951 E 8800 S | SPR12052025-007088 | | | 1.83 | R-1-8 | Brandon Harris | | tirvin | Resubmit |
| Red Sky Apartments | 10145 S CENTENNIAL PKWY | SPR12062022-006452 | 05/08/2023 | | 1.45 | CBD | Corey Solum | | mwilcox | Resubmit |
| On Hold | | | | | | | | | | |
| Band Fire Warehouse | 9618 S 500 W | SPR01272023-006477 | | | 0.51 | ID | Jesse Reynolds | | cspencer | On Hold |
| Classic Fun Center | 9151 S MONROE ST | SPR06142024-006783 | | | 5.12 | RC | David Henderson | | cspencer | On Hold |
| ECLAIR FRENCH PASTRY | 7948 S 1300 E | SPR08092024-006809 | | | | SD(Smart) | KARRAR ALJEWARI | 3852295300 | cspencer | On Hold |
| Stage Office Storage Building | 8238 700 E, 84070 | SPR09212022-006407 | 12/07/2023 | | | BC | Ross Drummond | 8015737620 | cspencer | On Hold |
| MedVet Urgent Care - Modified Site Plan Rev | 10291 S STATE ST | SPR10022024-006862 | | | | CBD | Michelle Martin | | sstringham | On Hold |
| Wasatch Pain Solutions | 1420 E SEGO LILY DR | SPR10072024-006865 | 01/28/2025 | | 0.66 | CC | Robert Howell | 4357709668 | cspencer | On Hold |
| Casa Brazil Market | 8671 S STATE ST | SPR11112024-006884 | | | 0.22 | CN(HSN) | Patricia Jacobs | 8017358513 | cspencer | On Hold |
| Under Construction | | | | | | | | | | |
| St. Anna Greek Orthodox Church | 9201 S 1300 E | SPR01262022-006258 | 03/25/2022 | | 3.00 | CN | James Derby | 8016801385 | cspencer | Under Construction |
| MACU Event Cenenter/ SLCO | 9575 S STATE ST | SPR01292024-006706 | | | 0.96 | CBD | Jordan Gray | 3582145760 | cspencer | Under Construction |
| Sandy City Fire Station #31 | 9295 S MONROE ST | SPR02132024-006711 | 04/19/2024 | | | RC | Ryan McConaghie | | mwilcox | Under Construction |

| PROJECT NAME | ADDRESS | CASE NUMBER | APPROVED | LOTS | ACRES | ZONE | CONTACT | CONTACT # | PLANNER | STATUS |
|----------------------------------------------|-------------------------|--------------------|------------|------|-------|-------------|-----------------------|--------------|--------------|--------------------|
| UTA Civic Center Station - Site Modification | 10015 S BEETDIGGER BLVD | SPR02172023-006487 | | | | MU | Nick Duerksen | 8012012050 | mwilcox | Under Construction |
| WM Fuel #5235 Sandy, UT | 9081 S QUARRY BEND DR | SPR03112022-006282 | 01/03/2023 | | | SD(X) | Ryan Alvarez | | cspencer | Under Construction |
| Quick Quack Car Wash Conversion | 10640 S 700 E | SPR04212025-006957 | | | 1.10 | CN | Polo Padilla | | cspencer | Under Construction |
| Alta Canyon Sports Center | 9565 S HIGHLAND DR | SPR06302025-006990 | 09/17/2025 | | 1.51 | OS | Dan Medina | | cspencer | Under Construction |
| AFCU Sandy Landscape Remodel | 2104 E 9400 S | SPR07262022-006364 | 08/16/2022 | | 2.23 | PO | Brad Illingsworth | | cspencer | Under Construction |
| AFCU Sandy ADA Site Improvements | 2104 E 9400 S | SPR08112023-006586 | | | 2.23 | PO | Brad Illingsworth | | cspencer | Under Construction |
| JVWCD 700 East Well House | 7618 S 700 E | SPR08212023-006589 | | | 0.80 | PUD(12) | Kevin Rubow | 8015654377 | cspencer | Under Construction |
