



JAMES SORENSEN  
COMMUNITY DEVELOPMENT  
DIRECTOR

KURT BRADBURN  
MAYOR

MATTHEW HUISH  
CHIEF ADMINISTRATIVE OFFICER

## MEMORANDUM

March 18, 2021

**To:** Planning Commission  
**From:** Community Development Department  
**Subject:** Jackson's "C" Store Preliminary Site Plan Review      SPR-10-20-5932  
1295 E. 10600 S. Street      0.878 Acres  
[Community #12]      CC Zone

**HEARING NOTICE:** *This item has been noticed to property owners within 500 feet of the subject area, by U.S. Mail delivery as well as a notice sign posted on the property.*

PROPERTY CASE HISTORY	
CASE NUMBER	CASE SUMMARY
SUB-01-20-5789	Lot line adjustment to assemble three property parcels into one for the purpose of enlarging the site for commercial use. Completed Feb. 25, 2020.

### REQUEST

The applicant, Mr. Jason Sandberg with Curtis Miner Architects, representing the property owner, Scott Stom, with Jackson's Food Stores, Inc., of Meridian, Idaho, is requesting that the Planning Commission consider a request for preliminary Commercial **Site Plan Review and Conditional Use for a new automotive self-service gas station, beer sales for off-premise consumption and extended business hours from 6:00 A.M. to midnight** on the property located at 1295 E. 10600 S. Street in Sandy. The Planning Commission is the land-use authority for these requested actions.

### BACKGROUND

The site is currently occupied by an existing Chevron automotive self-service gas station, car wash and convenience store, which will all be demolished in preparation for the new development. The property is located in the Community Commercial (CC) zoning district. A Conditional Use Permit is required due to the location of residential zoning within 250 feet (West) of the property. A Conditional Use Permit also triggers the requirement of the City to hold a neighborhood meeting to gather comments and input from the neighbors, prior to

scheduling the matter for a decision by the Planning Commission. The Conditional Uses will be considered in a separate staff report on this same agenda.

#### **NEIGHBORHOOD MEETING**

A neighborhood meeting was held on this project on February 11, 2021 via Zoom. No one from the public attended the virtual meeting. Staff did not receive any correspondence relative to the meeting or the project. Staff received one phone call generated by the mailed notice for that meeting. The caller inquired but did not voice any objection to the rebuilding of the use on this expanded site.

#### **ANALYSIS**

**Zoning Review.** The site plan has been revised from the time it was first submitted to staff and now will meet the required building and landscaping setback required in the CC zoning District. The use of the property is subject to Planning Commission approval of several conditional uses, due to proximity to residential zoning located to the west, which has been developed as single family residences under the un-incorporated Salt Lake County jurisdiction.

**Architectural Design Review.** The building's design, materials and colors have been reviewed by staff and will meet the City's Architectural Design Standards for commercial development.

**Vehical Access.** Access to the site will be basically the same as on the existing site, with one existing driveway approach relocated to a joint driveway on 1300 E. Street and one relocated and expanded joint driveway on 10600 S. Street. Required reciprocal driveway access is also provided behind the joint driveway approaches to improve multi-site circulation. Access and on-site circulation will be adequate for this development.

**Pedestrian Access.** The existing site has been previously impacted by street widening projects on both 1300 E. and 10600 S. Streets. As a part of those City initiated street improvement projects the curb and gutter has recently been installed and the existing sidewalks provided. 1300 E. Street has been developed with an 8 foot wide concrete sidewalk integral to the back of the curb. This is consistent with the original 1300 E. Street project. This widened sidewalk is designated and functions as a **multi-use trail**, and is to remain in place and be expanded by abutting new development. 10600 S. Street has been developed with curb and gutter and a 5 foot wide concrete sidewalk with a 3 foot wide colored and stamped concrete parking strip between the curb and the sidewalk. Public Works and Parks are requiring that both these streetscapes be revised to the new City standards.

With this project the developer will be required to widen the street right-of-ways on both streets by 2 feet and reinstall the public sidewalks to provide required park strips. 10600 S. Street will be developed with a five foot sidewalk and a 5 foot landscaped parking strip. 1300 E. Street will provide an 8 foot sidewalk/trail and a 2 foot colored and stamped park strip between the sidewalk and the back of the curb. The new site development will add the currently lacking 15 feet of landscaping behind the sidewalk, which will then meet City requirements.

**City Departmental Reviews.** All of the reviewing City departments and agencies have reviewed the proposed new site plan development. All departments and agency redlines and conditions will be incorporated into the Final site plan for approval by City staff.

**STAFF RECOMMENDATION**

Staff recommends that the Planning Commission find that the preliminary site plan review is complete for the proposed Jackson's "C" Store project, located at 1295 E. 10600 S., based upon the following two findings and the following six conditions:

**FINDINGS.**

- A. That the proposed project will meet all the applicable requirements of the Sandy City Development Code and the Sandy City Architectural Design Standards as to building architectural design, materials and colors.
- B. The new site plan will provide much needed improvement to this existing property and provide improved building design, materials, location, site circulation and streetscape improvements to this commercia corner.

**CONDITIONS.**

1. That the developer proceeds through the final site plan review process with staff prior to the start of any construction. The final site plan shall comply with all Development Code requirements and those modifications required or allowed by the Planning Commission.
2. That the development **complies with all Building & Safety, Fire and Life Safety Codes** applicable to this type of use.
3. **All utility boxes** (i.e. transformers, switchgear, telephone, cable TV, etc.) shall be shown on the site plan and shall be placed underground or moved behind the front setback of the buildings and screened from view. Each box shall be shown in its exact location and shall be noted with its exact height, width and length. Building **utility meters** shall be mounted to the side or rear elevation or screened.
4. That the developer be responsible for the placement of a **temporary 6 foot high chain link fence** around the perimeter of the project during the construction phase of the project for security. Said fence shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the Community Development Department during Site Plan Review.
5. That the applicant **complies with all department requirements** as noted in all Preliminary Review letters prior to submittal for final site plan review with staff.
6. That all signage be reviewed and approved under separate permit and be in conformance with City Code.

Planner:

