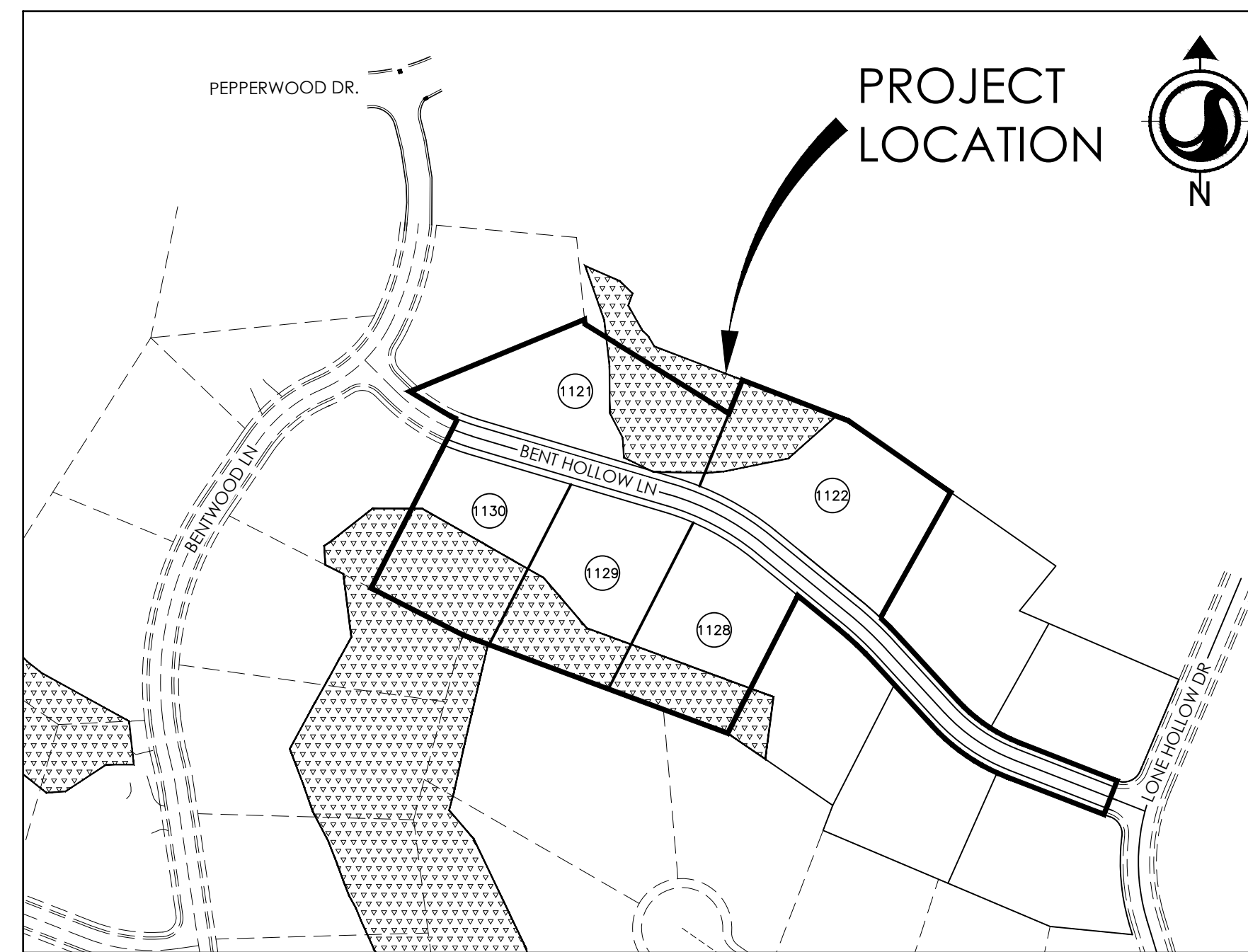


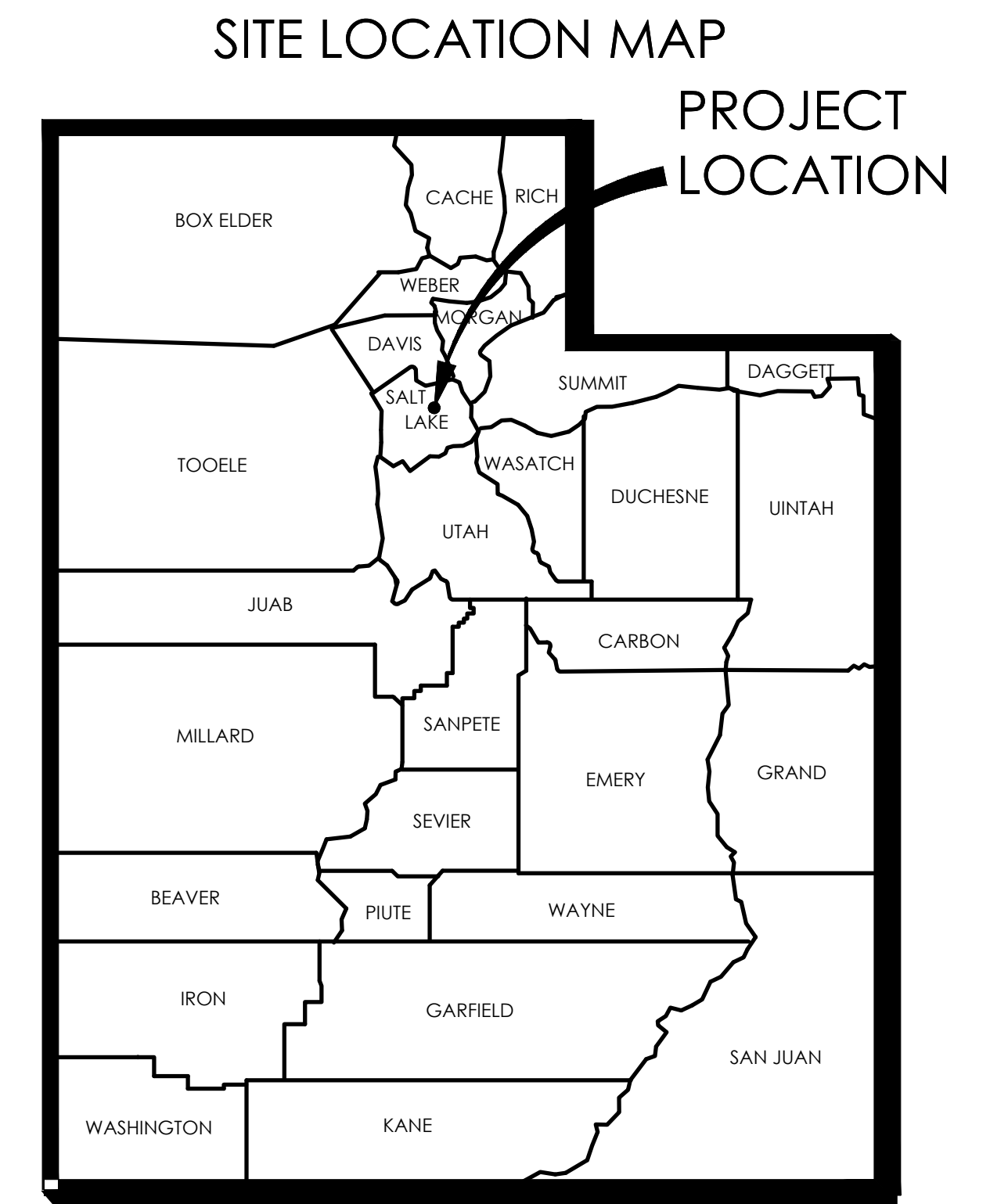


AUTUMN RIDGE DEVELOPMENT

SITE PLAN SUBMITTAL FOR PEPPERWOOD PHASE 11E SANDY, UTAH

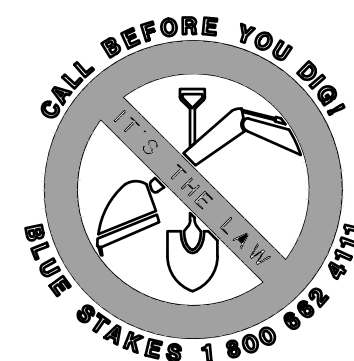


VICINITY MAP
NO SCALE



STATE OF UTAH



INDEX OF DRAWINGS		
Drawing No.	Sheet Number	Sheet Title
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3	C100	OVERALL SITE PLAN
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7	C300	UTILITY PLAN
8	C400	PLAN & PROFILE BENT HOLLOW LN STA 1+00.00 TO STA 6+42.37
9	C401	PLAN & PROFILE BENT HOLLOW LN STA 6+42.37 TO STA 11+00
10	C500	EROSION CONTROL PLAN
11	C600	DETAILS
12	C601	DETAILS



JANUARY 11, 2021
Project Number: 2042598500

Consultants

Legend

-  30% SLOPE
-  PHASE BOUNDARY

Notes

Revision	By	Appd.	YY.MM.DD

Issued	By	Appd.	YY.MM.DD

File Name:	Dwn.	Chkd.	Dsgn.	YY.MM.DD

Permit-Seal



Client/Project
 AUTUMN RIDGE DEVELOPMENT

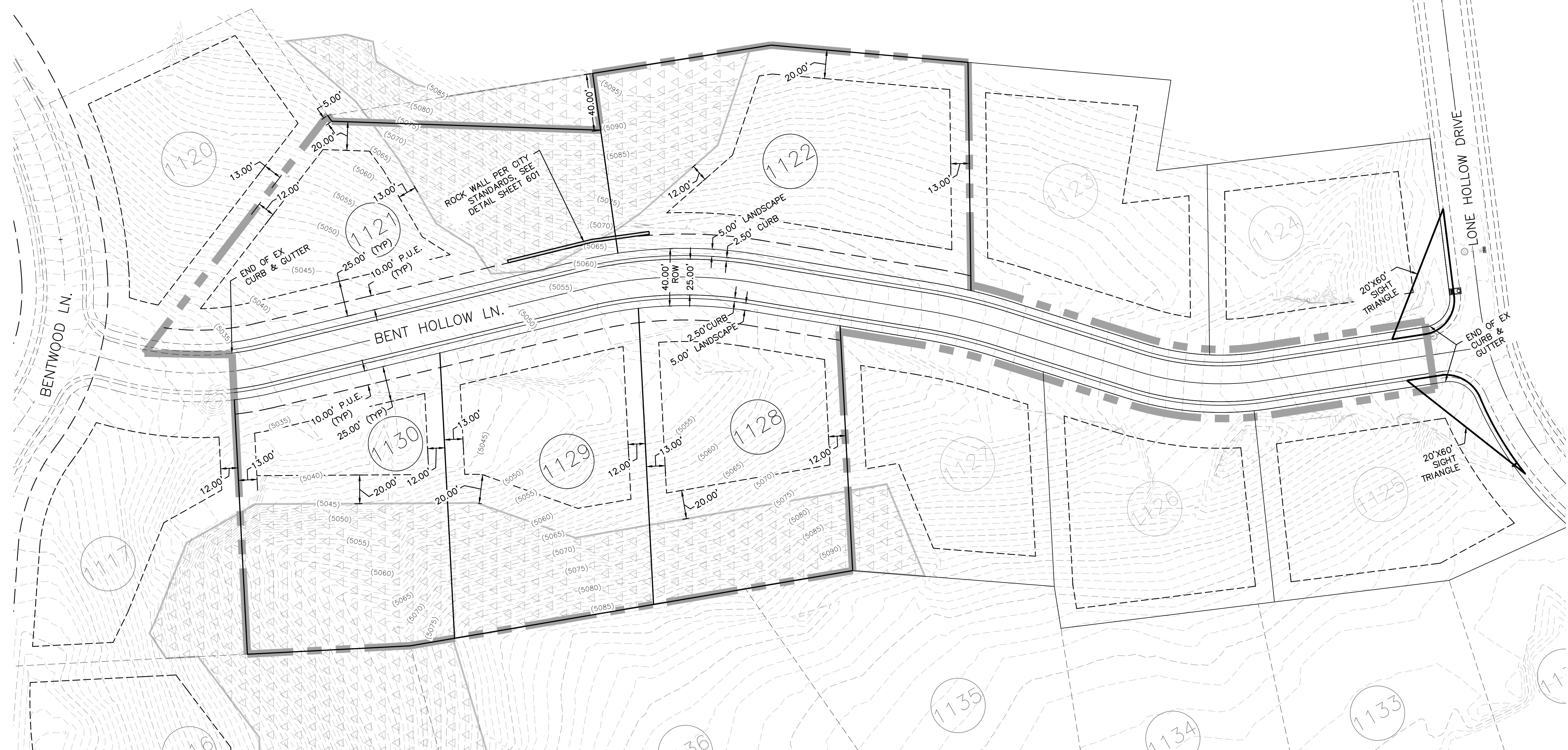
PEPPERWOOD PHASE 11E
 SANDY, UTAH

Title
 OVERALL SITE PLAN

Project No. 2042598500	Scale 1" = 40'
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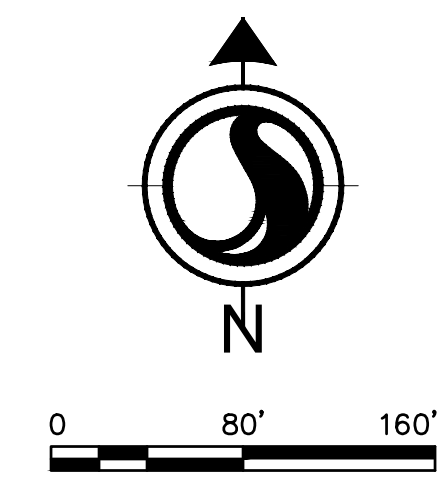
Drawing No.	Sheet	Revision
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C-100 3 of 12



