



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Agenda

Planning Commission

Dave Bromley
Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
LaNiece Davenport
Craig Kitterman (Alternate)
Jennifer George (Alternate)

Thursday, September 4, 2025

6:15 PM

Council Chambers and Online

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

https://us02web.zoom.us/webinar/register/WN_CMm905zUR0CHmmqF0jwkTw

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/81807405164>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866

(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/81807405164>

Webinar ID: 818 0740 5164

Passcode: 147908

4:45 PM FIELD TRIP

1. [25-275](#) Map

Attachments: [09042025.pdf](#)

6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

Public Hearings

2. [CA08262025-0007027 \(PC\)](#) Amendments to Title 21 of the Land Development Code related to Brewpubs

Attachments: [Staff Report - Brewpub Code Amendments](#)
[Exhibit A - Title 21 Brewpub Code Amendments](#)
[Exhibit B - Title 21 Brewpub Code Amendments](#)
[Exhibit C - Map of State-Required Buffers](#)
[Exhibit D - Map of Eligible Areas for Brewpubs](#)

Public Meeting Items

3. [SPR06302025-5-006990](#) Alta Canyon Sports Center - Preliminary Modified Site Plan Review
9565 S. Highland Dr.
[Community # 20, Little Cottonwood]

Attachments: [Staff Report](#)
[Exhibit A](#)
[Exhibit B](#)
[Exhibit C](#)
[Exhibit D](#)

Administrative Business

1. Minutes

[25-266](#) Minutes from August 7th Meeting

Attachments: [08.07.2025 PC Minutes \(DRAFT\)](#)

2. Sandy City Development Report

[25-264](#) Development Report

Attachments: [09.01.2025 DEV REPORT](#)

3. Director's Report

Adjournment

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Sandy City, Utah

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Sandy, UT 84070
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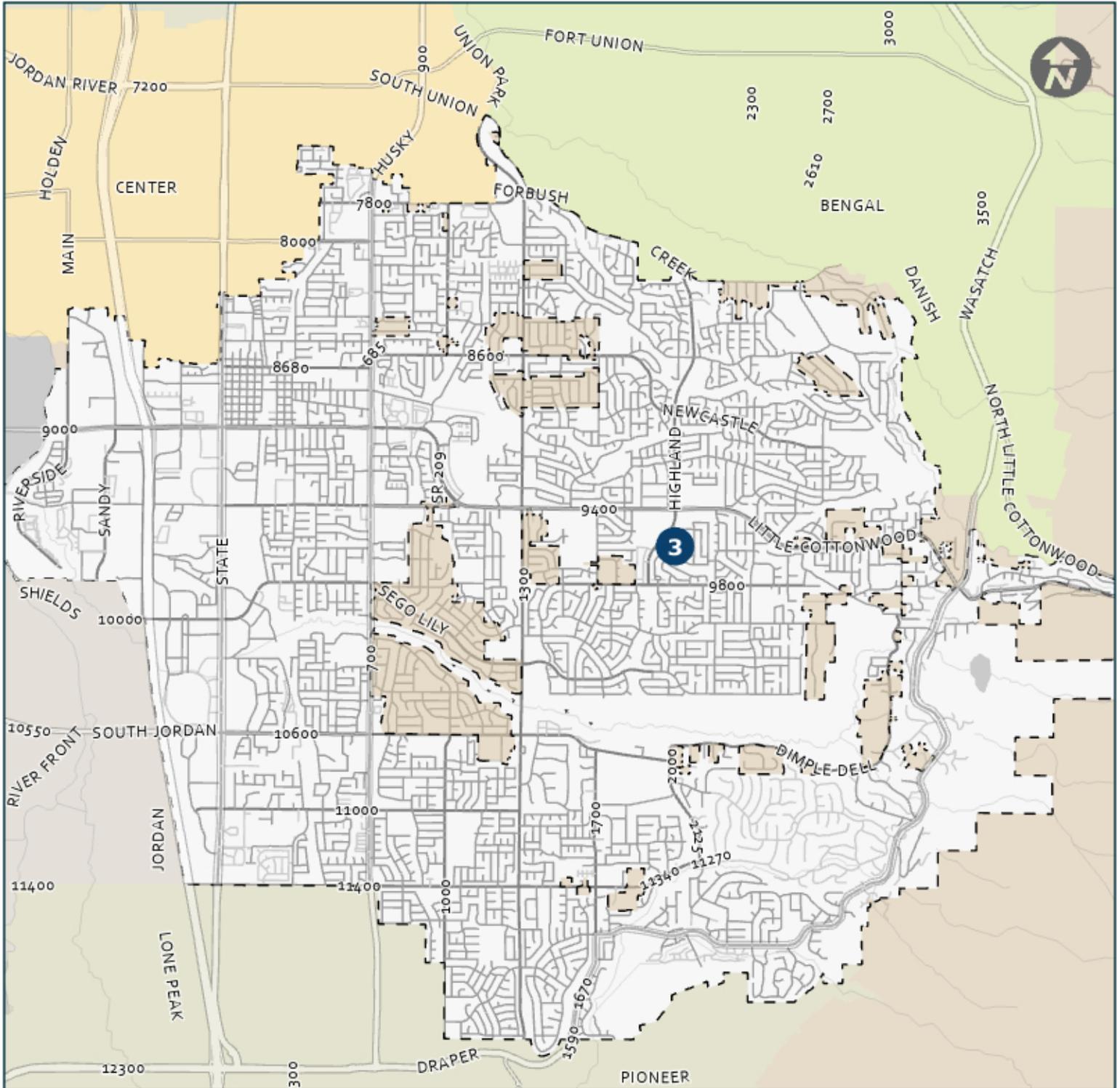
Staff Report

File #: 25-275, **Version:** 1

Date: 9/4/2025

Map

Planning Commission Field Trip September 4, 2025



See Planning Commission agenda packet for specific addresses and details regarding the application.

 1 Mile

Sandy City, UT
Community Development Department

Agenda Item Number

-  1 Locations to visit on your own
-  1 Locations to be visited on tour



Staff Report

File #: CA08262025-0007027
(PC), Version: 1

Date: 9/4/2025

Agenda Item Title:

Amendments to Title 21 of the Land Development Code related to Brewpubs

Presenter:

Melissa Anderson, Zoning Administrator

Description/Background:

At the request of the City Council, the Community Development Department is proposing to amend Title 21, *Land Development Code*, Chapter 21-8, *Permitted Land Uses in the Commercial, Office, Industrial, Mixed Use, Transit Corridor, and Research and Development Districts*, Chapter 21-19, *Special Development (SD) Districts*, Section 21-23-16, *Alcoholic Beverages; Distance Requirements*, and Section 21-37-2, *“A” Definitions*. The proposed code amendments will allow a brewpub to be in a variety of zoning districts beyond just the downtown Cairns District, but only if it is on the same premises as a sit-down restaurant. Brewpubs would be limited to the zoning districts where restaurants are currently allowed to serve alcohol. Additional code amendments include changes for consistency within the City Code and aligning with Utah Code.

On April 29, 2025, the City Council adopted Resolution #25-16C pertaining to brewpubs, which is understood to be a restaurant with a brewery that manufactures and sells beer and heavy beer for on-site consumption. The resolution directed city staff to consider streamlining the permitting process, lowering the regulatory and financial barriers to entry and to evaluate areas that brewpubs could be allowed to operate that are outside of the downtown Cairns District. To address these objectives, the Community Development Department conducted an evaluation, prepared a report with recommendations and presented those findings to the City Council at their regularly scheduled meeting on July 15, 2025. At that meeting the City Council expressed support for the recommendations, directed staff to prepare code amendments and proceed with the standard process for adoption. This proposal implements the Council’s direction with amendments to the Sandy Land Development Code (Title 21).

Specific amendments to the LDC are included as Exhibit “A” (red-lined version) and Exhibit “B” (clean version) to the staff report.

Please see the attached staff report and exhibits for the full details of this item.

Fiscal Impact:

None.

Further action to be taken:

The final decision will be made by the City Council.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission forward a positive recommendation to the City Council to amend Title 21, of the Sandy Municipal Code, relating to Brewpubs, as shown in Exhibit "A", based on the following findings:

Findings:

1. The City Council may amend land use ordinances consistent with the purposes of the Sandy Land Development Code, the Sandy City General Plan, and the Utah Code, Municipal Land Use, Development, and Management Act per Title 21 Chapter 5 of the Sandy Municipal Code.
2. The proposal is reviewed by the Planning Commission and City Council in accordance with the requirements of Title 21 Chapter 5 of the Sandy Municipal Code.
3. The proposal complies with the purpose of the Land Development Code under Section 21-1-03 by promoting the public health, safety, and welfare; ensuring consistent and equitable standards; establishing fair procedures that are efficient and effective in terms of time and expense; and by facilitating the orderly growth and development of Sandy City.
4. The proposal complies with the Goals and Policies of the General Plan by establishing appropriate development standards for all uses and zoning categories within Sandy City.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE
OFFICER

Staff Report Memorandum September 4, 2025

To: City Council via Planning Commission
From: Community Development Department
Subject: Amendments to Title 21 of the Land Development Code related to Brewpubs CA08262025-0007027

Public Hearing Notice: This item has been noticed on public websites, sent to affected entities and posted in three public locations at least 10 days prior to the Public Hearing.

Request

At the request of the City Council, the Community Development Department is proposing to amend Title 21, *Land Development Code*, Chapter 21-8, *Permitted Land Uses in the Commercial, Office, Industrial, Mixed Use, Transit Corridor, and Research and Development Districts*, Chapter 21-19, *Special Development (SD) Districts*, Section 21-23-16, *Alcoholic Beverages; Distance Requirements*, and Section 21-37-2, *“A” Definitions*. The proposed code amendments will allow a brewpub to be in a variety of zoning districts beyond just the downtown Cairns District, but only if it is on the same premises as a sit-down restaurant. Brewpubs would be limited to the zoning districts where restaurants are currently allowed to serve alcohol. Additional code amendments include changes for consistency within the City Code and aligning with Utah Code.

Background

On [April 29, 2025](#), the City Council adopted [Resolution #25-16C](#) pertaining to brewpubs, which is understood to be a restaurant with a brewery that manufactures and sells beer and heavy beer for on-site consumption. The resolution directed city staff to consider streamlining the permitting process, lowering the regulatory and financial barriers to entry and to evaluate areas that brewpubs could be allowed to operate that are outside of the downtown Cairns District. To address these objectives, the Community Development Department conducted an evaluation, prepared a report with recommendations and presented those findings to the City Council at their regularly scheduled meeting on [July 15, 2025](#). At that meeting the City Council expressed support for the recommendations, directed staff to prepare code amendments and proceed with the standard process for adoption. This proposal implements the Council’s direction with amendments to the Sandy Land Development Code ([Title 21](#)). The specific code amendments are included as Exhibit “A” (red-lined version) and Exhibit “B” (clean version).

Public Notice

The city issued notice of the public hearing for the proposed code amendments on public websites, mailed notice to affected entities and posted in three public locations at least 10 days prior to the Planning Commission public hearing in accordance with the Land Development Code Sec. 21-36-1 and the Utah State Code § 10-9a-205.

Analysis

Required Licenses for Brewpubs: To begin, it is important to understand the licensing requirements for a brewpub to operate in Utah. Under Utah Code, Alcoholic Beverage Control Act ([Title 32B](#)), two alcoholic beverage licenses are required

from the Utah Department of Alcoholic Beverage Services ([DABS](#)), with concurrence from the City:

1. An *alcoholic beverage brewery manufacturing license* is required for the manufacturing, brewing, storage, and transport of beer and heavy beer. With this type of license, a brewpub can offer “beer” (≤5% alcohol content) and “heavy beer” (>5% alcohol content) to restaurant patrons for on-site consumption. A brewery manufacturing license also allows a brewpub to sell packaged “beer” that has been manufactured on-site to local distributors and to customers for take-out if they have dined at the restaurant.
2. An *alcoholic beverage restaurant license* is required for the service of alcohol to patrons for consumption on the premises. This type of license has three categories for the service of alcoholic beverages, which includes: 1) “beer only,” 2) “limited service” for beer, heavy beer and wine, and 3) “full service” for beer, heavy beer, wine and liquor. A restaurant license also requires at least 70% of the total restaurant business to be generated from the sale of food; this ensures each restaurant is engaged primarily in serving meals to the public (vs. alcohol).

In sum, to allow a restaurant with a brewery that manufactures and sells beer and heavy beer for on-site consumption (aka brewpub) to operate in Sandy, both an alcoholic beverage restaurant license and a brewery manufacturing license are required from DABS with concurrence from the city.

Prohibited Areas for Brewpubs: Another consideration for brewpubs is the distancing requirements of the Utah Code ([UC 32B-1-202](#)), which prohibits restaurants that serve alcoholic (including brewpubs) from locating within proximity to a “community location.” Community locations include public or private schools, churches, public libraries, public playgrounds and public parks. This distancing requirement acts like an overlay that is applied to all zones when evaluating whether an alcoholic beverage license may be issued at a specific location. These community locations have been identified on a map to illustrate the extent of this restriction. Please refer to the map in the exhibits for a visual reference.

Zoning Districts for Brewpubs: Currently, there are many zoning districts throughout Sandy that allow restaurants to serve alcohol with the proper license; however, very few zones outside of the downtown Cairns District allow for a brewery manufacturing license. Since a brewery that is on the same premises as a sit-down restaurant has very similar operational characteristics as a restaurant that is licensed to serve alcohol, the zones that allow a restaurant to serve alcohol were identified and proposed for brewpubs as well. Therefore, a brewery manufacturing license is proposed to be allowed in a variety of commercial zones beyond just the Cairns District, but only if it is on the same premises as a sit-down restaurant. The zoning districts both in and out of the Cairns District that would allow a brewpub are listed below. These locations are also illustrated on a map in the exhibits.

Commercial, Office, Mixed Use and Industrial Zones - Land Use Matrix (Chapter 21-8)
Central Business District (CBD)
Central Business District—Parkway Subdistrict (CBD-P)
Central Business District—Office Subdistrict (CBD-O)
Central Business District—Arts and Culture Subdistrict (CBD-A&C)
Planned Unit Development Commercial (CR-PUD)
Regional Commercial District (RC)
Boulevard Commercial District (BC)
Community Commercial District (CC)
Neighborhood Commercial District (CN)
Convenience Commercial District (CvC)
Neighborhood Commercial District-Historic Sandy (CN-HSN)
Historic Boulevard Commercial District (HBD)
Limited Commercial District (LC)
Professional Office District (PO)
Industrial District (ID)
Auto Mall – Commercial Subdistrict (AM)
Mixed Use District (MU)
Research Development District (RD)
Special Development Zones (Chapter 21-19)
SD – MU Mixed Use District (7800 S 1300 E)
SD – Magna – CC Subdistrict (9400-9800 S 2000 E)
SD – Smart District – CC & CN Subdistricts (7800 S 1300 E)

SD – Harada District (7575 S Union Park)
SD – JHS Miller District (9400 S State St)
SD – CC Timberline District (9400 S 900 E)
SD – MU-X – Ski Connect District (9200 S 1000 E)
SD – Union Heights Professional Office District – CvC & PO Subdistricts (7700 S 1300 E)
SD – PO Silver Sage District (10900 S 700 E)

Permitted vs. Conditional Use for Brewpubs: The same approach that is used to identify appropriate zoning districts for brewpubs is used to determine whether the use should be allowed as a permitted use vs. a conditional use in the zone. If the zone currently allows restaurants to serve alcohol as a permitted use, then a brewpub is proposed to be a permitted use in that same zone. Alternatively, if the zone currently allows restaurants to serve alcohol as a conditional use, then a brewpub is proposed to be a conditional use in that same zone.

Consistency with City and State Regulations: As part of this initiative to allow more opportunities for brewpubs in Sandy is ensuring alignment between city and state regulations. Consequently, some of the proposed code amendments are for the purpose of aligning City Code with current Utah Code. This includes removing alcoholic beverage licenses that are no longer valid and updating the land use terms with current licensing terminology of the state law. For example, Utah Code has replaced “dining club” liquor licenses with “restaurant” liquor licenses; and terms such as “club” is replaced with “bar establishment” and “tavern” is replaced with “on-premises beer tavern” license. These types of amendments are included in this proposal where appropriate.

Lastly, consistency between different sections of the Land Development Code was a consideration for the SD–(JHS)(MILLER) zoning district at 9400 S State Street ([Sec. 21-19-16](#)) because this zone is located entirely within the downtown Cairns District. Despite being in the Cairns District, the land uses related to alcoholic beverage licenses are not included in the zone like they are in the downtown CBD zones. Consequently, the alcoholic beverage license related land uses are added to the SD–(JHS)(MILLER) zone for consistency within the City Code.

Non-Conforming Uses

The proposed code amendments would not create any non-conforming situations but it will remove a non-conforming land use in the SD–MU Mixed Use Zone at 7800 S 1300 E ([Sec. 21-19-3](#)). In this location of the SD-MU zone there is an existing restaurant with a valid alcoholic beverage license that has been operating for many years; however, alcoholic beverage restaurant licenses are not listed as a land use in that zone. Temporary event permits are allowed, but the code is silent on restaurant licenses. Therefore, alcoholic beverage restaurant licenses (and a brewery manufacturing license) are proposed to be added to this zone, but only at the 7800 S 1300 E location. There is another SD–MU zone at 9400 S 1300 E, which is located around the city’s amphitheater. This change would *not* apply in that area, and the proposed amendments specify this restriction on location.

Land Development Code Purpose Compliance

The Sandy City Land Development Code in 21-1-3 lists the criteria explaining the intent and purpose of the Ordinance. The purpose is:

21-1-3 Purpose

This Code is adopted to implement Sandy City’s General Plan and to promote public health, safety, convenience, aesthetics, welfare; efficient use of land; sustainable land use and building practices; transportation options and accessibility; crime prevention; timely citizen involvement in land use decision making; and efficiency in development review and land use administration. Specifically, this Code is established to promote the following purposes:

1. General

- a. To facilitate the orderly growth and development of Sandy City.*
- b. To facilitate adequate provision for transportation, water, sewage, schools, parks, and other public requirements.*
- c. To stabilize property values.*
- d. To enhance the economic well-being of Sandy City and its inhabitants.*

2. Implementation of General Plan

To coordinate and ensure the implementation of the City’s General Plan through effective execution of development review

requirements, adequate facility and services review and other goals, policies, or programs contained in the General Plan.

3. ***Comprehensive, Consistent and Equitable Regulations***

To establish a system of fair, comprehensive, consistent and equitable regulations, standards and procedures for review and approval of all proposed land development within the City.

4. ***Efficiently and Effectively Managed Procedures***

a. *To promote fair procedures that are efficient and effective in terms of time and expense.*

b. *To be effective and responsive in terms of the allocation of authority and delegation of powers and duties among ministerial, appointed, and elected officials.*

c. *To foster a positive customer service attitude and to respect the rights of all applicants and affected citizens.*

The proposed code amendment is consistent with the purpose of the Land Development Code because the proposal promotes public health, safety and welfare; ensures consistency and equitable standards; establishes fair procedures that are efficient and effective in terms of time and expense; facilitates the orderly growth and development of Sandy City; and is consistent with the Sandy City General Plan.