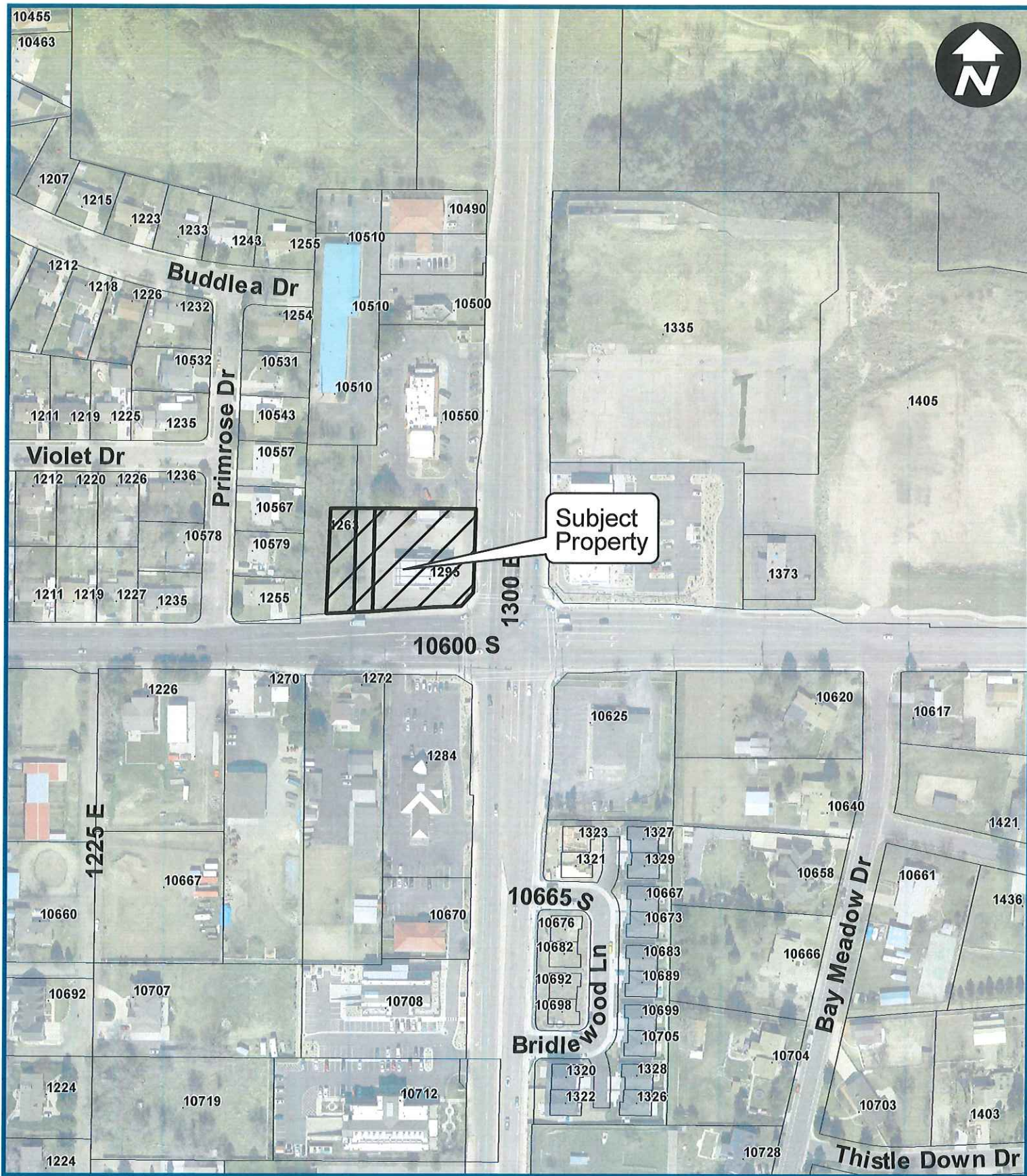


Douglas L. Wheelwright  
Development Services Manager

Reviewed by:







**SPR-10-20-5932**  
**Jackson's Fuel Store**  
**1295 E 10600 S**



PRODUCED BY DAVID RODGERS  
THE COMMUNITY DEVELOPMENT DEPARTMENT





## DEPARTMENT OF PUBLIC WORKS

Kurt Bradburn  
Mayor

Matthew Huish  
Chief Administrative Officer

Michael Gladbach, P.E.  
Director

### READY-FOR-PLANNING-COMMISSION MEMORANDUM

**Date:** November 11, 2020

**To:** Doug Wheelwright, Development Services Manager

**From:** Ryan C. Kump, P.E., City Engineer  
Britney Ward, P.E., City Transportation Engineer  
David J. Poulsen, Development Engineering Coordinator

**Project Name:** Jackson's C-Store  
**Plan Case Number:** SPR-10-20-005932  
**Project Address:** 1295 East 10600 South Street

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A review of the above-mentioned project has been made. Following is a list of comments from the Public Works Department:

1. THE PRELIMINARY SITE PLAN AND OTHER DOCUMENTS SUBMITTED BY THE DEVELOPER ARE GENERALLY ADEQUATE at this stage of the project with regard to Public Works Department concerns. A number of items will be required prior to final approval, including items mentioned in the drawing redlines, the "Plan Case Comments," and the "City Engineer Requirements" letter, but these items are not required as part of this preliminary submittal.
2. THE PUBLIC WORKS DEPARTMENT RECOMMENDS THAT THE PLANNING COMMISSION DECLARE THAT PLANNING COMMISSION PRELIMINARY SITE PLAN REVIEW IS COMPLETE, and that final project documents be prepared by the developer for review by city staff members.
3. PRIOR TO FINAL APPROVAL BY THE PUBLIC WORKS DEPARTMENT, the developer is required to complete all items mentioned in the drawing redlines, the "Plan Case Comments," and the "City Engineer Requirements" letter.



McDonald's USA, LLC  
110 Carpenter Av  
Chicago, IL 60607-2201  
Direct Dial Number (952)250-3537  
[Christine.schmidt@us.mcd.com](mailto:Christine.schmidt@us.mcd.com)

March 10, 2021

Department of Public Works  
Attn: David J. Poulsen  
8775 South 700 West  
Sandy, UT 84070

RE: McDonald's  
L/C: 43-0069  
10550 S 1300 E  
Sandy, UT

Dear Mr. Poulsen,

Please allow this letter as consent from McDonald's Corporation for Jacksons Food Stores to construct improvements to that portion of the McDonald's driveway that leads out onto 10600 South Road pursuant to the attached site plan.

**Note:** McDonald's consent is subject to Jacksons entering into a mutually agreeable sign easement agreement to allow the McDonald's entry sign to be relocated onto the Jackson's parcel, as well as other related approvals.

Sincerely,

A handwritten signature in blue ink, appearing to read "Chris Schmidt", with a long horizontal line extending to the right.

Chris Schmidt  
Real Estate Portfolio Manager

cc: Brent Stringer, McDonald's Franchisee





MARCH 14, 2021 3:15 PM



Project Narrative/Notes/Revisions

- 09/28/20 JM - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.
- 10/01/20 JM - CLIENT AND CITY COMMENTS
- 10/05/20 JM - CLIENT AND CITY COMMENTS
- 12/14/20 JM - CLIENT COMMENTS
- 12/15/20 JM - CLIENT COMMENTS
- 01/19/21 JM - CLIENT COMMENTS
- 01/25/21 JM - DUMPSTER REVISIONS
- 02/10/21 JM - CITY COMMENTS.