PEPPERWOOD PHASE E DEVELOPMENT AREAS

LOT #	AREA (SF)	AREA (AC)
1121	31,400	0.72
1122	36,731	0.84
1130	27,442	0.63
1129	28,565	0.66
1128	26,948	0.62
TOTAL	151,086	3.47
ROADWAY AREA	25,552	0.59
LANDSCAPE AREA	8,532	0.20
TOTAL ROW	34,084	0.78
TOTAL DEVELOPMENT	185,170	4.25



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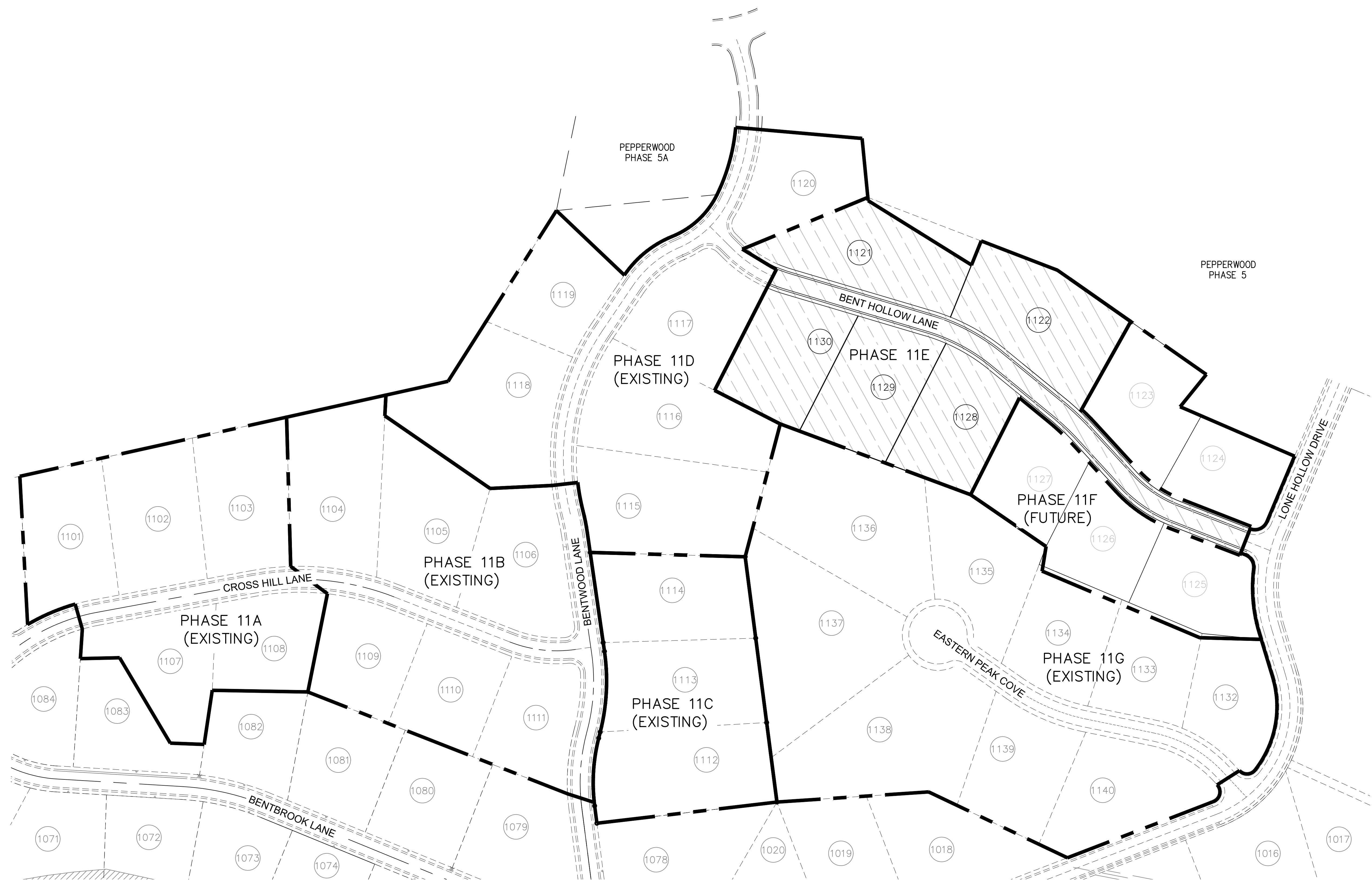


Client/Project
 AUTUMN RIDGE DEVELOPMENT
 PEPPERWOOD PHASE 11E
 SANDY, UTAH

Title
 PHASING PLAN

Project No.	Scale	
2042598500	1"=80'	
Drawing No.	Sheet	Revision

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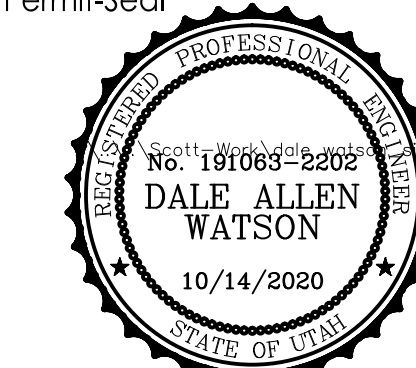
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Client/Project
AUTUMN RIDGE DEVELOPMENT
PEPPERWOOD PHASE 11E
SANDY, UTAH

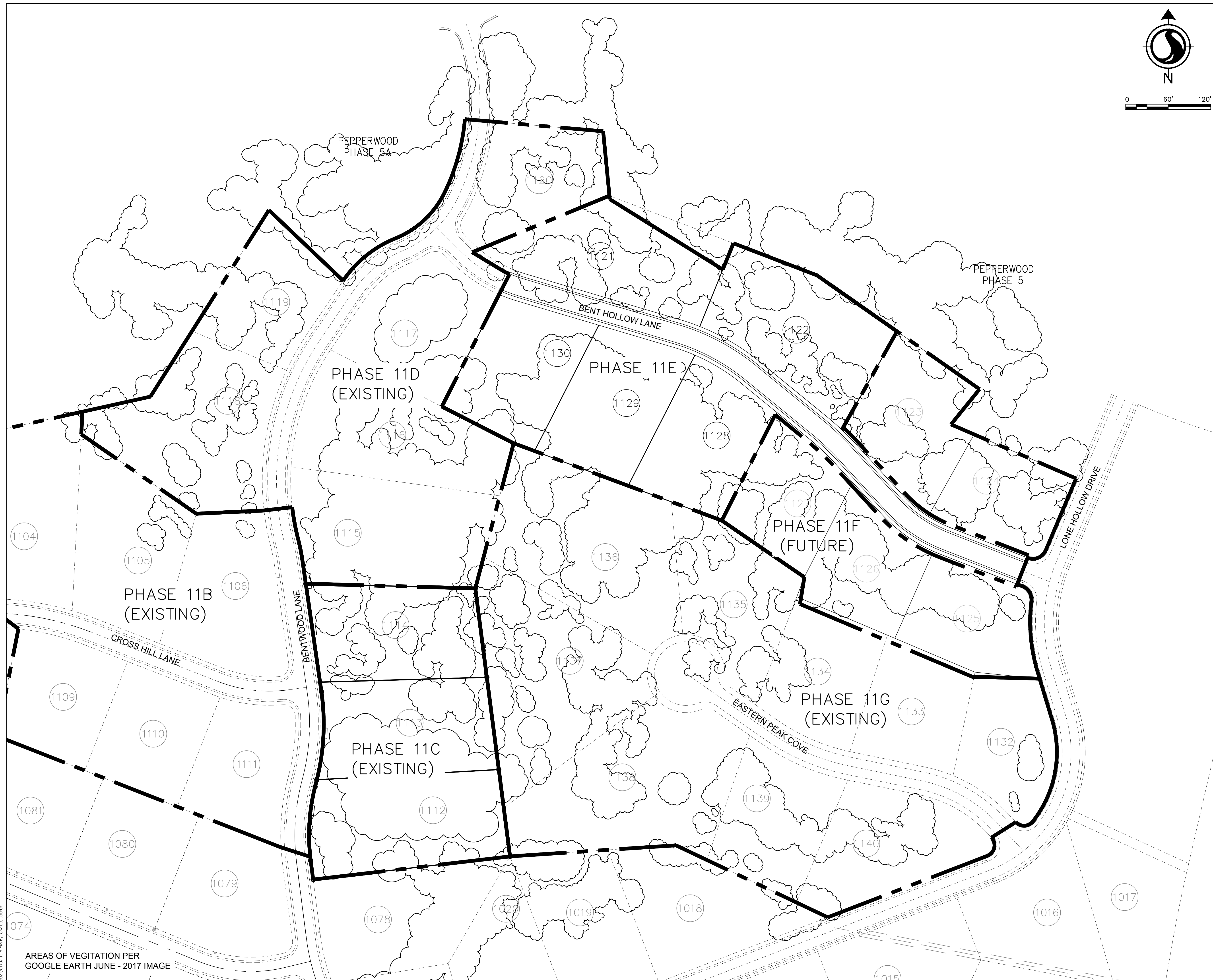
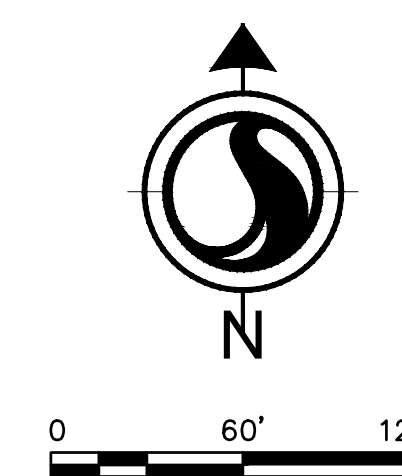
Title
EXISTING VEGETATION PLAN

2042598500 NO SCALE

Project No. Scale

Drawing No. Sheet Revision

C-102 5 of 12



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AREAS OF VEGETATION PER
 GOOGLE EARTH JUNE - 2017 IMAGE

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Legend

- 30% SLOPE
- PHASE BOUNDARY

Notes

1. 30%-OR-GREATER-SLOPE AREA: NO GRAD CUTTING, FILLING, OR CONSTRUCTION OF AN ALLOWED EXCEPT AS APPROVED BY THE SA ENGINEER.

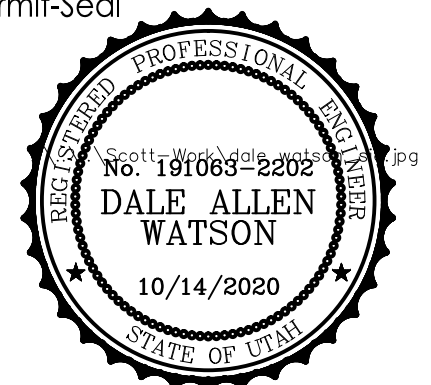
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Revision	By	Appd.

