



Hale Centre Theatre

Hale Centre Theatre

MOUNTAIN AMERICA
ARTS & EDUCATION BEEHIVE



MARK	ISSUE DESCRIPTION	ISS. DATE	REV. DESCRIPTION	REV. DATE
	PROGRESS SET	06.22.2023		
	SITE SUBMISSION	02.10.2023		
	PROGRESS SET	10.21.2022		

MOUNTAIN AMERICA ARTS AND EDUCATION BEEHIVE
 9900 S. MONROE ST.
 SANDY, UTAH 84070

becherwalker
 Architecture/Interiors
 3115 EAST LION LANE, #200
 HOLLADAY, UTAH 84121
 o. 801.438.9600 | f. 801.438.9601 | BEECHERWALKER.COM

PROJECT NUMBER
335.1801

DWN BY Author | CHKD BY Checker

A DESIGN DEVELOPMENT

PERSPECTIVE VIEW

DRAWING NUMBER
A901

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DESIGN DEVELOPMENT

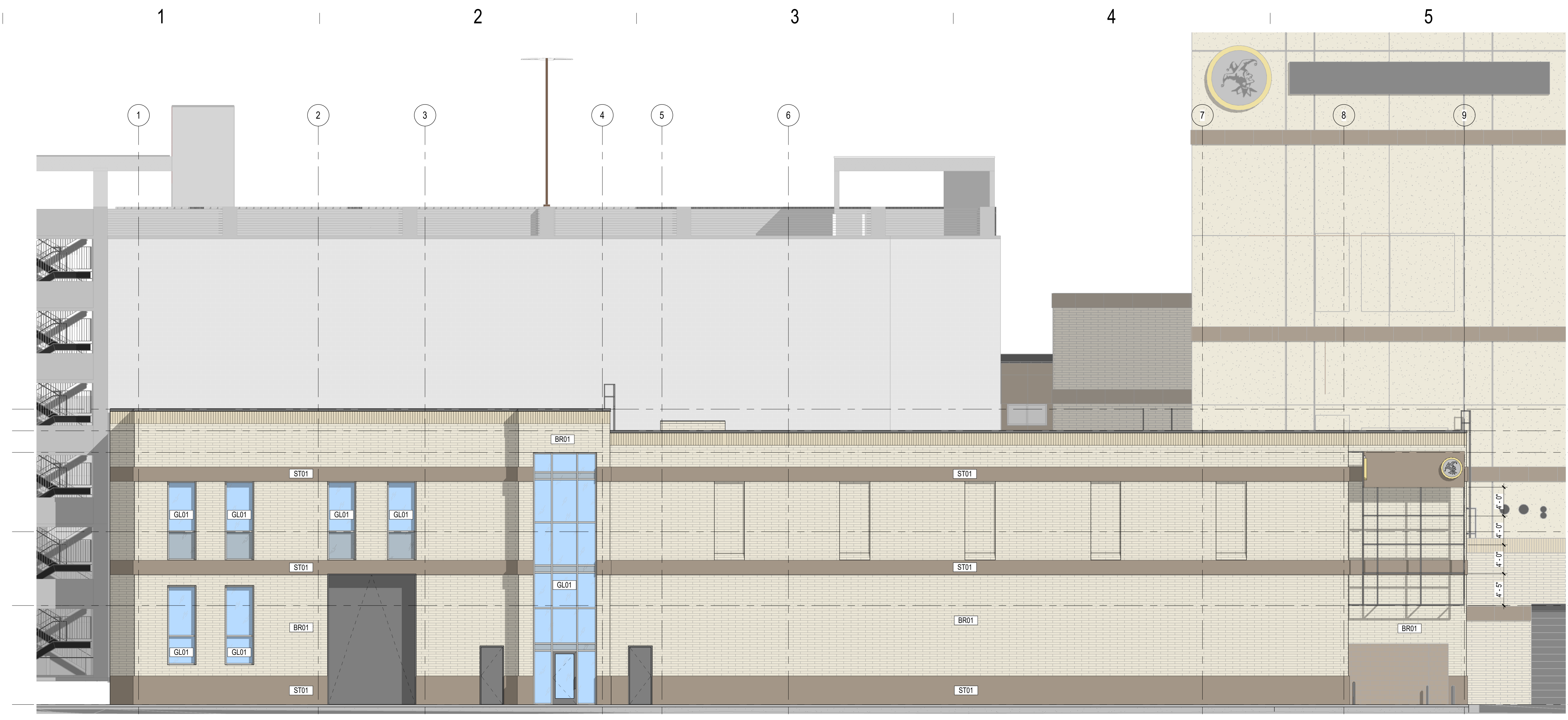
PERSPECTIVE VIEW

DRAWING NUMBER

A904

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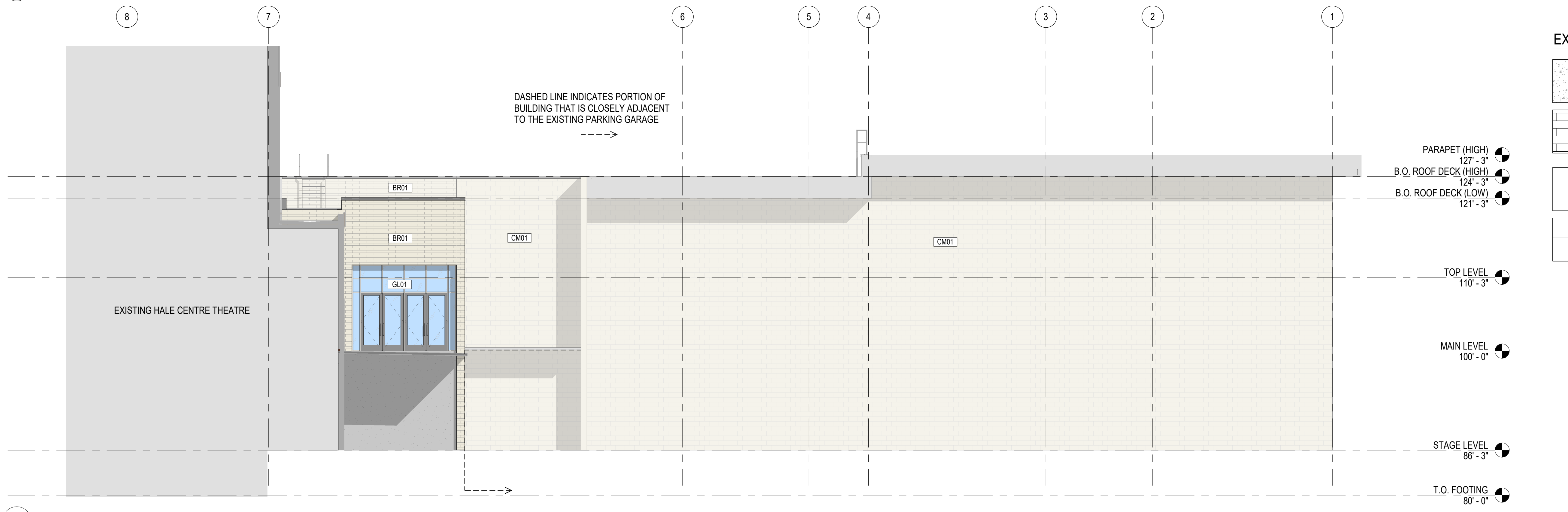