| Utah HPC - Phase 2 | 10450 S STATE ST | SPR09062024-006844 | 09/19/2024 | | 1.04 | CBD | Larry Oldham | 8015311144 | cspencer | Under Construction |
| Meadows at Cy Road Site Plan | 8777 S 700 E | SPR10162024-006872 | 02/25/2025 | | | PUD(10) | Brad Reynolds | | tirvin | Under Construction |
| Mountain America Credit Union | 9446 S HIGHLAND DR | SPR10222024-006875 | 04/01/2025 | | 0.70 | SD(Magna) | Michael Shane Sanders | | cspencer | Under Construction |
| OneTen Apartments | 11011 S AUTO MALL DR | SPR10242022-006427 | 08/18/2023 | | 2.65 | CBD | Corey Solum | | mwilcox | Under Construction |
| SEG Redevelopment Phase 3 - West Facade | 10450 S STATE ST | SPR11102025-007071 | | | 1.04 | CBD | Larry Oldham | 8018243351 | cspencer | Under Construction |
| Intermountain South Sandy Clinic Expansion | 955 E 11400 S | SPR11132024-006886 | | | 2.40 | PO | Gerrit Timmerman | 8015586015 | cspencer | Under Construction |
| Hansen Warehouse Modified | 9127 S 255 W | SPR11142024-006887 | | | 1.31 | RC | Reid Wintersteen | 6083862723 | cspencer | Under Construction |
| Main Street Park | 70 E 8760 S | SPR12032021-006220 | 01/28/2022 | | 0.92 | R-1-7.5(HS) | DAN MEDINA | 801-201-2202 | mwilcox | Under Construction |
| 9000 South C-Store | 694 W 9000 S | SPR12172024-006901 | 05/09/2025 | | 1.77 | RC | Thomas Hunt | 8016644724 | cspencer | Under Construction |
| Complete | | | | | | | | | | |
| Woodhaven Estates | 7613 S 300 E | SPR01102023-006464 | 12/18/2023 | | 0.02 | PUD (12) | Brandon Fry | | tirvin | Complete |
| The Rio at 94th | 115 W 9400 S | SPR01242023-006473 | | | 0.38 | RM(12) | Jacob Toombs | 8017879344 | tirvin | Complete |
| Sandy Amphitheater Plaza Expansion | 1245 E 9400 S | SPR04242023-006523 | 07/21/2023 | | 7.13 | SD(MU) | Mearle Marsh | | mwilcox | Complete |
| Dimple Dell Park - 300 East Trailhead | 321 E 10195 S | SPR05132022-006318 | 07/12/2022 | | 5.00 | OS | Dan Sonntag | 8012058201 | tirvin | Complete |
| Dimple Dell Park - Badger Cove Trailhead | 1651 E BADGER CV | SPR05132022-006320 | 08/25/2022 | | 4.63 | OS | Dan Sonntag | | tirvin | Complete |
| Dimple Dell Park - Wrangler Trailhead | 10305 S 1300 E | SPR05132022-006324 | 08/25/2022 | | 10.38 | CC | Dan Sonntag | | tirvin | Complete |
| Willow Creek Country Club - Maintenance A | 8505 S WILLOW CREEK DR | SPR05172024-006771 | 12/19/2024 | | 11.09 | OS | James B Glascock | | dwheelwright | Complete |
| Bicentennial Park Improvements | 530 E 8680 S | SPR07272023-006575 | 10/17/2023 | | | OS | Jeremy Garcia | | sstringham | Complete |
| Medically Vulnerable Peoples Program (MVI) | 8955 S HARRISON ST | SPR08282024-006825 | | | 1.50 | RC | Shasta Galyon | 9079038553 | manderson | Complete |
| Cedarwood at Sandy - Expansion | 575 E 11000 S | SPR11172022-006447 | 02/21/2023 | | 3.87 | SD(EH) | Ryan Griffiths | 8019102756 | tirvin | Complete |
| Others | | | | | | | | | | |
| 90th South Mixed Use Master Plan Amendm | 8925 S HARRISON ST | SPR01022025-006902 | 02/07/2025 | | 1.36 | RC | David Kelly | 3852835285 | mwilcox | Approved |