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File Name:	Dwn.	Chkd.	Dign.

Permit-Seal



Client/Project

AUTUMN RIDGE DEVELOPMENT

PEPPERWOOD PHASE 11E

SANDY, UTAH

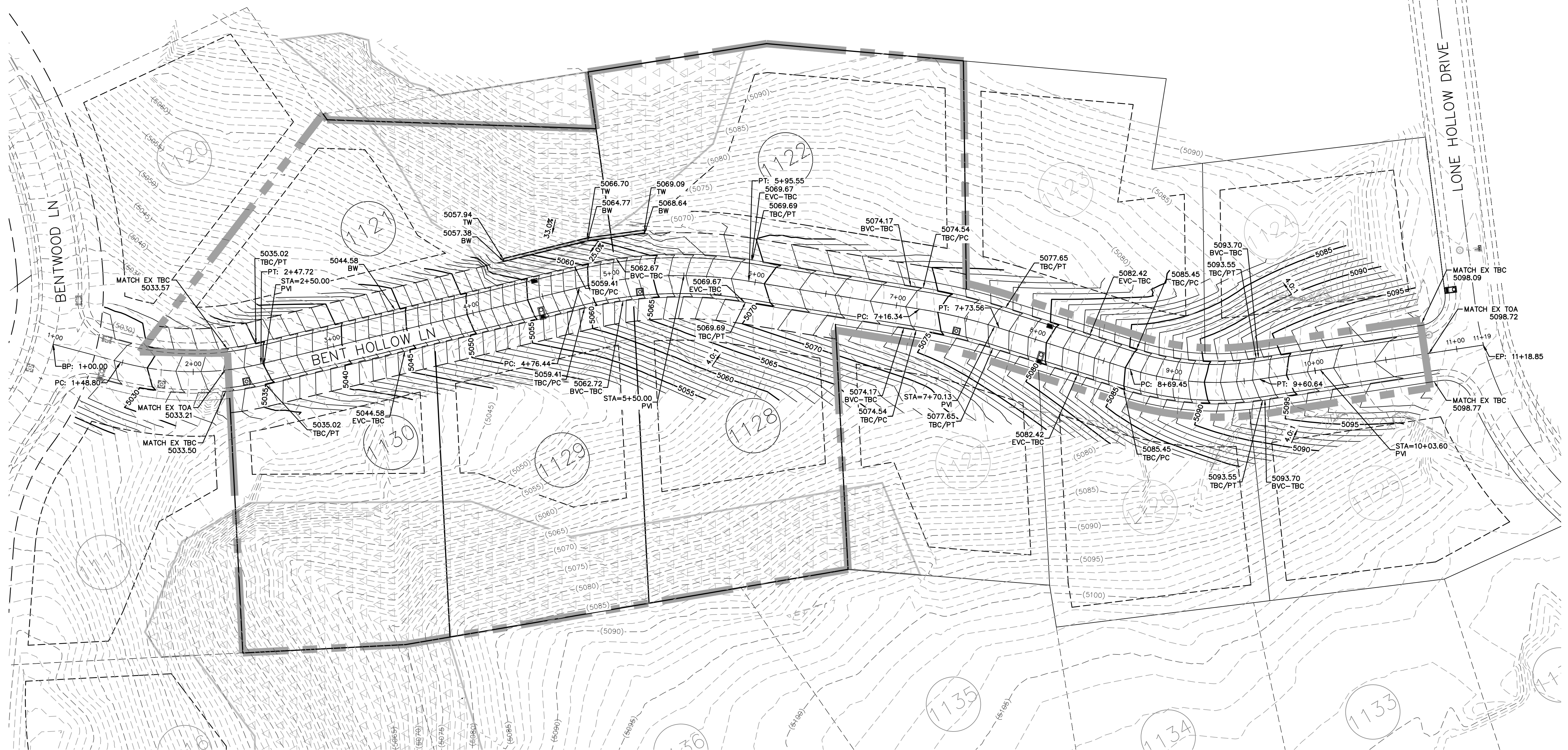
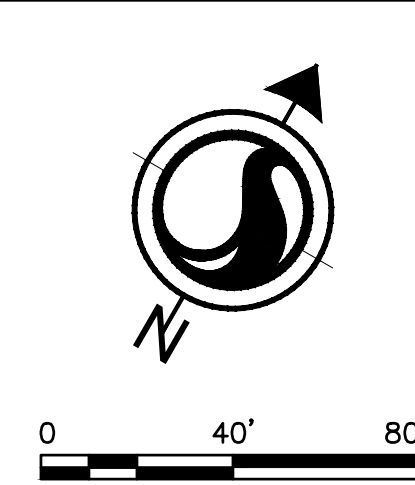
Title

DETAILED GRADING PLAN

Project No. 2042598500 Scale 1" = 40'

Drawing No. Sheet Rev

C-200 6 of 12



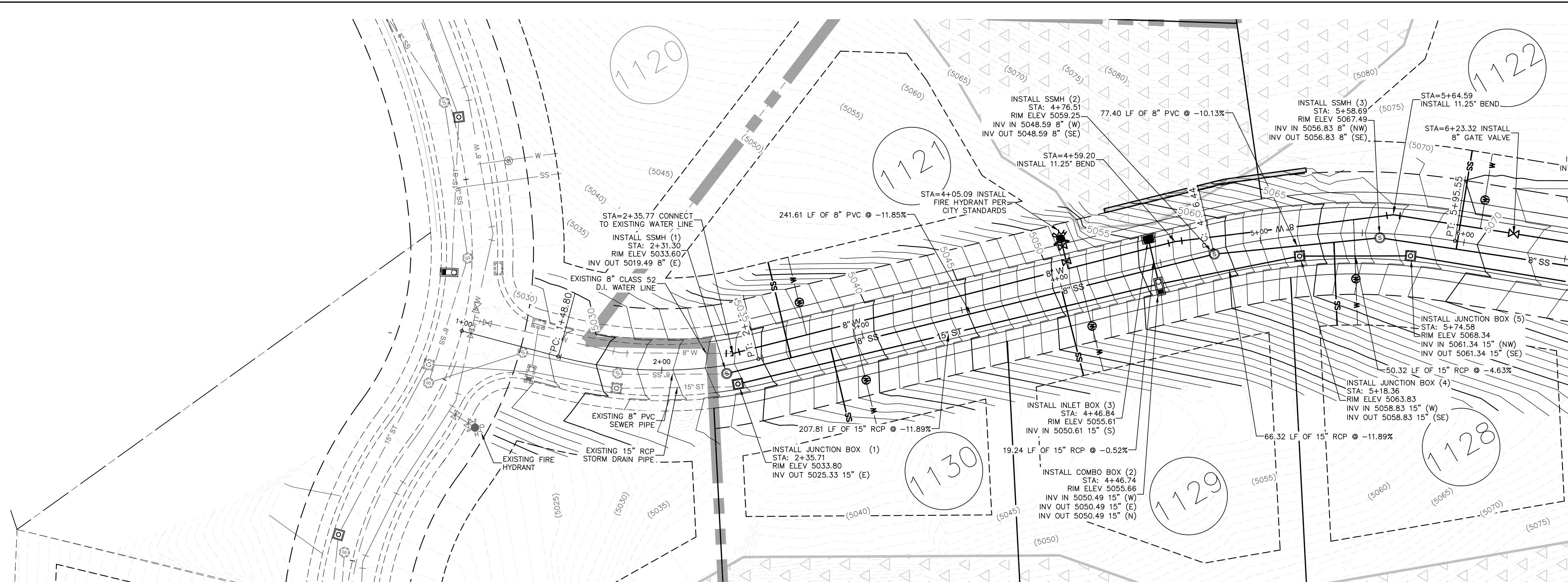
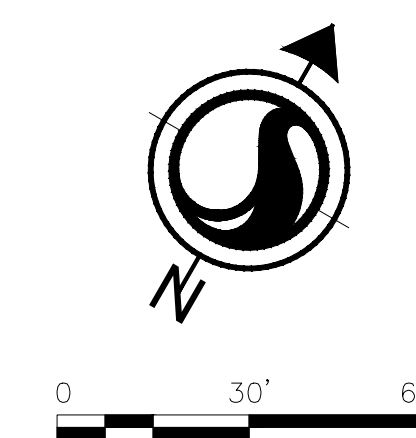
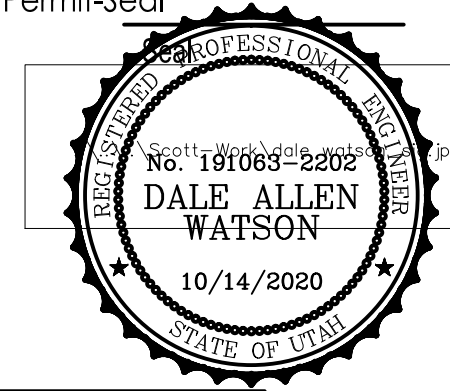
GRADING AND DRAINAGE NOTES:

1. CONTRACTOR TO GRADE SITE ACCORDING TO THESE PLANS. ALL STORM DRAIN IMPROVEMENTS TO COMPLY WITH SANDY CITY STANDARDS AND SPECIFICATIONS AS APPROVED HEREIN.
2. DEVELOPER SHALL PROVIDE ALL CONSTRUCTION LAYOUT AND STAKING.
3. CONTRACTOR RESPONSIBLE FOR DAMAGE AND DEBRIS TO ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS
4. CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND STEPS TO ASSURE SOUND GRADING PRACTICES. CONTRACTOR MAY REVIEW THE GEOTECHNICAL REPORT PREPARED BY: DAMES & MOORE GROUP COMPANY, PEPPERWOOD PHASE 10, FEBRUARY 21, 1997
5. CONTRACTOR SHALL SECURE AN EXCAVATION PERMIT FROM SANDY CITY PUBLIC WORKS DEPARTMENT (MONICA PETERSEN, 8775 SOUTH 700 WEST, 801-568-2964.) PRIOR TO PERFORMING ANY WORK IN THE SANDY CITY RIGHT-OF-WAY. TRAFFIC PLAN, BONDING AND INSURANCE WILL BE REQUIRED.
6. OWNER SHALL SUBMIT A NOTICE OF INTENT (N.O.I.) GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES THAT ARE CLASSIFIED AS "ASSOCIATED WITH INDUSTRIAL ACTIVITY" FOR WORK UNDER THIS CONTRACT.
7. OWNER SHALL SUBMIT A NOTICE OF INTENT (N.O.I.) TO THE EXECUTIVE SECRETARY AND SEND TO: DEPARTMENT OF ENVIRONMENTAL QUALITY DIVISION OF WATER QUALITY 285 NORTH 1460 WEST P.O. BOX 144870 SALT LAKE CITY, UTAH 84114-4870
8. OWNER SHALL COVER ALL DISCHARGE AND APPLICATION FEES REQUIRED FOR THE STORM WATER DISCHARGE PERMIT DURING CONST.
9. THE CONTRACTOR AT ALL TIMES DURING THE COURSE OF THE PROJECT SHALL COMPLY WITH THE REGULATIONS AND REQUIREMENTS OF THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES THAT ARE CLASSIFIED AS "ASSOCIATED WITH INDUSTRIAL ACTIVITY". CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A STORM WATER POLLUTION PREVENTION PLAN AS REQUIRED BY THE PERMIT.
10. CONTRACTOR SHALL PROVIDE DUST CONTROL DURING THE COURSE OF CONST.. DUST ABATEMENT SHALL MEET STATE AND COUNTY REQUIREMENTS.
11. ALL REINFORCED CONCRETE PIPE TO BE CLASS III, OR ENGINEER APPROVED. JOINTS SHALL BE THERMAL MOLDED 20 PSI SEWER TIGHT JOINT
12. ALL GRADING SHALL CONFORM SANDY CITY DEVELOPMENT CODE AND CONDITIONS AND REQUIREMENTS SPECIFIED IN THE PROJECT GEOTECHNICAL INVESTIGATION PREPARED BY APPLIED GEOTECHNICAL ENGINEERING CONSULTANTS, INC.
13. CUT AND FILL SLOPE SHALL NOT EXCEED A MAXIMUM SLOPE OF 2:0:1 WITHOUT WRITTEN APPROVAL OF THE DESIGN ENGINEER AND CONCURRENCE OF THE SANDY CITY ENGINEER.
14. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A QUALIFIED SOILS ENGINEER WHO SHALL CERTIFY THAT ALL FILL HAS BEEN PLACED IN ACCORDANCE WITH THE PROVISIONS IN CHAPTER A33 OF UBC.
15. COMPACTION TEST REPORTS SHALL BE MADE AVAILABLE TO THE SANDY CITY INSPECTOR WITHIN 24 HOURS OF A REQUEST.
16. FINAL REPORTS AS SPECIFIED IN PARAGRAPHS 3318.1(1) AND 3318.1(2) OF UBC SHALL BE SUBMITTED TO THE SANDY CITY INSPECTOR WITHIN TEN (10) DAYS AFTER COMPLETION OF GRADING.
17. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER AND OWNER OF ANY CONDITIONS ENCOUNTERED IN WHICH BURIED CONSTRUCTION DEBRIS OR MAN MADE MATERIALS ARE ENCOUNTERED DURING SITE EXCAVATION AND GRADING. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF OFFSITE ALL UNACCEPTABLE MATERIALS AND SOILS AS DETERMINED BY THE OWNERS REPRESENTATIVE. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR RECOMMENDATIONS WHEN UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR FLAGGING AND PUBLIC SAFETY ON ALL ADJACENT STREETS AND CONSTRUCTION SITE.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR OSHA SAFETY STANDARDS.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES KNOWN OR UNKNOWN.
21. CONTRACTOR SHALL ATTEND ALL PRECONSTRUCTION CONFERENCES.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVATION OF ALL CONSTRUCTION STAKES.
23. CONTRACTOR TO NOTIFY ENGINEER IF CONFLICT EXISTS. CONTRACTOR TO POT HOLE ALL UTILITIES PRIOR TO CONSTRUCTION.
24. NO GRADING (EXCAVATION OR FILL) ALLOWED IN ANY BERM MITIGATION AREAS OR 30% SLOPE ZONES EXCEPT AS APPROVED IN WRITING BY THE SANDY CITY ENGINEER.
25. ALL PUBLIC IMPROVEMENTS WITHIN SANDY CITY'S JURISDICTION SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION).
26. DUST, MUD AND EROSION SHALL BE ADEQUATELY CONTROLLED BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES.
27. BUILDER / OWNER SHALL OBTAIN AN EXCAVATION PERMIT IF REQUIRED, FROM SANDY CITY FOR WORK DONE IN DIMPLE DELL ROAD AND WASATCH BOULEVARD.
28. NOTIFY SANDY CITY PUBLIC WORKS INSPECTION DEPARTMENT, 801-568-2999, 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF ANY ROADWAYS OR PUBLIC IMPROVEMENTS. ALL INSPECTIONS MUST BE DONE PRIOR TO OR CONCURRENT WITH CONSTRUCTION. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE UNCOVERING AND/ OR REMOVAL OF ALL CONSTRUCTION DONE WITHOUT NOTIFICATION AT THE DISCRETION OF THE CITY ENGINEER.
29. PROVIDE A PROCTOR TEST FOR ROADBASE MATERIAL WHEN DELIVERED OR PLACED ON SITE.

