



JAMES SORENSEN  
COMMUNITY DEVELOPMENT  
DIRECTOR

KURT BRADBURN  
MAYOR

MATTHEW HUISH  
CHIEF ADMINISTRATIVE OFFICER

# MEMORANDUM

February 11, 2021

**To:** Planning Commission  
**From:** Community Development Department  
**Subject:** Modification and Piping of Rocky Mouth Creek  
2 & 3 Cobblewood Cove  
[Community #28 - Pepper Dell]

MISC-01-21-5982  
PUD(1.62) – SAO Zone

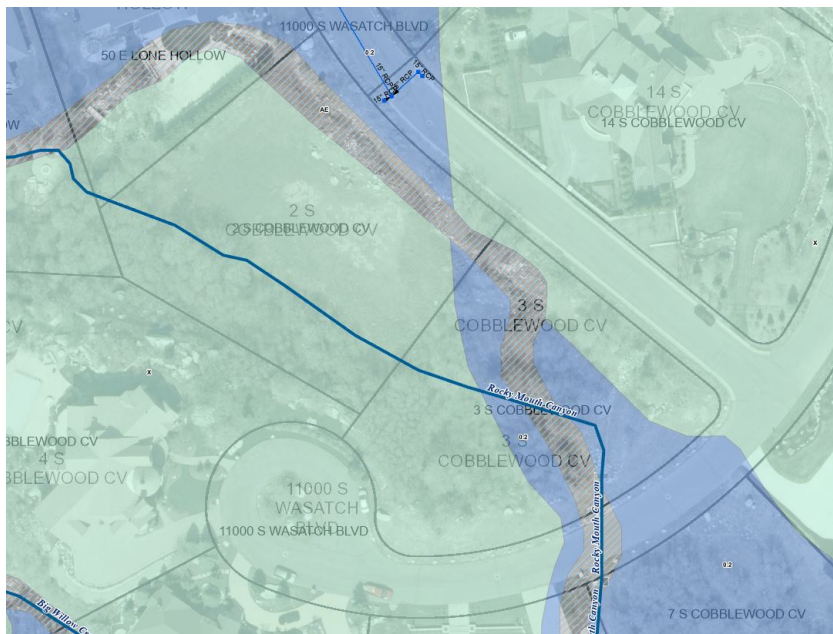
**NOTICE:** *This item has been noticed to property owners within 500 feet of the subject area.*

## REQUEST

Dave Bromley with Ensign Properties is representing the property owners to file a request with the Sandy City Planning Commission for review and approval of a modification and piping of a drainage channel known as Rocky Mouth Creek. It affects lots 1063 and 1064 of the Pepperwood 10C Subdivision Plat addressed as 2 & 3 Cobblewood Cove.

## BACKGROUND

In October 2005, the applicant was given final subdivision approval for the Pepperwood 10C Subdivision. Lots 1059 through 1064 were all identified as being affecting by the 100-year floodplain. Lot 1064 was required to get a “stream alteration permit” to modify the floodway in order to gain access to this lot. There was a 2000 LOMR study that was conducted by the applicant to further revise the FEMA flood maps. The area of the floodway was remapped



through that LOMR process and the City based our approvals and lot restrictions based on those maps and studies. The final plat for this subdivision shows a plat restriction of the mapped 100-year flood plain, which restricts building within that area.

### **ANALYSIS**

The applicant is seeking to move the drainage channel and put it in a pipe. See the attached plans for further details. The reason for this is to increase the buildable area of these lots. If approved, the applicant intends to come back with an amended plat to remove the plat restrictions of the floodplain.

This request is before the Planning Commission because all development proposals in the Sensitive Area Overlay Zone are to be reviewed by the Planning Commission ([see section 21-15-3\(c\)\(4\)](#)).

Typically, the native stream channels are to be preserved and lots arranged to allow for adequate setback from them ([see section 21-15-4\(b\)\(2\)](#)). These drainage areas are allowed to be modified for access roads or driveway access to lots (see section [see section 21-15-4\(b\)\(7\)](#)). Preservation of these natural features is a stated purpose of the Sensitive Area Overlay Zone ([see section 21-15-1\(b\)\(4\)](#)). This channel has been modified overtime in the construction of the subdivision and many segments have been disturbed. Very little of this segment of the native channel remains intact. This is a relatively small segment of the overall Rocky Mouth Creek and would have little impact to the overall area.

This proposal has been reviewed by both the Public Utilities and Public Works Departments. They have made a recommendation on granting approval to eliminate this existing open drainage channel and allow it to be relocated and piped.

### **STAFF RECOMMENDATION**

Staff recommends that the Planning Commission approve their request to modify the Rocky Mouth Creek Drainage Area and allow this segment to be relocated and piped per the attached plans.

Planner:



Mike Wilcox  
Zoning Administrator