General Plan Compliance

The Sandy City General Plan encourages appropriate development standards for all uses and zoning categories within the city. The proposed code amendment furthers that goal and objective by establishing appropriate land development standards for all uses and zoning categories within Sandy City.

Recommendation

Staff recommends that the Planning Commission forward a positive recommendation to the City Council to amend Title 21, of the Sandy Municipal Code, relating to Brewpubs, as shown in Exhibit “A”, based on the following findings:

Findings:

1. The City Council may amend land use ordinances consistent with the purposes of the Sandy Land Development Code, the Sandy City General Plan, and the Utah Code, Municipal Land Use, Development, and Management Act per Title 21 Chapter 5 of the Sandy Municipal Code.
2. The proposal is reviewed by the Planning Commission and City Council in accordance with the requirements of Title 21 Chapter 5 of the Sandy Municipal Code.
3. The proposal complies with the purpose of the Land Development Code under Section 21-1-03 by promoting the public health, safety, and welfare; ensuring consistent and equitable standards; establishing fair procedures that are efficient and effective in terms of time and expense; and by facilitating the orderly growth and development of Sandy City.
4. The proposal complies with the Goals and Policies of the General Plan by establishing appropriate development standards for all uses and zoning categories within Sandy City.

Planner:



Melissa Anderson
Zoning Administrator

Exhibits:

- A. Proposed code amendments (red-lined version)
- B. Proposed code amendments (clean version)
- C. Map of buffers that restrict brewpub locations
- D. Map of areas a brewpub could locate

CHAPTER 21-8. LAND USES IN THE COMMERCIAL, OFFICE, INDUSTRIAL, MIXED USE, TRANSIT CORRIDOR, AND RESEARCH AND DEVELOPMENT DISTRICTS

Sec. 21-8-1. Purpose and Applicability.

- (a) *Purpose.* The commercial districts land use standards are intended to:
- (1) Allow a mixture of complementary land uses that may include retail, offices, commercial services, civic uses, and housing to create economic and social vitality, and to encourage the linking of trips; and
 - (2) Develop commercial areas that encourage walking as an alternative to driving and provide employment and housing options.
- (b) *Applicability.* Uses permitted under this chapter shall conform to the development standards provided elsewhere in this title, and to the application procedures for development as applicable. Uses shall also conform to any overlay district requirements that are applicable. Uses permitted as a conditional use shall comply with the requirements for conditional use permits.

(LDC 2008, § 15A-08-01)

Sec. 21-8-2. Permitted Land Use Matrix by the Commercial, Office, Industrial, Mixed Use, Transit Corridor, and Research and Development Districts.

- (a) *Matrix Explanation.* The following matrix lists all permitted uses within Sandy City commercial, office, industrial, mixed use, transit corridor, and research and development districts. The letters "P," "C," "S," or "N" shall mean "Permitted," "Conditional," "Special Use," or "Not Permitted," respectively. Refer to special use standards within this title for all land uses allowed with an "S." For those letters which are followed by a slash "/" the second letter shall indicate those location restrictions for businesses located within 250 feet of a residential district (unless bisected by a major arterial road as determined by the Sandy City Transportation Engineer in the Transportation Element of the Sandy City General Plan). For those land uses marked with a superscript number (¹), refer to Subsection (c) of this section for explanation.

EXHIBIT "A"

(b) *Table of Uses.*

Land Use Category	CBD	CBD-P	CBD-O	CBD-A&C	CR-PUD	RC	BC	CC	CN	CvC	CN (HSN)	HBD	LC	PO	ID	AM (Dealer ships)	AM (Commercial)	MU	TC	RD
Alcoholic beverage club (dining) liquor license*	P	P	P	P	P	P	P	P	P	P	P	P	€	€	P	N	P	P	N	P
Alcoholic beverage club bar establishment (equity) liquor license* 31 & 32	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Alcoholic beverage club bar establishment (fraternal) liquor license* 31 & 32	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Alcoholic beverage club bar establishment (social bar) liquor license* 31 & 32	p ²¹ & 22	N	p ²¹ & 22	N	N	N	N	N	N	N	N	N	N	p ²¹ & 22	p ²¹ & 22	N	N			
Alcoholic beverage hotel license ³¹	P	P	P	P	P	P	N	C	N	N	P	N	N	N	N	N	P	C	N	C
Alcoholic beverage manufacturing license	p ²¹ & 22	N <u>p³⁰</u>	p ²¹ & 22	N <u>p³⁰</u>	N <u>p³⁰</u>	N <u>p³⁰</u>	N <u>p³⁰</u>	N <u>p³⁰</u>	N <u>p³⁰</u>	N <u>C³⁰</u>	N <u>C³⁰</u>	p ²³	N	p ²¹ & 22	p ²¹ & 22	N	N <u>p³⁰</u>			
Alcoholic beverage off-premises beer retailer license	P	P	P	P	P	P	P	P/C	C	P	P	C	P/C	N	P	N	P	P	N	P
Alcoholic beverage on-premises banquet and catering license ³¹	P	P	P	P	P	P	P	P	C	C	C	C	P	C	C	N	P	C	N	C
Alcoholic beverage on-premises beer tavern license ^{31 & 32}	p ²¹ & 22	N	p ²¹ & 22	N	N	N	N	N	N	N	N	N	N	p ²¹ & 22	p ²¹ & 22	N	N			
Alcoholic beverage on-premises recreational beer retailer license ³¹	P	C	C	P	P	P	P/C	P/C	P/C	N	N	C	P/C	N	C	N	P	C	N	N
Alcoholic beverage package agency ³¹	P	P	P	P	P	P	N	N	N	N	N	N	N	N	P	N	P	P	N	N

EXHIBIT "A"

Alcoholic beverage reception center license <u>31</u>	P	C	N	P	P	P	P	P	P	N	P	P	C	P	P	N	P	C	N	N
Alcoholic beverage resort license <u>31</u>	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Alcoholic beverage restaurant beer-only license <u>* 31 & 32</u>	P	P	P	P	P	P	P	P	P	P	P	P	C	C	P	N	P	P	N	P
Alcoholic beverage restaurant full service license <u>* 31 & 32</u>	P	P	P	P	P	P	P	P	P	P	P	P	C	C	P	N	P	P	N	P
Alcoholic beverage restaurant limited service license <u>* 31 & 32</u>	P	P	P	P	P	P	P	P	P	P	P	P	C	C	P	N	P	P	N	P
Alcoholic beverage single event permits	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	N	P
Alcoholic beverage state liquor store <u>31</u>	C	C	C	C	C	C	N	N	N	N	N	N	N	N	N	N	C	C	N	N
Alcoholic beverage temporary beer event permits	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	N	P

...

EXHIBIT "A"

~~* Additional requirements for clubs and restaurants. Any newly constructed club or restaurant shall meet the following requirements:~~

- ~~(1) Main entrance shall have an unimpeded line of sight from the street or public way.~~
- ~~(2) Lighting of the building at the entrance.~~
- ~~(3) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.~~

(c) *Explanatory Notes for Land Use Matrix.*

...

21. Cannot be a stand-alone use. Must be on the same premises as a sit-down restaurant, retail complex, hotel, or stadium.
22. Only allowed within the Cairns District (boundaries include 9000 South to the north, the TRAX rail to the east, 10600 South Street on the south and Interstate 15 to the west, as illustrated in "The Cairns Design Standards." Also to include the automall commercial areas from 10600 South to 11000 South). For locations outside of the Cairns District, a brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant. A stand-alone brewery manufacturing license, and winery and distillery manufacturing licenses are not permitted for locations outside of the Cairns District.
23. May be a stand-alone use or on the same premises with a restaurant.
24. Not permitted if the property has frontage onto 300 West (the freeway frontage road).
25. A multiple unit dwelling is permitted as a standalone use only within the geographic area south of 11000 South, east of Auto Mall Drive, and west of the Jordan and Salt Lake City Canal, and need not be part of a mixed use development. The associated site plan must also utilize the Storefront Conservation Overlay Zone (found in Section 21-14).
26. A mixed use development is only allowed within the Cairns Master Plan Area. These developments shall be regulated by Cairns Design Standards.
27. A maximum of one transitional housing facility may be allowed as a conditional use on Lot 3 of the Ark Subdivision.
28. A home-based microschoool may be allowed only as a home occupation subject to the home occupations standards and qualifications. If not otherwise permitted in the zone, the home-based microschoool may only be considered for existing legal nonconforming dwellings.
29. A micro-education entity is a permitted use subject to the special use standards and qualifications.
30. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.
31. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).
32. Additional requirements for bar establishments and restaurants. Any newly constructed bar establishment or restaurant shall meet the following requirements:
 - (a) Main entrance shall have an unimpeded line of sight from the street or public way.
 - (b) Lighting of the building at the entrance.
 - (c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.

CHAPTER 21-19. - SPECIAL DEVELOPMENT (SD) DISTRICTS

...

Sec. 21-19-3. - SD-MU MIXED USE—7800 S. 1300 E. and 9400 S. 1300 E.

- (a) *Purpose.* The purpose of the Special Use District (Mixed Use) is to provide for mixed uses, such as professional office, multifamily and quasi-public.
- (b) *Uses Allowed.*
 - (1) *Permitted Uses.*
 - a. Alcoholic beverage single event permit.
 - b. Alcoholic beverage temporary beer permit.
 - c. Alcoholic beverage restaurant beer-only license.^{1 & 2}
 - d. Alcoholic beverage restaurant, limited service.^{1 & 2}
 - e. Alcoholic beverage restaurant, full service.^{1 & 2}
 - f. Alcoholic beverage brewery manufacturing license.^{1 & 3}
 - eg. Athletic, tennis or health club.

...

Explanatory Notes.

- 1. The alcoholic beverage restaurant and brewery manufacturing licenses are only allowed in the SD-MU Mixed Use zone at 7800 S 1300 E; these uses are not allowed within SD-MU zone at 9400 S 1300 E. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).
- 2. Additional requirements for bar establishments and restaurants. Any newly constructed bar establishment or restaurant shall meet the following requirements:
 - (a) Main entrance shall have an unimpeded line of sight from the street or public way.
 - (b) Lighting of the building at the entrance.
 - (c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.
- 3. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.

...

Sec. 21-19-6A. SD/CC—Planned Center/Community Commercial Subdistrict.

...

- (c) *Uses Allowed.*
 - (1) *Permitted Uses.* A commercial center, community is allowed as a conditional use. Upon issuance of a conditional use permit and completion of site plan review, the following uses shall be allowed as permitted uses:

EXHIBIT "A"

- a. Arcade.* 1
- b. Athletic, tennis, or health club.
- c. Automotive self-service station.* 1
- d. Automotive service station.* 1
- e. Business or financial services.
- f. Commercial retail sales and services.
- g. Commercial school.
- h. Medical and health care offices.
- i. Public service.
- j. Recreation center.* 1
- k. Recreation, indoor.
- l. Religious or cultural activity.
- m. Restaurant.
- n. Restaurant, drive-in.* 1
- o. Theater, concert hall.** 2
- p. Alcoholic beverage off-premises beer retailer license.* 1
- q. Alcoholic beverage restaurant beer-only license.*** 3&5
- r. Alcoholic beverage restaurant, limited service license.*** 3&5
- s. Alcoholic beverage restaurant, full service license.*** 3&5
- t. Alcoholic beverage on-premises recreational beer retailer. 5
- u. Alcoholic beverage brewery manufacturing license. 4

Explanatory Notes.

*1. These uses require a conditional use permit if located within 250 feet of a residentially zoned district.

**2. These uses are not permitted if located within 250 feet of a residentially zoned district.

***3. Additional requirements for clubbar establishments and restaurants. Any newly constructed clubbar establishment or restaurant shall meet the following requirements:

- (1a) Main entrance shall have an unimpeded line of sight from the street or public way.
- (2b) Lighting of the building at the entrance.
- (3c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.

4. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.

5. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).

(2) *Conditional Uses.* The following uses may be allowed but shall require a separate conditional use permit:

- a. Auto repair, minor.

- b. Commercial parking garage.
- c. Industry, light.
- d. Motel/hotel.
- e. Park and ride facilities.
- f. Public schools.
- g. Public utility station.
- h. Alcoholic beverage single event permit.
- i. Alcoholic beverage temporary beer event permit.
- j. Alcoholic beverage State liquor store. ⁵

...

Sec. 21-19-8. SD (Smart) District.

...

(3) Planned Center/Community Center District CC

...

(c) *Uses Allowed.* The following uses may be allowed but shall require a separate Conditional Use Permit.

~~(1) Bar, Tavern, Lounge, Club~~

~~(2) Liquor Sales~~

~~(1) Alcoholic beverage bar establishment (bar) license ^{1&3}~~

~~(2) Alcoholic beverage brewery manufacturing license ²~~

~~(3) Alcoholic beverage on-premises beer tavern license ^{1&3}~~

~~(4) Alcoholic beverage off-premises beer retailer license~~

~~(5) Alcoholic beverage package agency license ³~~

~~(6) Alcoholic beverage, restaurant, beer-only license ^{1&3}~~

~~(7) Alcoholic beverage, restaurant, full service license ^{1&3}~~

~~(8) Alcoholic beverage, restaurant, limited service license ^{1&3}~~

~~(9) Alcoholic beverage state liquor store ³~~

~~(3)10~~ Any permitted use that is not integrated with the Planned Center or which occupies a separate lot or its own street frontage.

Explanatory Notes.

1. Additional requirements for bar establishments and restaurants. Any newly constructed bar establishment or restaurant shall meet the following requirements:

(a) Main entrance shall have an unimpeded line of sight from the street or public way.

(b) Lighting of the building at the entrance.

(c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.

EXHIBIT "A"

- 2. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.
- 3. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).

...

(4) Planned Center/Neighborhood District CN

...

(c) *Uses Allowed.* The following uses may be allowed but shall require a separate Conditional Use Permit.

- (1) Alcoholic beverage bar establishment (bar) license ^{1 & 3}
- (2) Alcoholic beverage brewery manufacturing license ²
- (3) Alcoholic beverage on-premises beer tavern license ^{1 & 3}
- (4) Alcoholic beverage off-premises beer retailer license
- (5) Alcoholic beverage package agency license ³
- (6) Alcoholic beverage, restaurant, beer-only license ^{1 & 3}
- (7) Alcoholic beverage, restaurant, full service license ^{1 & 3}
- (8) Alcoholic beverage, restaurant, limited service license ^{1 & 3}
- (9) Alcoholic beverage state liquor store ³
- (10) Amusement Arcade
- ~~(2) Bar, Taver, Lounge, Club~~
- ~~(311) Commercial Parking Garage~~
- ~~(412) Industry, Light~~
- ~~(5) Liquor Sales~~
- ~~(613) Public Utility Stations~~
- ~~(714) Restaurant – Drive In~~
- (815) Any use that is not integrated with the Planned Center or which occupies a separate lot or its own street frontage.

Explanatory Notes.

- 1. Additional requirements for bar establishments and restaurants. Any newly constructed bar establishment or restaurant shall meet the following requirements:
 - (a) Main entrance shall have an unimpeded line of sight from the street or public way.
 - (b) Lighting of the building at the entrance.
 - (c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.
- 2. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.

EXHIBIT "A"

3. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).

...

Sec. 21-19-14. SD(Harada)—7575 S. Union Park Avenue.

...

(b) *Uses Allowed.*

...

(2) *Conditional Uses.*

- a. Alcoholic beverage package agency license. ³
- b. Alcoholic beverage on-premises recreational beer retailer license. ³
- c. Alcoholic beverage reception center license. ³
- d. Alcoholic beverage, restaurant, beer-only license. ^{*1 & 3}
- e. Alcoholic beverage, restaurant, full service license. ^{*1 & 3}
- f. Alcoholic beverage, restaurant, limited service license. ^{*1 & 3}
- g. Alcoholic beverage brewery manufacturing license. ²
- gh. Assisted living facility, both limited and large capacity.

...

Explanatory Notes.

*1. Additional requirements for clubsbar establishments and restaurants. Any newly constructed clubbar establishment or restaurant shall meet the following requirements:

- (1a) Main entrance shall have an unimpeded line of sight from the street or public way.
- (2b) Lighting of the building at the entrance.
- (3c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.

2. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.

3. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).

...

Sec. 21-19-16. SD (JHS)(MILLER)—Historic Jordan High School District—9400 South State Street.

...

(c) *Uses Allowed.*

EXHIBIT "A"

- (1) A planned commercial center is allowed as a conditional use, and all uses in the SD(JHS)(MILLER) Zone are conditional uses. Upon completion of conditional use permit review, the Planning Commission may also approve a list of businesses consistent with the land uses listed within this section. This list of businesses will not require further review by the Planning Commission, but must comply with the original terms of the planned commercial center conditional use permit.
- (2) Regardless of the size and ownership of individual parcels, a development plan must be submitted showing both existing and reasonable projected development on adjoining properties, determined through consultation with adjoining property owners. The intent of the above is to effectuate the end result of an overall planned development with appropriate cross-easements, consistent site standards, etc., even though properties may be individually owned.
- (3) For those land uses not listed, the use shall not be permitted.

a. *Land Use Category.*

- 1. Alcoholic beverage bar establishment (bar) license ^{1, 2, 3 & 4}
- 2. Alcoholic beverage hotel license ^{3 & 4}
- 3. Alcoholic beverage manufacturing license. ^{2 & 3}
- 4. Alcoholic beverage off-premises beer retailer license ³
- 5. Alcoholic beverage on-premises banquet and catering license ^{3 & 4}
- 6. Alcoholic beverage on-premises beer tavern license ^{1, 2, 3 & 4}
- 7. Alcoholic beverage package agency license ^{3 & 4}
- 8. Alcoholic beverage reception center license ^{3 & 4}
- ~~9.~~ Alcoholic beverage restaurant beer-only license. ^{* 1 & 4}
- ~~10.~~ Alcoholic beverage restaurant, limited service license. ^{* 1 & 4}
- ~~11.~~ Alcoholic beverage restaurant, full service license. ^{* 1 & 4}
- ~~4.~~ Alcoholic beverage club (dining) liquor license. ^{*}
- ~~6~~12. Alcoholic beverage on-premises recreational beer retailer license. ⁴
- 13. Alcoholic beverage single event permits.
- 14. Alcoholic beverage state liquor store. ^{3, 4 & 5}
- 15. Alcoholic beverage temporary beer event permits.
- ~~7~~16. Arcade entertainment.

...

Explanatory Notes.

*1. Additional requirements for ~~clubs~~bar establishments and restaurants. Any newly constructed ~~club~~bar establishment or restaurant shall meet the following requirements:

- ~~(1a)~~ (1a) Main entrance shall have an unimpeded line of sight from the street or public way.
- ~~(2b)~~ (2b) Lighting of the building at the entrance.
- ~~(3c)~~ (3c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.

2. Cannot be a stand-alone use. Must be on the same premises as a sit-down restaurant, retail complex, hotel, or stadium.

EXHIBIT "A"

- 3. Only allowed within the Cairns District (boundaries include 9000 South to the north, the TRAX rail to the east, 10600 South Street on the south and Interstate 15 to the west, as illustrated in "The Cairns Design Standards").
 - 4. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).
 - 5. Requires a conditional use permit in accordance with this Title.
- ...