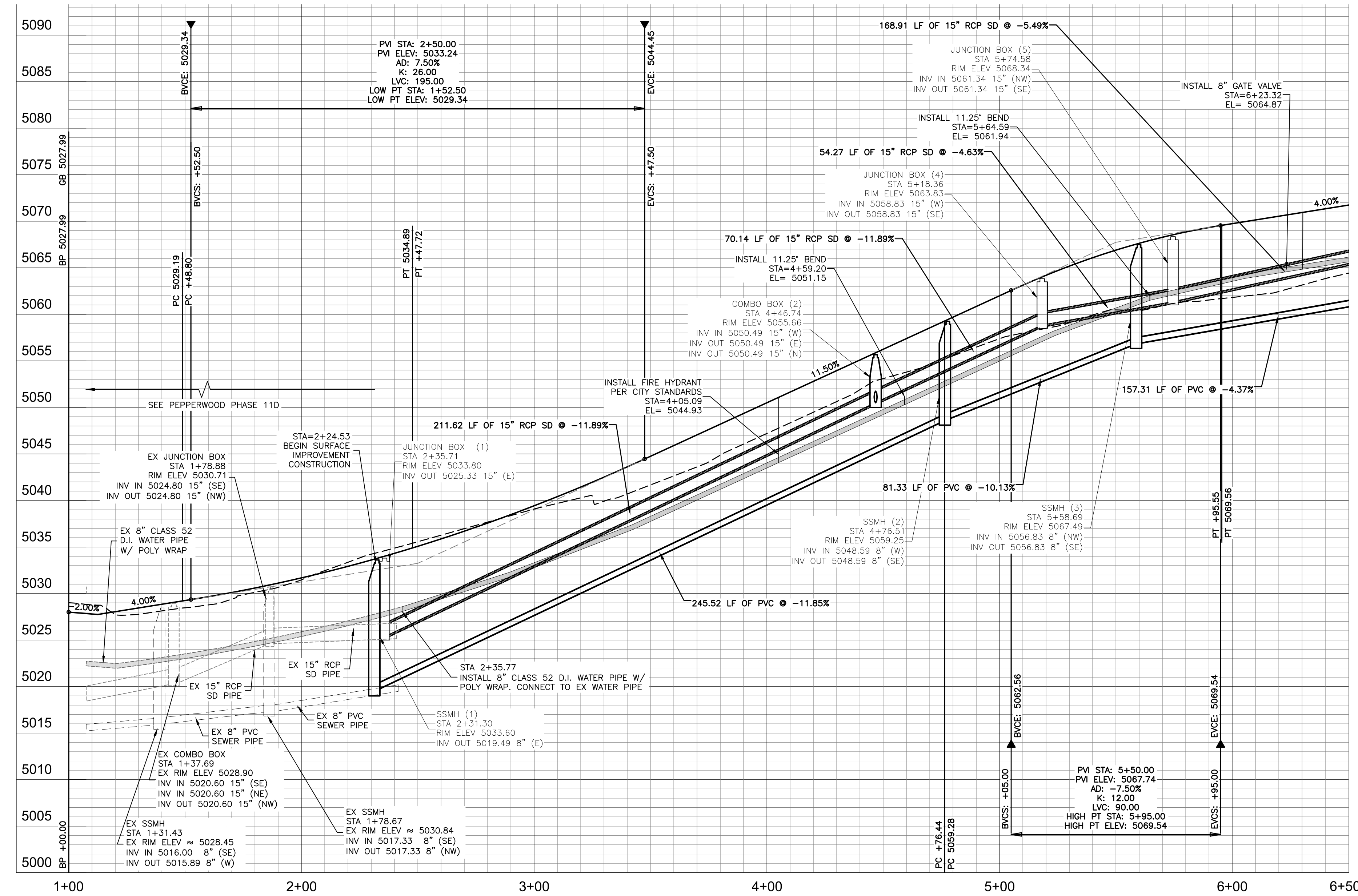
STORM WATER NOTES:

1. Notify Sandy City Public Utilities Inspector (801-568-7280), at least one business day (24 hours) prior to beginning construction.
2. A pre-construction meeting is required once final approval has been granted. The pre-construction meeting shall be scheduled through Sandy City Public Works Department.
3. All construction shall conform to the latest revision of the Sandy City Standard Specifications and Details for Municipal Construction and/or other requirements as set forth in the Public Utilities Final Review and Approval Letter established for the development. Specifications and details can be obtained on the Sandy City website.
4. Submittals are required to be approved by the Consulting Engineer for all bedding, backfill, pipe, and structures (inlet boxes, combo boxes, and junction boxes). Submittals must have sufficient information to show that the proposed items conform to Sandy City standards and specifications.
5. Construction work shall be conducted in accordance with the Utah Pollution Discharge Elimination System (UPDES) regulations.
6. All materials and work done in UDOT right-of-way shall conform to UDOT standards and specifications.
7. Non-shrink grout shall be used wherever grout is required for the storm drain facilities.
8. Cut pipes off flush with the inside wall of the box or manhole and grout at connection of pipe to box to a smooth finish. Additionally, all jagged or sharp edges at pipe connections are to be removed and grouted smooth.
9. Grout between grade rings. For each inlet box that is located next to a curb, the curb and gutter Contractor is responsible to remove all protruding, jagged or sharp concrete edges and to grout between bottom of inlet lid frame and top of concrete box. Grout to create a smooth, beveled transition at all edges in clean out and inlet boxes. Grout around all edges of the restrictive orifice plate.
10. Remove snap ties, nails, rebar and other protrusions from the box or pipe inside surface, as well as all form work, plastic and cardboard.
11. Silt and debris are to be cleaned out of all inlet boxes, combo boxes, junction boxes, and pipe. The boxes and pipes are to be maintained in a clean condition until after the final bond release inspection.
12. Clean off all manhole lids and inlet grades of asphalt, concrete, tar or other adhesives to allow access.
13. Where a sample is required, the Sandy City Public Utilities Inspector shall be contacted prior to construction to provide an opportunity to check the volume of gravel and gravel gradation.
14. Signs must be posted near each inlet box located in a drinking water recharge zone, with the following words "WARNING THIS IS A DRINKING WATER AQUIFER RECHARGE AREA. DISPOSAL OF ANY WASTE MATERIALS IN THE STORM WATER IS STRICTLY PROHIBITED."
15. All inlet and junction boxes shall be placed on 12-inch (min.) compacted stabilization material.
16. A video of all pipes must be completed before the 80% or 90% bond release and again before final bond release.
17. A representative of the manufacturer or supplier shall be on site during installation of oil/water separators and underground detention/retention systems. The manufacturer or supplier shall provide a letter stating that the system was installed per manufacturer's specifications. If it is unknown whether a representative is required to be present during installation, contact the Sandy City Public Utilities Inspector.
18. A letter from the Consulting Engineer is required to be submitted to Sandy City Public Utilities Department, prior to 90% bond release, verifying that the volume for retention/detention ponds was installed per the approved plans.

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SEE SHEET 401 FOR CONTINUATION