| Sandy East Village Ph 3 & Dry Creek Apartm | 166 E MIDVILLAGE BLVD | SPR11142022-006445 | | | | MU | IBI Group | | mwilcox | Approved |

| PROJECT NAME | ADDRESS | CASE NUMBER | APPROVED | LOTS | ACRES | ZONE | CONTACT | CONTACT # | PLANNER | STATUS |
|---------------------------------------------|-----------------------------|--------------------|------------|-------|-------|-------------|-------------------------|--------------|------------|--------------------|
| Pending | | | | | | | | | | |
| Meek Subdivision | 3761 E LITTLE COTTONWOOD LN | SUB02282024-006722 | 04/23/2024 | 2.00 | | R-1-8 | Robert Meek | 3854810189 | sstringham | Pending |
| Firefly Subdivsion | 517 E 8680 S | SUB03172025-006927 | 08/10/2025 | 29.00 | 0.30 | R-1-7.5(HS) | Jacob Robert Ballstaedi | 8014555131 | chancey | Pending |
| Willow Creek No 4 Lots 8 and 9 Lot Line Adj | 8585 S MT MAJESTIC RD | SUB04012026-007185 | | | 0.27 | R-1-10 | Colton Finan | | sstringham | Received |
| Liberty Drug | 10600 S 1000 E | SUB04082026-007192 | | 1.00 | | SD(Carnati | Corey Boyd | | cspencer | Fees Paid |
| Strassberg/Bawden Boundary Adjustment | 8658 S WILLOW GREEN CIR | SUB04272026-007198 | | | 0.39 | R-1-10 | Evan Strassberg | | sstringham | Received |
| East Town Village Condo Plat | 8327 STATE ST 84070 | SUB06132023-006550 | | 1.00 | | MU | Charles Akerlow | | tirvin | Fees Due |
| Pinecone Lot Line Adjustment | 734 E 10600 S | SUB06272025-006989 | | | 0.35 | CN | Pinecone Properties | | sstringham | Open |
| 9272 Office Condominiums | 9272 S 700 E | SUB08212024-006814 | 02/09/2026 | | 3.03 | CC | Brook Hintze | 8018601515 | chancey | Pending |
| Almond/Williams lot line adjustment | 409 E SEGO LILY DR | SUB08292025-007030 | | | 0.23 | R-1-8(INF) | Wendy L Almond | | sstringham | Received |
| Olsen Subdivision | 265 E MAIN ST | SUB09092025-007036 | | 2.00 | 0.57 | R-1-7.5(HS) | Bryce Dallimore | | tirvin | Open |
| Brandon Park 3 Amended Plat | 1960 E BRANDON PARK WAY | SUB09242024-006855 | | | | R-1-12 | Scott Hancock | 8015974833 | tirvin | Open |
| Sandy Station Block 20 Subdivision | 8982 S 250 E | SUB09282022-006410 | 09/15/2023 | 2.00 | | R-1-7.5(HS) | Mark stephenson | 8015148797 | chancey | Pending |
| Alta Canyon Lot Line Adjustment | 9565 S HIGHLAND DR | SUB11032025-007064 | | | 1.51 | OS | Jetta Marrott | | tirvin | Received |
| Mark Ray Office Building | 7865 S 700 E | SUB12122025-007091 | | | 0.26 | BC | Robert Money | 8015731029 | sstringham | Open |
| Under Review | | | | | | | | | | |
| 90th South Wadsworth Subdivision | 694 W 9000 S | SUB01212025-006907 | 09/02/2025 | 2.00 | 1.77 | RC | Giovanni Amaller | 385-312-3156 | cspencer | Under Review |
| GSL Electric New Production Facility | 595 W SANDY PKWY | SUB01252024-006704 | | 1.00 | 1.70 | CR-PUD | Carl Greene | 8016413894 | cspencer | Under Review |
| Crescent Wood Estates | 543 E 10735 S | SUB02032022-006262 | 02/03/2022 | | 0.50 | R-1-20A | Arthur J. (A.J.) Kim | 8019133400 | tirvin | Under Review |