# Jackson's C-Store

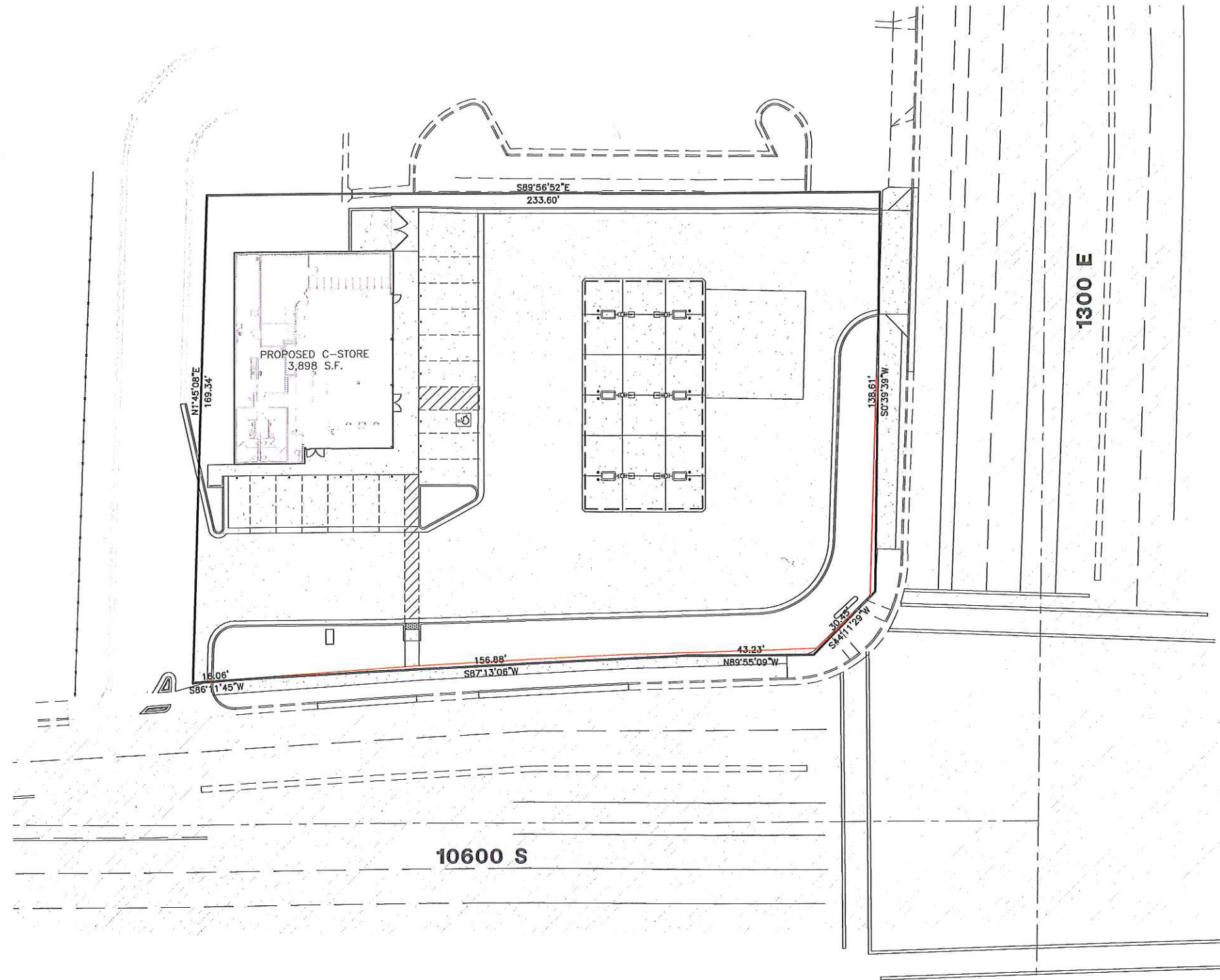
## 1295 E 10600 S

### Improvement Plans

SANDY CITY, SALT LAKE COUNTY, UTAH  
SEPTEMBER 2020



Vicinity Map  
NOT TO SCALE

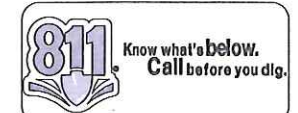


10600 S

1300 E

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- Sheet 2 - Notes/Legend
- Sheet 3 - Existing/Demolition Plan
- Sheet 4 - Proposed Site Plan
- Sheet 5 - Grading/Utility Plan
- Sheet 6 - Civil Details
- Sheet 7 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 8 - Storm Water Pollution Prevention Plan Details
- Sheet 9 - Landscape Plan
- Sheet 10 - Irrigation Plan
- Sheet 11 - Irrigation Details



Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR. SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT, THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Developer Contact:

Jason Sandburg  
Curtis Miner Architecture  
233 S Pleasant Grove Blvd  
Pleasant Grove, Utah, 84062  
PH: (801) 769-3000

Project Contact:

Project Manager: NATE REEVE  
Project Engineer: KEN HUNTER



REVISIONS	DESCRIPTION
DATE	

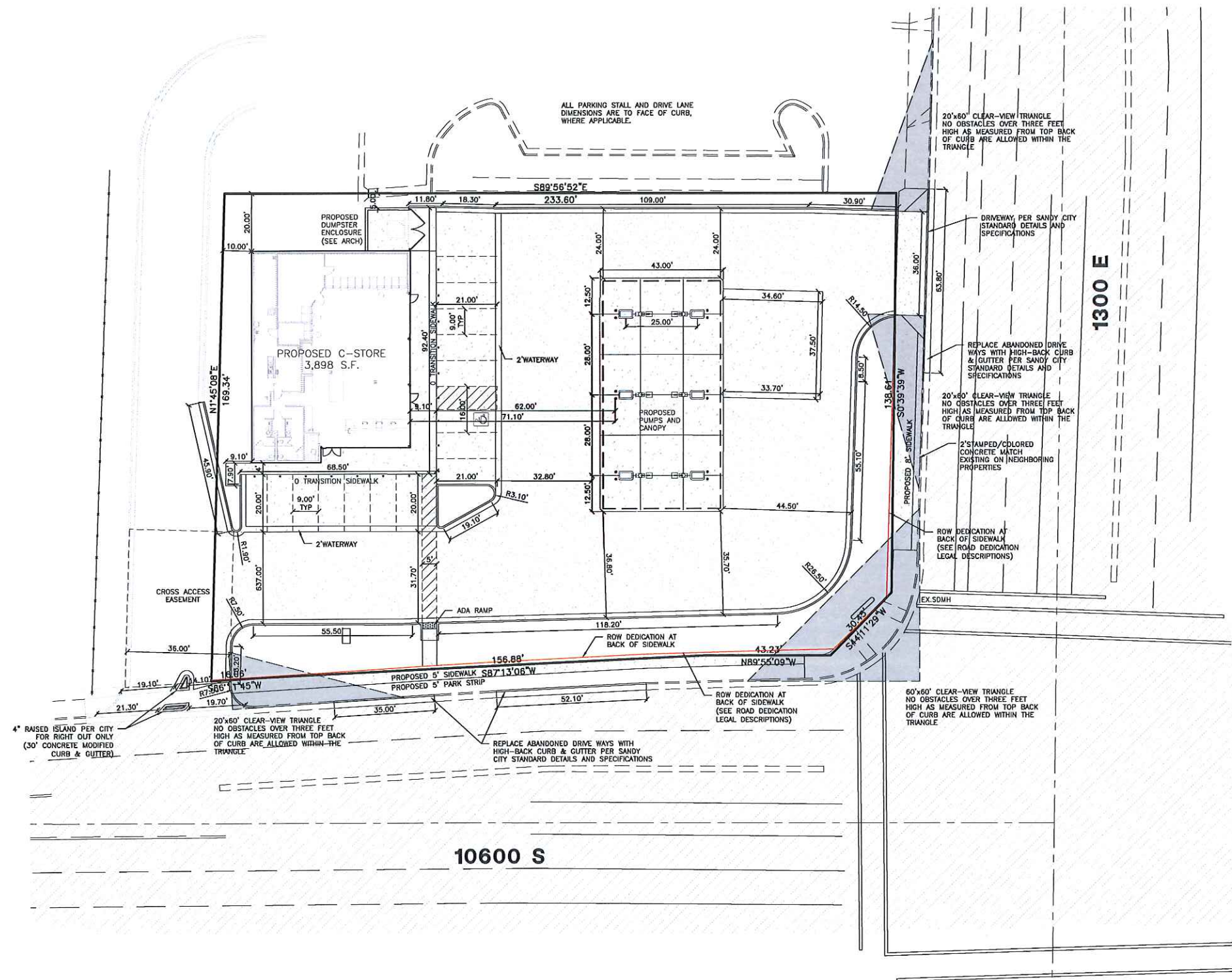
Jackson's C-Store  
1295 E 10600 S  
SANDY CITY, SALT LAKE COUNTY, UTAH  
Cover/Index Sheet



Project Info.	
Engineer:	J. NATE REEVE
Drafter:	J. MEYERS
Begin Date:	APRIL 2020
Name:	JACKSON C-STORE SANDY
Number:	6789-16