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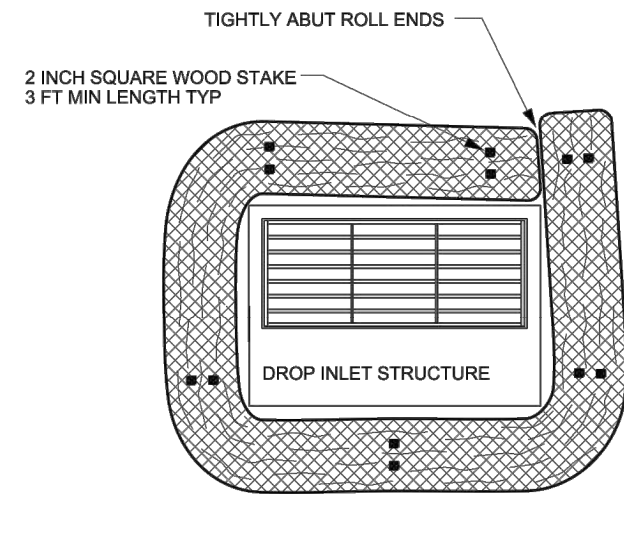
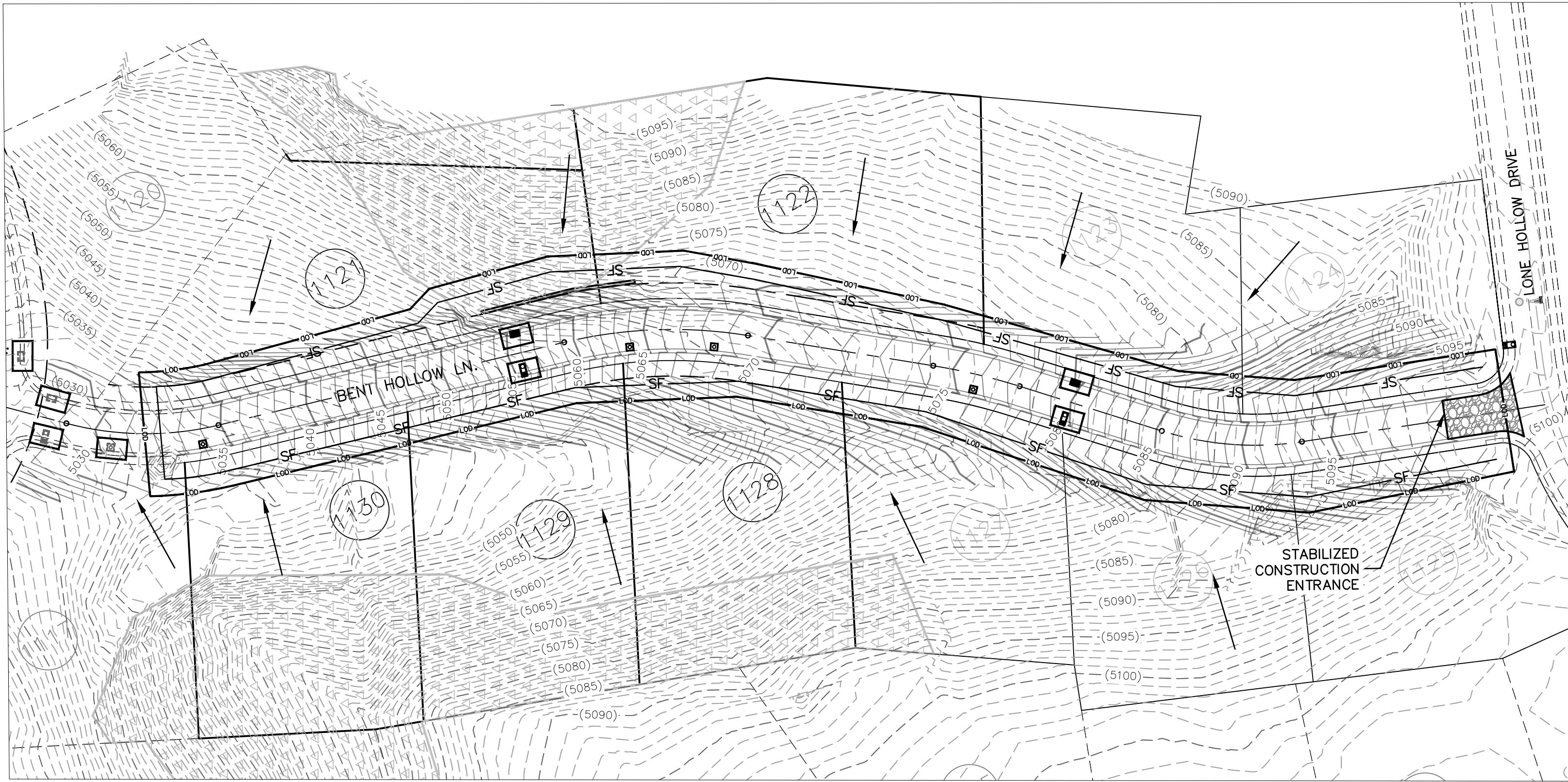
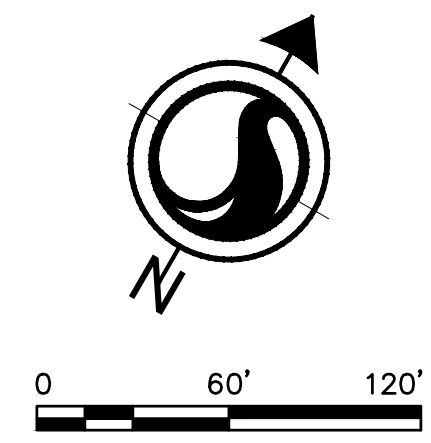
GENERAL NOTES:
1. ALL PUBLIC IMPROVEMENTS, WHICH ARE TO BE OWNED AND MAINTAINED BY SANDY CITY, SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION). THE SPECIFICATIONS CAN BE FOUND IN PDF FORMAT ONLINE AT WWW.SANDY.UTAH.GOV (CLICK ON "DEPARTMENTS", THEN "PUBLIC WORKS", THEN "STANDARD SPECIFICATIONS").

2. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.

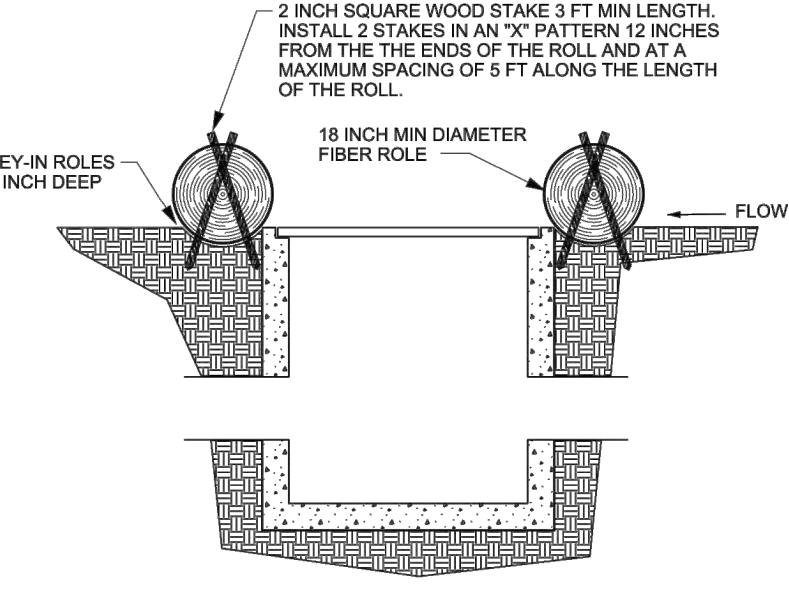
EROSION CONTROL NOTES:

- CONTROLLING SEDIMENT TRANSPORT AND PREVENTING AND/OR CORRECTING PROBLEMS ASSOCIATED WITH EROSION AND RUNOFF PROCESSES THAT COULD OCCUR BOTH DURING AND AFTER PROJECT CONSTRUCTION WILL BE CLOSELY MONITORED. PERIODIC MAINTENANCE AND INSPECTION OF SEDIMENT CONTROL DEVICES WILL BE SCHEDULED. PARTICULAR ATTENTION SHALL BE GIVEN TO EXISTING DRAINAGE PATTERNS THAT RUN THROUGH DISTURBED AREAS AND OVER EXTREME SLOPES. THESE PATTERNS WILL BE IDENTIFIED TO ISOLATE PROBLEM AREAS WHERE WATER WILL CONCENTRATE. PROVISIONS SHALL BE MADE TO CHANNEL RUNOFF AWAY FROM NEW OR EXISTING IMPROVEMENTS TO PREVENT UNDERMINING AND GENERAL SITE EROSION. THESE PROVISIONS SHALL BE STABILIZED AND SHALL REMAIN IN PLACE UNTIL THE PERMANENT STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.
- EROSION CONTROL -- A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED IN ACCORDANCE WITH THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT FOR CONSTRUCTION, OUTLINING HOW EROSION AND SILTATION WILL BE CONTROLLED. A NOTICE OF INTENT (NOI) HAS BEEN SUBMITTED TO OBTAIN THE UPDES CONSTRUCTION PERMIT. A COPY OF THE PLAN MUST BE ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PLAN AND INSTALLING AND MAINTAINING THE EROSION CONTROL FACILITIES WITH EACH PHASE OF WORK. SHOULD SILT LEAVE THE SITE OR EROSION OCCURS, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE CORRECTIVE ACTION AND REPAIR ANY DAMAGE CAUSED BY THE SILT OR EROSION IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE MODIFICATION AND APPROVAL OF THE PLAN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- BEFORE CONSTRUCTION BEGINS, THE LIMITS OF DISTURBANCE (LOD) BOUNDARY SHALL BE FLAGGED ON SITE AND APPROVED BY THE OWNER'S REPRESENTATIVE AND THE ENGINEER. UNDER NO CIRCUMSTANCES SHALL SITE DISTURBANCE OCCUR OUTSIDE THE DESIGNATED AREAS AT ANY TIME DURING CONSTRUCTION.
- EXCAVATION AND EMBANKMENT OPERATIONS SHALL PROCEED IN SUCH A MANNER SO THAT FINISHING OF SLOPES, INCLUDING REVEGETATION SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER ROUGH GRADING. ALL SLOPES 2:1 OR FLATTER SHALL BE SCARIFIED WITH HEAVY EQUIPMENT, LEAVING TRACKS PERPENDICULAR TO THE SLOPE. SLOPES OVER 1:1 SHALL UTILIZE EROSION CONTROL/REVEGETATION MATTING.
- CUT SLOPES SHALL BE 2:1 MAXIMUM AND FILL SLOPES 2:1 MAXIMUM UNLESS ROCK IS ENCOUNTERED. CUT SLOPES IN ROCK MAY BE STEEPER, ONLY IF APPROVED BY CITY ENGINEER. THE TOPS OF ALL CUT SLOPES IN SOIL SHALL BE ROUNDED FOR A HORIZONTAL DISTANCE OF THREE (3) FEET BEYOND THE CATCH POINT. SLOPE ROUNDDING SHALL OCCUR AS THE SLOPE IS BEING BROUGHT DOWN. THE OVERALL SHAPE, HEIGHT AND GRADE OF ANY CUT AND/OR FILL SLOPE SHALL BE DEVELOPED IN CONCERT WITH THE EXISTING NATURAL CONTOURS, SCALE AND VEGETATION OF NATURAL TERRAIN. EXISTING VEGETATION SHOULD BE PRESERVED WHEREVER POSSIBLE AND DISTURBED PORTIONS OF THE SITE SHALL BE STABILIZED. STABILIZATION PRACTICES MAY INCLUDE, BUT NOT BE LIMITED TO, TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, PROTECTION OF TREES, PRESERVATION OF NATURAL VEGETATION AND OTHER APPROPRIATE MEASURES. USE OF IMPERVIOUS SURFACES FOR STABILIZATION SHALL BE AVOIDED, EXCEPT AS PROVIDED BELOW. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE IN DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- A WHERE DEEP SNOW OR FROZEN GROUND CONDITIONS PRECLUDE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY PERMANENTLY CEASES, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
- WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING WILL RESUME WITHIN 21 WORKING DAYS, TEMPORARY STABILIZATION MEASURES NEED NOT BE INITIATED ON THAT PORTION OF THE SITE.
- SPECIFICALLY OUTLINED DISTURBED AREAS, BOTH ON AND OFF-SITE SHALL BE REVEGETATED. THESE AREAS SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL UNSURFACED AREAS WITHIN THE FLAGGED LOD, STAGING AND STORAGE AREAS, MATERIAL WASTE AREAS, UNDERGROUND UTILITY CONSTRUCTION AREAS, BENCHES AREAS, INCLUDE RETAINING WALL BENCHES, AND TEMPORARY OR EXISTING ACCESS ROADS USED FOR CONSTRUCTION ACTIVITIES. CUT AND FILL SLOPES OVER 3:1 REQUIRE THE PLACEMENT OF EROSION CONTROL/REVEGETATION MATTING. SLOPES LESS THAN 3:1 MAY BE SPRAYED WITH TACKIFIER. ROCK TACKIFIER WITH REVEGETATION SHALL NOT BE USED.
- A SWALE SEDIMENT TRAP FOR ALL DRAINAGE WAYS INTERCEPTED BY PROPOSED ROAD CONSTRUCTION WILL BE FORMED. TRAPS WILL BE PLACED IN SURFACE DRAIN DITCHES JUST BEFORE THE RUNOFF LEAVES THE PROPERTY, ENTERS A WATERCOURSE OR IMMEDIATELY PROCEEDING DITCH INLETS OR STABILIZED OUTLETS. SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED (PREFERABLY UNDISTURBED) GROUND OR LEFT TO PERCOLATE INTO THE GROUND.
- CONTROLLED OUTLETS SHALL DIRECT COLLECTED RUNOFF THROUGH SILT FENCES OR STRAW BALES
- TYPICAL FUGITIVE DUST SHALL BE CONTROLLED BY WATERING AND/OR CHEMICAL STABILIZATION, PROVIDING VEGETATIVE OR SYNTHETIC COVER AND WIND BREAKS CONSISTENT WITH THE UTAH STATE DIVISION OF AIR QUALITY STANDARDS.
- ANY SEDIMENT TRACKED OFF-SITE SHALL BE REMOVED IMMEDIATELY.
- CONTRACTOR MAY ADJUST THE LOCATIONS OF THE CONSTRUCTION FENCE, CONSTRUCTION TRAILERS, AND CONSTRUCTION MATERIALS RECEIVING AND STORAGE AREAS, AS NEEDED TO ACCOMPLISH THE CONSTRUCTION. ALL CHANGES SHALL BE NOTATED ON THE EROSION CONTROL PLAN.
- THE OWNER'S REPRESENTATIVE SHALL CONDUCT PERIODIC INSPECTIONS OF THE EROSION CONTROL MEASURES, AS REQUIRED AND NOTATED IN THE SWPPP. THE OWNER'S REPRESENTATIVE WILL MAINTAIN A LOG ON-SITE OF ALL INSPECTIONS WITH THE SWPPP.
- ANY TREE 12" IN DIAMETER OR LARGER WILL NOT BE REMOVED UNTIL LOCATED BY SURVEY AND THE REMOVAL APPROVED BY THE OWNER OR EQUAL.
- ALL DITCHES AND SWALES BETWEEN 5X AND 8X SHALL BE ARMORED WITH A STRAW TYPE EROSION CONTROL/REVEGETATION STABILIZATION MAT TO PROMOTE REVEGETATION.
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED UNTIL SUCH TIME AS ROADS ARE ASPHALTED AND INDIVIDUAL HOME LOTS ARE BEING DEVELOPED.
- PORTABLE TOILETS MAY BE LOCATED UPON ANY INDIVIDUAL HOME LOT.
- CONTRACTOR MAY ADJUST THE LOCATION OF CONCRETE WASHOUT AREAS AS NEEDED TO ACCOMPLISH THE CONSTRUCTION.
- A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP OR SWP3) SHALL BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES, PER THE REQUIREMENTS OF THE UPDES CONSTRUCTION GENERAL PERMIT.
- THE SWPPP SHALL BE REVISED AS NEEDED AND KEPT UP-TO-DATE THROUGHOUT THE TIME OF CONSTRUCTION.
- THE DUST, MUD, AND EROSION CONTROL PLAN SHALL BE ADJUSTED AS NEEDED. IF THE CONTROL PLAN DOES NOT FUNCTION AS INTENDED, A REPRESENTATIVE OF THE SANDY CITY PUBLIC WORKS DEPARTMENT MAY MAKE SUGGESTIONS, BUT THE DEVELOPER/CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE EFFECTIVENESS OF THE PLAN AND COMPLIANCE WITH ALL PERMITS AND REGULATIONS.
- ALL DUST, MUD AND EROSION CONTROL DEVICES SHALL BE CHECKED BY THE CONTRACTOR AS NEEDED. NEEDED CLEANING AND REPAIRS SHALL BE DONE IMMEDIATELY UPON DISCOVERY.
- ALL STORM DRAIN FACILITIES ON SITE AND ADJACENT TO THE SITE MUST BE PROTECTED FROM SOIL EROSION FLOWS. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY AS INDIVIDUAL INLETS ARE INSTALLED. ALL PIPE LINES THAT ARE CONNECTED TO THE PUBLIC SYSTEM SHALL BE KEPT FREE OF DIRT AND DEBRIS.
- EROSION CONTROL METHODS AND STRUCTURES SHALL REMAIN IN PLACE AND SHALL BE MAINTAINED BY THE CONTRACTOR AS LONG AS NEEDED TO PREVENT EROSION.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.
- THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS, FOR DUST SUPPRESSION, IS ABSOLUTELY PROHIBITED.