Sec. 21-19- 18. - SD-CC—Timberline—9400 S. 900 E.

...

(c) *Uses Allowed.* A commercial center, community is allowed as a conditional use upon completion of site plan review and issuance of the conditional use permit.

(1) *Permitted Uses.*

- a. Alcoholic beverage off-premises beer retailer license.
- b. Alcoholic beverage on-premises recreational beer retailer. ³
- c. Alcoholic beverage restaurant beer-only license. ^{* 1 & 3}
- d. Alcoholic beverage restaurant, full service license. ^{* 1 & 3}
- e. Alcoholic beverage restaurant, limited service license. ^{* 1 & 3}
- f. Alcoholic beverage brewery manufacturing license. ²
- fg. Animal kennel, veterinary offices.

...

Explanatory Notes.

^{*1.} Additional requirements for clubbar establishments and restaurants. Any newly constructed clubbar establishment or restaurant shall meet the following requirements:

- (~~1~~a) Main entrance shall have an unimpeded line of sight from the street or public way.
- (~~2~~b) Lighting of the building at the entrance.
- (~~3~~c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.

2. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.

3. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).

...

EXHIBIT "A"

Sec. 21-19-21. - Special District Mixed Use—SD-X—Ski Connect—9200 S. 1000 E.

...

(c) *Uses Allowed.*

- (1) *Matrix Explanation.* The matrix below lists all permitted uses within the SD(X) Zone. The letters "P," "C," "S," or "N" shall mean "Permitted," "Conditional," "Special Use," or "Not Permitted," respectively. For those letters which are followed by a slash "/" the second letter shall indicate those location restrictions for business located within 250 feet of a residential district (unless bisected by a major arterial road as determined by the Sandy City Transportation Engineer in the Transportation Element of the Sandy City General Plan).

Land Uses in SD(X) Zone

Accessory apartments	N
Accessory structure (unless otherwise specified)	C
Agriculture	N
Alcohol or tobacco specialty store	N
Alcoholic beverage club (dining) liquor license*	N
Alcoholic beverage clubbar establishment (equity) liquor license* 1 & 3	N
Alcoholic beverage clubbar establishment (fraternal) liquor license* 1 & 3	N
Alcoholic beverage clubbar establishment (socialbar) liquor license* 1 & 3	N
Alcoholic beverage hotel license 3	N
Alcoholic beverage brewery manufacturing license 2	NP
Alcoholic beverage off-premises beer retailer license	P
Alcoholic beverage on-premises banquet and catering license 3	N
Alcoholic beverage on-premises beer tavern license 1 & 3	N
Alcoholic beverage on-premises recreational beer retailer license 3	C
Alcoholic beverage package agency license 3	N
Alcoholic beverage reception center license 3	C
Alcoholic beverage resort license 3	N
Alcoholic beverage, restaurant, beer-only license* 1 & 3	P
Alcoholic beverage, restaurant, full service license* 1 & 3	P
Alcoholic beverage, restaurant, limited service license* 1 & 3	P
Alcoholic beverage single event permits	C
Alcoholic beverage state liquor store 3	N
Alcoholic beverage temporary beer event permits	C

...

Explanatory Notes.

*1. Additional requirements for ~~clubbar establishments~~ and restaurants. Any newly constructed ~~clubbar establishment~~ or restaurant shall meet the following requirements:

- (1a) Main entrance shall have an unimpeded line of sight from the street or public way.
- (2b) Lighting of the building at the entrance.
- (3c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.

EXHIBIT "A"

2. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.

3. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).

...

Sec. 21-19-24. - SD(PO)(Union Heights) Professional Office District—7700 S. 1300 E.

...

(c) *Uses Allowed.*

...

(2) The matrix below lists all permitted uses within the PO and CvC Subdistricts of the SD(PO)(Union Heights) commercial zone. The letters "P," "C," or "N" shall mean "Permitted," "Conditional," or "Not Permitted," respectively.

Land Use	PO Subdistrict	CvC Subdistrict
<u>Alcoholic beverage brewery manufacturing license</u> ²	<u>C</u>	<u>C</u>
Alcoholic beverage off-premises beer retailer license	N	P
Alcoholic beverage, restaurant, beer-only license. ^{* 1 & 3}	C	C
Alcoholic beverage, restaurant, limited service license. ^{* 1 & 3}	C	C
Alcoholic beverage, restaurant, full service license. ^{* 1 & 3}	C	C
Alcoholic beverage reception center license ³	N	C
Alcoholic beverage single event permits	C	C
Alcoholic beverage temporary beer event permit	C	C

...

Explanatory Notes.

^{*1.} Additional requirements for clubbar establishments and restaurants. Any newly constructed clubbar establishment or restaurant shall meet the following requirements:

- (~~1~~a) Main entrance shall have an unimpeded line of sight from the street or public way.
- (~~2~~b) Lighting of the building at the entrance.
- (~~3~~c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.

2. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.

3. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).

CHAPTER 21-23. - COMMERCIAL, OFFICE, INDUSTRIAL, AND TRANSIT CORRIDOR DEVELOPMENT STANDARDS

...

Sec. 21-23-16. Alcoholic Beverages; Distance Requirements.

The distance requirements between outlets and restaurants from community locations shall be governed by the Title 32B, Alcoholic Beverage Control Act (UCA 32B-1-202).

- ~~(a) Location Restricted for On-Premises Consumption, State Store, or Package Agency. Any establishment requesting to be licensed, for the on-premises consumption of alcoholic beverages, a State store or a package agency will not be located in proximity of a school, church, public library, public park or public playground unless that establishment is able to comply with all provisions of Section 32B of the Utah Alcoholic Beverage Control Act.~~
- ~~(b) Reduced Distance Review. If a Alcohol Beverage Restaurant Full Service and/or Limited License, Alcohol Beverage On-Premises Recreational Beer Retailer, Alcohol Beverage Reception Center License and/or Alcohol Beverage On-Premises Banquet and Catering License, Alcohol Beverage Single Event Permit and/or Alcohol Beverage Temporary Beer Permit, State store, package agency or Social Club establishment is requesting to be licensed for the sale and/or consumption of alcoholic beverages, and that establishment will be located within the prescribed proximity to a school, church, public library, public park or public playground as described in Section 32B of the Utah Alcoholic Beverage Control Act, the Sandy City Planning Commission, when permitted by State Code, may reduce the distance requirement from a church, public library, or a public park as part of a variance request to be supplied to the Utah Alcoholic Beverage Control Commission.~~
- ~~(c) Definitions for Alcoholic Beverage Proximity Restrictions. The following words, terms and phrases, when used in this section, shall have the meanings ascribed to them in this subsection, except where the context clearly indicates a different meaning:
 - ~~(1) Church means a building set apart primarily for the purpose of worship in which religious services are held and with which clergy is associated. The main body is kept for that use and not put to any other use inconsistent with its primary purpose and which is tax exempt under the laws of the State of Utah.~~
 - ~~(2) School means any building (public or private) used primarily for the general education of minors.~~~~

(LDC 2008, § 15A-23-16; Ord. No. 21-08, § 1(Exh. A), 3-23-2021)

CHAPTER 21-37. – DEFINITIONS

...

Sec. 21-37-2. "A" Definitions.

...

- (12) *Alcoholic beverage establishments* ~~means: require a license from Sandy City in accordance with Title 15 of this Code, and the Utah Department of Alcoholic Beverage Services. Unless otherwise updated in Utah Code, Title 32B, Alcoholic Beverage Control Act, and for purposes of this Title, alcoholic beverage establishments mean:~~
- ~~a. — *Club, dining.* A club that has dining, and which operates under a dining club license issued by the Utah Department of Alcoholic Beverage Control.~~
 - ~~ba. *ClubBar establishment, equity.* An equity club-bar establishment license allows the storage, sale, service, and consumption of alcoholic beverages on the premises that is owned by its members and run by a board of directors elected by the members, such as a country club, and which operates under an equity club license issued by the Utah Department of Alcoholic Beverage Control Services. Food must be available for customers, but there is no required percentage of food sales.~~
 - ~~cb. *ClubBar establishment, fraternal.* A fraternal bar establishment license allows the storage, sale, service, and consumption of alcoholic beverages on the premises, such as a mutual benefit or patriotic association that is organized under a lodge system, and which operates a fraternal club license issued by the Utah Department of Alcoholic Beverage Control Services. Food must be available for customers, but there is no required percentage of food sales.~~
 - ~~dc. *Club, socialBar Establishment, bar.* A general purpose club, bar license allows for the storage, sale, service, and consumption of alcoholic beverages on the premises of a bar (a social drinking establishment), which includes a nightclub, in which a variety of food is available and which operates under a social club liquor bar establishment license issued by the Utah Department of Beverage Control Services. Food must be available for customers, but there is no required percentage of food sales.~~
 - ~~ed. *Hotel license.* Available on a limited basis from the Utah Department of Alcoholic Beverage Control Services consisting of a general license and three or more sublicenses. One sublicense must be a restaurant license or bar establishment, and one must be an on-premises banquet license. Hotels with more than one clubbar establishment must apply for separate sublicenses and may not combine multiple clubbar establishments into one sublicense. Sublicenses include all the various restaurant licenses, taverns, club licenses and on-premises beer retailer. Licenses are subject to size and location restrictions as described by the Utah Department of Beverage Control Services.~~
 - ~~fe. *Manufacturing license.* Manufacturing licenses include brewery, distillery, and winery licenses. A brewery license is required to manufacture, brew, store, transport, or export beer and heavy beer. A distillery license is required to manufacture, store, transport, import or export liquor. A winery license is required to manufacture, store, transport, import and export wines.~~
 - ~~gf. *Off-premises beer retailer license.* An off-premises beer retailer license shall entitle the licensee to sell beer in original containers (not to exceed two liters) means an establishment licensed to sell beer, with a maximum of five percent by volume, in original containers for consumption off the premises.~~
 - ~~hg. *On-premises banquet and catering license.* An on-premises banquet and catering license is required for the storage, sale, service, and consumption of liquor, wine, heavy beer, or beer for contracted banquet activities on the premises of a hotel, resort facility, sports center, or convention center. It also allows for room service in hotels and resorts.~~

EXHIBIT "A"

- ~~ih.~~ *On-premises beer tavern license.* An on-premises beer tavern license shall entitle the licensee to sell beer for consumption on the licensed premises in open containers and on draft not exceeding two liters, where the revenue from the sale of beer exceeds the revenue of the sale of food. ~~Minors are not permitted on the premises of a tavern.~~
- ~~ji.~~ *On-premises recreational beer retailer license.* An on-premises recreational beer retailer license is required for the sale of beer at retail for on-premises consumption for establishments that are tied to a "recreational amenity," as defined by the Utah Department of Beverage ~~Control~~Services. At least 70 percent of the sales at a recreational facility must be from food or may be from gross revenues directly related to the recreational amenity.
- ~~kj.~~ *Package agency.* A retail liquor location operated under a contractual agreement with the Department of Alcoholic Beverage ~~Control~~Services, by a person other than the State, who is authorized by the Utah Alcoholic Beverage ~~Control~~Services Commission to sell packaged liquor for consumption off the premises of the agency.
- ~~hk.~~ *Reception center license.* A reception center license is required for the storage, sale, service, and consumption of liquor, wine, heavy beer, and beer for banquet or event functions on the premises of a reception center which must be at least 5,000 square feet and have culinary facilities on the premises or under the control of the center that are adequate to prepare full meals. ~~#sA reception center's~~ primary purpose must be leasing its facility to a third party for the third party's event. No more than 30 percent of annual gross receipts may be from the sale of alcohol.
- ~~ml.~~ *Resort license.* Resort licenses are required for the storage, sale, service, and consumption of alcoholic beverages on the premises of a resort building that has at least 150 dwelling or lodging accommodations (50 percent of which must be owned by a person other than the resort licensee), and the building must be at least 400,000 square feet. The resort building must be affiliated with a ski area that abuts the resort building premises. Available on a limited basis from the Utah Department of Alcoholic Beverage Services.
- ~~nm.~~ *Restaurant, beer only license.* A beer-only restaurant license ~~shall entitle the licensee to sell beer for consumption on the premises of a licensed restaurant in open containers and on draft in any size not to exceed two liters capacity, in conjunction with an order of food is required for storage, sale, service, and consumption of beer (but not heavy beer) on the premises of a restaurant that is engaged primarily in serving meals to the general public. Beer may be purchased in conjunction with an order for food that is prepared, sold and served at the restaurant. Each restaurant must maintain at least 70 percent of its total restaurant business from the sale of food.~~
- ~~on.~~ *Restaurant, full service license.* Restaurant liquor licenses are required for the storage, sale, service, and consumption of beer, ~~heavy beer, wic~~h and liquor beverages on the premises of a restaurant that is engaged primarily in serving meals to the general public. ~~Also known as a full service restaurant. Alcoholic beverages may be purchased in conjunction with an order for food that is prepared, sold, and served at the restaurant. Each restaurant must maintain at least 70 percent of its total restaurant business from the sale of food.~~
- ~~po.~~ *Restaurant, limited service license.* Limited service restaurant liquor licenses are required for the storage, sale, service, and consumption of wine, heavy beer, and beer on the premises of a restaurant that is engaged primarily in serving meals to the general public. Alcoholic beverages may be purchased in conjunction with an order for food that is prepared, sold and served at the restaurant. Each restaurant must maintain at least 70 percent of its total restaurant business from the sale of food.
- ~~qp.~~ *Single event permits.* A single event license allows the licensee to sell and allows the on-premises consumption of any alcohol (including beer) at a temporary event. ~~The licenses are available to a bona fide partnership, corporation, limited liability company, church, political organization, or incorporated association or to a recognized subordinate lodge, chapter or other local unit thereof that is conducting a civic or community enterprise or convention.~~ Multiple single event permits may be obtained per

EXHIBIT "A"

calendar year and is limited to the number of events permitted by the Utah Department of Alcoholic Beverage ~~Control~~Services.

~~fq.~~ *State liquor store.* A facility for the sale of package liquor that is located on the premises owned or leased by the State and is operated by a State employee. The term "State liquor store" does not include a package agency, a licensee, or a permittee.

~~sr.~~ *Temporary beer event permits.* Temporary beer event permits ~~are required~~ allow the licensee to sell beer for on-premises consumption at a temporary event. Multiple temporary beer event permits may be obtained per calendar year and is limited to the number of events permitted by the Utah Department of Alcoholic Beverage ~~Control~~Services.

...

(LDC 2008, § 15A-37-02; Ord. No. 10-03, 2-19-2010; Ord. No. 10-12, 4-20-2010; Ord. No. 10-30, 8-8-2010; Ord. No. 12-30, 8-20-2012; Ord. No. 13-13, 6-5-2013; Ord. No. 16-13, 3-23-2016; Ord. No. 17-09, 3-9-2017; Ord. No. 18-22, § 1(15A-37-02), 8-30-2018; Ord. No. 18-28, § 1(15A-38), 9-20-2018; Ord. No. 19-23, § 1(Exh. A), 10-8-2019; Ord. No. 21-08, § 1(Exh. A), 3-23-2021; Ord. No. 21-28, § 1(Exh. A), 9-28-2021)

CHAPTER 21-8. LAND USES IN THE COMMERCIAL, OFFICE, INDUSTRIAL, MIXED USE, TRANSIT CORRIDOR, AND RESEARCH AND DEVELOPMENT DISTRICTS

Sec. 21-8-1. Purpose and Applicability.

- (a) *Purpose.* The commercial districts land use standards are intended to:
- (1) Allow a mixture of complementary land uses that may include retail, offices, commercial services, civic uses, and housing to create economic and social vitality, and to encourage the linking of trips; and
 - (2) Develop commercial areas that encourage walking as an alternative to driving and provide employment and housing options.
- (b) *Applicability.* Uses permitted under this chapter shall conform to the development standards provided elsewhere in this title, and to the application procedures for development as applicable. Uses shall also conform to any overlay district requirements that are applicable. Uses permitted as a conditional use shall comply with the requirements for conditional use permits.

(LDC 2008, § 15A-08-01)

Sec. 21-8-2. Permitted Land Use Matrix by the Commercial, Office, Industrial, Mixed Use, Transit Corridor, and Research and Development Districts.

- (a) *Matrix Explanation.* The following matrix lists all permitted uses within Sandy City commercial, office, industrial, mixed use, transit corridor, and research and development districts. The letters "P," "C," "S," or "N" shall mean "Permitted," "Conditional," "Special Use," or "Not Permitted," respectively. Refer to special use standards within this title for all land uses allowed with an "S." For those letters which are followed by a slash "/" the second letter shall indicate those location restrictions for businesses located within 250 feet of a residential district (unless bisected by a major arterial road as determined by the Sandy City Transportation Engineer in the Transportation Element of the Sandy City General Plan). For those land uses marked with a superscript number (¹), refer to Subsection (c) of this section for explanation.

EXHIBIT "B"

(b) *Table of Uses.*

Land Use Category	CBD	CBD-P	CBD-O	CBD-A&C	CR-PUD	RC	BC	CC	CN	CvC	CN (HSN)	HBD	LC	PO	ID	AM (Dealer ships)	AM (Commercial)	MU	TC	RD
Alcoholic beverage bar establishment (equity) license ^{31 & 32}	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Alcoholic beverage bar establishment (fraternal) license ^{31 & 32}	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Alcoholic beverage bar establishment (bar) license ^{31 & 32}	p ²¹ & 22	N	p ²¹ & 22	N	N	N	N	N	N	N	N	N	N	p ²¹ & 22	p ²¹ & 22	N	N			
Alcoholic beverage hotel license ³¹	P	P	P	P	P	P	N	C	N	N	P	N	N	N	N	N	P	C	N	C
Alcoholic beverage manufacturing license	p ²¹ & 22	p ³⁰	p ²¹ & 22	p ³⁰	C ³⁰	C ³⁰	p ²³	N	p ²¹ & 22	p ²¹ & 22	N	p ³⁰								
Alcoholic beverage off-premises beer retailer license	P	P	P	P	P	P	P	P/C	C	P	P	C	P/C	N	P	N	P	P	N	P
Alcoholic beverage on-premises banquet and catering license ³¹	P	P	P	P	P	P	P	P	C	C	C	C	P	C	C	N	P	C	N	C
Alcoholic beverage on-premises beer tavern license ^{31 & 32}	p ²¹ & 22	N	p ²¹ & 22	N	N	N	N	N	N	N	N	N	N	p ²¹ & 22	p ²¹ & 22	N	N			
Alcoholic beverage on-premises recreational beer retailer license ³¹	P	C	C	P	P	P	P/C	P/C	P/C	N	N	C	P/C	N	C	N	P	C	N	N
Alcoholic beverage package agency ³¹	P	P	P	P	P	P	N	N	N	N	N	N	N	N	P	N	P	P	N	N
Alcoholic beverage reception center license ³¹	P	C	N	P	P	P	P	P	P	N	P	P	C	P	P	N	P	C	N	N

EXHIBIT "B"

Alcoholic beverage resort license ³¹	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Alcoholic beverage restaurant beer-only license ^{31 & 32}	P	P	P	P	P	P	P	P	P	P	P	P	C	C	P	N	P	P	N	P
Alcoholic beverage restaurant full service license ^{31 & 32}	P	P	P	P	P	P	P	P	P	P	P	P	C	C	P	N	P	P	N	P
Alcoholic beverage restaurant limited service license ^{31 & 32}	P	P	P	P	P	P	P	P	P	P	P	P	C	C	P	N	P	P	N	P
Alcoholic beverage single event permits	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	N	P
Alcoholic beverage state liquor store ³¹	C	C	C	C	C	C	N	N	N	N	N	N	N	N	N	N	C	C	N	N
Alcoholic beverage temporary beer event permits	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	N	P

...