| Southeast Industrial Park Amended Condomi | 8496 S HARRISON ST | SUB02222022-006272 | 04/08/2022 | 16.00 | 1.95 | RC | David McKinney | | chancey | Under Review |
| Sandy Shulsen Subdivision | 10116 S MONROE ST | SUB02272026-007151 | | 1.00 | 0.83 | CBD-A&C | Howard Cooke | 801-664-8132 | cspencer | Under Review |
| Aspen Plaza Condo Amendment | 849 E 9400 S | SUB03262024-006735 | | | | SD(CC)-Ti | SCOTT A DILLEY | 8017067384 | tirvin | Under Review |
| Dimple Dell Ridge Consolidation | 1727 E DIMPLE DELL RD | SUB04012024-006741 | 08/10/2025 | | 0.81 | R-1-20A | Efren Lopez | | chancey | Under Review |
| Sandy Jordan Credit Union Subdivision | 9260 S 300 E | SUB04142025-006950 | 02/04/2026 | 1.00 | 0.60 | R-1-8 | Nate Reiner | | cspencer | Under Review |
| 511 Wassail Lot Line Adjustment | 511 WASSAIL RD 84070 | SUB05072026-007202 | | | | R-1-10 | Justin Paul Luitjens | 8018798764 | sstringham | Under Review |
| 951 E 8800 S (Harvard Park) | 951 E 8800 S | SUB05072026-007204 | | | 1.83 | R-1-8 | Brandon Harris | | sstringham | Under Review |
| Connor Subdivision | 8772 S 120 E | SUB05122026-007205 | | 1.00 | 0.24 | R-1-7.5(HS) | Jarrett White | | chancey | Preliminary Review |
| 9854 S. Building LLC Commercial Condo | 9854 S 700 E | SUB06092025-006981 | 04/20/2026 | | 2.36 | CN | Kenneth Chapman | | chancey | Under Review |
| Crabtree Subdivision | 2845 E LITTLE COTTONWOOD RD | SUB06142022-006347 | 06/26/2025 | 2.00 | | R-1-15 | Tami Crabtree | 8012314484 | chancey | Final Review |
| AFCU 10000 South Sandy - Parcel Consolida | 76 W SEGO LILY DR | SUB07032023-006559 | | | 3.66 | CBD-O | AWA Engineering (Ric | 7023706962 | sstringham | Under Review |
| Gutierrez Multifamily Subdivision | 886 E 7800 S | SUB07112025-006998 | | | 0.47 | RM(10) | Elisha Deschenie | | chancey | Under Review |
| Monroe Street Center Plat Amendment | 111 W 9000 S | SUB07182025-007000 | 03/04/2026 | 1.00 | 0.31 | RC | Mark Sudbury | | tirvin | Under Review |
| Hartman Estates Subdivision | 3853 E LITTLE COTTONWOOD LN | SUB08052025-007011 | 04/20/2026 | 2.00 | | R-1-15 | David Jenkins | 8016312999 | tirvin | Final Review |
| Transwest Estates No. 1 Amended Subdivisio | 1479 E LONGDALE DR | SUB08232024-006818 | | | 0.26 | R-1-10 | Carson Fairbourn | 3853549995 | chancey | Under Review |
| Falls Creek Subdivision | 2873 E WASATCH BLVD | SUB09152025-007042 | 12/02/2025 | 2.00 | 0.49 | PUD(2) | Greg Timothy | | chancey | Final Review |
| Kuwahara Wholesale | 8575 STATE ST, 84070 | SUB10162023-006638 | | 1.00 | | SD(FM-HS) | Alex Kuwahara | 8016916592 | tirvin | Under Review |
| Pepperwood Phase 10C Amended | 3 S COBBLEWOOD CV | SUB11012021-006197 | 11/19/2021 | 2.00 | 0.71 | PUD(1.62) | David Jenkins | 8016312999 | mwilcox | Under Review |
| Parkland Subdivision/Greenlaw Partners | 565 W PARKLAND DR | SUB11152021-006208 | 06/07/2022 | 4.00 | 6.70 | ID | Niko Hardman | | cspencer | Under Review |
| Silver Sage Estates Subdivision | 10175 S DIMPLE DELL RD | SUB12082025-007089 | 05/08/2026 | 4.00 | 1.45 | R-1-10 | Alyssa Holbrook | | chancey | Final Review |