- ALL PRIVATE STREETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION, THE DEVELOPMENT CODE, AND ALL OTHER APPLICABLE CITY ORDINANCES, PER CITY CODE 15-06-03(L)(5).
- A PROFESSIONAL ENGINEER, CURRENTLY LICENSED IN UTAH, SHALL INSPECT AND APPROVE ANY RETAINING WALLS THAT ARE HIGHER THAN 4 FEET (FROM BOTTOM OF FOOTING TO TOP OF WALL), ONCE CONSTRUCTED.
- FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT. SANDY CITY STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN, HOWEVER, UNLESS GEOTECHNICAL REPORT RECOMMENDATIONS ARE MORE STRINGENT.
- ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.
- ALL PUBLIC IMPROVEMENTS WITHIN SANDY CITY'S JURISDICTION SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION).
- NOTIFY BRUCE COOK, SANDY CITY PUBLIC WORKS INSPECTION DEPARTMENT, 801-568-2999, 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF ANY ROADWAYS OR PUBLIC IMPROVEMENTS. ALL INSPECTIONS MUST BE DONE PRIOR TO OR CONCURRENT WITH CONSTRUCTION. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE UNCOVERING AND/OR REMOVAL OF ALL CONSTRUCTION DONE WITHOUT NOTIFICATION AT THE DISCRETION OF THE CITY ENGINEER.
- BUILDER/OWNER SHALL SECURE AN EXCAVATION PERMIT FROM SANDY CITY PUBLIC WORKS DEPARTMENT (MONICA PETERSEN, 8775 SOUTH 700 WEST, 801-568-2964) PRIOR TO DOING ANY WORK IN THE SANDY CITY RIGHT-OF-WAY. TRAFFIC PLAN, BONDING & INSURANCE WILL BE REQUIRED.
- IT IS UNLAWFUL FOR ANY PERSON TO INSTALL SURVEY MONUMENTS HAVING A SPATIAL RELATIONSHIP WITH ANY SECTION OR QUARTER SECTION CORNER WITHOUT HAVING FIRST OBTAINED FROM THE SALT LAKE COUNTY SURVEYOR'S OFFICE A PERMIT FOR SUCH INSTALLATION (UT. CODE ANN. SECTION 17-23-17). ALL SURVEY MONUMENTS INSTALLED SHALL BE IN ACCORDANCE WITH THE PERMIT ISSUED AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE SALT LAKE COUNTY SURVEYOR'S OFFICE. CONTACT PAM BIRT AT 801-468-2013 OR HENNA BROWN AT 801-468-2046 TO OBTAIN A PERMIT. STANDARD PRECAST MONUMENTS WILL BE FURNISHED BY THE COUNTY SURVEYOR'S OFFICE.



FIBER ROLL DROP INLET BARRIER PLAN

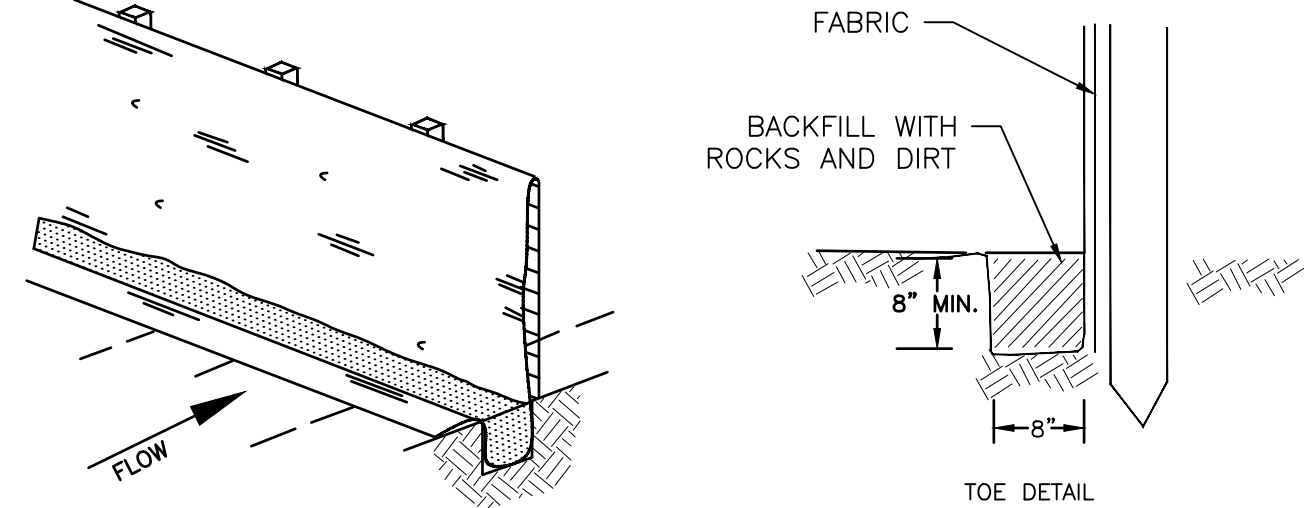


SECTION

- NOTES:
- KEY-IN FIBER ROLLS 2 INCH DEEP AROUND THE PERIMETER OF THE DROP INLET STRUCTURE AND STAKE AS SHOWN.
 - OVERLAP THE ENDS OF THE FIBER ROLL AT LEAST 18 INCHES.
 - CONSTRUCT ROLLS IN MEDIAN AREAS SO THAT THE TOPS OF THE ROLLS ARE NOT HIGHER THAN THE ADJACENT ROADWAY.
 - MAINTAIN A PROPERLY FUNCTIONING FIBER LOG BARRIER THROUGHOUT CONSTRUCTION OR UNTIL DISTURBED AREAS CONTRIBUTING TO THE INLET HAVE BEEN PAVED OR VEGETATED.
 - REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.