- ELEVATION GENERAL NOTES:**
- A. SEE A600 SERIES SHEETS FOR DOOR AND WINDOW TYPE ELEVATIONS.
 - B. COORDINATE WINDOW HEIGHTS WITH WINDOW TYPE ELEVATIONS AND EXTERIOR ELEVATIONS.
 - C. USE IMPACT RESISTANT EIFS WITHIN 48" OF SIDEWALKS AND BUILDING ENTRANCES.
- ELEVATION GENERAL NOTES:**
- A. SEE A600 SERIES SHEETS FOR DOOR AND WINDOW TYPE ELEVATIONS.
 - B. COORDINATE WINDOW HEIGHTS WITH WINDOW TYPE ELEVATIONS AND EXTERIOR ELEVATIONS.
 - C. MECHANICAL CONTRACTOR TO COMBINE FACE PLATES FOR DRYER VENT AND EXHAUST ON EXTERIOR OF BUILDING.
 - D. EIFS CONTROL JOINTS TO BE PLACED AS SHOWN ON ELEVATIONS, BUT NO LENGTH SHOULD BE GREATER THAN 18 FEET IN EITHER DIRECTION BETWEEN JOINTS.
 - E. NO EIFS PANEL SHOULD EXCEED 144 SQUARE FEET FOR VERTICAL APPLICATION.
 - F. NO EIFS PANEL SHOULD EXCEED 100 SQUARE FEET FOR HORIZONTAL, CURVED, OR ANGULAR SECTIONS.
 - G. NO EIFS PANEL LENGTH-TO-WIDTH RATIO SHOULD EXCEED 2:12:1 IN ANY GIVEN PANEL.
 - H. AN EIFS CONTROL JOINT SHOULD BE PLACED AT EACH HORIZONTAL FLOOR SUBSTRATE FRAMING CHANGE.

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- PARAPET (HIGH) 127' - 3"
- B.O. ROOF DECK (HIGH) 124' - 3"
- B.O. ROOF DECK (LOW) 121' - 3"
- TOP LEVEL 110' - 3"
- MAIN LEVEL 100' - 0"
- STAGE LEVEL 86' - 3"

C1 SOUTH ELEVATION
A201 1/8" = 1'-0"



- EXTERIOR MATERIALS LEGEND**
- CONCRETE | CAST IN PLACE
DESIGNATION: CM01
 - FULL BRICK | (MATCH EXISTING)
BLEND: 40% PLATINUM, 40% SMOKEY MTN, 20% TUMBLEWEED MATTE
DESIGNATION: BR01
 - STONE ARRISCRRAFT | (MATCH EXISTING)
DESIGNATION: ST01
COLOR: MATCH RENAISSANCE OLIVE
 - CMU | (MATCH EXISTING)
DESIGNATION: CM01

EXTERIOR MATERIALS...

Mark	NAME	MANUF.	MODEL
BR01	BRICK	T&O	T&O
GL01	GLASS - 1" CLEAR INSULATED	T&O	T&O
ST01	STONE - ARRISCRRAFT	T&O	T&O

EXTERIOR MATERIALS BY...

WALL ORIENTATION	MATERIAL	AREA	%
EAST	BRICK	1,781 SF	71%
	STONE - ARRISCRRAFT	1,568 SF	29%
		5,327 SF	100%
NORTH	BRICK	528 SF	72%
	GLASS - 1" CLEAR INSULATED	129 SF	28%
		497 SF	100%
SOUTH	BRICK	6,344 SF	71%
	GLASS - 1" CLEAR INSULATED	172 SF	2%
	STONE - ARRISCRRAFT	2,378 SF	27%
WEST	BRICK	682 SF	72%
	STONE - ARRISCRRAFT	280 SF	28%
		962 SF	100%
APPROXIMATE TOTAL S.F.		15,817 SF	

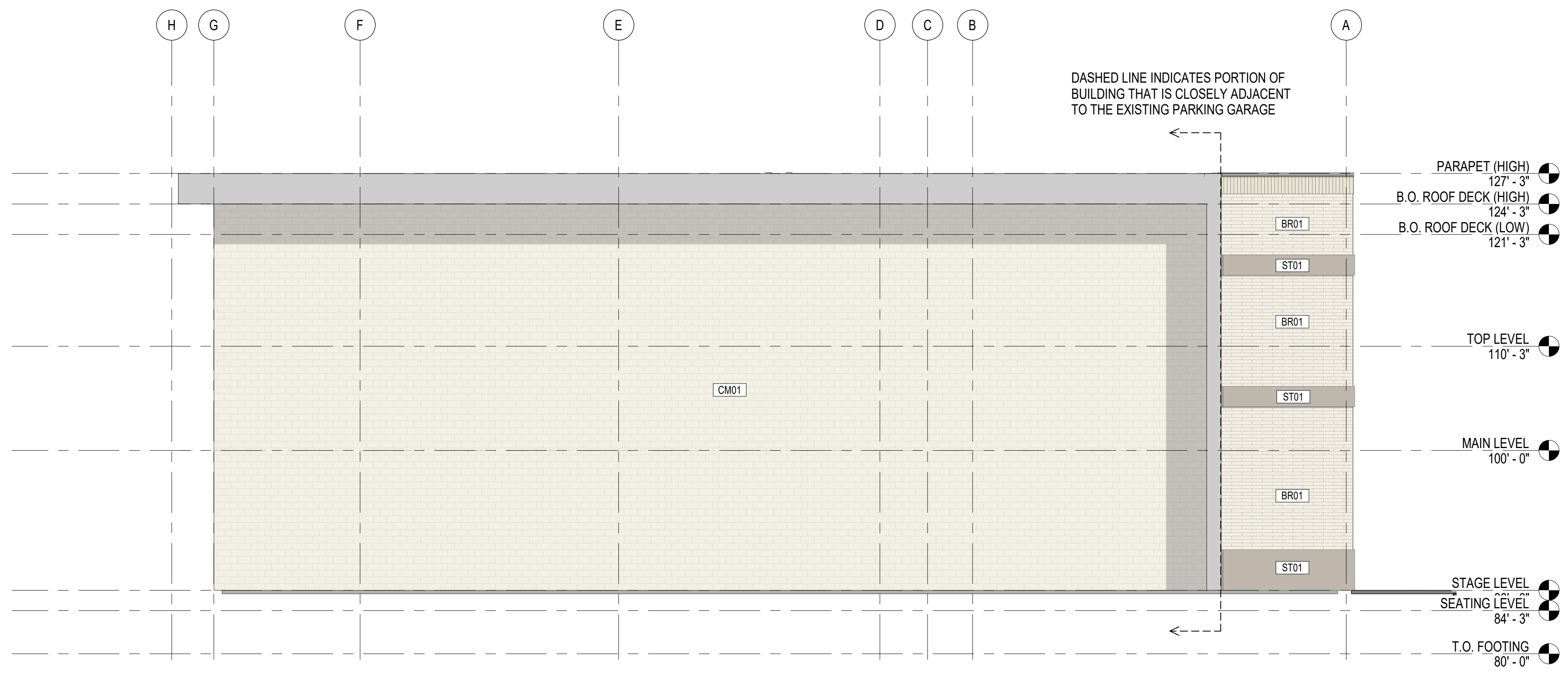
A1 NORTH ELEVATION
A201 1/8" = 1'-0"