(c) *Explanatory Notes for Land Use Matrix.*

...

21. Cannot be a stand-alone use. Must be on the same premises as a sit-down restaurant, retail complex, hotel, or stadium.
22. Only allowed within the Cairns District (boundaries include 9000 South to the north, the TRAX rail to the east, 10600 South Street on the south and Interstate 15 to the west, as illustrated in "The Cairns Design Standards." Also to include the automall commercial areas from 10600 South to 11000 South). For locations outside of the Cairns District, a brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant. A stand-alone brewery manufacturing license, and winery and distillery manufacturing licenses are not permitted for locations outside of the Cairns District.
23. May be a stand-alone use or on the same premises with a restaurant.
24. Not permitted if the property has frontage onto 300 West (the freeway frontage road).
25. A multiple unit dwelling is permitted as a standalone use only within the geographic area south of 11000 South, east of Auto Mall Drive, and west of the Jordan and Salt Lake City Canal, and need not be part of a mixed use development. The associated site plan must also utilize the Storefront Conservation Overlay Zone (found in Section 21-14).
26. A mixed use development is only allowed within the Cairns Master Plan Area. These developments shall be regulated by Cairns Design Standards.
27. A maximum of one transitional housing facility may be allowed as a conditional use on Lot 3 of the Ark Subdivision.
28. A home-based microschool may be allowed only as a home occupation subject to the home occupations standards and qualifications. If not otherwise permitted in the zone, the home-based microschool may only be considered for existing legal nonconforming dwellings.
29. A micro-education entity is a permitted use subject to the special use standards and qualifications.
30. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.
31. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).
32. Additional requirements for bar establishments and restaurants. Any newly constructed bar establishment or restaurant shall meet the following requirements:
 - (a) Main entrance shall have an unimpeded line of sight from the street or public way.
 - (b) Lighting of the building at the entrance.
 - (c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.

CHAPTER 21-19. - SPECIAL DEVELOPMENT (SD) DISTRICTS

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Sec. 21-19-3. - SD-MU MIXED USE—7800 S. 1300 E. and 9400 S. 1300 E.

- (a) *Purpose.* The purpose of the Special Use District (Mixed Use) is to provide for mixed uses, such as professional office, multifamily and quasi-public.
- (b) *Uses Allowed.*
 - (1) *Permitted Uses.*
 - a. Alcoholic beverage single event permit.
 - b. Alcoholic beverage temporary beer permit.
 - c. Alcoholic beverage restaurant beer-only license.^{1 & 2}
 - d. Alcoholic beverage restaurant, limited service.^{1 & 2}
 - e. Alcoholic beverage restaurant, full service.^{1 & 2}
 - f. Alcoholic beverage brewery manufacturing license.^{1 & 3}
 - g. Athletic, tennis or health club.

...

Explanatory Notes.

- 1. The alcoholic beverage restaurant and brewery manufacturing licenses are only allowed in the SD-MU Mixed Use zone at 7800 S 1300 E; these uses are not allowed within SD-MU zone at 9400 S 1300 E. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).
- 2. Additional requirements for bar establishments and restaurants. Any newly constructed bar establishment or restaurant shall meet the following requirements:
 - (a) Main entrance shall have an unimpeded line of sight from the street or public way.
 - (b) Lighting of the building at the entrance.
 - (c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.
- 3. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.

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Sec. 21-19-6A. SD/CC—Planned Center/Community Commercial Subdistrict.

...

- (c) *Uses Allowed.*
 - (1) *Permitted Uses.* A commercial center, community is allowed as a conditional use. Upon issuance of a conditional use permit and completion of site plan review, the following uses shall be allowed as permitted uses:

EXHIBIT "B"

- a. Arcade.¹
- b. Athletic, tennis, or health club.
- c. Automotive self-service station.¹
- d. Automotive service station.¹
- e. Business or financial services.
- f. Commercial retail sales and services.
- g. Commercial school.
- h. Medical and health care offices.
- i. Public service.
- j. Recreation center.¹
- k. Recreation, indoor.
- l. Religious or cultural activity.
- m. Restaurant.
- n. Restaurant, drive-in.¹
- o. Theater, concert hall.²
- p. Alcoholic beverage off-premises beer retailer license.¹
- q. Alcoholic beverage restaurant beer-only license.^{3&5}
- r. Alcoholic beverage restaurant, limited service license.^{3&5}
- s. Alcoholic beverage restaurant, full service license.^{3&5}
- t. Alcoholic beverage on-premises recreational beer retailer.⁵
- u. Alcoholic beverage brewery manufacturing license.⁴

Explanatory Notes.

1. These uses require a conditional use permit if located within 250 feet of a residentially zoned district.
 2. These uses are not permitted if located within 250 feet of a residentially zoned district.
 3. Additional requirements for bar establishments and restaurants. Any newly constructed bar establishment or restaurant shall meet the following requirements:
 - (a) Main entrance shall have an unimpeded line of sight from the street or public way.
 - (b) Lighting of the building at the entrance.
 - (c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.
 4. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.
 5. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).
- (2) *Conditional Uses.* The following uses may be allowed but shall require a separate conditional use permit:
- a. Auto repair, minor.

- b. Commercial parking garage.
- c. Industry, light.
- d. Motel/hotel.
- e. Park and ride facilities.
- f. Public schools.
- g. Public utility station.
- h. Alcoholic beverage single event permit.
- i. Alcoholic beverage temporary beer event permit.
- j. Alcoholic beverage State liquor store. ⁵

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Sec. 21-19-8. SD (Smart) District.

...

(3) Planned Center/Community Center District CC

...

(c) *Uses Allowed.* The following uses may be allowed but shall require a separate Conditional Use Permit.

- (1) Alcoholic beverage bar establishment (bar) license ^{1&3}
- (2) Alcoholic beverage brewery manufacturing license ²
- (3) Alcoholic beverage on-premises beer tavern license ^{1&3}
- (4) Alcoholic beverage off-premises beer retailer license
- (5) Alcoholic beverage package agency license ³
- (6) Alcoholic beverage, restaurant, beer-only license ^{1&3}
- (7) Alcoholic beverage, restaurant, full service license ^{1&3}
- (8) Alcoholic beverage, restaurant, limited service license ^{1&3}
- (9) Alcoholic beverage state liquor store ³
- (10) Any permitted use that is not integrated with the Planned Center or which occupies a separate lot or its own street frontage.

Explanatory Notes.

- 1. Additional requirements for bar establishments and restaurants. Any newly constructed bar establishment or restaurant shall meet the following requirements:
 - (a) Main entrance shall have an unimpeded line of sight from the street or public way.
 - (b) Lighting of the building at the entrance.
 - (c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.

EXHIBIT "B"

2. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.
3. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).

...

(4) Planned Center/Neighborhood District CN

...

- (c) *Uses Allowed.* The following uses may be allowed but shall require a separate Conditional Use Permit.
- (1) Alcoholic beverage bar establishment (bar) license ^{1&3}
 - (2) Alcoholic beverage brewery manufacturing license ²
 - (3) Alcoholic beverage on-premises beer tavern license ^{1&3}
 - (4) Alcoholic beverage off-premises beer retailer license
 - (5) Alcoholic beverage package agency license ³
 - (6) Alcoholic beverage, restaurant, beer-only license ^{1&3}
 - (7) Alcoholic beverage, restaurant, full service license ^{1&3}
 - (8) Alcoholic beverage, restaurant, limited service license ^{1&3}
 - (9) Alcoholic beverage state liquor store ³
 - (10) Amusement Arcade
 - (11) Commercial Parking Garage
 - (12) Industry, Light
 - (13) Public Utility Stations
 - (14) Restaurant – Drive In
 - (15) Any use that is not integrated with the Planned Center or which occupies a separate lot or its own street frontage.

Explanatory Notes.

1. Additional requirements for bar establishments and restaurants. Any newly constructed bar establishment or restaurant shall meet the following requirements:
 - (a) Main entrance shall have an unimpeded line of sight from the street or public way.
 - (b) Lighting of the building at the entrance.
 - (c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.
2. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.
3. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).

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Sec. 21-19-14. SD(Harada)—7575 S. Union Park Avenue.

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(b) *Uses Allowed.*

...

(2) *Conditional Uses.*

- a. Alcoholic beverage package agency license.³
- b. Alcoholic beverage on-premises recreational beer retailer license.³
- c. Alcoholic beverage reception center license.³
- d. Alcoholic beverage, restaurant, beer-only license.^{1&3}
- e. Alcoholic beverage, restaurant, full service license.^{1&3}
- f. Alcoholic beverage, restaurant, limited service license.^{1&3}
- g. Alcoholic beverage brewery manufacturing license.²
- h. Assisted living facility, both limited and large capacity.

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Explanatory Notes.

- 1. Additional requirements for bar establishments and restaurants. Any newly constructed bar establishment or restaurant shall meet the following requirements:
 - (a) Main entrance shall have an unimpeded line of sight from the street or public way.
 - (b) Lighting of the building at the entrance.
 - (c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.
- 2. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.
- 3. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).

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Sec. 21-19-16. SD (JHS)(MILLER)—Historic Jordan High School District—9400 South State Street.

...

(c) *Uses Allowed.*

- (1) A planned commercial center is allowed as a conditional use, and all uses in the SD(JHS)(MILLER) Zone are conditional uses. Upon completion of conditional use permit review, the Planning Commission may also approve a list of businesses consistent with the land uses listed within this section. This list of businesses will not require further review by the Planning Commission, but must comply with the original terms of the planned commercial center conditional use permit.

EXHIBIT “B”

- (2) Regardless of the size and ownership of individual parcels, a development plan must be submitted showing both existing and reasonable projected development on adjoining properties, determined through consultation with adjoining property owners. The intent of the above is to effectuate the end result of an overall planned development with appropriate cross-easements, consistent site standards, etc., even though properties may be individually owned.
- (3) For those land uses not listed, the use shall not be permitted.
 - a. *Land Use Category.*
 - 1. Alcoholic beverage bar establishment (bar) license ^{1, 2, 3 & 4}
 - 2. Alcoholic beverage hotel license ^{3 & 4}
 - 3. Alcoholic beverage manufacturing license. ^{2 & 3}
 - 4. Alcoholic beverage off-premises beer retailer license ³
 - 5. Alcoholic beverage on-premises banquet and catering license ^{3 & 4}
 - 6. Alcoholic beverage on-premises beer tavern license ^{1, 2, 3 & 4}
 - 7. Alcoholic beverage package agency license ^{3 & 4}
 - 8. Alcoholic beverage reception center license ^{3 & 4}
 - 9. Alcoholic beverage restaurant beer-only license. ^{1 & 4}
 - 10. Alcoholic beverage restaurant, limited service license. ^{1 & 4}
 - 11. Alcoholic beverage restaurant, full service license. ^{1 & 4}
 - 12. Alcoholic beverage on-premises recreational beer retailer license. ⁴
 - 13. Alcoholic beverage single event permits.
 - 14. Alcoholic beverage state liquor store. ^{3, 4 & 5}
 - 15. Alcoholic beverage temporary beer event permits.
 - 16. Arcade entertainment.

• • •

Explanatory Notes.

- 1. Additional requirements for bar establishments and restaurants. Any newly constructed bar establishment or restaurant shall meet the following requirements:
 - (a) Main entrance shall have an unimpeded line of sight from the street or public way.
 - (b) Lighting of the building at the entrance.
 - (c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.
- 2. Cannot be a stand-alone use. Must be on the same premises as a sit-down restaurant, retail complex, hotel, or stadium.
- 3. Only allowed within the Cairns District (boundaries include 9000 South to the north, the TRAX rail to the east, 10600 South Street on the south and Interstate 15 to the west, as illustrated in “The Cairns Design Standards”).
- 4. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).
- 5. Requires a conditional use permit in accordance with this Title.

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Sec. 21-19-18. - SD-CC—Timberline—9400 S. 900 E.

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- (c) *Uses Allowed.* A commercial center, community is allowed as a conditional use upon completion of site plan review and issuance of the conditional use permit.
- (1) *Permitted Uses.*
- a. Alcoholic beverage off-premises beer retailer license.
 - b. Alcoholic beverage on-premises recreational beer retailer. ³
 - c. Alcoholic beverage restaurant beer-only license. ^{1&3}
 - d. Alcoholic beverage restaurant, full service license. ^{1&3}
 - e. Alcoholic beverage restaurant, limited service license. ^{1&3}
 - f. Alcoholic beverage brewery manufacturing license. ²
 - g. Animal kennel, veterinary offices.

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Explanatory Notes.

1. Additional requirements for bar establishments and restaurants. Any newly constructed bar establishment or restaurant shall meet the following requirements:
 - (a) Main entrance shall have an unimpeded line of sight from the street or public way.
 - (b) Lighting of the building at the entrance.
 - (c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.
2. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.
3. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).

...

Sec. 21-19-21. - Special District Mixed Use—SD-X—Ski Connect—9200 S. 1000 E.

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- (c) *Uses Allowed.*
- (1) *Matrix Explanation.* The matrix below lists all permitted uses within the SD(X) Zone. The letters "P," "C," "S," or "N" shall mean "Permitted," "Conditional," "Special Use," or "Not Permitted," respectively. For those letters which are followed by a slash "/" the second letter shall indicate those location restrictions for business located within 250 feet of a residential district (unless bisected by a major

EXHIBIT "B"

arterial road as determined by the Sandy City Transportation Engineer in the Transportation Element of the Sandy City General Plan).

Land Uses in SD(X) Zone

Accessory apartments	N
Accessory structure (unless otherwise specified)	C
Agriculture	N
Alcohol or tobacco specialty store	N
Alcoholic beverage bar establishment (equity) license ^{1 & 3}	N
Alcoholic beverage bar establishment (fraternal) license ^{1 & 3}	N
Alcoholic beverage bar establishment (bar) license ^{1 & 3}	N
Alcoholic beverage hotel license ³	N
Alcoholic beverage brewery manufacturing license ²	P
Alcoholic beverage off-premises beer retailer license	P
Alcoholic beverage on-premises banquet and catering license ³	N
Alcoholic beverage on-premises beer tavern license ^{1 & 3}	N
Alcoholic beverage on-premises recreational beer retailer license ³	C
Alcoholic beverage package agency license ³	N
Alcoholic beverage reception center license ³	C
Alcoholic beverage resort license ³	N
Alcoholic beverage, restaurant, beer-only license ^{1 & 3}	P
Alcoholic beverage, restaurant, full service license ^{1 & 3}	P
Alcoholic beverage, restaurant, limited service license ^{1 & 3}	P
Alcoholic beverage single event permits	C
Alcoholic beverage state liquor store ³	N
Alcoholic beverage temporary beer event permits	C

...

Explanatory Notes.

1. Additional requirements for bar establishments and restaurants. Any newly constructed bar establishment or restaurant shall meet the following requirements:
 - (a) Main entrance shall have an unimpeded line of sight from the street or public way.
 - (b) Lighting of the building at the entrance.
 - (c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.
2. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.
3. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).

EXHIBIT "B"

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Sec. 21-19-24. - SD(PO)(Union Heights) Professional Office District—7700 S. 1300 E.

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(c) *Uses Allowed.*

...

- (2) The matrix below lists all permitted uses within the PO and CvC Subdistricts of the SD(PO)(Union Heights) commercial zone. The letters "P," "C," or "N" shall mean "Permitted," "Conditional," or "Not Permitted," respectively.

Land Use	PO Subdistrict	CvC Subdistrict
Alcoholic beverage brewery manufacturing license ²	C	C
Alcoholic beverage off-premises beer retailer license	N	P
Alcoholic beverage, restaurant, beer-only license. ^{1 & 3}	C	C
Alcoholic beverage, restaurant, limited service license. ^{1 & 3}	C	C
Alcoholic beverage, restaurant, full service license. ^{1 & 3}	C	C
Alcoholic beverage reception center license ³	N	C
Alcoholic beverage single event permits	C	C
Alcoholic beverage temporary beer event permit	C	C

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Explanatory Notes.

1. Additional requirements for bar establishments and restaurants. Any newly constructed bar establishment or restaurant shall meet the following requirements:
 - (a) Main entrance shall have an unimpeded line of sight from the street or public way.
 - (b) Lighting of the building at the entrance.
 - (c) Provide parking lot lighting. All lighting shall be shielded and directed downward to avoid light spill beyond the property line.
2. A brewery manufacturing license shall only be allowed if it is on the same premises as a sit-down restaurant; a stand-alone brewery manufacturing license is not permitted. Winery and distillery manufacturing licenses are not permitted.
3. The distance requirements between outlets and restaurants from community locations of the Alcoholic Beverage Control Act also apply (UCA 32B-1-202).

**CHAPTER 21-23. - COMMERCIAL, OFFICE, INDUSTRIAL, AND TRANSIT CORRIDOR
DEVELOPMENT STANDARDS**

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Sec. 21-23-16. Alcoholic Beverages; Distance Requirements.

The distance requirements between outlets and restaurants from community locations shall be governed by the Title 32B, Alcoholic Beverage Control Act (UCA 32B-1-202).

(LDC 2008, § 15A-23-16; Ord. No. 21-08, § 1(Exh. A), 3-23-2021)

CHAPTER 21-37. – DEFINITIONS

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Sec. 21-37-2. "A" Definitions.