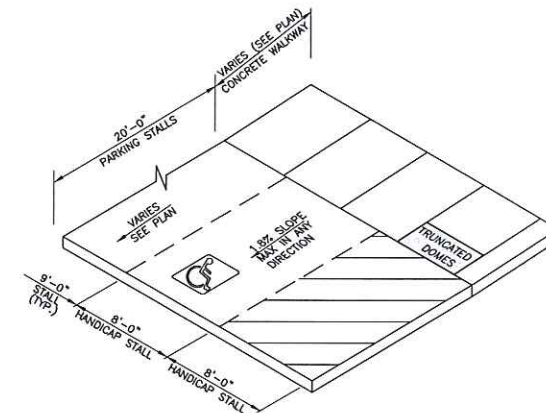
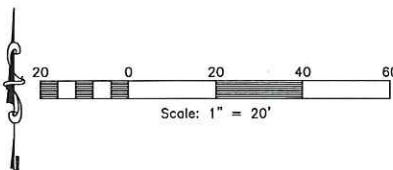
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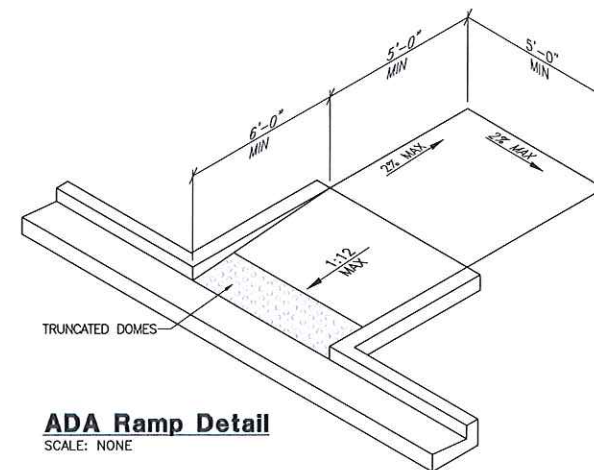


10600 S

1300 E



**ADA Parking Stall**  
SCALE: NONE



**ADA Ramp Detail**  
SCALE: NONE



REVISIONS  
DATE

**Jackson's C-Store**  
**1295 E 10600 S**  
SANDY CITY, SALT LAKE COUNTY, UTAH

**Proposed Site Plan**



**Project Info.**

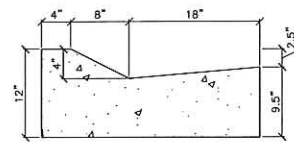
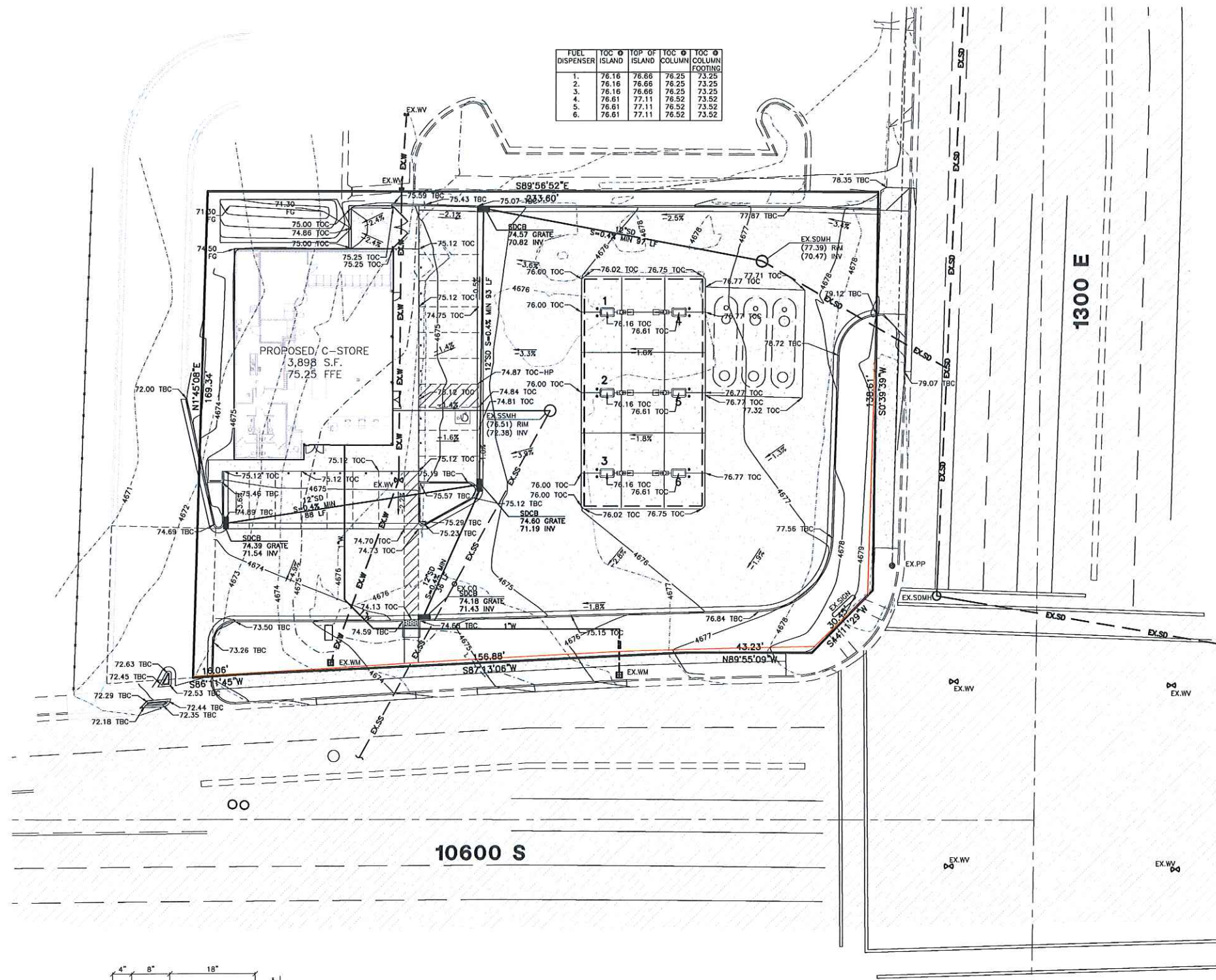
Engineer:  
J. NATE REEVE  
Drafter:  
J. MEYERS  
Begin Date:  
APRIL 2020  
Name:  
JACKSON C-STORE  
SANDY  
Number: 6789-16

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Sheets

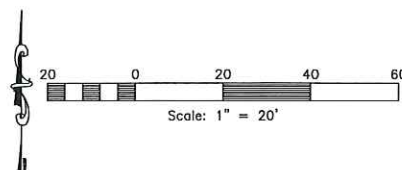




FUEL DISPENSER	TOC	ISLAND	TOC	ISLAND	TOC	ISLAND	TOC	ISLAND
1.	76.16	76.66	76.25	73.25				
2.	76.16	76.66	76.25	73.25				
3.	76.16	76.66	76.25	73.25				
4.	76.61	77.11	76.52	73.52				
5.	76.61	77.11	76.52	73.52				
6.	76.61	77.11	76.52	73.52				