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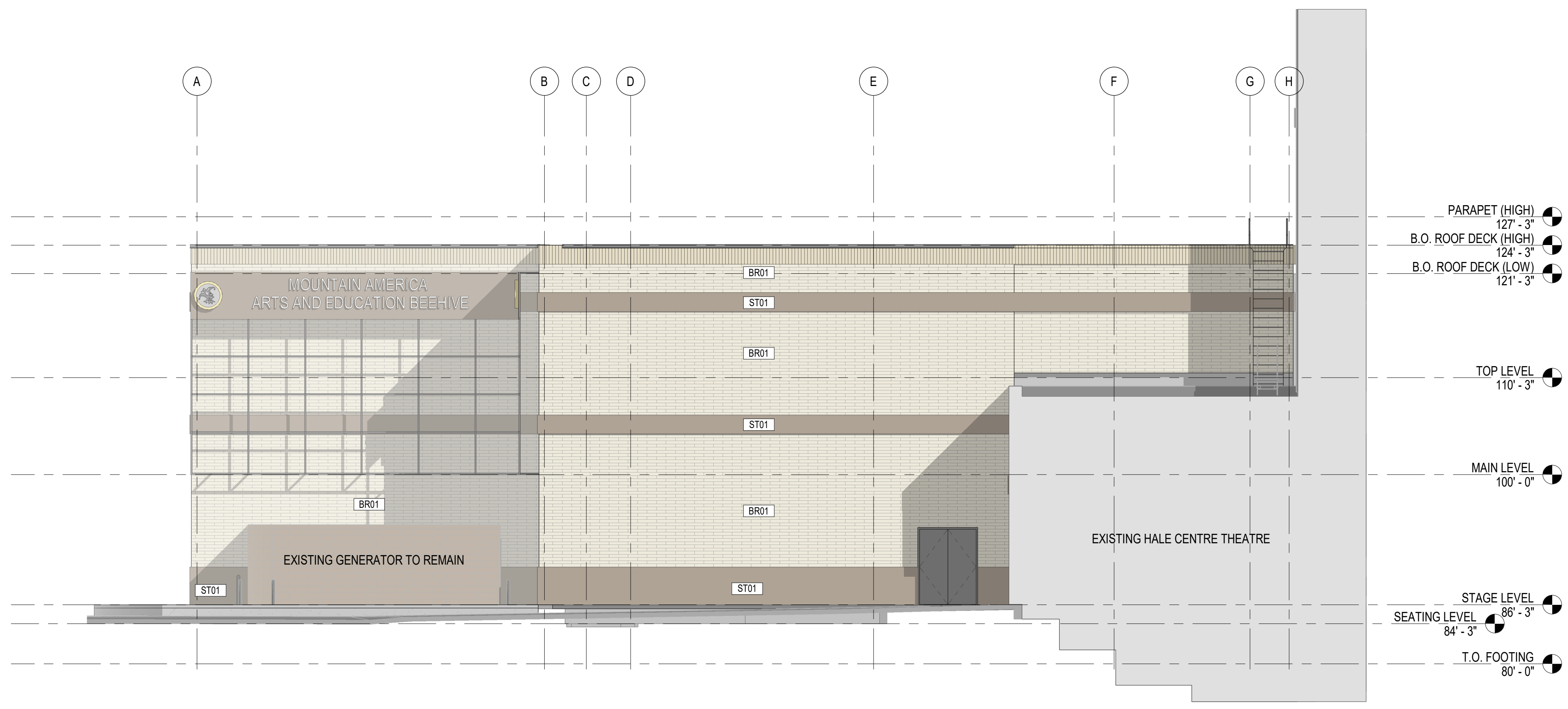
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PROJECT NUMBER
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 Author: SD
 CHD BY: SD
 Checker: SD
 EXTERIOR ELEVATIONS
 DRAWING NUMBER
A201

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D1 WEST ELEVATION
A202 1/8" = 1'-0"



A1 EAST ELEVATION
A202 1/8" = 1'-0"

ELEVATION GENERAL NOTES:

- A. SEE A600 SERIES SHEETS FOR DOOR AND WINDOW TYPE ELEVATIONS.
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EXTERIOR MATERIALS LEGEND

- CONCRETE | CAST IN PLACE
DESIGNATION: CO01
- FULL BRICK | (MATCH EXISTING)
BLEND: 40% PLATINUM, 40% SMOKEY MTN, 20% TUMBLEWEED MATTE
DESIGNATION: BR01
- STONE ARRISCRAFT | (MATCH EXISTING)
DESIGNATION: ST01
COLOR: MATCH RENAISSANCE OLIVE
- CMU | (MATCH EXISTING)
DESIGNATION: CM01

EXTERIOR MATERIALS...

Mark	NAME	MANUF.	MODEL
BR01	BRICK	TBD	TBD
GL01	GLASS - 1" CLEAR INSULATED	TBD	TBD
ST01	STONE - ARRISCRAFT	TBD	TBD

EXTERIOR MATERIALS BY...

WALL ORIENTATION	MATERIAL	AREA	%
EAST	BRICK	1,311 SF	17%
	STONE - ARRISCRAFT	1,596 SF	29%
		5,327 SF	100%
NORTH	BRICK	338 SF	12%
	GLASS - 1" CLEAR INSULATED	129 SF	28%
		457 SF	100%
SOUTH	BRICK	6,344 SF	71%
	GLASS - 1" CLEAR INSULATED	175 SF	2%
		2,316 SF	27%
		8,835 SF	100%
WEST	BRICK	662 SF	12%
	STONE - ARRISCRAFT	280 SF	28%
		942 SF	100%
APPROXIMATE TOTAL S.F.		15,617 SF	

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PROJECT NUMBER
335.1801
DWN BY Author
CHKD BY Checker
SD

EXTERIOR ELEVATIONS

DRAWING NUMBER
A202

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811
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Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

CENTERLINE MONUMENT AT THE
INTERSECTION OF 10200 SOUTH STREET AND
STATE STREET
ELEV = 4417.29

GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SO2, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
- ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.

- DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
- THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, UTILITY STRUCTURES, OR PIPES.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

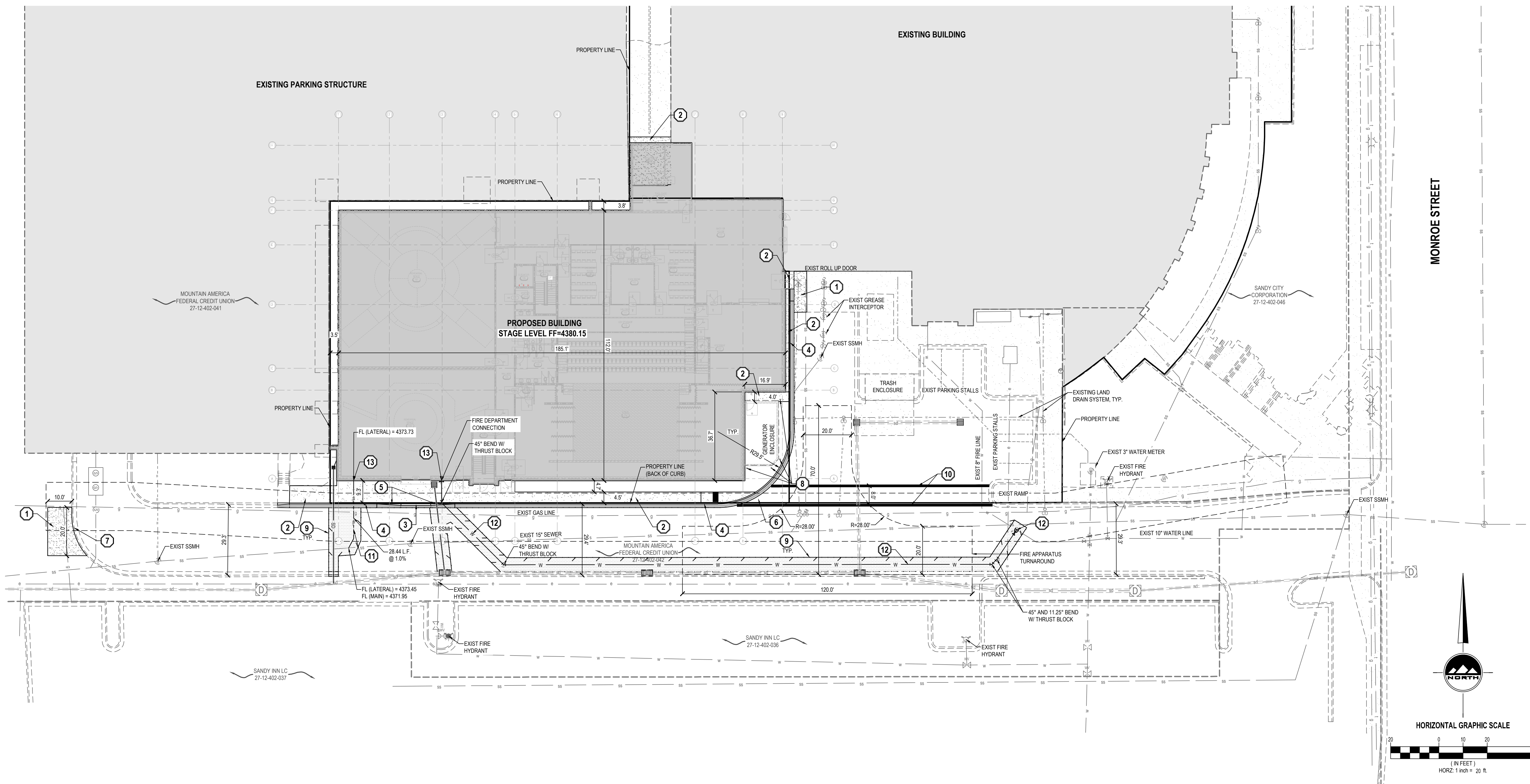
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- CONCRETE PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 1/C-500.
- 5" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231.
- 24" MOUNTABLE REVERSE PAN CURB AND GUTTER PER DETAIL 3/C-500.
- 24" REVERSE PAN CURB AND GUTTER PER DETAIL 2/C-500.
- TRANSITION BETWEEN CURB AND GUTTER TYPES.
- HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238.
- SAWCUT CURB FOR CONCRETE APRON PER APWA STANDARD PLAN NO. 222 AND SPECIFICATIONS.
- BOLLARD. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- SAWCUT AND PATCH ASPHALT PER APWA STANDARD PLAN NO. 255 AND SPECIFICATIONS. MATCH EXISTING PAVEMENT SECTION.
- WHITE CROSSWALK MARKING PER M.U.T.C.D. STANDARD PLANS.
- REMOVE EXISTING SEWER LATERAL. REPLACE WITH 6" SDR-35 PVC AT 1.0% SLOPE, INCLUDING CLEANOUTS AT MAXIMUM 100-FOOT SPACING, PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- 6" C-900 DR-18 PVC FIRE LINE, INCLUDING ALL THRUST BLOCKING AND FITTINGS. INSTALLATION AND TRENCHING PER SANDY CITY STANDARDS AND SPECIFICATIONS. CUT IN TEE ON EXISTING WATER LINE WITH 6" GATE VALVE.
- SEE PLUMBING PLANS FOR CONTINUATION.

SITE SUMMARY TABLE

DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	1,817	7.6%
BUILDING	21,241	89.4%
LANDSCAPING	710	3.0%
TOTAL SITE	23,768 0.55 ACRES	100.0%

ALL PARKING STALL AND DRIVE LANE DIMENSIONS ARE TO FACE OF CURB, WHERE APPLICABLE.



HALE CENTRE BEEHIVE ACADEMY

9900 S MONROE STREET
SANDY, UTAH

ENSIGN
THE STANDARD IN ENGINEERING

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FOR:
BEECHER WALKER ARCHITECTURE
3115 EAST LION LANE, #200
HOLLADAY, UTAH 84121