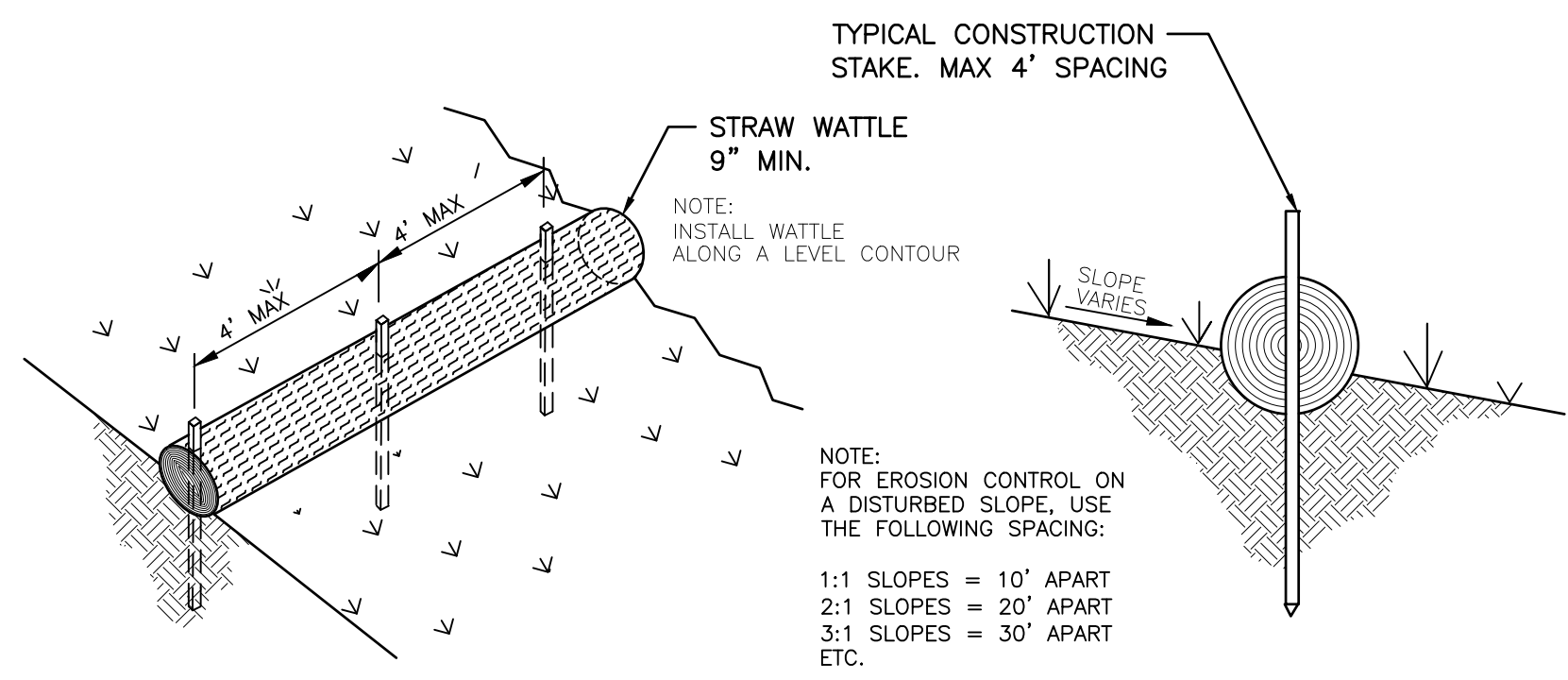
INLET PROTECTION WATTLE DETAIL

NO SCALE



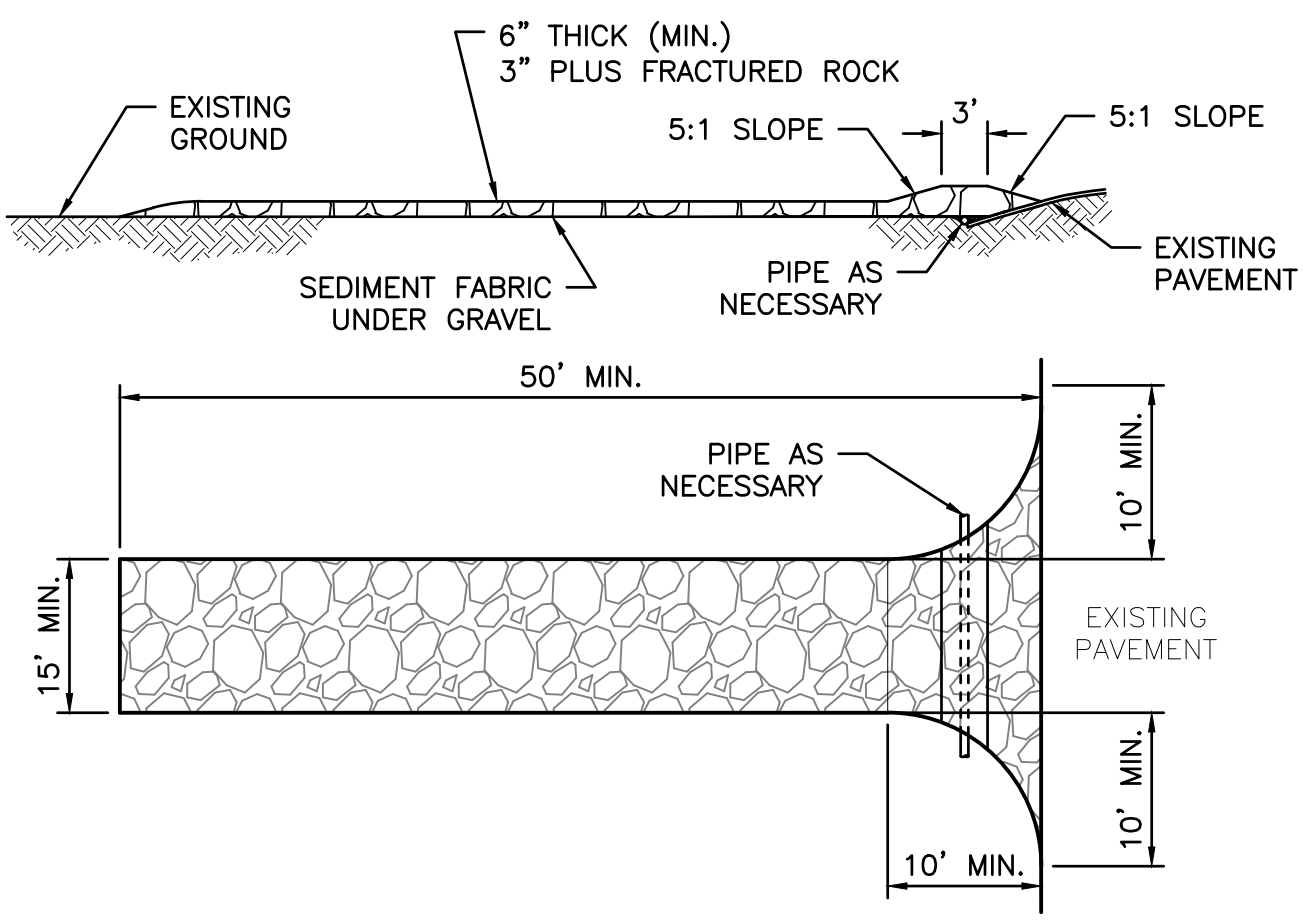
SILT FENCE DETAIL

NO SCALE



STRAW WATTLE DETAIL

NO SCALE



STABILIZED CONSTRUCTION ENTRANCE DETAIL

NO SCALE



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Consultants

Legend

- LOD LIMITS OF DISTURBANCE
- SF SILT FENCE
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE
- DIRECTION OF FLOW

Notes

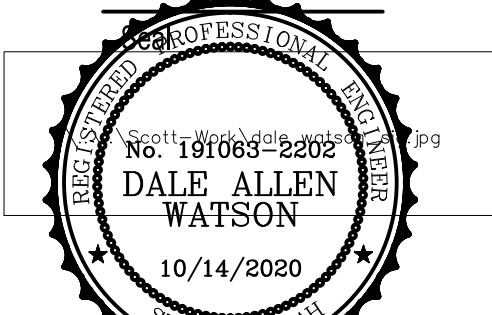
- 30% SLOPE

Revision	By	Appd.	Y.Y.MM.DD

Issued	By	Appd.	Y.Y.MM.DD

Permit Seal
DALE ALLEN WATSON
10/14/2020
STATE OF UTAH

Client/Project	AUTUMN RIDGE DEVELOPMENT		
	PEPPERWOOD PHASE 11E		
	SANDY, UTAH		
Title	EROSION CONTROL PLAN		
Project No.	Scale		
2042598500	1" = 60'		
Drawing No.	Sheet	Revision	