**30' Concrete Modified Curb & Gutter Used for Raised Median**  
SCALE: NONE



REVISIONS	DESCRIPTION
DATE	

**Jackson's C-Store**  
**1295 E 10600 S**  
SANDY CITY, SALT LAKE COUNTY, UTAH

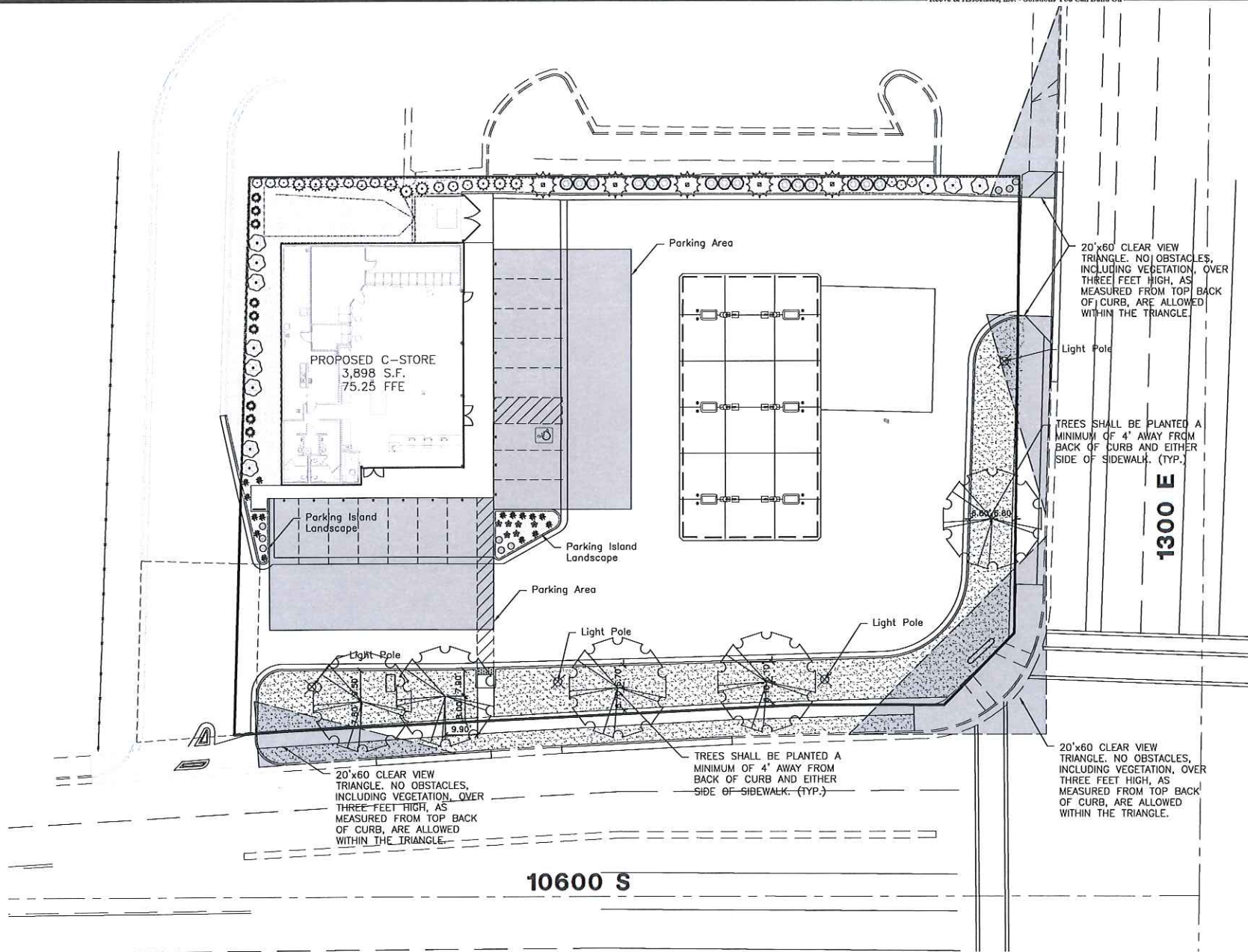
**Grading & Utility Plan**



**Project Info.**  
Engineer: J. NATE REEVE  
Drafter: J. MEYERS  
Begin Date: APRIL 2020  
Name: JACKSON C-STORE SANDY  
Number: 6789-16







## PLANT TABLE

## TREES

Quantity	Symbol	Scientific Name	Common Name	Size
5		<i>Picea pungens</i> 'Fastigiata'	Columnar Blue Spruce	6' Ht
5		<i>Zelkova serrata</i> 'Village Green'	Red Barron Crabapple	2" cal.

## SHRUBS

Quantity	Symbol	Scientific Name	Common Name	Size
11		<i>Juniperus sabina</i> 'Broadmoor'	Broadmoor Juniper	5 gal.
9		<i>Mahonia aquifolium</i> 'Compactum'	Compact Oregon Grape	5 gal.
12		<i>Ribes alpinum</i> 'Green Mound'	Green Mound Alpine Currant	5 gal.
9		<i>Spiraea japonica</i> 'Magic Carpet'	Magic Carpet Spirea	5 gal.
15		<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae	10 gal.

## PERENNIALS

Quantity	Symbol	Scientific Name	Common Name	Size
9		<i>Calamagrostis</i> 'Karl Foerster'	Karl Foerster Grass	5 gal.
15		<i>Heimerocallis</i> 'Stella de Oro'	Stella de Oro Daylily	1 gal.
6		<i>Sedum</i> 'Autumn Joy'	Autumn Joy Sedum	1 gal.

## OTHER

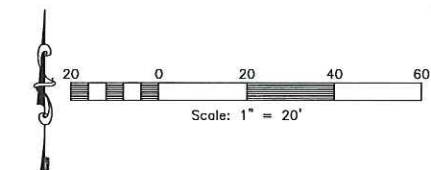
Symbol	Description	Size/Type
	Turf Grass - Sod	Sod
	Kentucky Bluegrass Mix - 3 Species Minimum	
	Gravel Mulch - Tan Color	1" Diameter
	Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.	3" Depth

## NOTE:

2H:1V Maximum Slope in Landscape Areas.

## SITE DATA

PARCEL AREA:	38,238 S.F. (0.88 ACRES)
LANDSCAPE AREA:	7,257 S.F. 19.0%
PARKING AREA:	6,037 S.F. 16%
LANDSCAPE ISLANDS:	303 S.F. 5%

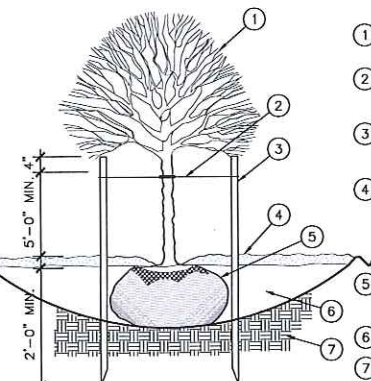


## PLANTING NOTES

- This planting plan is diagrammatic and plant locations are approximate.
- Field survey, stake, and string the layout and locations of site construction features for approval before actual construction. The layout shall conform to the exact location and grades of the intended work to be done.
- Coordinate all aspects of the planting plans with the irrigation system and call the attention of the owners representative to any conflict in placement of plants in relation to sprinkler heads, lines and valves at the time the landscape installation phase takes place.
- Finish grade of soil in lawn areas shall be 2" below pads, walks, paving, headers and curbs to accommodate sod. Grades in areas when seeded shall be 1" lower than adjacent edge.
- Native topsoil shall be stockpiled and stored on site whenever possible for use in landscape areas.
- All sod areas shall receive a minimum 4" depth of native topsoil and shrub beds shall receive a minimum of 8" of native topsoil.
- Imported topsoil, when required, shall come from a reputable source, have a loam consistency and be free of weeds and debris.
- Face each shrub to give the most pleasing look as seen from a line perpendicular to the wall or walk to/from which it is viewed.
- Edging or Curbing shall be installed as shown on the plan to separate grass from shrub beds.
- Shrub beds shall drain properly to prevent standing water from occurring. Call improperly draining planters or planting beds to the attention of the owners representative before planting. Provide positive drainage away from all structures and walls. Slope landscape areas 2% minimum.
- Place mulch in all shrub beds and perennial areas. See schedule for depth and type. Do not crowd out small perennial plants with excessive mulch.
- Provide a 3" minimum diameter circle "tree ring" around trees that are placed within lawn areas. Place a 3" min. depth of mulch. Use shredded bark mulch or match mulch being used for shrub beds.