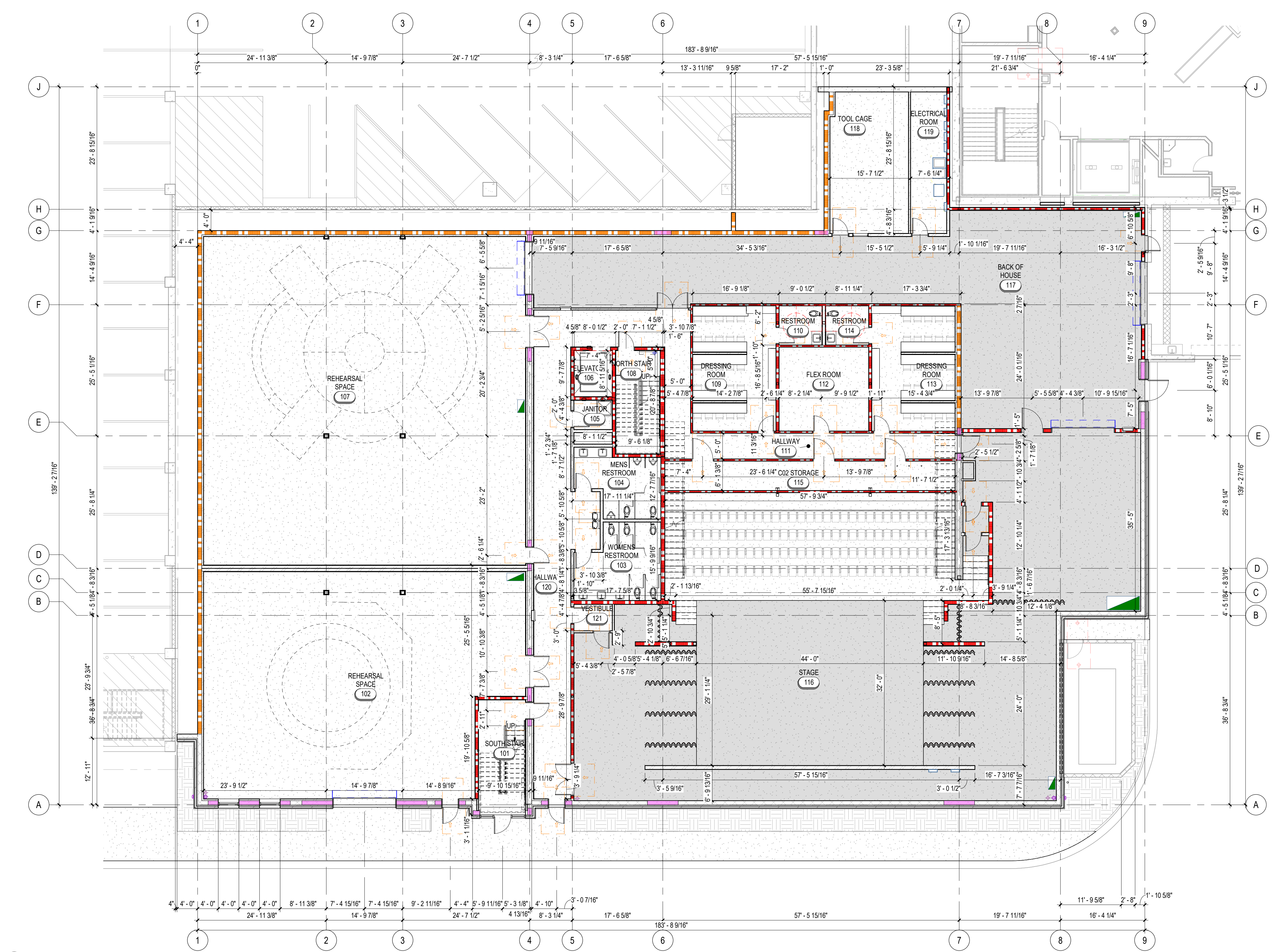
CONTACT:
BRAD BEECHER
PHONE: 801.438.9500

SITE AND UTILITY PLAN

PROJECT NUMBER: 6312H PRINT DATE: 2023-09-20
PROJECT MANAGER: JFK DESIGNED BY: DJC

C-200

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A1 STAGE LEVEL DIMENSION PLAN
 A100B 3/32" = 1'-0"

FLOOR PLAN GENERAL NOTES:

- A. GENERAL NOTES APPLY TO ALL DRAWINGS.
- B. ALL DIMENSIONS ARE EXTERIOR WALL TO FACE OF STUD, INTERIOR WALL TO FACE OF GYPSUM BOARD, FACE OF MASONRY OR CENTER LINE OF COLUMNS UNLESS OTHERWISE NOTED.
- C. DO NOT SCALE DRAWINGS.
- D. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- E. ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNUSED UNLESS NOTED OTHERWISE.
- F. ALL WALL PENETRATIONS AT RATED WALL LOCATIONS REQUIRED FOR PIPES, CONDUIT, DUCTING, ETC., SHALL BE SEALED TO STOP PASSAGE OF FIRE AND/OR SMOKE WITH FIRE SAFING AND APPROVED SEALANT.
- G. ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED AND INDICATED IN THE CONTRACTORS BID.
- H. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS.
- I. GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
- J. ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECTS APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR.
- K. ARCHITECTURAL FINISH FLOOR ELEVATION OF 100'-0" EQUALS ACTUAL SITE REFERENCE OF FINISH FLOOR ON CIVIL DRAWINGS.
- L. SEE SHEET A610 FOR WALL TYPES.
- M. SEE SHEET A601 FOR DOOR AND WINDOW TYPE ELEVATIONS.
- N. MEMBERS OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMNS THAT ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ONE ROOF, OR SUPPORT A LOAD-BEARING WALL OR A NONLOAD-BEARING WALL MORE THAN TWO STORIES HIGH, SHALL BE PROVIDED INDIVIDUAL ENCASMENT PROTECTION BY PROTECTING THEM ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS, WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING. SEE SHEET G003.
- O. GENERAL CONTRACTOR SHALL COORDINATE THE SIZE, THICKNESS AND LOCATION OF CONCRETE HOUSEKEEPING PADS WITH MECHANICAL AND ELECTRICAL EQUIPMENT SUPPLIERS.
- P. FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENT PIPES AND DUCTS AT CEILING AND FLOOR LEVELS WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.

KEYNOTE LEGEND

ROOM AREA SCHEDULE

NUMBER	ROOM NAME	Area
101	SOUTH STAIR	196 SF
102	REHEARSAL SPACE	2,553 SF
103	WOMENS RESTROOM	223 SF
104	MENS RESTROOM	182 SF
105	JANITOR	42 SF
106	ELEVATOR	66 SF
107	REHEARSAL SPACE	3,974 SF
108	NORTH STAIR	173 SF
109	DRESSING ROOM	384 SF
110	RESTROOM	63 SF
111	HALLWAY	0 SF
112	FLEX ROOM	283 SF
113	DRESSING ROOM	384 SF
114	RESTROOM	63 SF
115	CO2 STORAGE	321 SF
116	STAGE	4,529 SF
117	BACK OF HOUSE	2,588 SF
118	TOOL CAGE	413 SF
119	ELECTRICAL ROOM	192 SF
120	HALLWAY	1,274 SF
121	VESTIBULE	38 SF
122	VESTIBULE	26 SF
STAGE LEVEL		17,964 SF
201	SOUTH STAIR	196 SF
202	WOMENS RESTROOM	223 SF
203	MENS RESTROOM	182 SF
204	JANITOR	42 SF
205	ELEVATOR	66 SF
206	NORTH STAIR	173 SF
207	THEATER VESTIBULE	79 SF
208	THEATRE	2,435 SF
209	THEATER VESTIBULE	81 SF
210	CONCESSIONS	432 SF
211	HALLWAY	586 SF
212	VESTIBULE	81 SF
213	STORAGE	102 SF
214	LOBBY	2,042 SF
MAIN LEVEL		6,719 SF
123	AV CLOSET	17 SF
124	CHAIR STORAGE	200 SF
301	SOUTH STAIR	196 SF
302	STORAGE	102 SF
303	REHEARSAL SPACE	2,016 SF
304	WOMENS RESTROOM	223 SF
305	REHEARSAL SPACE	1,623 SF
306	MENS RESTROOM	182 SF
307	JANITOR	42 SF
308	REHEARSAL SPACE	2,274 SF
309	ELEVATOR	66 SF
311	STUDIO	61 SF
312	STUDIO	61 SF
313	NORTH STAIR	173 SF
314	HALLWAY	924 SF
315	LIGHTING	197 SF
316	BOOTH	224 SF
317	IT/SOUND	196 SF
318	EXIT PASSAGE	96 SF
319	CATERING	210 SF
TOP LEVEL		9,080 SF
GRAND TOTAL		33,763 SF