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- (12) *Alcoholic beverage establishments* require a license from Sandy City in accordance with Title 15 of this Code, and the Utah Department of Alcoholic Beverage Services. Unless otherwise updated in Utah Code, Title 32B, Alcoholic Beverage Control Act, and for purposes of this Title, alcoholic beverage establishments mean:
- a. *Bar establishment, equity.* An equity bar establishment license allows the storage, sale, service, and consumption of alcoholic beverages on the premises that is owned by its members and run by a board of directors elected by the members, such as a country club, and which operates under an equity license issued by the Utah Department of Alcoholic Beverage Services. Food must be available for customers, but there is no required percentage of food sales.
 - b. *Bar establishment, fraternal.* A fraternal bar establishment license allows the storage, sale, service, and consumption of alcoholic beverages on the premises, such as a mutual benefit or patriotic association that is organized under a lodge system, and which operates a fraternal license issued by the Utah Department of Alcoholic Beverage Services. Food must be available for customers, but there is no required percentage of food sales.
 - c. *Bar Establishment, bar.* A bar license allows for the storage, sale, service, and consumption of alcoholic beverages on the premises of a bar (a social drinking establishment), which operates under a bar establishment license issued by the Utah Department of Beverage Services. Food must be available for customers, but there is no required percentage of food sales.
 - d. *Hotel license.* Available on a limited basis from the Utah Department of Alcoholic Beverage Services consisting of a general license and three or more sublicenses. One sublicense must be a restaurant license or bar establishment, and one must be an on-premises banquet license. Hotels with more than one bar establishment must apply for separate sublicenses and may not combine multiple bar establishments into one sublicense. Licenses are subject to size and location restrictions as described by the Utah Department of Beverage Services.
 - e. *Manufacturing license.* Manufacturing licenses include brewery, distillery, and winery licenses. A brewery license is required to manufacture, brew, store, transport, or export beer and heavy beer. A distillery license is required to manufacture, store, transport, import or export liquor. A winery license is required to manufacture, store, transport, import and export wines.
 - f. *Off-premises beer retailer license.* An off-premises beer retailer means an establishment licensed to sell beer, with a maximum of five percent by volume, in original containers for consumption off the premises.
 - g. *On-premises banquet and catering license.* An on-premises banquet and catering license is required for the storage, sale, service, and consumption of liquor, wine, heavy beer, or beer for contracted banquet activities on the premises of a hotel, resort facility, sports center, or convention center. It also allows for room service in hotels and resorts.
 - h. *On-premises beer tavern license.* An on-premises beer tavern license shall entitle the licensee to sell beer for consumption on the licensed premises in open containers and on draft not exceeding two liters, where the revenue from the sale of beer exceeds the revenue of the sale of food.
 - i. *On-premises recreational beer retailer license.* An on-premises recreational beer retailer license is required for the sale of beer at retail for on-premises consumption for establishments that are tied to a "recreational amenity," as defined by the Utah Department of Beverage Services. At least 70 percent of

EXHIBIT "B"

- the sales at a recreational facility must be from food or may be from gross revenues directly related to the recreational amenity.
- j. *Package agency.* A retail liquor location operated under a contractual agreement with the Department of Alcoholic Beverage Services, by a person other than the State, who is authorized by the Utah Alcoholic Beverage Services Commission to sell packaged liquor for consumption off the premises of the agency.
 - k. *Reception center license.* A reception center license is required for the storage, sale, service, and consumption of liquor, wine, heavy beer, and beer for banquet or event functions on the premises of a reception center which must be at least 5,000 square feet and have culinary facilities on the premises or under the control of the center that are adequate to prepare full meals. A reception center's primary purpose must be leasing its facility to a third party for the third party's event. No more than 30 percent of annual gross receipts may be from the sale of alcohol.
 - l. *Resort license.* Resort licenses are required for the storage, sale, service, and consumption of alcoholic beverages on the premises of a resort building that has at least 150 dwelling or lodging accommodations (50 percent of which must be owned by a person other than the resort licensee), and the building must be at least 400,000 square feet. The resort building must be affiliated with a ski area that abuts the resort building premises. Available on a limited basis from the Utah Department of Alcoholic Beverage Services.
 - m. *Restaurant, beer only license.* A beer-only restaurant license is required for storage, sale, service, and consumption of beer (but not heavy beer) on the premises of a restaurant that is engaged primarily in serving meals to the general public. Beer may be purchased in conjunction with an order for food that is prepared, sold and served at the restaurant. Each restaurant must maintain at least 70 percent of its total restaurant business from the sale of food.
 - n. *Restaurant, full service license.* Restaurant liquor licenses are required for the storage, sale, service, and consumption of beer, heavy beer, wick and liquor beverages on the premises of a restaurant that is engaged primarily in serving meals to the general public. Alcoholic beverages may be purchased in conjunction with an order for food that is prepared, sold, and served at the restaurant. Each restaurant must maintain at least 70 percent of its total restaurant business from the sale of food.
 - o. *Restaurant, limited service license.* Limited service restaurant liquor licenses are required for the storage, sale, service, and consumption of wine, heavy beer, and beer on the premises of a restaurant that is engaged primarily in serving meals to the general public. Alcoholic beverages may be purchased in conjunction with an order for food that is prepared, sold and served at the restaurant. Each restaurant must maintain at least 70 percent of its total restaurant business from the sale of food.
 - p. *Single event permits.* A single event license allows the licensee to sell and allows the on-premises consumption of any alcohol (including beer) at a temporary event. Multiple single event permits may be obtained per calendar year and is limited to the number of events permitted by the Utah Department of Alcoholic Beverage Services.
 - q. *State liquor store.* A facility for the sale of package liquor that is located on the premises owned or leased by the State and is operated by a State employee. The term "State liquor store" does not include a package agency, a licensee, or a permittee.
 - r. *Temporary beer event permits.* Temporary beer event permits allow the licensee to sell beer for on-premises consumption at a temporary event. Multiple temporary beer event permits may be obtained per calendar year and is limited to the number of events permitted by the Utah Department of Alcoholic Beverage Services.

...

Brewpubs in Sandy

Legend

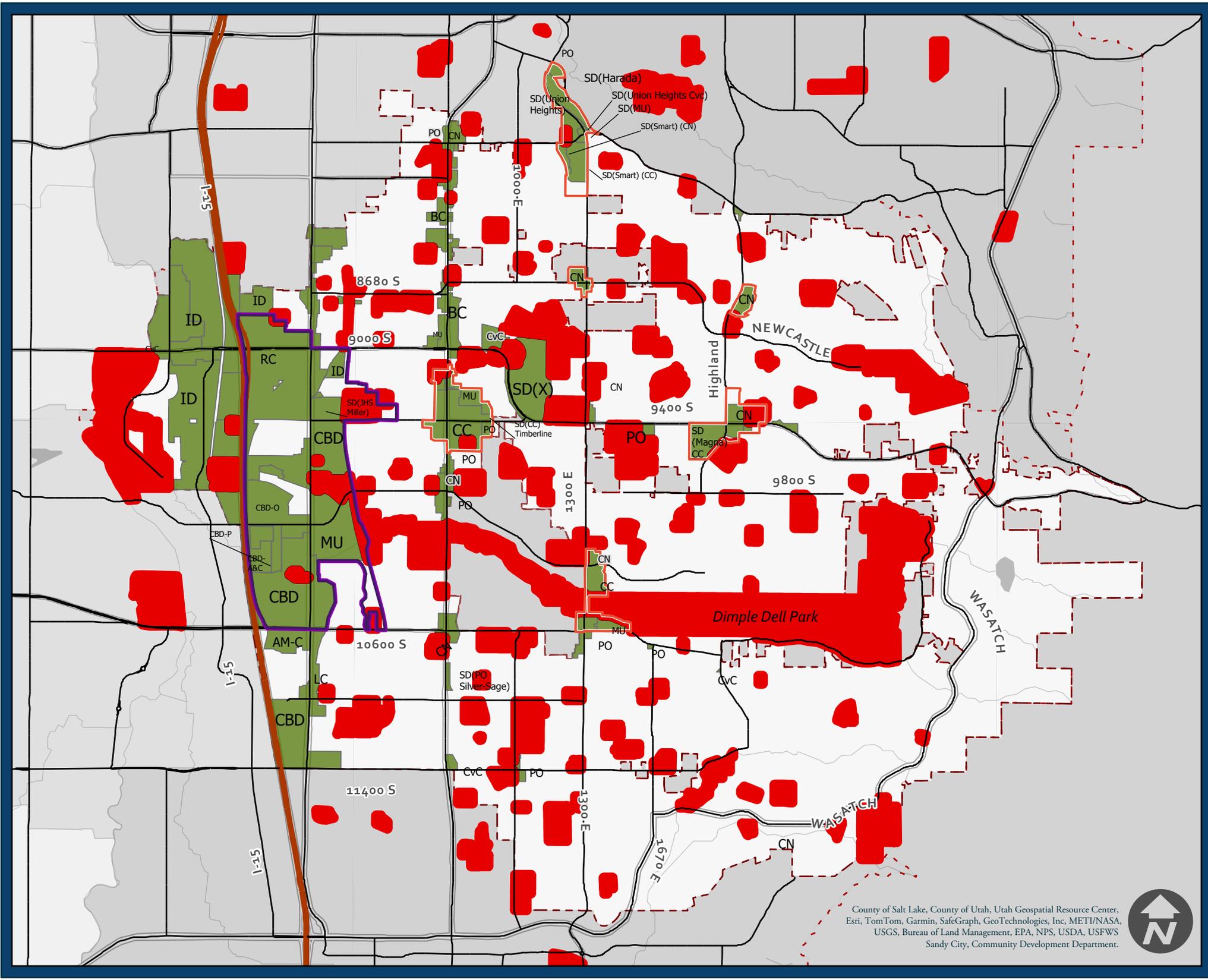
- Eligible Space**
Commercial and Industrial Zones
 - Ineligible space** per State Proximity Regulation
200 Foot buffer from property line of "Community Locations"
- The "Community Locations" include:*
- Public and Private Schools
 - Churches
 - Public Libraries
 - Public Playgrounds
 - Public Parks

Eligible Land Coverage

Sandy City total area: 24.398 sq mi
 Eligible space : 3.564 sq mi
 Approximately 14% of Sandy City would be eligible

- Cairns District
- Neighborhood Activity Centers
- Sandy Border

The information provided by Sandy City is not field verified and is for general reference only. The information is not intended to be used to determine property ownership, final building and site design, jurisdictional boundaries, or to replace a certified topographical or boundary survey, or any other legal document.



County of Salt Lake, County of Utah, Utah Geospatial Resource Center, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, USFWS Sandy City, Community Development Department.



Brewpubs in Sandy

Legend

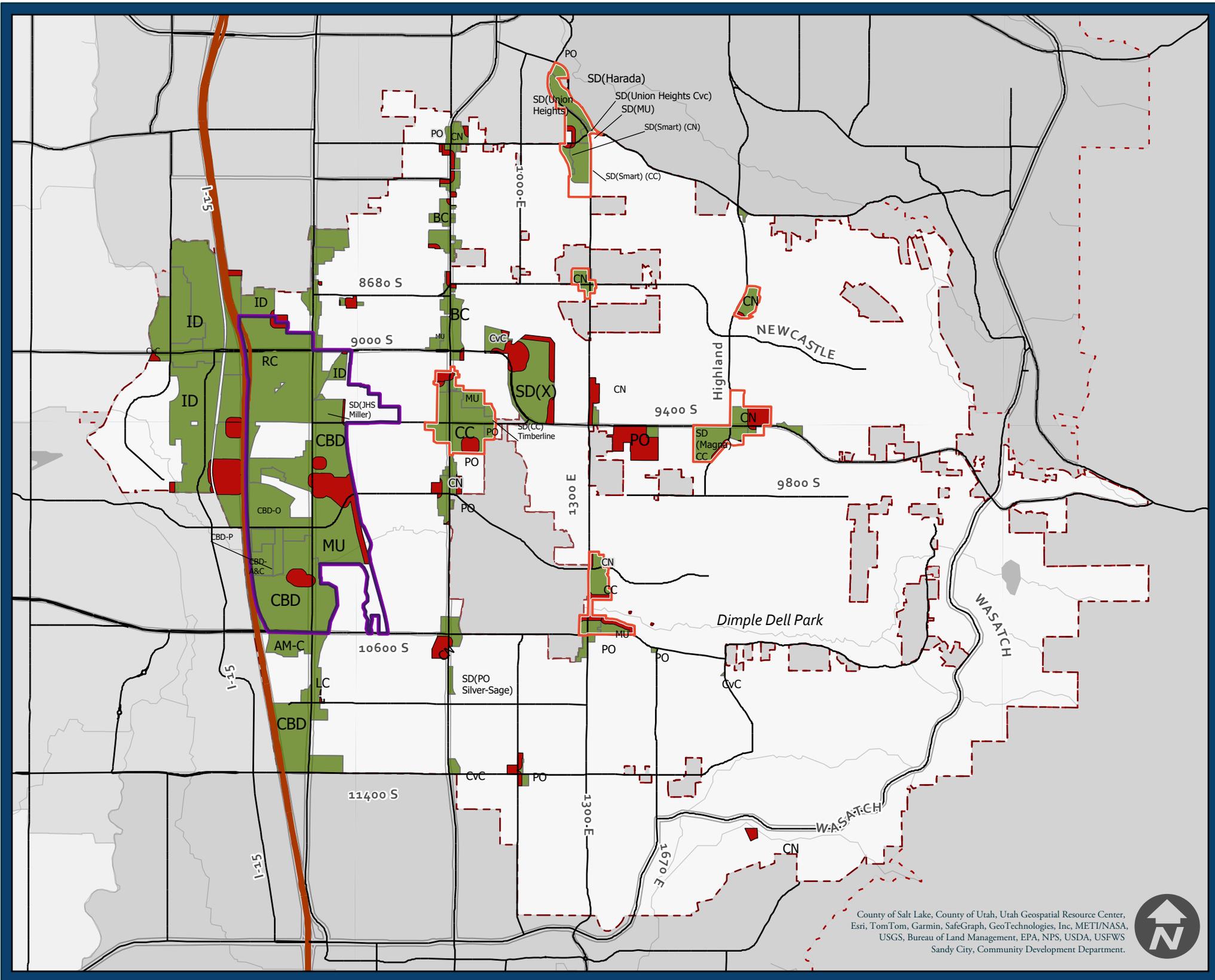
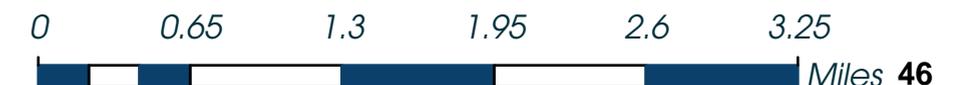
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County of Salt Lake, County of Utah, Utah Geospatial Resource Center, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, USFWS Sandy City, Community Development Department.





Staff Report

File #:
SPR06302025-006990,
Version: 1

Date: 9/4/2025

Agenda Item Title:

Alta Canyon Sports Center - Preliminary Modified Site Plan Review
9565 S. Highland Dr.
[Community # 20, Little Cottonwood]

Presenter:

Douglas L. Wheelwright, Development Services Manager

Description/Background:

The applicant, Dan Medina, Sandy City Parks and Recreation Director, on behalf of Sandy City Corporation (property owner), is requesting preliminary modified site plan review for the proposed reconstruction of the existing Alta Canyon Recreation Building located at 9565 S. Highland Dr. The project involves demolition of the existing recreation building, the removal of the existing tennis courts, and the construction in its place of a new 34,000 square foot multi-purpose recreation building. The Planning Commission will be reviewing the building mass, height, architectural design, materials and colors of the proposed building; the reconfiguration of a portion of the existing parking lot; and the determination of the required amount of off-street parking for the facility.

Please see the attached staff report and exhibits for full details on this request.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission determine that preliminary modified site plan review is complete for the proposed Alta Canyon Sports Center building, located at 9565 S. Highland Dr.; and approve the building height, mass, architectural design, materials and colors as proposed; and set the required on-site parking stall requirement at 148 stalls for this new facility, based on the following findings and subject to the following conditions:

Findings:

1. That the proposed project will meet all the applicable requirements of the Sandy City Development Code and the Sandy City Architectural Design Standards as to building architectural design, materials and colors.
2. That the existing facility is 40 years old, in need of repair, and no longer meets the functional needs of the recreation center program.
3. That the proposed amount of on-site parking stall will be sufficient to meet the normal operating needs of the facility.

-
4. That sufficient off-site overflow parking is available at the UTA park and ride lot to handle any overflow parking needs.
 5. That the proposed "Special Event Parking Management Plan" will eliminate or greatly reduce the overflow parking on city streets.

Conditions:

1. That the shared off-site overflow parking agreement with UTA be formalized and recorded with the County Recorder's Office to address the facilities' overflow parking needs.
2. That the proposed "Special Event Parking Management Plan" be formalized and adopted by the Alta Canyon Sport Center managers for all special events and overflow parking needs.
3. That the applicant proceed through the final modified site plan review process with staff prior to the start of any construction, besides demolition work on the existing building. The final site plan shall comply with all Development Code requirements and those modifications required or allowed by the Planning Commission.
4. That the development complies with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.
5. All utility boxes (i.e. transformers, switchgear, telephone, cable TV, etc.) shall be shown on the site plan and shall be placed underground or moved behind the front setback of the buildings and screened from view. Each box shall be shown in its exact location and shall be noted with its exact height, width and length. Building utility meters shall be mounted to the side or rear elevation or screened.
6. That the developer be responsible for the placement of a temporary 6-foot-high chain link fence around the perimeter of the project during the construction phase of the project for security. Said fence shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the Community Development Department during final site plan review.
7. That the applicant complies with all department requirements as noted in all preliminary review letters or communications prior to submittal for final site plan review with staff.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

Staff Report Memorandum

September 4, 2025

To: Planning Commission
From: Community Development Department
Subject: Alta Canyon Sports Center - Preliminary Modified Site Plan Review
9565 S. Highland Dr.
(Community # 20, Little Cottonwood)

SPR06302025-006990

Open Space (OS)
Approx. 3.5 acres
disturbed site area,
Bldg 34,000 Sq. Ft

Public Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, at public locations, and a notice sign posted on site.

Request

The applicant, Dan Medina, Sandy City Parks and Recreation Director, on behalf of Sandy City Corporation (property owner), is requesting preliminary modified site plan review for the proposed reconstruction of the existing Alta Canyon Recreation Building located at 9565 S. Highland Dr. The project involves demolition of the existing recreation building, the removal of the existing tennis courts, and the construction in its place of a new 34,000 square foot multi-purpose recreation building. The Planning Commission will be reviewing the building mass, height, architectural design, materials and colors of the proposed building; the reconfiguration of a portion of the existing parking lot; and the determination of the required amount of off-street parking for the facility. (Please see the attached Exhibit A for details on the application materials.)

Background

The existing recreation building is approximately forty years old. The Sandy City Administration and the Sandy City Council have previously approved the building reconstruction project and authorized its design development, construction funding and construction time frame, and those actions are not a part of this consideration by the Planning Commission.



Alta Canyon Sports Center
SPR06302025-006990
9565 S. Highland Dr

Sandy City, UT
Community Development Department

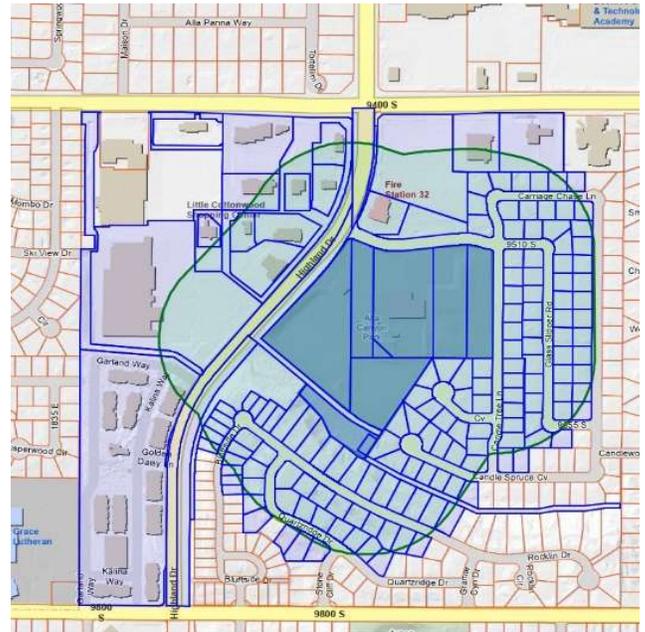
Property Case History	
Case Number	Case Summary
CUP 83-21	Original Recreation Center and City Park land use approval. Approved in 1983.
SPR 83-21	Original Site Plan review approval for city park, recreation center and parking lot. Approved in 1983.
CUP 85-5	Conditional use approval to add food services and video games to the building. Approved in 1985.
SPR 85-5	Revised site plan review for snack bar addition to building. Approved 1985.