## Developer Contact:

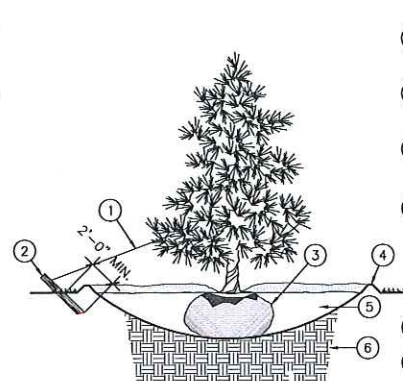
Jason Sandburg, AIA, NCARB  
Curtis Miner Architecture, LLC  
233 S. Pleasant Grove Blvd. #105  
Pleasant Grove, Utah, 84062  
PH: (801) 769-3000



NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL, EXCEPT WHERE NOTED.

## DECIDUOUS TREE PLANTING

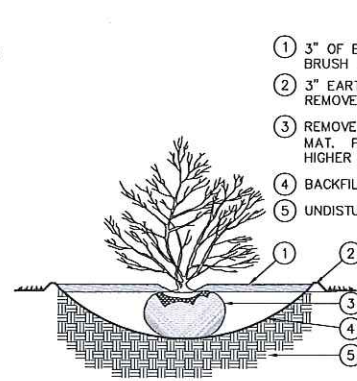
NTS



NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL, EXCEPT WHERE NOTED.

## CONIFEROUS TREE PLANTING

NTS



NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL, EXCEPT WHERE NOTED.

## SHRUB PLANTING

NTS

## Project Info.

Engineer: J. NATE REEVE

Drafter: N. Peterson

Begin Date: APRIL 2020

Name: JACKSON C-STORE

SANDY

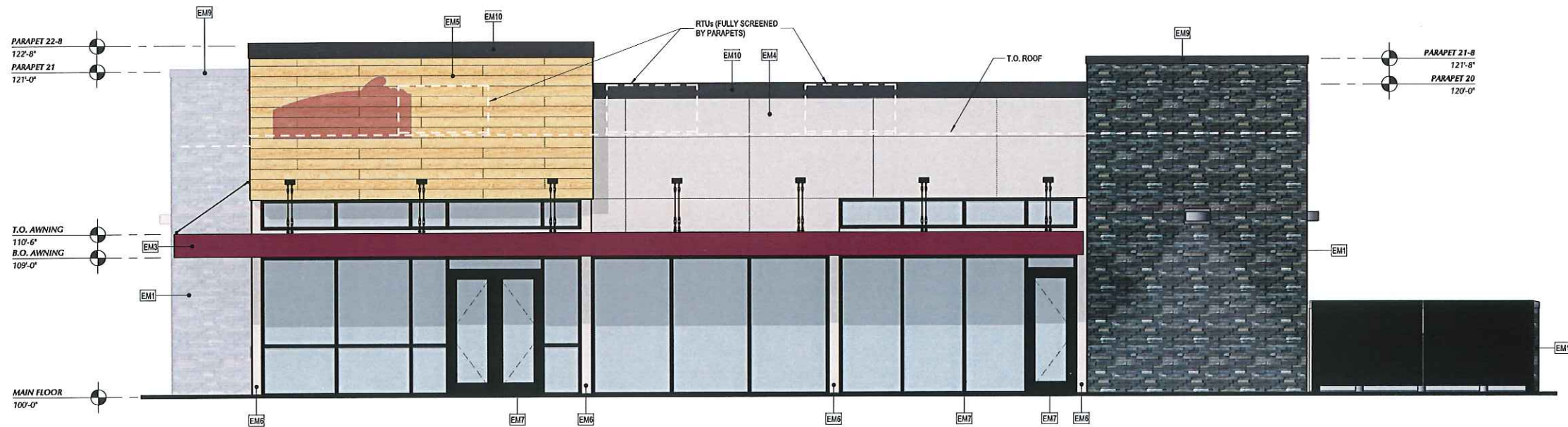
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Sheets





EAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

Exterior material percentages per elevation  
Jacksons 191 Sandy, UT  
12 February 2021

Elevation	Total Area	Material			
		Stone Veneer	Phenolic Panel	Storefront	Awning
North	1165	631 54%	526 45%	0 0%	7 1%
East	1569	411 26%	500 32%	570 36%	88 6%
South	1241	513 41%	335 27%	340 27%	54 4%
West	1507	734 49%	773 51%	0 0%	0 0%

EXTERIOR MATERIAL LEGEND

- EM1** STONE VENEER  
MFR: CULTURED STONE.  
MODEL: BORAL PRO-FIT TERRAIN LEDGESTONE.  
COLOR: TREK.
- EM2** STONE SILL  
MFR: CULTURED STONE.  
MODEL: CAST-FIT WATERTABLE/SILL.  
COLOR: CARBON.
- EM3** METAL AWNING (BY OTHERS)  
COLOR: SHERWIN WILLIAMS 'EM CHILLED WINE'.
- EM4** SOLID PHENOLIC WALL PANELS  
MFR: FIBERESIN INDUSTRIES STONEWOOD ARCHITECTURAL PANELS.  
COLOR: 'BRIDAL BLANCO 1833-CB' w/ COLOR MATCHED S.S. SCREWS.  
SIZE: 5/16" THICKNESS. SEE ELEVATIONS FOR WIDTH & LENGTH.
- EM5** SOLID PHENOLIC WALL PANELS  
MFR: FIBERESIN INDUSTRIES STONEWOOD ARCHITECTURAL PANELS.  
COLOR: 'ROTARY PLY 1913-AA' w/ COLOR MATCHED S.S. SCREWS.  
SIZE: 5/16" THICKNESS. 7 5/8" WIDTH x 8'-0" LENGTH.
- EM6** KYNAR 500 / HYLAR 5000 FLUOROCARBON STEEL BRAKE METAL  
MFR: FIRESTONE BUILDING PRODUCTS  
COLOR: MATTE; MATCH SHERWIN WILLIAMS SW 6991 'BLACK MAGIC'
- EM7** POWDER COATED STOREFRONT FRAMES  
MFR: KAWNEER  
COLOR: JET BLACK 038/80020
- EM8** EXTERIOR PAINT (AWNING MOUNTING PLATES, TURNBUCKLE & ACCESSORIES)  
COLOR: SHERWIN WILLIAMS SW 6991 'BLACK MAGIC'
- EM9** KYNAR 500 / HYLAR 5000 FLUOROCARBON STEEL COPING (24 GA.)  
MFR: FIRESTONE BUILDING PRODUCTS  
COLOR: MATTE; MATCH SHERWIN WILLIAMS SW 6991 'BLACK MAGIC'
- EM10** PRE-FINISHED METAL FASCIA  
MFR: METAL-ERA, ANCHOR TITE EXTENDED FASCIA, 11 1/2" HEIGHT  
COLOR: MATCH SHERWIN WILLIAMS SW 6991 'BLACK MAGIC'
- EM11** STONE CAPSTONE (BEHIND EXTERIOR LIGHT FIXTURES AT STONE VENEER LOCATIONS)  
MFR: CULTURED STONE.  
COLOR: NIGHTFALL; FLAT TEXTURED  
SIZE: 12" x 20" X 2"