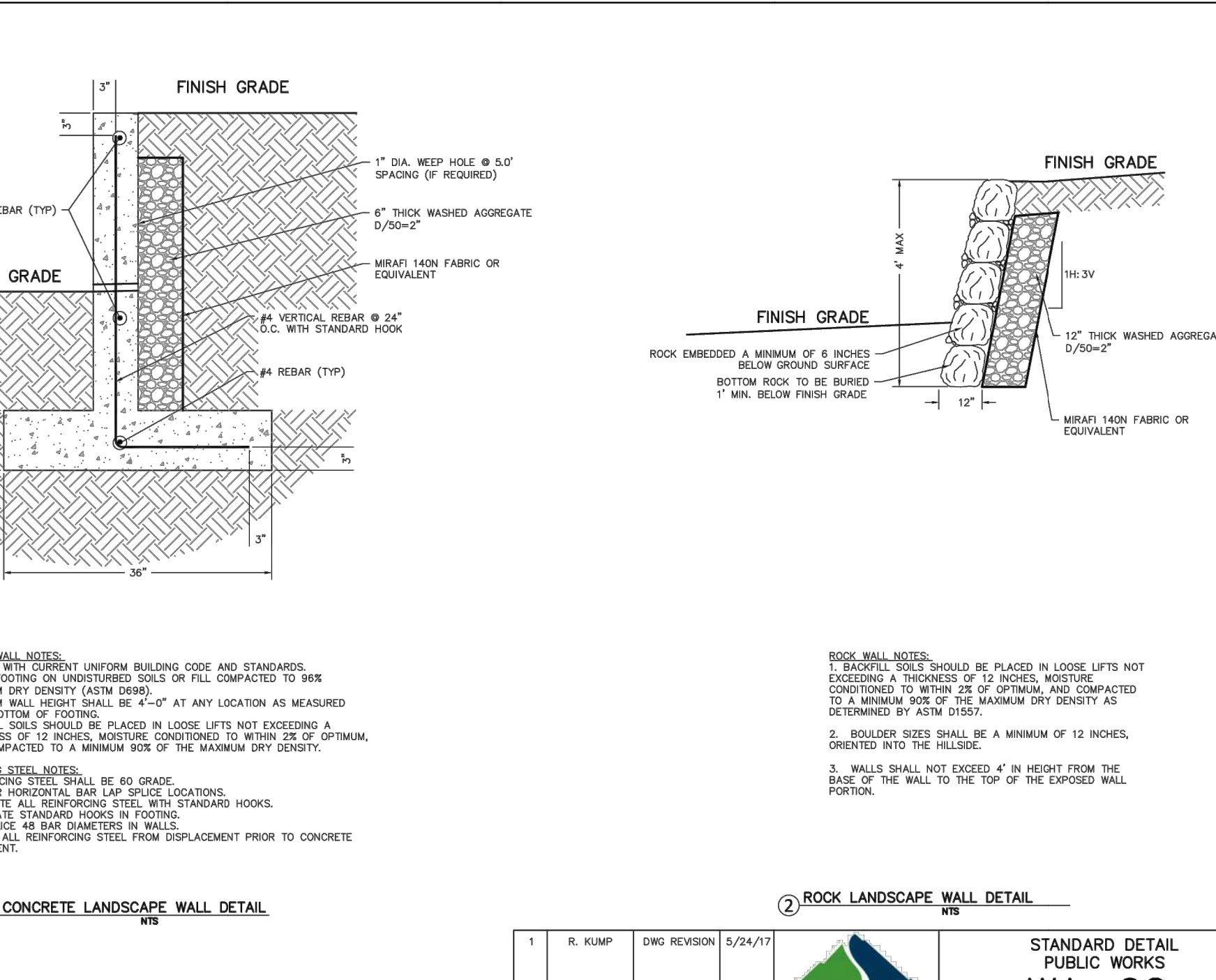
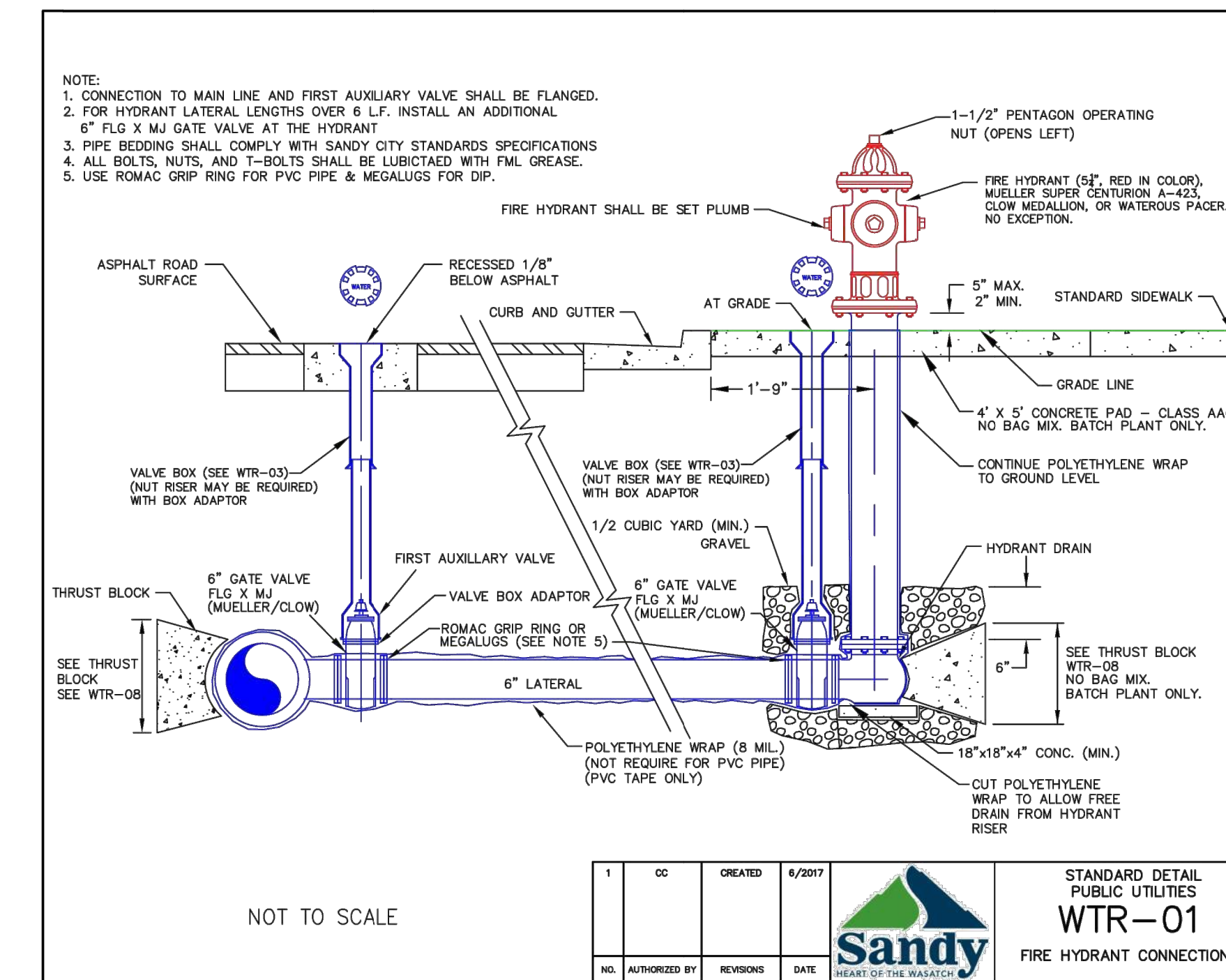
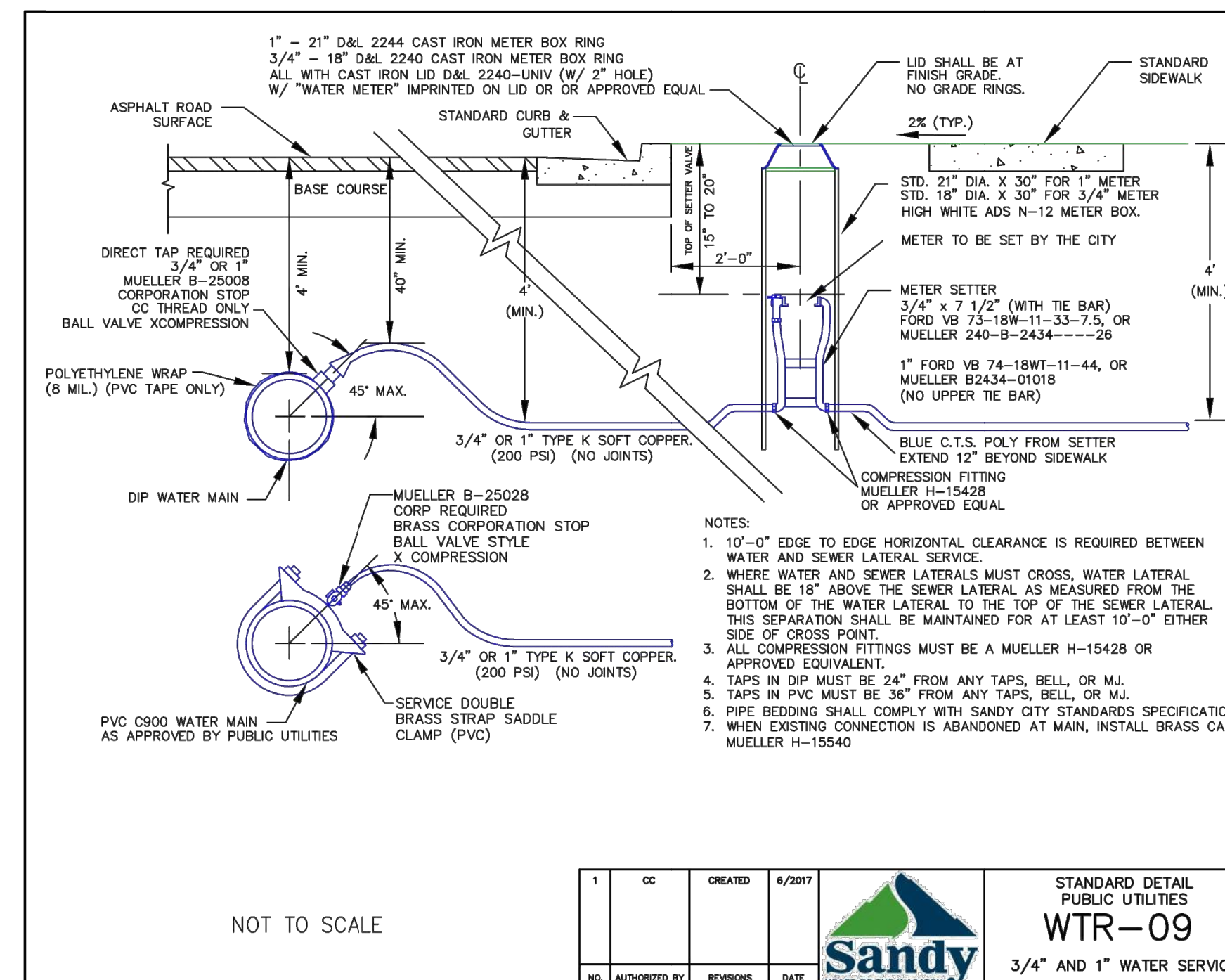
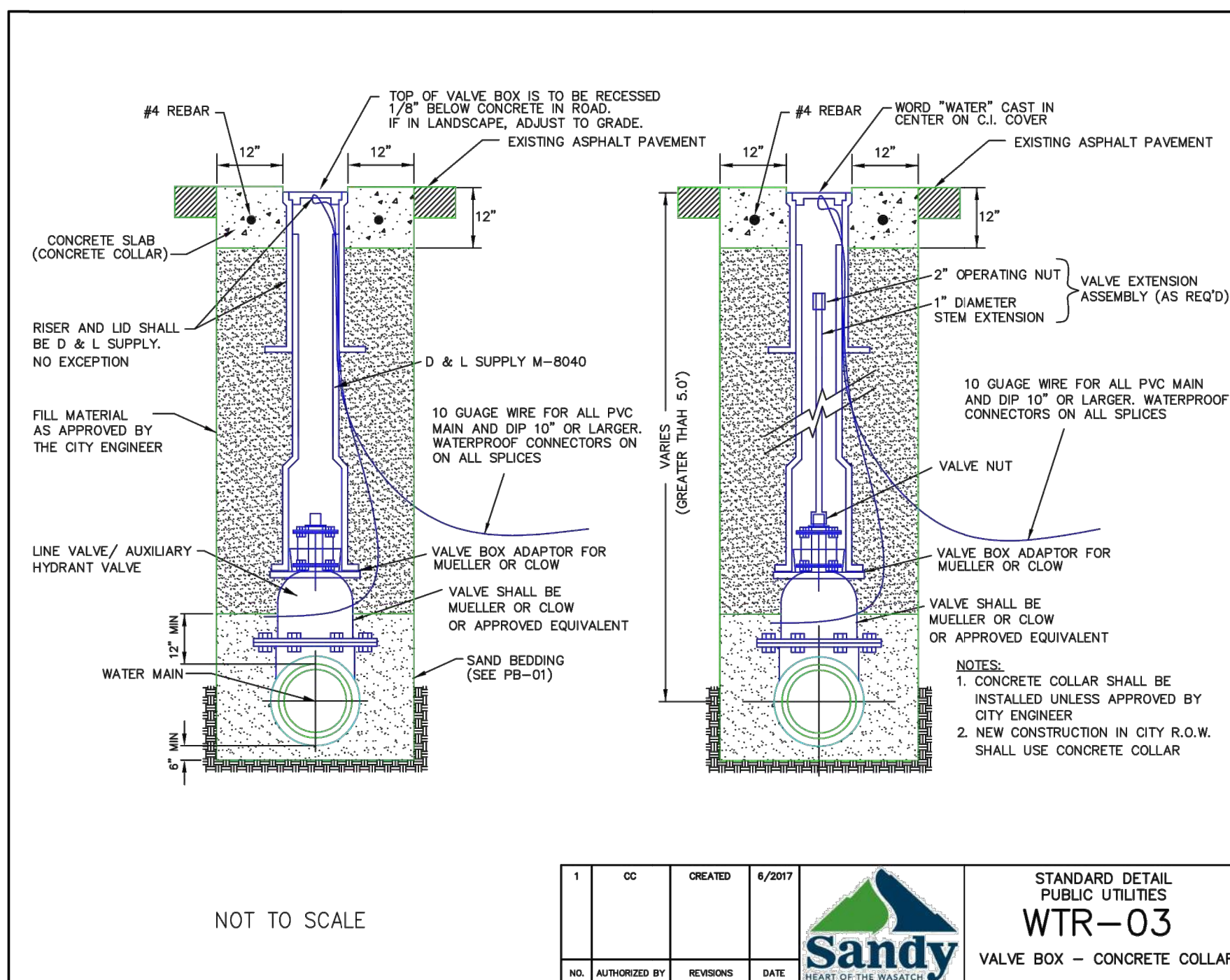
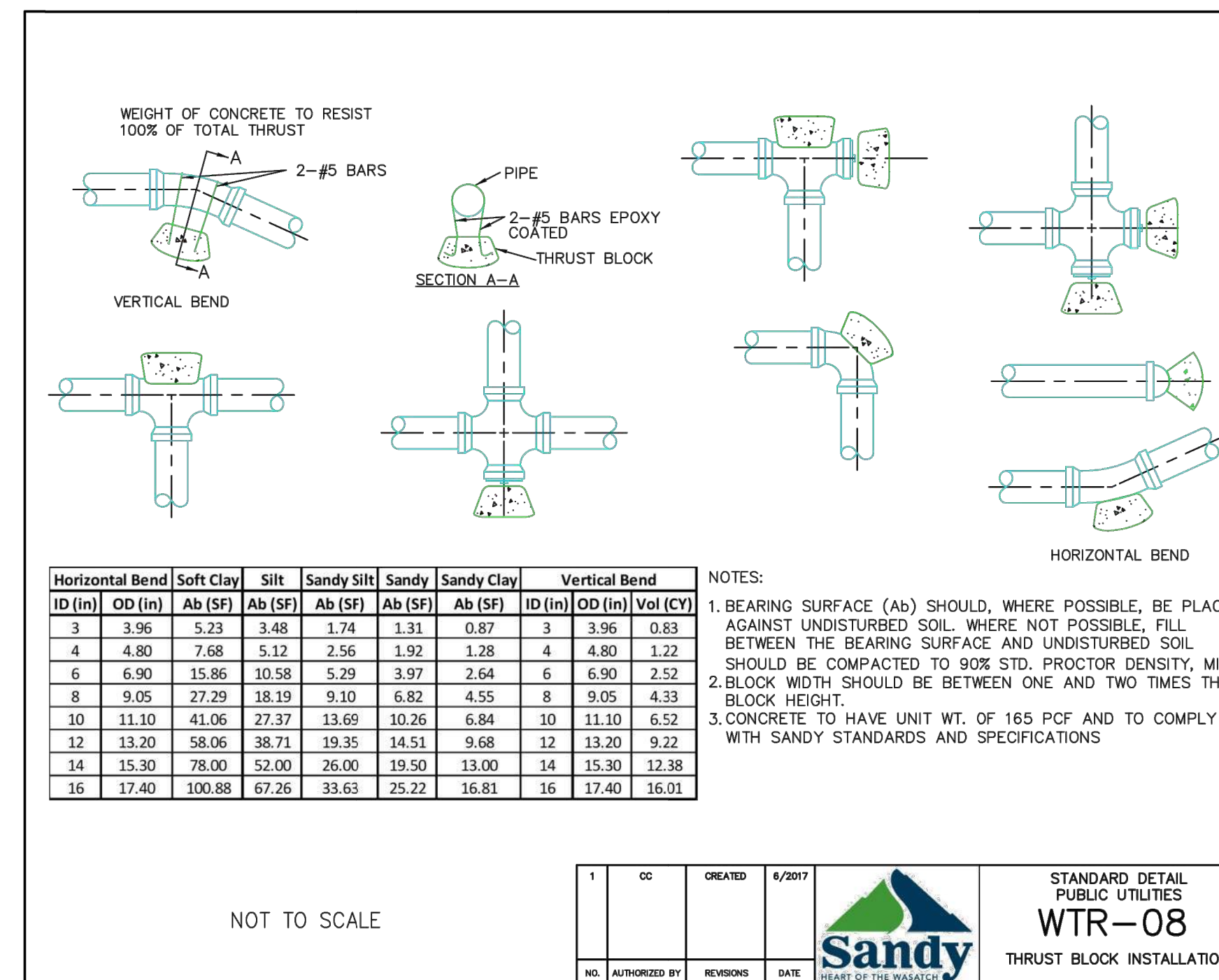


Client/Project
AUTUMN RIDGE DEVELOPMENT
PEPPERWOOD PHASE 11E
SANDY, UTAH

Title
SS-WATER DETAILS

Project No. Scale
2042598500 N.T.S.

Drawing No. Sheet Revision
C-601 12 of 12



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