MARK	ISSUE DESCRIPTION	ISS. DATE	REV. DATE
D	PROGRESS SET	06/22/2023	
	SITE SUBMISSION	02/10/2023	
	PROGRESS SET	10/21/2023	

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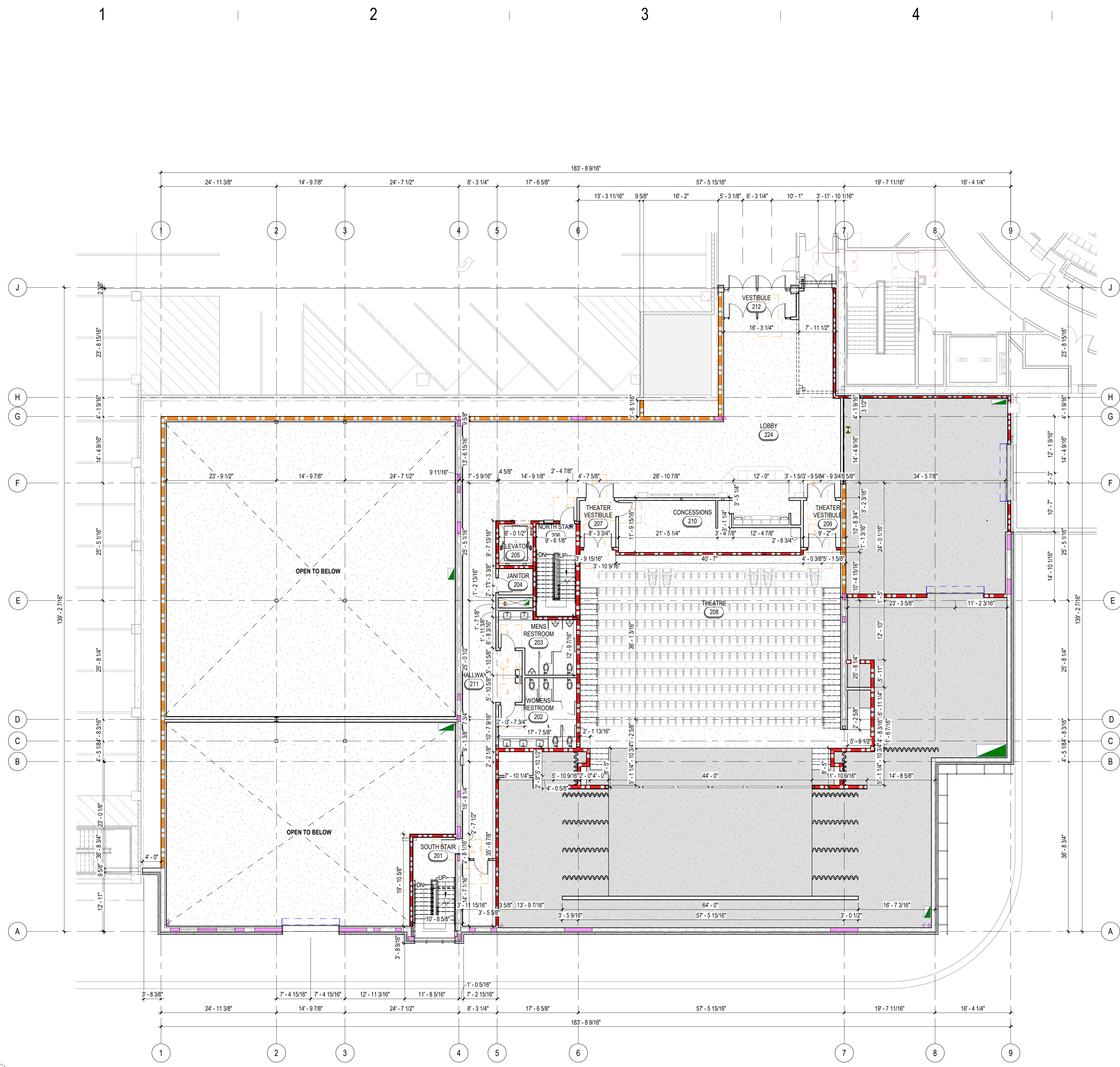
PROJECT NUMBER
 335,1801
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 CHKD BY Checker
A DESIGN DEVELOPMENT

STAGE LEVEL FLOOR PLAN - DIMENSION

DRAWING NUMBER

A100B

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A1 MAIN LEVEL DIMENSION PLAN
 A101B 3/32" = 1'-0"

FLOOR PLAN GENERAL NOTES:

- A. GENERAL NOTES APPLY TO ALL DRAWINGS.
- B. ALL DIMENSIONS ARE EXTERIOR WALL TO FACE OF STUD, INTERIOR WALL TO FACE OF GYPSUM BOARD, FACE OF MASONRY OR CENTER LINE OF COLUMNS UNLESS OTHERWISE NOTED.
- C. DO NOT SCALE DRAWINGS.
- D. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- E. ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNUSED UNLESS NOTED OTHERWISE.
- F. ALL WALL PENETRATIONS AT RATED WALL LOCATIONS REQUIRED FOR PIPES, CONDUIT, DUCTING, ETC., SHALL BE SEALED TO STOP PASSAGE OF FIRE AND/OR SMOKE WITH FIRE SAFING AND APPROVED SEALANT.
- G. ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED AND INDICATED IN THE CONTRACTORS BID.
- H. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS.
- I. GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
- J. ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECTS APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR.
- K. ARCHITECTURAL FINISH FLOOR ELEVATION OF 100'-0" EQUALS ACTUAL. SITE REFERENCE OF FINISH FLOOR ON CIVIL DRAWINGS.
- L. SEE SHEET A610 FOR WALL TYPES.
- M. SEE SHEET A601 FOR DOOR AND WINDOW TYPE ELEVATIONS.
- N. MEMBERS OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMNS THAT ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ONE ROOF, OR SUPPORT A LOAD-BEARING WALL OR A NONLOAD-BEARING WALL MORE THAN TWO STORIES HIGH, SHALL BE PROVIDED INDIVIDUAL ENCASUREMENT PROTECTION BY PROTECTING THEM ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS, WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING. SEE SHEET G003.
- O. GENERAL CONTRACTOR SHALL COORDINATE THE SIZE, THICKNESS AND LOCATION OF CONCRETE HOUSEKEEPING PADS WITH MECHANICAL AND ELECTRICAL EQUIPMENT SUPPLIERS.
- P. FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENT PIPES AND DUCTS AT CEILING AND FLOOR LEVELS WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.