This project area is surrounded by Open Space (OS) zoning. To the north of the recreation center, across 9510 S. is the fire station and a large UTA bus loading area and a surface parking lot, which is a park and ride lot, used mainly for the snow skiing season. To the east and southeast are single family R-1-10 subdivisions. To the west, across Highland Dr. is a commercial shopping center.

Public Notice and Outreach

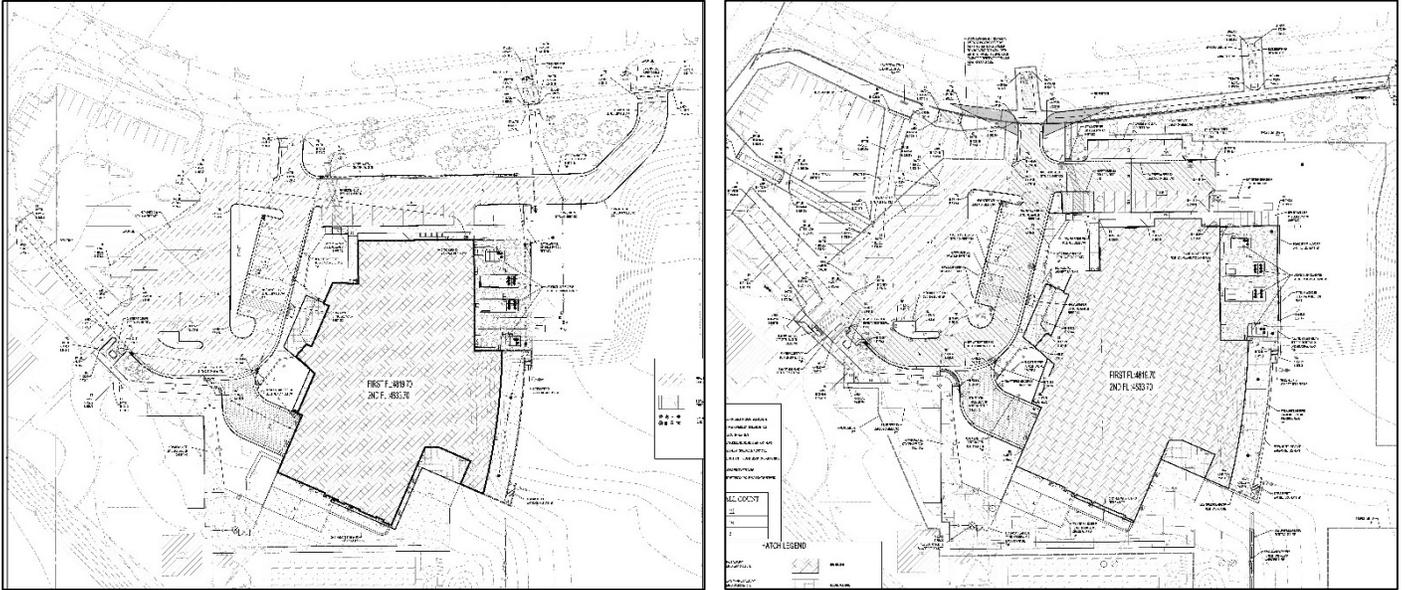
A neighborhood meeting was held for this project on July 30, 2025. Mailed notices were sent to property owners located within 500 feet of the subject property for both the neighborhood meeting and for this Planning Commission meeting. The notices and the agenda for the Planning Commission meeting were posted in required public places and on various public notice websites. Also, a public meeting notice sign was posted on the property for this Planning Commission meeting. (Please see the notes from the neighborhood meeting and the attendance list, attached as Exhibit B.)

The neighborhood meeting was well attended by the neighbors located mainly to the east of the recreation center and park. Approximately 25 people spoke or participated during the meeting. The meeting lasted approximately 90 minutes. The summary of concerns and comments received from the neighborhood meeting will be discussed below:



The comments from the neighborhood meeting are summarized by staff as follows:

1. Existing vehicle traffic circulation issues in the area, focusing on the existing 9510 So. St. and its intersection with Highland Dr.
2. On-street parking on 9510 S. St. and extending into the neighborhood by patrons during the swim season and especially during special events such as swim meets or triathlons.
3. Concerns about not providing adequate additional off-street vehicle parking while expanding the size of the new building.
4. Opposition to the proposed location of the new driveway entrance, for the new parking lot extending further east on 9510 S. St., closer to the residential homes.
5. Questions about future plans for the use of the vacant land east of the current building and park, with frontage on Candle Tree Dr.



Analysis

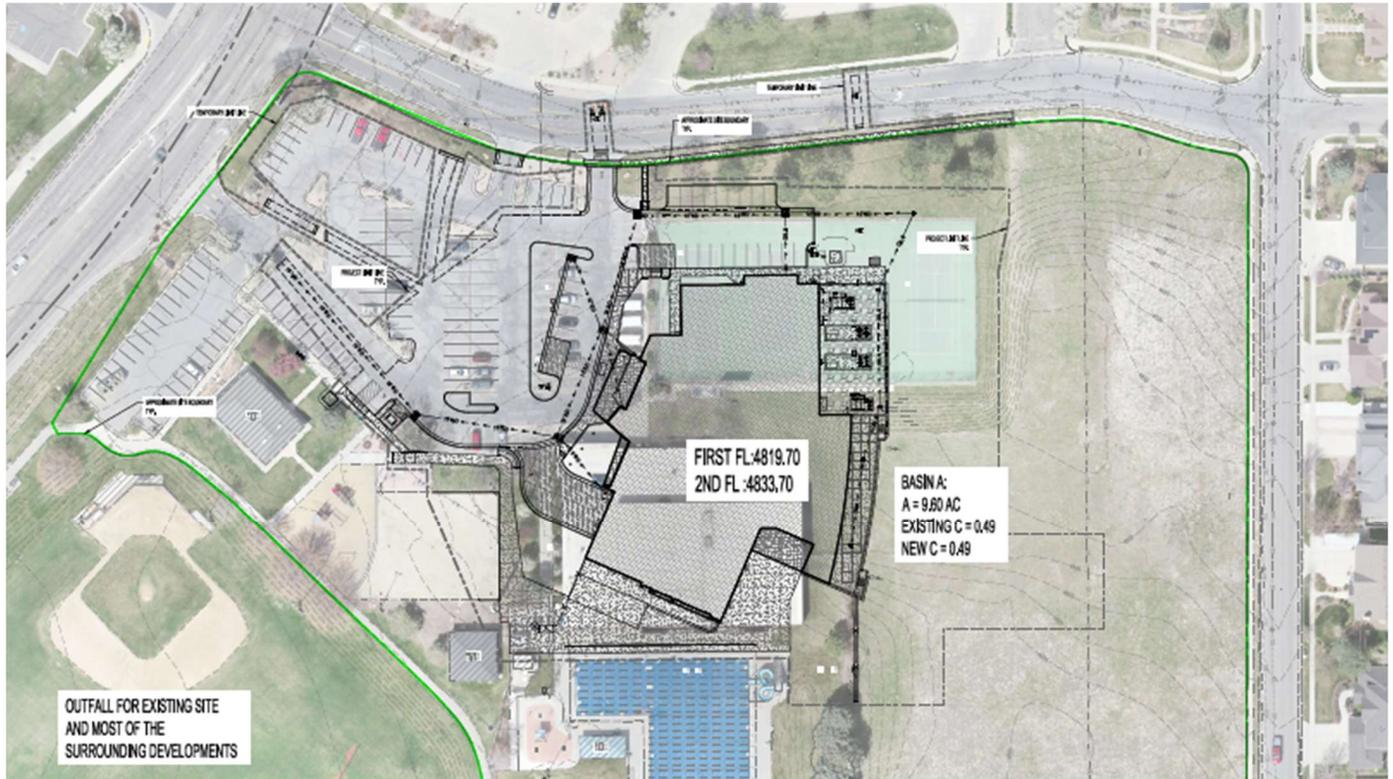
The Sandy City Development Code, City Code Section 21-10-01(B), requires that all development in the Open Space (OS) zoning district must receive site plan review by the Planning Commission. Section 21-10-02(B) lists a "Recreation Center" as a conditional use in the OS district. The Conditional Use Permit (CUP) for the Alta Canyon Recreation Center was approved by the city Planning Commission for the original building and park development in 1983, and is not required to be approved again, since the land use is not changing. With this reconstruction project, the existing outdoor swimming pool is not being modified or replaced and remains in its current location on the site.

Some of the existing parking stalls on site are being reconfigured, and some are being removed on the west side of the site, and some new stalls are being created on the north side of the new building. As per Sandy City Code Section 21-24-8(b) *Parking Space Requirements*, states that for parks and recreation centers, the Planning Commission will determine the number of off-street parking stalls required, on a case-by-case basis during site plan review.

Site Plan Review. The site plan has been reviewed by the various city departments and divisions, and all recommend that the Planning Commission approve the site plan as revised and as presented in this report.

Parking Lot. Since the new building is expanding both to the north, into the area of the existing tennis court (which courts are being removed from the park site) and slightly to the west, into the existing parking lot and access driveway, the existing parking lot is being modified. Also, a new parking lot is being constructed in place of the tennis courts on the north side of the expanded building. The original site plan shown at the neighborhood meeting has been changed to eliminate the new driveway connection toward the east end of 9510 S. St. and the length of the new parking lot has been shortened, east to west. These changes address one of the neighborhood concerns expressed at that meeting. (Parking stall numbers will be addressed later in this report.)

Driveway Access to the Facility. The revised site plan does not add any additional driveway access to the site. Currently there is one access driveway approach located on Highland Dr. There are currently two one-way access driveway approaches located on 9510 S. St. These access points have existed for over 40 years and have generally served the facility adequately.



Utility Connections. Two utility connections will be required to access existing water mains located in 9510 S. St. as part of this project. Traffic control will be required to perform this work and to maintain functioning vehicle access on the street. Storm water facilities will remain as they exist. The park baseball fields also serve as a detention pond for this site and for much of the surrounding area. All other necessary utilities are present at the site and have adequate capacity for the new building.

Building Architectural Design, Materials and Colors. The proposed building architectural design is modern. This design is functional to the activities included inside the building with much of the building being two stories in height, in order to host the new basketball and other play courts with high ceilings. An indoor running track will circle above the play courts at the second level. Also, a new exercise equipment area is located on the second-floor level, which has a large expanse of glass windows facing the mountains for a spectacular view. Building materials consist of architectural concrete, tinted clear glass glazing, brick veneer, and architectural metal panels. No stucco/EIFS is proposed on the building. The building colors are earth tones in subdued red, pale green, and multiple shades of gray. These provisions will fully meet the *Sandy City Architectural Design Standards*. Staff recommends that the Planning Commission approve the building mass, height, architectural design, colors, and materials as proposed. (Please see the building elevations and floor plan in the attached exhibit materials Exhibit A.)

Addressing the General Neighborhood Concerns from the Neighborhood Meeting. City staff have met several times and discussed the issues raised by the community. As mentioned above, the proposed site plan was revised since the neighborhood meeting in an attempt to address the issues raised by the community, and will be addressed below:

1. Existing vehicle traffic circulation issues in the area, focusing on the existing 9510 So. St. and its intersection with Highland Dr. The issue of left turn from 9510 S. St. onto Highland Dr. and the possibility of placing a traffic signal at this “T” intersection was discussed. This issue is beyond the scope of the recreation center building

reconstruction project. The Sandy City Public Works Department did reaffirm that a new signal at this location would not be possible as it would be too close to the existing traffic signals at 9400 S. St and at the main entrance from Highland Dr. to the shopping center. A signal here would never meet accepted warrant standards. (Please see the attached Exhibit C, The Sandy City Transportation Engineer's Memo for confirmation of this conclusion.)

2. On-street parking on 9510 S. St. and extending into the neighborhood by patrons during the swim season and especially during special events such as swim meets or triathlons. Sandy City regulates public street parking, ranging from "unrestricted" to "no parking any time." Currently and in the past, all the public streets in the area, including 9510 S. and Candle Tree Ln. are unrestricted as to on-street parking. The City can monitor the on-street parking by the park and recreation center patrons and implement street parking restrictions as they may become appropriate. Attached as Exhibit D is the proposed event parking management plan which has been developed by the parks and recreation department. This operational plan proposes implementing advertising and promoting and directing event patrons to the available off-site shared parking lot location. This plan also includes recreation center staff actively directing patrons during the special events, to the overflow parking at the UTA park and ride lot, located to the north of the center's parking lot. Temporary signage will also be placed at the existing driveway entrances and at the eastern portion of 9510 So. St., stating "no event parking" east of the street signs.
3. Concerns about not providing adequate additional off-street vehicle parking when expanding the size of the new building. This issue became the central problem for the neighborhood, and its solution is within the scope of the reconstruction project to address. The Public Works staff did some parking counts during the summer peak parking load, while the swimming pool was open (please see attached Exhibit D). This information, together with observations by the staff of the recreation center experienced during the past years of recreation center operation, is that during the non-swimming months of the year, there is adequate off-street parking for the day-to-day operations of the facility. During the three months of pool operations, the parking at the facility is near maximum capacity, mainly from 1:00 P.M. to 4:00 P.M. On Saturdays, the parking load may exceed the proposed parking capacity. During the special events, like swim meets, the on-site parking may be inadequate, resulting in patrons parking their vehicles on the abutting local streets and spilling into the residential neighborhood. Sandy City does not want event generated parking to spill into residential neighborhoods. (Please see the attached Exhibit C, for more discussion on the parking issues.)

The parking stall count for the current site is 160 stalls, (excluding the approximate 30 stalls at the remote location to the south side of the park, which were built for the pickle ball courts). The square footage of the current recreation building is 26,513 square feet. This equates to a parking stall ratio of approximately 6.0 parking stalls per 1,000 square feet of recreation building space. The first site plan shown at the neighborhood meeting reduced this number by 19 stalls to 141 stalls. After the neighborhood meeting input, the new parking lot being added was reconfigured to double loading, resulting in a new total of 148 stalls, a 7-stall gain over the first layout. But the on-site parking count to be provided near the recreation facility will still result in a net loss of 12 parking stalls. Increasing the size of the new recreation building to 34,000 square feet and providing only 148 total parking stalls results in a parking ratio of approximately 4.3 parking stalls per 1,000 square feet of building space.

Staff spent some time surveying six other similar local government owned recreation building facilities in Utah and found that the parking stall numbers provided ranged from a low of 2 stalls per 1,000 square feet of building area to a high of 4.6 stalls per 1,000 Square feet of building. This tends to support the conclusion that Sandy's facility, (the proposed 4.3 stall per 1,000 square feet of building ratio) lands among the highest ratios currently being provided elsewhere in Utah, although lower than the current ratio at this location.

Staff acknowledges the concerns expressed by the neighborhood experienced stemming from the special event activities. A potential solution to this problem is to utilize the previously informally available UTA park and ride lot, located just hundreds of feet from the site to the north, across 9510 S. St. Staff is pursuing to formalize the use of this lot as an overflow parking option (see the attached Exhibit C). Staff also urged the recreation center management to promote the overflow parking location with all special event activities and to monitor the parking lot with staff to assist in directing patrons use that parking lot during special events. All these ideas have been incorporated into the “Special Event Parking Management Plan,” which is proposed to be included in the conditions of approval for this project SPR.

4. Opposition to the proposed location of the new driveway entrance, for the new parking lot extending further east on 9510 S. St. Based upon the opposition expressed to the new driveway connection to 9510 S., the new parking lot has been redesigned, and this new driveway has been eliminated from the revised site plan.
5. Questions about future plans for the use of the vacant land east of the current building and park, with frontage on Candel Tree Dr. Future plans for the undeveloped portion of the property located to the east of the proposed new building are unknown at this point. This area will be considered by City Administration and the Sandy City Council prior to any future land use or park development decisions or approval processes. It is beyond the scope of this reconstruction project.

Determination of Required Off-Street Vehicle Parking Stalls for the Proposed Reconstruction Facility. The number of stalls provided for this use is in line with what parking ratios of similar facilities. Staff recommends that the Planning Commission set the required parking stalls count at 148 stalls, and approve and require the use of the shared, off-site parking available at the UTA park and ride lot, to address the potential overflow parking needs of the facility during special events.

Staff Concern

Staff's only concern about this project is the signage illustrated on the building rendering. Site Plan review by the Planning Commission never includes building signage. Signage is a separate application, review, and approval process. However, what is illustrated does not appear to meet current signing code requirements. The applicant and their architect will need to explore other options allowed within the sign code.

Recommendation

Staff recommends that the Planning Commission determine that preliminary modified site plan review is complete for the proposed Alta Canyon Sports Center building, located at 9565 S. Highland Dr.; and approve the building height, mass, architectural design, materials and colors as proposed; and set the required on-site parking stall requirement at 148 stalls for this new facility, based on the following findings and subject to the following conditions:

Findings:

1. That the proposed project will meet all the applicable requirements of the Sandy City Development Code and the Sandy City Architectural Design Standards as to building architectural design, materials and colors.
2. That the existing facility is 40 years old, in need of repair, and no longer meets the functional needs of the recreation center program.
3. That the proposed amount of on-site parking stall will be sufficient to meet the normal operating needs of the facility.
4. That sufficient off-site overflow parking is available at the UTA park and ride lot to handle any overflow parking needs.

5. That the proposed “Special Event Parking Management Plan” will eliminate or greatly reduce the overflow parking on city streets.

Conditions:

1. That the shared off-site overflow parking agreement with UTA be formalized and recorded with the County Recorder’s Office to address the facilities’ overflow parking needs.
2. That the proposed “Special Event Parking Management Plan” be formalized and adopted by the Alta Canyon Sport Center managers for all special events and overflow parking needs.
3. That the applicant proceed through the final modified site plan review process with staff prior to the start of any construction, besides demolition work on the existing building. The final site plan shall comply with all Development Code requirements and those modifications required or allowed by the Planning Commission.
4. That the development complies with all Building & Safety, Fire and Life Safety Codes applicable to this type of use.
5. All utility boxes (i.e. transformers, switchgear, telephone, cable TV, etc.) shall be shown on the site plan and shall be placed underground or moved behind the front setback of the buildings and screened from view. Each box shall be shown in its exact location and shall be noted with its exact height, width and length. Building utility meters shall be mounted to the side or rear elevation or screened.
6. That the developer be responsible for the placement of a temporary 6-foot-high chain link fence around the perimeter of the project during the construction phase of the project for security. Said fence shall also be required to include fabric to prohibit blowing dust problems, if it becomes necessary or if it is required by the Community Development Department during final site plan review.
7. That the applicant complies with all department requirements as noted in all preliminary review letters or communications prior to submittal for final site plan review with staff.