JACKSONS 191 REBUILD

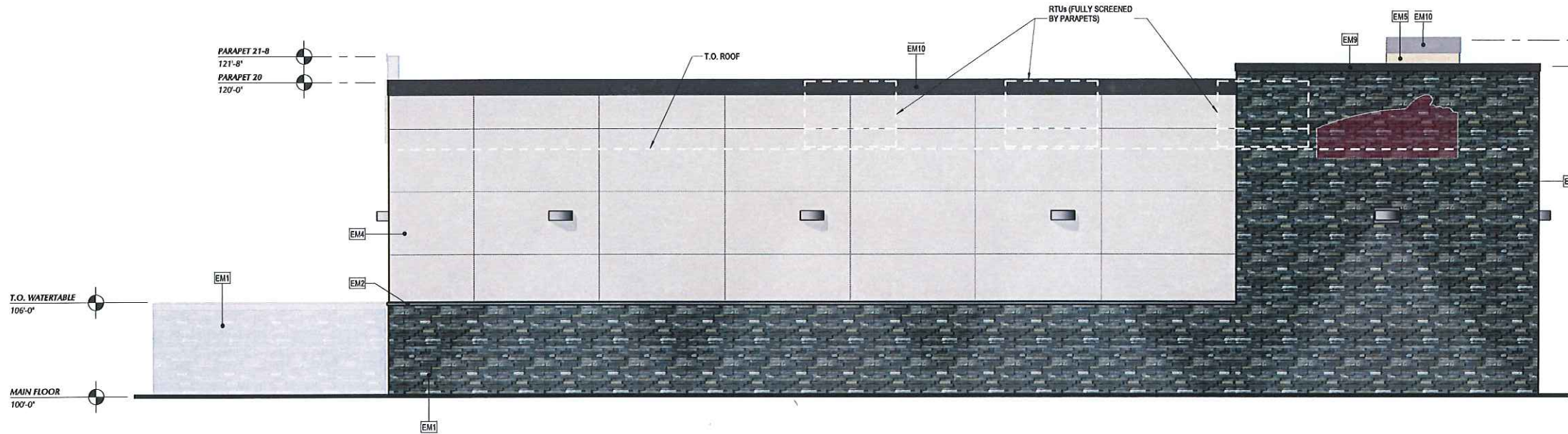
1295 E 10600 S  
SANDY, UT 84092

12 FEB 2021

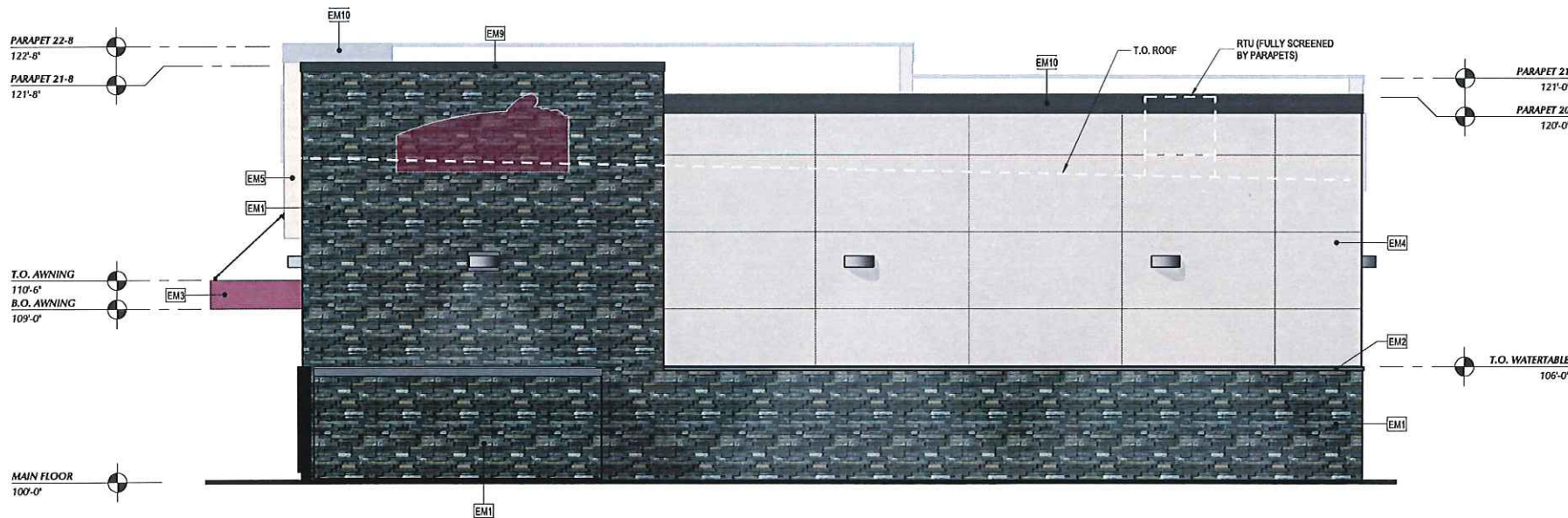
**CMA**  
CURTIS MINER  
ARCHITECTURE

233 SOUTH PLEASANT GROVE BLVD.  
SUITE #105  
PLEASANT GROVE, UTAH 84062  
PHONE: (801) 769-3000  
cma@cmautah.com





**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

Exterior material percentages per elevation  
Jacksons 191 Sandy, UT  
12 February 2021

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**EXTERIOR MATERIAL LEGEND**

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COLOR: JET BLACK 03680020
- EM8** EXTERIOR PAINT (AWNING MOUNTING PLATES, TURNBUCKLE & ACCESSORIES)  
COLOR: SHERWIN WILLIAMS SW 6991 "BLACK MAGIC"
- EM9** KYNAR 500 / NYLAR 5000 FLUOROCARBON STEEL COPING (24 GA.)  
MFR: FIRESTONE BUILDING PRODUCTS  
COLOR: MATTE; MATCH SHERWIN WILLIAMS SW 6991 "BLACK MAGIC"
- EM10** FIRE FINISHED METAL FASCIA  
MFR: METAL-ERA, ANCHOR TITE EXTENDED FASCIA, 11 1/2" HEIGHT  
COLOR: MATCH SHERWIN WILLIAMS SW 6991 "BLACK MAGIC"
- EM11** STONE CARSTONE (BEHIND EXTERIOR LIGHT FIXTURES AT STONE VENEER LOCATIONS)  
MFR: CULTURED STONE  
COLOR: NIGHTFALL; FLAT TEXTURED  
SIZE: 12" x 20" X 2"