KEYNOTE LEGEND

ROOM AREA SCHEDULE

NUMBER	ROOM NAME	Area
101	SOUTH STAIR	195 SF
102	REHEARSAL SPACE	2,553 SF
103	WOMENS RESTROOM	223 SF
104	MENS RESTROOM	182 SF
105	JANITOR	42 SF
106	ELEVATOR	66 SF
107	REHEARSAL SPACE	3,974 SF
108	NORTH STAIR	173 SF
109	DRESSING ROOM	384 SF
110	RESTROOM	63 SF
111	HALLWAY	0 SF
112	FLEX ROOM	283 SF
113	DRESSING ROOM	384 SF
114	RESTROOM	63 SF
115	CO2 STORAGE	321 SF
116	STAGE	4,529 SF
117	BACK OF HOUSE	2,589 SF
118	TOOL CLOSET	413 SF
119	ELECTRICAL ROOM	192 SF
120	HALLWAY	1,274 SF
121	VESTIBULE	38 SF
122	VESTIBULE	26 SF
STAGE LEVEL		17,964 SF
MAIN LEVEL		6,719 SF
TOP LEVEL		9,080 SF
GRAND TOTAL		33,763 SF

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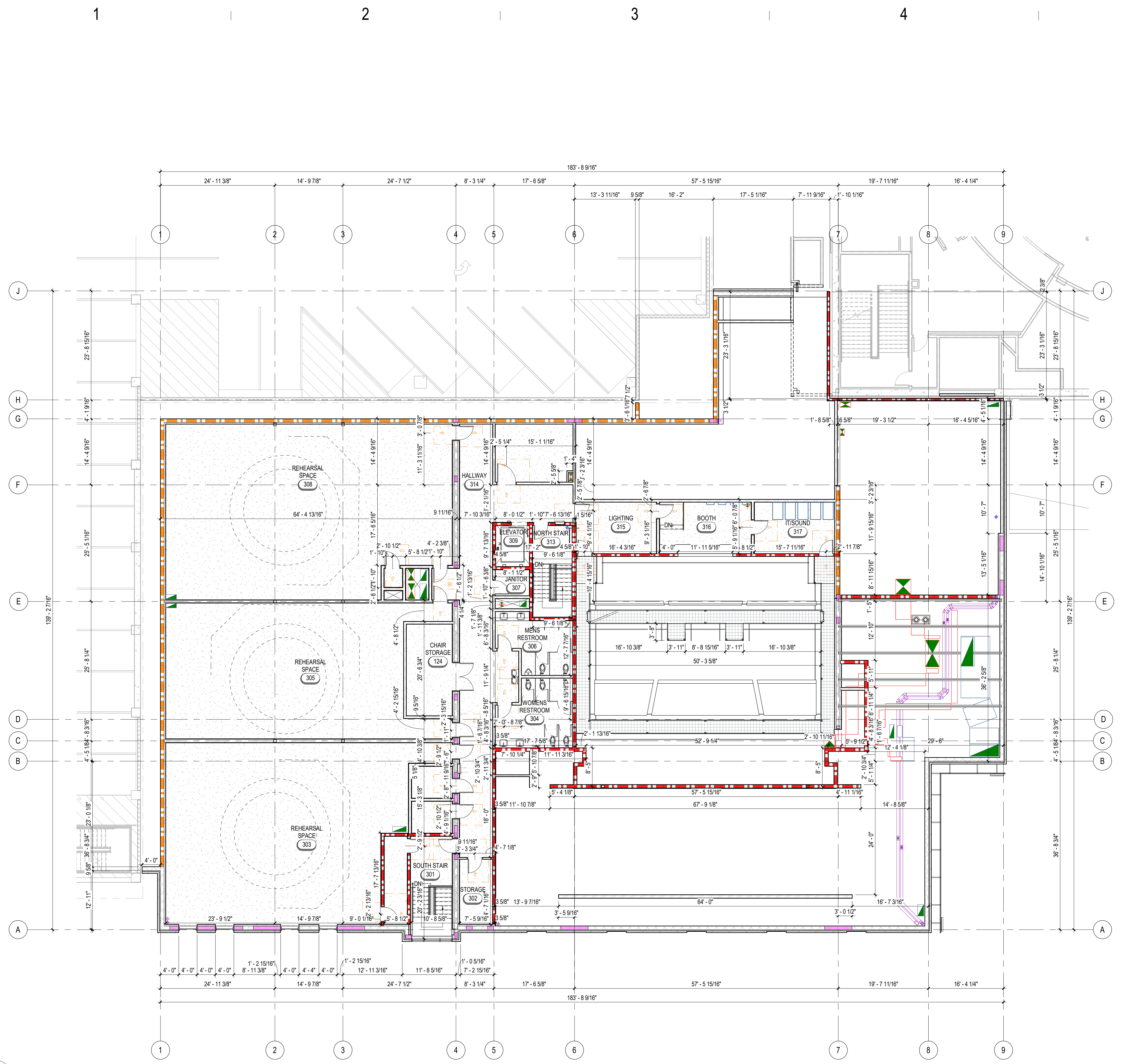
PROJECT NUMBER
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DESIGN DEVELOPMENT

MAIN LEVEL FLOOR PLAN - DIMENSION

DRAWING NUMBER

A101B

11/09/2023 10:24:43 AM
 PRINTED AT
 A102B
 A1
 A102B
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KEYNOTE LEGEND