Planner:



Douglas L. Wheelwright
Development Services Manager

File Name: S:\USERS\PLN\STAFFRPT\2025\SPR06302025-006990 - ALTA CANYON SPORTS CENTER\ALTA CANYON SPORTS CENTER P.C. STAFF REPORT 8-28-2025.DOCX

Exhibit "A"
(See attached application materials)

PRELIMINARY SITE PLAN REVIEW - RESPONSE
2025.08.21

VCBO NUMBER: 23345

SANDY COMMUNITY & RECREATION CENTER
9666 SOUTH HIGHLAND DRIVE SANDY, UT
CITY OF SANDY

Photo: Michael G. Johnson, Architecture & Interiors

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JAYMIN VOIGT
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LANDSCAPE ARCHITECT
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PRINCE LAUNDRY ARCHITECTURE
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ELECTRICAL ENGINEER
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STRUCTURAL ENGINEER
ROBERT M. BOYLE
WAYNE YOUNG
ARCHITECTS
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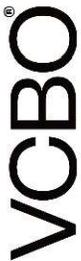
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28 N. MAIN ST. #103
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PARKS AND RECREATION
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801.568.7100
DAN.MEDINA@SANDY.UTAH.GOV

Exhibit "B"
(See attached neighborhood meeting comments)

Alta Canyon Rec Center**Neighborhood Meeting - July 30, 2025, 7:00pm**

1. How will construction logistics work for 9510 S.
2. Concerned about impact of ingress/egress of road that comes to a stop sign. On street parking huge concern with swim meets, general use, etc.
3. Left from 9510 S. onto Highland is impossible
4. Wants to understand why an entrance onto Highland is not being used.
5. You can't turn left at Highland which is why you have to turn on the local road
6. Adding the extra exit is more dangerous.
7. If extra entrance required, make it an emergency access only.
8. Proposed building is much larger but parking has not been increased. Local streets turn into parking lots. Empty lot should be parking. What are plans for the empty lot?
9. Others do not want a parking lot on the empty lot.
10. Empty lot is a nuisance with weeds and gophers, should be turned into a park
11. Need a buffer to keep neighborhood safe
12. Is it possible to restrict the access to the additional entrance with a gate or sign?
13. Wonders how the aesthetics will look. Wants to know if there is anything similar in the area that they could go look at.
14. Limiting a left hand turn will cause problems for 9510 S.
15. Will new tennis courts be put in since the old ones are being removed
16. Are there plans for signage that is advertising?
17. Worried about the traffic flowing to a single stop sign
18. Swim meet traffic is really bad and ends up all along Candle Tree
19. At the public hearing no one wanted this project, and it is wasting money.
20. Thanked the city for the work and is excited for the renovation.

Exhibit "C"
(See Full Report Attached)



SANDY CITY PUBLIC WORKS

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

RYAN KUMP, P.E.
PUBLIC WORKS DIRECTOR

To: Doug Wheelwright – Development Services Manager
From: Ivan Hooper, P.E. – Transportation Engineer
cc: Britney Ward, P.E. – Assistant Public Works Director/City Engineer
Date: August 27, 2025
Re: Alta Canyon Sports Center Traffic and Parking Analysis - **DRAFT**

Over the next year or so, the Alta Canyon Sports Center building will be torn down and reconstructed with a new building that will have about twice the square footage of the existing building. This has raised some concerns regarding the traffic to and from the recreation center and the associated parking demands. This memo summarizes a traffic and parking analysis performed for the new recreation center.

Traffic Analysis

Traffic counts were performed at the rec center driveways from 7:00 to 9:00 am on Wednesday, August 6, 2025 and from 4:00 to 6:00 pm on Tuesday, August 5, 2025. The AM peak hour was from 7:30 to 8:30 am, while the PM peak hour was from 5:00 to 6:00 pm. The table below shows the number of entering, exiting, and total vehicles for each peak hour.

Existing Vehicle Trip Generation

Time Period	Entering	Exiting	Total
AM Peak Hour	96	44	140
PM Peak Hour	64	56	120

Traffic observations performed during the count period showed minimal vehicle delay at the rec center driveways and minimal delay at the Highland Drive & 9510 South two-way stop-controlled intersection.

Future vehicle trip generation for the new rec center was estimated using fitted curve equation from the Recreational Community Center (Land Use Code 495) land use in the *ITE Trip Generation Manual, 11th Edition*. The pool area was included as part of the building square footage to better match the existing trip generation data obtained from the driveway counts.

Exhibit "D"

Memo

To: Doug Wheelwright, Development Services Manager
From: 
Dan Medina, Parks & Recreation Director
cc: Martin Jensen, Deputy CAO
Lois Stillion, Alta Canyon Sports Center Division Manager
Date: August 22, 2025
Re: Alta Canyon Sports Center Event Parking Plan

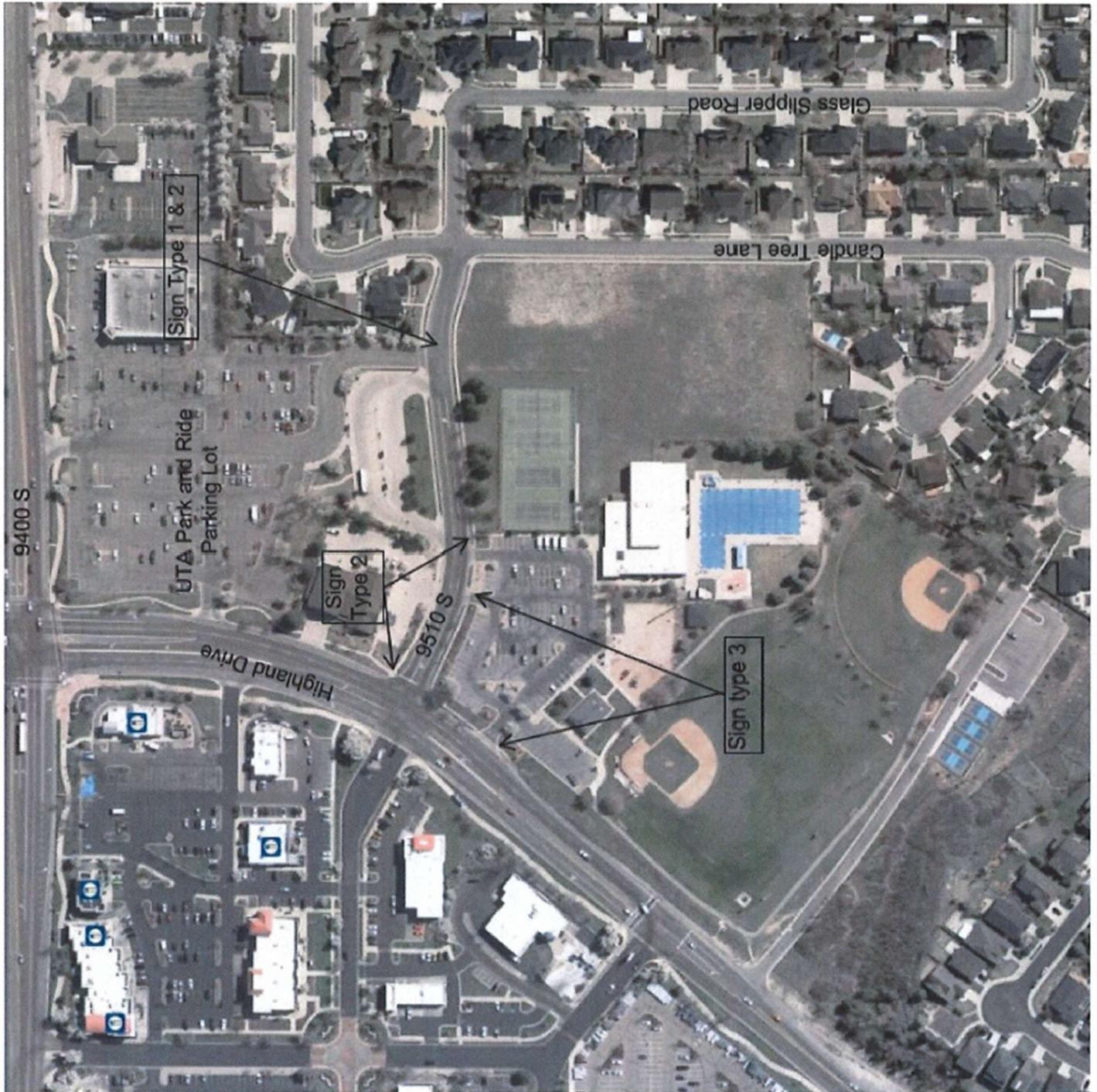
This memo is to document our parking procedure for events such as swimming meets or triathlons. This is in response to the neighborhood meeting which was held on July 30, 2025, regarding the reconstruction of the recreation center.

In a typical year we will have four events which require overflow parking. During these events we will have in place an agreement with UTA to use their parking lot as we have had in the past for triathlons. Martin Jensen, Deputy CAO, has been in contact with UTA and they have indicated they are willing to continue this relationship for additional events.

Before an event which requires overflow parking we will perform the following tasks:

1. Secure an agreement with UTA to use their parking lot as an overflow parking lot for the day of the event.
2. Three days before the event we will place signs at the center entrances to let patrons know ahead of time there will be an event on X date and time. This will also include a map that shows where the overflow vehicle parking will be for the event.
3. One hour before the event we will place signs out directing patrons to the overflow vehicle parking lot. See attached example.
4. During the event we will use staff to assist in parking stall locations as necessary to the event.
5. Once event is completed, we will remove all notifications and signs of the event parking changes.

Exhibit "D" Continued





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SANDY COMMUNITY & RECREATION CENTER

9565 SOUTH HIGHLAND DRIVE SANDY, UT
CITY OF SANDY

VCBO NUMBER: 23345

PRELIMINARY SITE PLAN REVIEW - RESPONSE
2025.08.21



ARCHITECT

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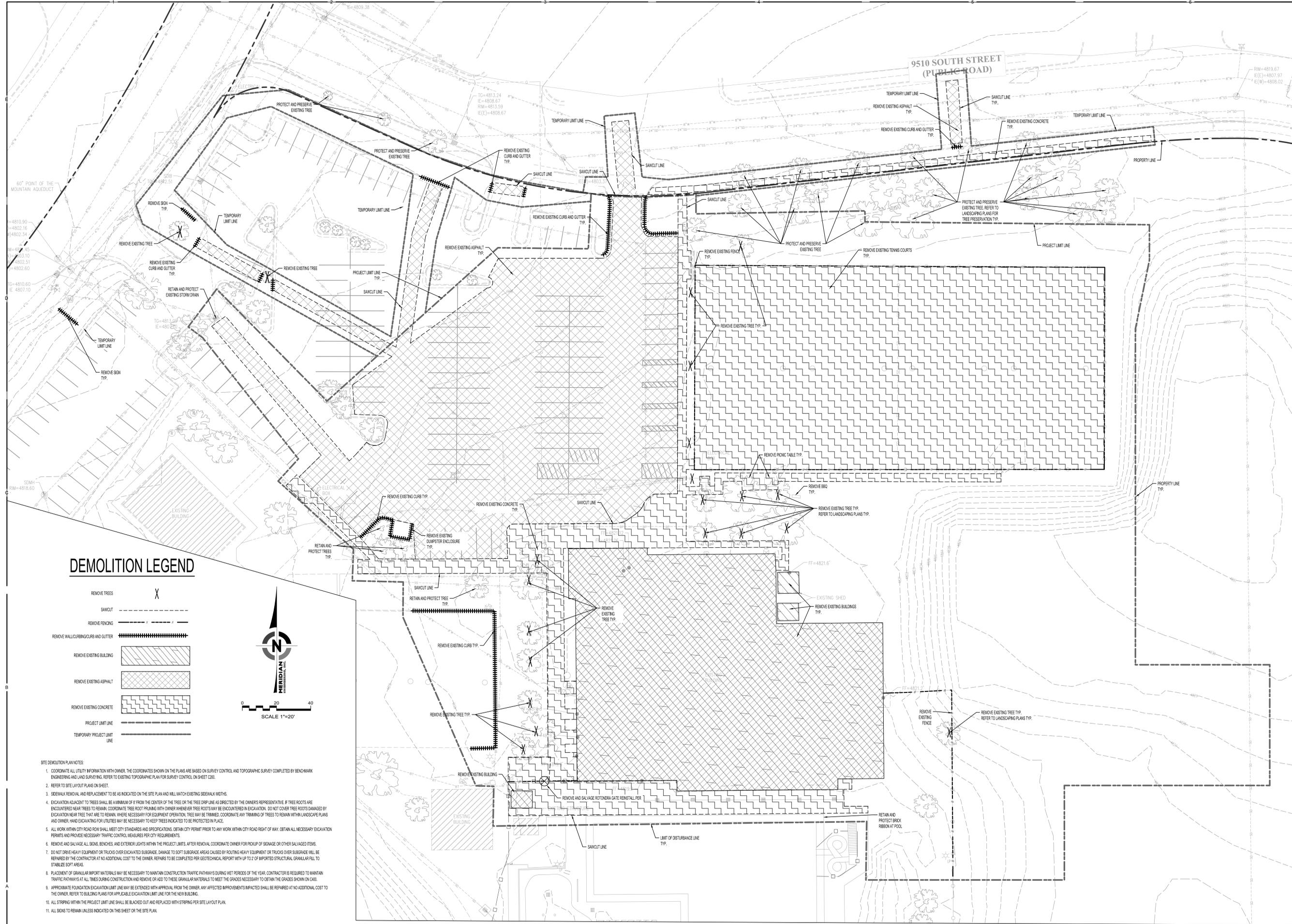
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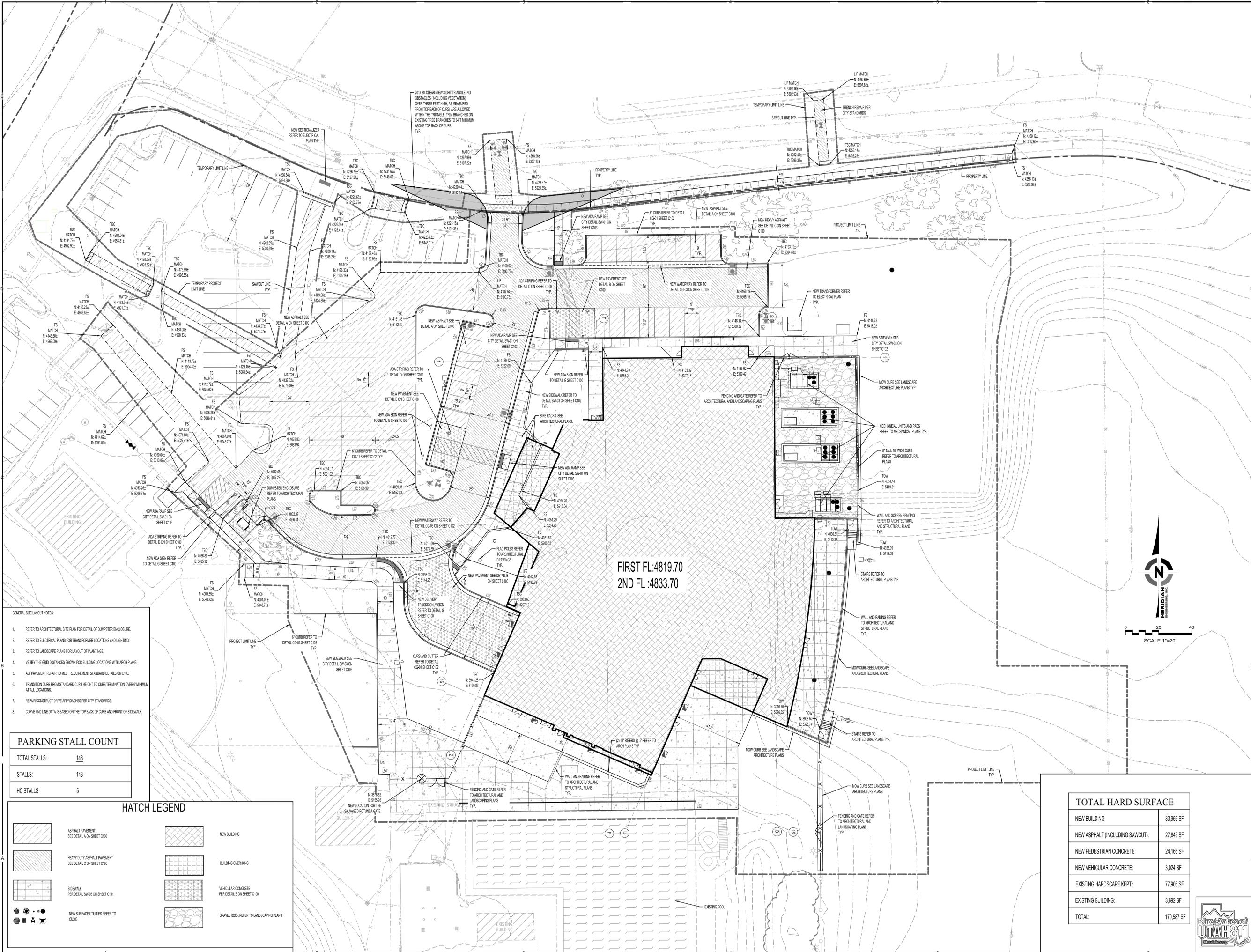
DEMOLITION LEGEND

- REMOVE TREES X
- SAWCUT - - - - -
- REMOVE FENCING - - - - -
- REMOVE WALL/CURBS/GUTTERS AND GUTTER [Hatched pattern]
- REMOVE EXISTING BUILDING [Diagonal hatching]
- REMOVE EXISTING ASPHALT [Cross-hatched pattern]
- REMOVE EXISTING CONCRETE [Wavy hatched pattern]
- PROJECT LIMIT LINE - - - - -
- TEMPORARY PROJECT LIMIT LINE - - - - -



- SITE DEMOLITION PLAN NOTES:
- COORDINATE ALL UTILITY INFORMATION WITH OWNER. THE COORDINATES SHOWN ON THE PLANS ARE BASED ON SURVEY CONTROL AND TOPOGRAPHIC SURVEY COMPLETED BY BENCHMARK ENGINEERING AND SURVEYING. REFER TO EXISTING TOPOGRAPHIC PLAN FOR SURVEY CONTROL, ON SHEET C200.
 - REFER TO SITE LAYOUT PLANS ON SHEET.
 - SIDEWALK REMOVAL AND REPLACEMENT TO BE AS INDICATED ON THE SITE PLAN AND WILL MATCH EXISTING SIDEWALK WIDTHS.
 - EXCAVATION ADJACENT TO TREES SHALL BE A MINIMUM OF 4' FROM THE CENTER OF THE TREE OR THE TREE DRIP LINE AS DIRECTED BY THE OWNER'S REPRESENTATIVE. IF TREE ROOTS ARE ENCOUNTERED NEAR TREES TO REMAIN, COORDINATE TREE ROOT PRUNING WITH OWNER. WHENEVER TREE ROOTS MAY BE ENCOUNTERED IN EXCAVATION, DO NOT COVER TREE ROOTS DAMAGED BY EXCAVATION NEAR TREES THAT ARE TO REMAIN, WHERE NECESSARY FOR EQUIPMENT OPERATION, TREE MAY BE TRIMMED. COORDINATE ANY TRIMMING OF TREES TO REMAIN WITH LANDSCAPE PLANS AND OWNER, AND EXCAVATING FOR UTILITIES MAY BE NECESSARY TO KEEP TREES INDICATED TO BE PROTECTED IN PLACE.
 - ALL WORK WITHIN CITY ROAD ROW SHALL MEET CITY STANDARDS AND SPECIFICATIONS. OBTAIN CITY PERMIT PRIOR TO ANY WORK WITHIN CITY ROAD RIGHT OF WAY. OBTAIN ALL NECESSARY EXCAVATION PERMITS AND PROVIDE NECESSARY TRAFFIC CONTROL MEASURES PER CITY REQUIREMENTS.
 - REMOVE AND SALVAGE ALL SIGNS, BENCHES, AND EXTERIOR LIGHTS WITHIN THE PROJECT LIMITS. AFTER REMOVAL COORDINATE OWNER FOR PICKUP OF SIGNAGE OR OTHER SALVAGED ITEMS.
 - DO NOT DRIVE HEAVY EQUIPMENT OR TRUCKS OVER EXCAVATED SUBGRADE. DAMAGE TO SOFT SUBGRADE AREAS CAUSED BY ROUTING HEAVY EQUIPMENT OR TRUCKS OVER SUBGRADE WILL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. REPAIRS TO BE COMPLETED PER GEOTECHNICAL REPORT WITH UP TO 2" OF IMPORTED STRUCTURAL GRANULAR FILL TO STABILIZE SOFT AREAS.
 - PLACEMENT OF GRANULAR IMPORT MATERIALS MAY BE NECESSARY TO MAINTAIN CONSTRUCTION TRAFFIC PATHWAYS DURING WET PERIODS OF THE YEAR. CONTRACTOR IS REQUIRED TO MAINTAIN TRAFFIC PATHWAYS AT ALL TIMES DURING CONSTRUCTION AND REMOVE OR ADD TO THESE GRANULAR MATERIALS TO MEET THE GRADES NECESSARY TO OBTAIN THE GRADES SHOWN ON C400.
 - APPROXIMATE FOUNDATION EXCAVATION LIMIT LINE MAY BE EXTENDED WITH APPROVAL FROM THE OWNER. ANY AFFECTED IMPROVEMENTS IMPACTED SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. REFER TO BUILDING PLANS FOR APPLICABLE EXCAVATION LIMIT LINE FOR THE NEW BUILDING.
 - ALL STRIPPING WITHIN THE PROJECT LIMIT LINE SHALL BE BLACKED OUT AND REPLACED WITH STRIPPING PER SITE LAYOUT PLAN.
 - ALL SIGNS TO REMAIN UNLESS INDICATED ON THIS SHEET OR THE SITE PLAN.