**JACKSONS 191 REBUILD**

1295 E 10600 S  
SANDY, UT 84092

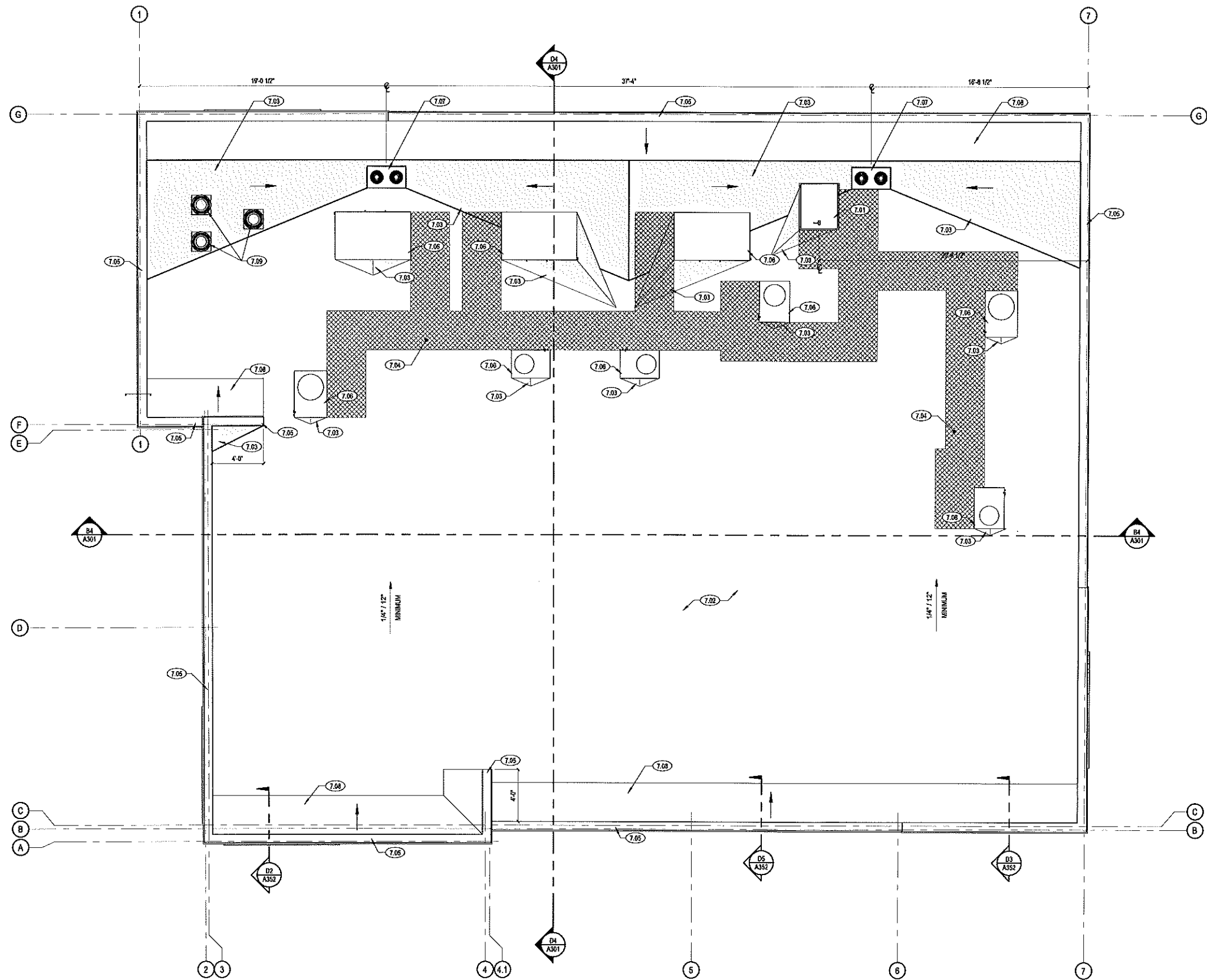
12 FEB 2021

**OTIA**  
CURTIS MINER  
ARCHITECTURE

233 SOUTH PLEASANT GROVE BLVD.  
SUITE #105  
PLEASANT GROVE, UTAH 84062  
PHONE: (801) 769-3000  
cma@cmautah.com



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ROOF PLAN  
SCALE: 1/4" = 1'-0"


MARK	REVISION	DATE

SHEET NOTES

- 7.01 30" X 30" ROOF ACCESS HATCH, "BILCO" TYPE "S" OR APPROVED EQUAL. SEE DETAIL D3/A702.
- 7.02 CLASS "C" MINIMUM SINGLE PLY ROOFING MEMBRANE OVER 3 LAYERS OF 2" POLYISOCYANURATE. ALTERNATING JOINTS, FOR A TOTAL OF R-36 (VERIFY WITH ENERGY CALCULATIONS). OVER WOOD DECK (RE: STRUCTURAL). INSTALL PER MANUFACTURER'S RECOMMENDATIONS FOR MECHANICALLY FASTENED SYSTEM. FULLY ADHERE TO VERTICAL SURFACES. SINGLE PLY ROOFING TO BE TPO OR GAF EVERGUARD, GREY, 60 MIL. SMOOTH, 20 YEAR WARRANTY MATERIALS AND LABOR. THIS WARRANTY ALL THE ROOFING SYSTEM, ALL ACCESSORIES, THE ROOF INSULATION, AND ANY DAMAGE CAUSED BY ROOFING FAILURE. WRAP OVER TOP OF PARAPET AND DOWN FRONT SIDE 1" MINIMUM. SEE SPECIFICATIONS.
- 7.03 SHADED AREA INDICATES BUILT-UP POLYISOCYANURATE. CRICKET ROOF TO DRAIN AS REQUIRED. MINIMUM SLOPE 1/4" PER FOOT.
- 7.04 INSTALL 125-MIL. EXTRUDED AND EMBOSSED TPO WALKING PATH; EVERGUARD TPO, OR EQUAL (GREY) WALK PATH (34.5" WIDE) - AS INDICATED BY HEX PATTERN. INSTALL OVER & HEAT WELDED TO ROOFING MEMBRANE. GENERAL CONTRACTOR TO COORDINATE WHICH SIDE THE RTU ACCESS PANELS ARE ON AND ADJUST THE WALKING PATH ACCORDINGLY.
- 7.05 PRE-FINISHED METAL PARAPET COPINGS / FASCIAS. SEE EXTERIOR ELEVATIONS FOR FINISH SPECIFICATIONS. SEE WALL SECTIONS FOR DETAILS & PROFILES.
- 7.06 ROOF TOP MECHANICAL EQUIPMENT. SEE MECHANICAL & ELECTRICAL DRAWINGS FOR EQUIPMENT SPECIFICATIONS. COORDINATE EXACT PLACEMENT WITH ROOF STRUCTURE BELOW. PROVIDE CURBS AS REQUIRED TO MEET UNIT MANUFACTURER REQUIREMENTS. TOP OF MECHANICAL EQUIPMENT SHALL NOT EXCEED THE HEIGHT OF THE LOWEST PARAPET, PER CITY REQUIREMENT.
- 7.07 PRIMARY AND SECONDARY ROOF DRAINS. RE: PLUMBING. SEE DETAIL D2/A701. MOUNT ROOF DRAINS 4'-0" MINIMUM FROM CLOSEST VERTICAL SURFACE. THE PRIMARY ROOF DRAINS TO STORM DRAIN SYSTEM. PROVIDE PIPING FOR SECONDARY DRAINS TO SCUPPERS AT EXTERIOR WALLS AS SHOWN. SEE DETAIL A5/A701.
- 7.08 PARAPET WALL BRACING. RE: STRUCTURAL.
- 7.09 EXHAUST FAN. RE: MECHANICAL.

GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. MINIMUM ROOF CLASSIFICATION TO BE AS NOTED ON THE CODE ANALYSIS.
- C. COORDINATE INSTALLATION OF ALL "AFTER CONTRACT" ASSEMBLIES PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- D. MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.
- E. INSULATE ENTIRE ROOF WITH R-36 POLYISOCYANURATE ABOVE ROOF DECKING.
- F. FLASH AND COUNTER FLASH ALL ROOF PENETRATIONS PER SINGLE PLY MANUFACTURER'S RECOMMENDATIONS.
- G. THE PRIMARY ROOF DRAINS INTO SITE STORM DRAINAGE SYSTEM. THE SECONDARY ROOF DRAINS THROUGH BRASS SCUPPERS.
- H. ALL MECHANICAL UNITS AND ROOF PENETRATIONS MAY NOT BE SHOWN. REFER TO ENGINEERING SHEETS FOR ALL REQUIRED MECHANICAL UNITS AND ROOF PENETRATIONS. PROVIDE FLASHING, CRICKETS, AND REGLETS AT EACH UNIT. CRICKETS TO SLOPE 1/4" PER FOOT MINIMUM. SEE TYPICAL ROOF DETAILS.
- I. MECHANICAL CURBS TO BE 6" MINIMUM ABOVE NEAREST HORIZONTAL OR SLOPED ROOF SURFACE. SLEEPER INSTALLATION NOT PERMITTED AT MECHANICAL UNITS. PROVIDE FULL MECHANICAL CURB DETAILING.
- J. DO NOT SCALE DRAWINGS.

 CURTIS MINER ARCHITECTURE	233 SOUTH PLEASANT GROVE BLVD. SUITE # 105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com	DATE: 17 FEB 2021 PROJECT #: CMA20-028 PROJ. MAN.: MWS CHECKED BY: JWS
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PROJECT: <b>JACKSONS 191 REBUILD</b>		
1295 E 10600 S SANDY, UT 84092		
SHEET DESCRIPTION: <b>ROOF PLAN</b>		SHEET: <b>A103</b>

PERMIT SET