| South Towne Market Place Subdivision | 10130 S STATE ST | SUB12182023-006671 | 04/03/2024 | 2.00 | 4.89 | CBD | Jason Boal | | mwilcox | Under Review |
| Resubmit | | | | | | | | | | |
| Corner Bend Subdivision | 2186 E POWDERKEG DR | SUB01142022-006249 | 06/21/2022 | | 0.18 | R-1-8 | Dan Moore | 801-554-8920 | tirvin | Resubmit |
| Dimple Dell Ridge Lot 1 Amended Plat | 1703 E DIMPLE DELL RD | SUB01182022-006256 | 07/05/2022 | 1.00 | 0.69 | R-1-20A | Mark Goodsell | 801-361-0909 | tirvin | Resubmit |
| Thackery Towns Subdivision | 10760 S 700 E | SUB02192026-007115 | | | 4.00 | PUD(10) | Riley Young | | chancey | Resubmit |
| 106th Church Subdivision | 166 E 10600 S | SUB03242026-007172 | | 3.00 | 1.94 | R-1-40A | GW Group Ventures, L | | cspencer | Resubmit |
| Jeremy Day Subdivision | 8 SHADOW WOOD LN Sandy UT | SUB04032025-006944 | | | | PUD(1.62) | Blake Peterson | 8017553548 | chancey | Resubmit |
| Sandy Synergy Subdivision | 8860 S 700 W | SUB04062026-007189 | | 3.00 | 21.48 | CvC | Trevor Hodgson | | cspencer | Resubmit |
| Red Sky Apartments | 10140 S CENTENNIAL PKWY | SUB04102023-006516 | 05/08/2023 | 1.00 | | CBD-P | Corey Solum | | mwilcox | Resubmit |

| PROJECT NAME | ADDRESS | CASE NUMBER | APPROVED | LOTS | ACRES | ZONE | CONTACT | CONTACT # | PLANNER | STATUS |
|----------------------------------------------|-----------------------------|--------------------|------------|-------|-------|-------------|------------------------|--------------|----------|--------------------|
| Sandy Park Center Lot 3 Amended | 9835 S MONROE ST | SUB04152022-006305 | 06/07/2022 | 2.00 | 0.73 | CBD-O | LeeAnn Miller | 3852996262 | tirvin | Resubmit |
| Sandy Station Townhomes Plat | 8925 S HARRISON ST | SUB05132025-006966 | | 64.00 | 1.36 | RC | David Kelly | 3852835285 | mwilcox | Resubmit |
| Sandy Towns Subdivision | 1270 E 8600 S | SUB06052025-006977 | | 1.00 | 0.55 | CN | Riley Streit | | chancey | Resubmit |
| Hidden Hollow Subdivision | 10665 S Dimple Dell Rd | SUB06252025-006987 | | 4.00 | 4.02 | R-1-40A | Garrett Schmidt | | tirvin | Resubmit |
| Oberland Road Subdivision | 2900 E OBERLAND RD | SUB06282022-006352 | | 3.00 | | R-1-40A | Dustin Freckleton | 5127796368 | tirvin | Resubmit |
| Indigo Subdivision | 348 E 8000 S | SUB07112025-006996 | | 20.00 | 1.00 | RM(12) | Damian Mora | | tirvin | Resubmit |
| Smith's Altaview SUB | 10315 S 1300 E | SUB07202021-006108 | 09/23/2021 | 4.00 | 0.46 | CC | Anderson Wahlen & A | | cspencer | Resubmit |
| Silver Sage Business Park II | 10935 S 700 E | SUB08252025-007024 | | | | SD(PO Silv | Kyle Spencer | | cspencer | Resubmit |
| Badger Cove | 1651 E BADGER COVE | SUB09132023-006609 | | | | OS | Dustin Wiberg | 8018287865 | chancey | Resubmit |
| Pepperwood Phase 9 Plat Amendment | 98 E LONE HOLLOW | SUB09262025-007046 | | | 2.27 | PUD(1.62) | jerry Robinson | | tirvin | Resubmit |