ROOM AREA SCHEDULE		
NUMBER	ROOM NAME	Area
101	SOUTH STAIR	195 SF
102	REHEARSAL SPACE	2,553 SF
103	WOMENS RESTROOM	223 SF
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105	JANITOR	42 SF
106	ELEVATOR	66 SF
107	REHEARSAL SPACE	3,974 SF
108	NORTH STAIR	173 SF
109	DRESSING ROOM	384 SF
110	RESTROOM	63 SF
111	HALLWAY	0 SF
112	FLEX ROOM	283 SF
113	DRESSING ROOM	384 SF
114	RESTROOM	63 SF
115	CO2 STORAGE	321 SF
116	STAGE	4,529 SF
117	BACK OF HOUSE	2,388 SF
118	TOOL CAGE	413 SF
119	ELECTRICAL ROOM	192 SF
120	HALLWAY	1,274 SF
121	VESTIBULE	38 SF
122	VESTIBULE	26 SF
STAGE LEVEL		17,964 SF
201	SOUTH STAIR	196 SF
202	WOMENS RESTROOM	223 SF
203	MENS RESTROOM	182 SF
204	JANITOR	42 SF
205	ELEVATOR	66 SF
206	NORTH STAIR	173 SF
207	THEATER VESTIBULE	79 SF
208	THEATRE	2,435 SF
209	THEATER VESTIBULE	81 SF
210	CONCESSIONS	432 SF
211	HALLWAY	586 SF
212	VESTIBULE	81 SF
213	STORAGE	102 SF
224	LOBBY	2,042 SF
MAIN LEVEL		6,719 SF
123	AV CLOSET	17 SF
124	CHAIR STORAGE	200 SF
301	SOUTH STAIR	196 SF
302	STORAGE	102 SF
303	REHEARSAL SPACE	2,016 SF
304	WOMENS RESTROOM	223 SF
305	REHEARSAL SPACE	1,623 SF
306	MENS RESTROOM	182 SF
307	JANITOR	42 SF
308	REHEARSAL SPACE	2,274 SF
309	ELEVATOR	66 SF
311	STUDIO	61 SF
312	STUDIO	61 SF
313	NORTH STAIR	173 SF
314	HALLWAY	924 SF
315	LIGHTING	197 SF
316	BOOTH	224 SF
317	IT/SOUND	196 SF
318	EXIT PASSAGE	96 SF
319	CATERING	210 SF
TOP LEVEL		9,080 SF
GRAND TOTAL		33,763 SF

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D	PROGRESS SET	06.22.2023	
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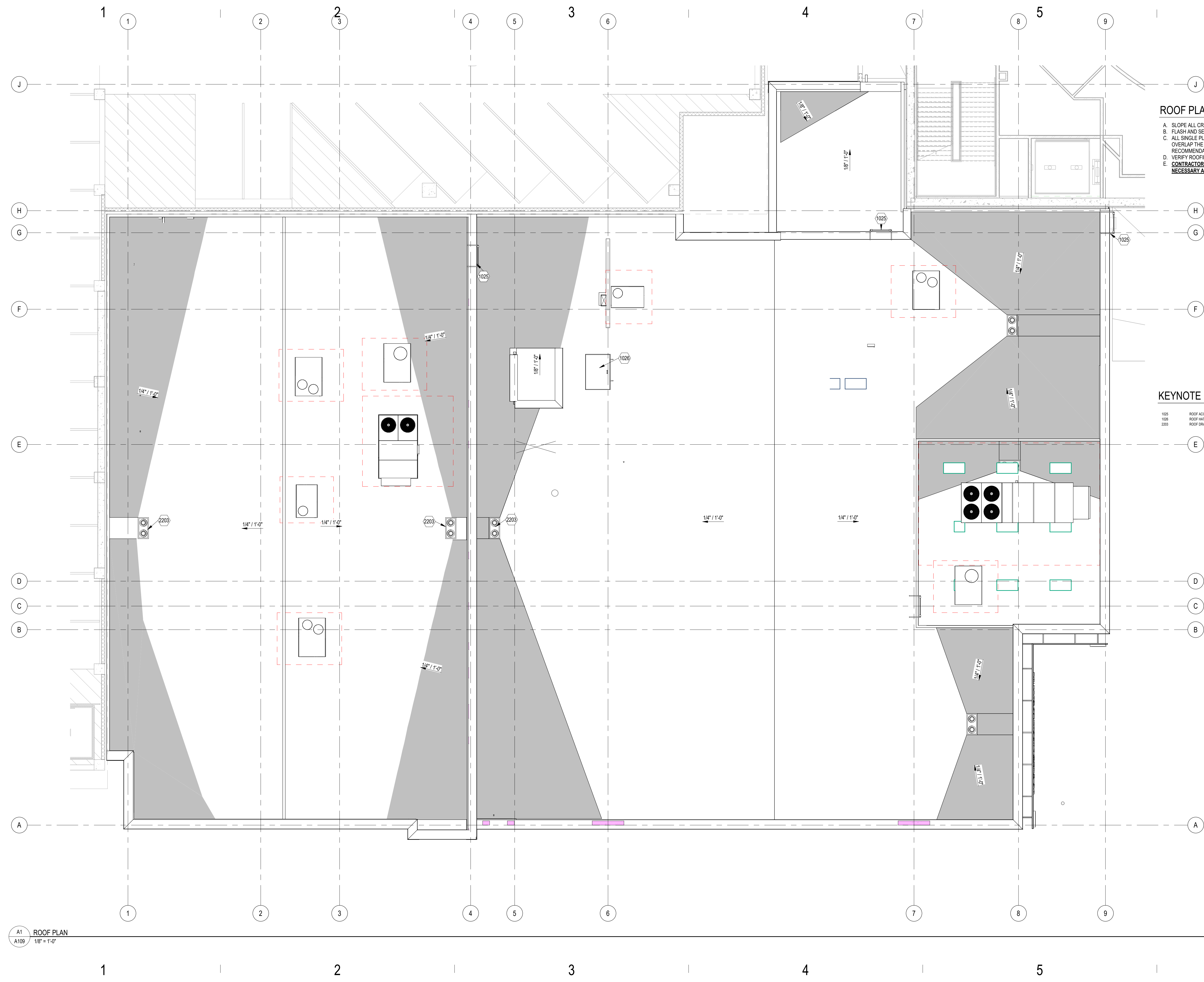
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PROJECT NUMBER
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TOP LEVEL FLOOR PLAN
 - DIMENSION

DRAWING NUMBER
A102B

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 PRINTED AT 11/6/2023 4:30:14 PM
 A1 ROOF PLAN
 A109 1/8" = 1'-0"



ROOF PLAN GENERAL NOTES:

- A. SLOPE ALL CRICKETS AND SADDLES 1/4" / 1'-0" MINIMUM
- B. FLASH AND SEAL ALL ROOF PENETRATION PER MANUFACTURER'S RECOMMENDED DETAILS.
- C. ALL SINGLE PLY MEMBRANES SHALL RETURN DOWN THE OUTSIDE FACE OF THE PARAPET TO OVERLAP THE AIRWEATHER BARRIER FOR A DISTANCE PER THE MANUFACTURER'S RECOMMENDATIONS, BUT NOT LESS THAN 2'.
- D. VERIFY ROOFING MEMBRANE SUBSTRATE IS COMPATIBLE WITH MEMBRANE MANUFACTURER.
- E. CONTRACTOR TO ENGAGE A ROOFTOP ANCHOR SYSTEM ENGINEER TO DESIGN AND SELECT THE NECESSARY ANCHORS FOR EXTERIOR FACADE AND WINDOW CLEANING.

KEYNOTE LEGEND

- 1025 ROOF ACCESS LADDER
- 1026 ROOF HATCH
- 2203 ROOF DRAINS, SEE PLUMBING

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ROOF PLAN

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