| Fox Hollow Plat Amendment | 9476 S FOX CIR | SUB10142024-006868 | | 1.00 | 0.22 | R-1-8 | Craig Lawrence | 8015732516 | tirvin | Resubmit |
| Classic Fun Center | 9151 S MONROE ST | SUB10262024-006878 | | 2.00 | 5.12 | RC | David Henderson | 8016084007 | chancey | Resubmit |
| Sequoia Cove Subdivision | 1368 E COPPERCREEK RD | SUB11142025-007080 | 02/09/2026 | 5.00 | 1.02 | R-1-8 | Sequoia Development, | | chancey | Resubmit |
| Wooded Creek Estates | 951 E 8800 S | SUB12052025-007087 | | 8.00 | 1.83 | R-1-8 | Brandon Harris | | tirvin | Resubmit |
| Under Construction | | | | | | | | | | |
| Woodhaven Estates Subdivision | 7613 S 300 E | SUB01182023-006471 | 12/18/2023 | 24.00 | 0.02 | PUD (12) | Brandon Fry | | chancey | Under Construction |
| OneTen Apartments | 109 W 11000 S | SUB03292023-006511 | 08/18/2023 | 1.00 | | CBD | Corey Solum | | mwilcox | Under Construction |
| Monte Cristo at LaCaille | 9701 S 3775 E | SUB04262021-006034 | 11/29/2021 | 13.00 | | R-1-15 | Chris McCandless | 8015974575 | mwilcox | Under Construction |
| KV Larson Subdivision | 963 E 8600 S | SUB06132023-006549 | 02/02/2024 | 8.00 | 2.50 | SD(R-1-7) | Ronald K. Larson | 2067137789 | chancey | Under Construction |
| Alta Canyon 2 Subdivision | 9855 S 3100 E | SUB07132023-006568 | 07/12/2024 | 4.00 | 1.79 | R-1-15 | Dana Conway | 8018914880 | chancey | Under Construction |
| Sandy Station Block 59 Subdivision | 8810 S 90 E | SUB09232022-006408 | 09/15/2023 | 2.00 | 0.12 | R-1-7.5(HS) | Mark stephenson | 8015148797 | tirvin | Under Construction |
| The Meadows at Cy Road | 8777 S 700 E | SUB10162024-006871 | 02/25/2025 | 33.00 | | PUD(10) | Brad Reynolds Constru | | tirvin | Under Construction |
| Complete | | | | | | | | | | |
| Little Cottonwood Estates (aka Alana Meadow) | 3170 E LITTLE COTTONWOOD RD | SUB01042023-006461 | 06/15/2023 | 12.00 | | R-1-15 | Greg Timothy | | tirvin | Complete |
| Tate Woods Subdivision | 485 E 7800 S | SUB03312025-006940 | 06/24/2025 | 2.00 | 0.15 | R-1-6 | GreenRock LLC | 8019317228 | tirvin | Complete |
| Lot 4 Jason K Circle | 182 E 9000 S | SUB04102024-006745 | 12/20/2024 | 2.00 | 0.63 | R-1-8 | Jill Kinder | 8017184622 | tirvin | Complete |
| Hagan Road Subdivision | 11523 S HAGAN | SUB05072021-006045 | 06/02/2021 | | | R-1-20A | Blair Johnson | 8013011078 | tirvin | Complete |
| Alta Park Subdivision | 11190 S 1000 E | SUB05072024-006766 | 07/02/2024 | 4.00 | | R-1-8 | Hayley Pratt, Castlewo | 407-617-0698 | tirvin | Complete |
| Park Lane Amended | 1775 E 11400 S | SUB07082022-006359 | 09/21/2022 | 2.00 | 0.35 | SD(R-2-A) | Laine Fluekiger | 8015715541 | tirvin | Complete |
| Longpath Subdivision | 11510 S HAGAN RD | SUB08292022-006389 | 11/21/2022 | 1.00 | 0.56 | R-1-20A | Kyle Simons | 8013814687 | tirvin | Complete |
| Brand Estates Subdivision | 285 E 11000 S | SUB10112022-006417 | 08/31/2023 | 12.00 | | R-1-15 | Kyle Denos | 8017937660 | tirvin | Complete |
| Sandy Oaks Subdivision Phase 5 | 8449 S 300 E | SUB11222022-006448 | 02/22/2023 | 2.00 | | R-1-7.5(HS) | Greg Larsen | 8016081600 | tirvin | Complete |