- GENERAL SITE LAYOUT NOTES:**
- REFER TO ARCHITECTURAL SITE PLAN FOR DETAIL OF DUMPSTER ENCLOSURE.
 - REFER TO ELECTRICAL PLANS FOR TRANSFORMER LOCATIONS AND LIGHTING.
 - REFER TO LANDSCAPE PLANS FOR LAYOUT OF PLANTINGS.
 - VERIFY THE GRID DISTANCES SHOWN FOR BUILDING LOCATIONS WITH ARCH PLANS.
 - ALL PAVEMENT REPAIR TO MEET REQUIREMENT STANDARD DETAILS ON C100.
 - TRANSITION CURBS FROM STANDARD CURB HEIGHT TO CURB TERMINATION OVER 6" MINIMUM AT ALL LOCATIONS.
 - REPAIR/CONSTRUCT DRIVE APPROACHES PER CITY STANDARDS.
 - CURVE AND LINE DATA IS BASED ON THE TOP BACK OF CURB AND FRONT OF SIDEWALK.

PARKING STALL COUNT

TOTAL STALLS:	148
STALLS:	143
HC STALLS:	5

HATCH LEGEND

	ASPHALT PAVEMENT SEE DETAIL A ON SHEET C100		NEW BUILDING
	HEAVY DUTY ASPHALT PAVEMENT SEE DETAIL C ON SHEET C101		BUILDING OVERHANG
	SIDEWALK PER DETAIL SW-03 ON SHEET C101		VEHICULAR CONCRETE PER DETAIL B ON SHEET C100
	NEW SURFACE UTILITIES REFER TO C200		GRAVEL ROCK REFER TO LANDSCAPING PLANS

FIRST FL: 4819.70
2ND FL: 4833.70

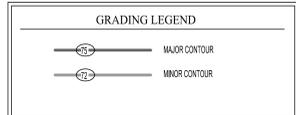
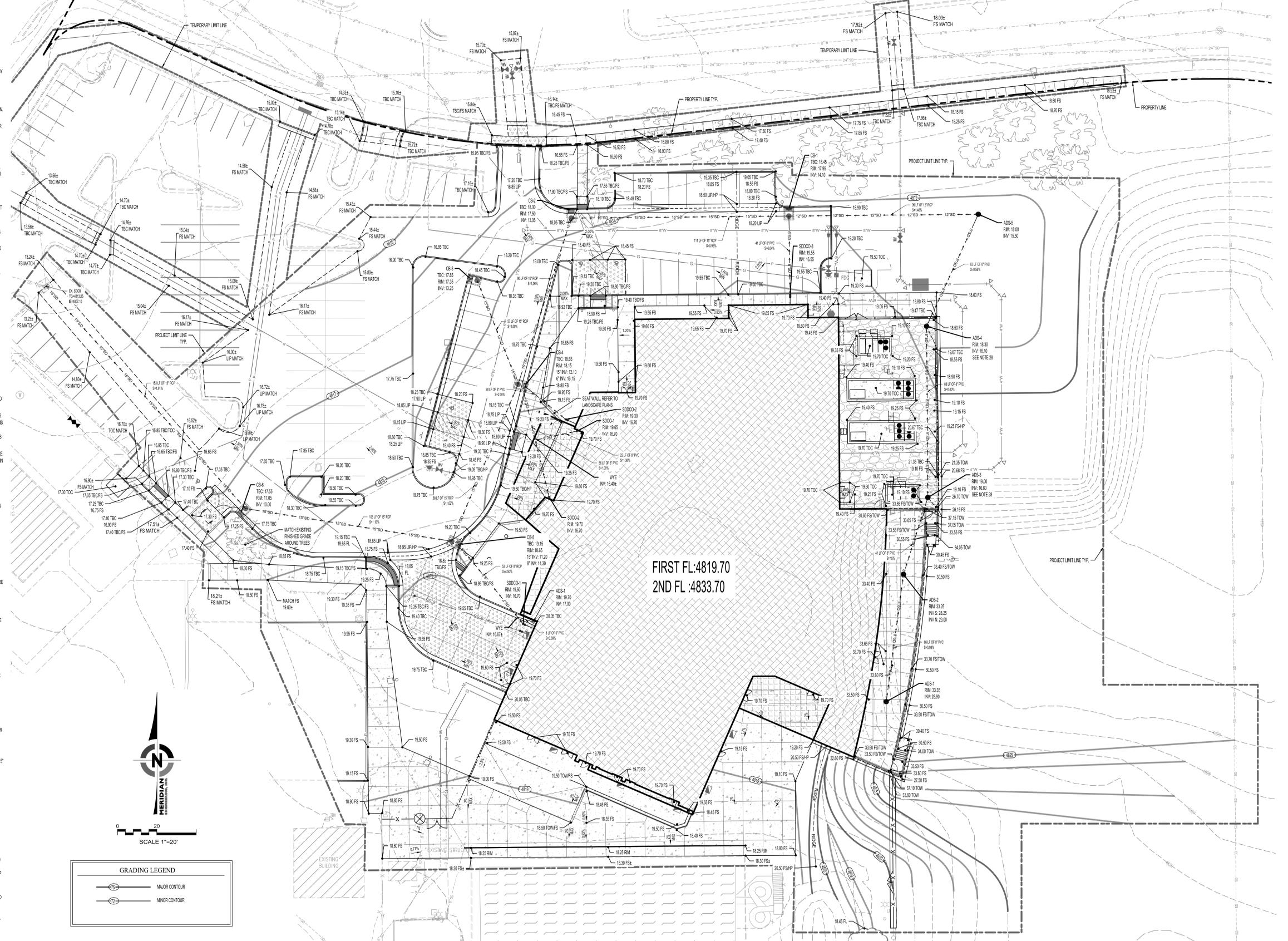


TOTAL HARD SURFACE

NEW BUILDING:	33,996 SF
NEW ASPHALT (INCLUDING SAWCUT):	27,843 SF
NEW PEDESTRIAN CONCRETE:	24,166 SF
NEW VEHICULAR CONCRETE:	3,024 SF
EXISTING HARDCAPE KEPT:	77,906 SF
EXISTING BUILDING:	3,682 SF
TOTAL:	170,587 SF



- REFER TO SHEET ARCHITECTURAL SITE PLAN DETAILS FOR RAISED PLANTERS, HANDICAP RAMP, SIDEWALK DETAILS, FLUSH CURB, DIMENSIONS OF PLAYGROUND, PARKING LOT STRIPING AND SITE FENCING WITH NOW STRIP.
- CONTOURS OF THE SITE ARE BASED ON A SURVEY BY BENCHMARK. REFER TO SHEET C200 FOR PROJECT BENCHMARK AND BASIS OF BEARING.
- ALL WORK IN E 915 S SHALL BE IN ACCORDANCE WITH APWA AND CITY OF SANDY STANDARD PLANS AND SPECIFICATIONS. NEW CURB AND GUTTER PAVEMENT REPAIRS, AND THE NEW DRIVEWAYS SHALL COMPLY WITH THESE APWA AND CITY STANDARDS. TRAFFIC CONTROL FOR THE PROJECT SHALL ALSO BE APPROVED BY THE CITY WHERE THE SITE ACCESSES TO PUBLIC STREETS. COORDINATE WITH CITY FOR PAVEMENT CONSTRUCTION IN FRONT OF ANY OF THE REQUIRED THICKNESS FOR ALL STREET REPAIRS.
- PROVIDE APPROVED SILT PROTECTION FOR ALL NEW AND EXISTING CATCH BASINS UNTIL LANDSCAPING IS WELL ESTABLISHED AND PARKING IS COMPLETE. THE PIPING SYSTEM SHALL BE CLEANED OUT BEFORE FINAL APPROVAL. USE MIRAP SANDY BAG OR ANOTHER APPROVED EQUIVALENT FOR EXISTING INLET PROTECTION. REFER TO SHEET C300 AND C510.
- DIMENSIONS OR COORDINATES ARE TO THE CENTER OF CATCH BASIN FOR AREA INLETS AND AT THE CENTER OF THE CATCH BASIN AT TBC FOR INLETS IN CURB AND GUTTER.
- HANDICAP PARKING AREA SHALL NOT EXCEED 2% IN ANY DIRECTION. THE PERPENDICULAR CROSS SLOPE TO PARKING STALL IN OTHER AREAS OF THE PARKING LOT SHALL NOT EXCEED 4% IN SLOPE AND SLOPE SHALL NOT EXCEED 1% IN ANY DIRECTION FOR DRIVEWAYS.
- ALL WALKWAYS SHALL NOT EXCEED 2% SLOPE. THE PERPENDICULAR CROSS SLOPE TO NOT EXCEED 2% MAX. SLOPE FOR WALKWAYS 2% MAX. FROM BUILDING OR STAIRS REBERS FOR 2" MINIMUM. ALSO, SLOPE 2% MAX FOR 5' AT THE END OF THE 1:12 SLOPE OF ALL R.C. RAMPS.
- REFER TO SITE LAYOUT PLAN.
- PIPING LENGTHS ARE APPROXIMATE LENGTHS AND ARE ROUNDED TO THE NEAREST FOOT. LENGTHS ARE FROM CENTER TO CENTER OF INLETS OR CLEANOUTS. PIPE SLOPES ARE ALSO APPROXIMATE. USE INVERTS AT EACH BOX FOR CONTROL OF PIPE INSTALLATION.
- "TBC" IS TOP BACK OF CURB ELEVATIONS. "FS" IS FINISH SURFACE ELEVATIONS. "TOP" IS TOP OF CONCRETE ELEVATIONS. "TOP" IS TOP OF WALL ELEVATIONS. "BOT" IS FINISH SURFACE AT BOTTOM OF WALL ELEVATIONS. "FL" IS FLOOR LINE. "HP" IS HIGH POINT FOR THE AREA. "LP" IS THE LP OF GUTTER.
- TRANSITION FACE OF CURB TO BE FLUSH TO ADJACENT FINISHED SURFACE WHERE INDICATED BY "TBCFS" TO FULL HEIGHT OVER 6" MIN.
- PLACE CONCRETE COLLAR AROUND ALL NEW CATCH BASINS OR CLEANOUTS NOT IN CURB AND GUTTER. COLLAR TO BE 1" MINIMUM WIDTH AND SHALL BE 1" MINIMUM THICKNESS. PLACE 2" BARS AROUND OPENING. SEE DETAIL ON SHEET C100.
- ALL LANDSCAPE AREAS SHALL HAVE A MINIMUM OF TOPSOIL OR AS REQUIRED BY LANDSCAPE PLANS. LANDSCAPE AREAS TO BE GRADED TO DRAIN AND MOUND WHERE INDICATED ON LANDSCAPE PLANS. REFER TO SHEET C100 FOR REQUIRED PAVEMENT SECTIONS.
- IF MORE THAN 1 FEET OF GRADING FILL WILL BE PLACED ABOVE THE EXISTING SURFACE TO RAISE SITE GRADES, THE OWNERS GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED SO THAT THEY MAY ASSESS POTENTIAL SETTLEMENT AND MAKE ADDITIONAL RECOMMENDATIONS IF NEEDED.
- DO NOT DRIVE HEAVY EQUIPMENT OR TRUCKS OVER EXCAVATED SUBGRADE. SOFT AREAS CAUSED BY ROUTING HEAVY EQUIPMENT OR TRUCKS OVER SUBGRADE WILL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. REPAIRS TO BE COMPLETED AS OUTLINED IN THE SPECIFICATION WITH UP TO 2" OF IMPORTED STRUCTURAL GRANULAR FILL TO STABILIZE SOFT AREAS CAUSED BY ROUTING HEAVY EQUIPMENT OR TRUCKS OVER EXCAVATED SUBGRADE.
- SITE SOILS MAY NOT SUPPORT CONSTRUCTION TRAFFIC DURING WET PERIODS OF THE YEAR. CONTRACTOR WILL BE RESPONSIBLE TO PLACE GRANULAR FILL AND/OR COBBLE MATERIALS AS NECESSARY TO MAINTAIN ACCESS TO THE SITE OR BUILDING THROUGHOUT THE CONSTRUCTION SITE AT ALL TIMES. EXCESS MATERIAL SHALL BE REMOVED AS REQUIRED TO COMPLETE THE SITE TO THE GRADES SHOWN ON GRADING PLANS. ALSO REFER TO GEOTECHNICAL INVESTIGATION SHEETS FOR SITE SOIL PREPARATION REQUIREMENTS.
- PROVIDE TEMPORARY STORM DRAIN PUMPING, PONDING, BERMING, PIPING AND INLETS OR OTHER MEASURES TO RETAIN CONSTRUCTION STORM DRAIN RUNOFF ON SITE DURING CONSTRUCTION UNTIL THE NEW SYSTEM IS OPERATIONAL. ALL CONSTRUCTION SITE RUNOFF TO HAVE HEAVY SEDIMENT REMOVED PRIOR TO RELEASING TO EXISTING SITE DRAIN SYSTEM. PROTECT ADJACENT BUILDING FROM CONSTRUCTION RUNOFF AT ALL TIMES.
- THERE SHOULD BE NO STANDING WATER ON SITE. ALL STORM WATER SHALL DRAIN TO INLET OR AREA DRAIN. CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD IF ANY LOW SPOTS THAT DO NOT DRAIN ARE ENCOUNTERED. A WATER TEST WILL BE PERFORMED BY THE CONTRACTOR WITH THE ENGINEER OF RECORD IN ATTENDANCE OR A SURVEY OF THE NEW IMPROVEMENTS PROVIDED TO THE ENGINEER AT COMPLETION OF THE PROJECT TO VERIFY THAT ALL STORM DRAIN WATER DRAINS AS DESIGNED.
- ALL "MATCH" LOCATIONS INDICATE THAT THE CONTRACTOR IS TO MATCH THE EXISTING GRADE. AN APPROXIMATE ESTIMATE IS PROVIDED BY THE ENGINEER BASED ON AN INTERPOLATION OF NEAREST SPOT ELEVATIONS PROVIDED BY THE SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE ELEVATIONS. IF THE ELEVATION VARIES GREATLY FROM THE ACTUAL ELEVATION FOUND BY THE CONTRACTOR THE CONTRACTOR IS TO NOTIFY THE ENGINEER SO THAT THE ENGINEER CAN PROVIDE FURTHER DIRECTION.
- GRADE INTERPOLATION BETWEEN SPOT ELEVATIONS AND CONTOURS UNLESS NOTED OTHERWISE. IF ANY QUESTIONS ARISE ABOUT THE PROPOSED GRADING SHOWN ON PLANS CONTACT THE ENGINEER OF RECORD BEFORE FIELD GRADING.
- REMOVE ALL CLAY MATERIALS FROM UNDER BUILDINGS AS OUTLINED IN THE SPECIFICATIONS. UNDER NEW PAVEMENT REMOVE A MINIMUM OF 12" OF CLAY LAYER AND REPLACE WITH GRANULAR FILL AS OUTLINED IN THE PAVEMENT DETAILS ON C100 AND THE EARTH MOVING SPECIFICATION. ALL UTILITIES TRENCHES TO BE BACKFILLED WITH GRANULAR BACKFILL PER TRENCH DETAIL ON C100. AT PLAYGROUND AREAS TO RECEIVE SAND OR ALL SURFACE CLAY LAYERS TO BE REMOVED FROM UNDER THESE AREAS. BACKFILL WHERE NECESSARY WITH GRANULAR BACKFILL MATERIAL. IF CLAY EXCAVATION EXTENDS BELOW REQUIRED ROUGH GRADE ELEVATION BELOW PLAYGROUND AREAS.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL STUDY REFERENCED IN PLAN SET. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER REGISTERED WITH THE STATE WHERE THE WORK IS BEING PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOIL REPORT.
- ADD INJECTION MOLDED 45° REDUCER WYE (OR EQUIVALENT) FLOWABLE FILL TO BE PLACED AROUND EACH WYE CONNECTION. TYP.
- NOTIFY ENGINEER OF RECORD IF THERE ARE ANY CONFLICTS WITH UTILITY LINES OR ASSUMED INVERTS VARY. FOR FURTHER COORDINATION, SEWER AND WATER LINES TO HAVE 18" SEPARATION WITH WATER OVER SEWER. ALL OTHER UTILITIES TO HAVE 12" SEPARATION MIN. IF 12" SEPARATION CANNOT BE ACHIEVED UTILITIES TO HAVE FLOWABLE FILL BETWEEN THE UTILITY LINES 5" EACH WAY.
- CONTRACTOR IS RESPONSIBLE TO NOTIFY THE ENGINEER OF RECORD IF THE GRADES SHOWN ON THE SURVEY DO NOT MEET THE ACTUAL GRADES IN THE FIELD.
- ALL STRUCTURAL LIDS WITHIN THE PROJECT LIMITS WILL NEED TO HAVE THEIR GRADE ADJUSTED. WATER VALVES, SEWER MANHOLES, STORM DRAIN INLETS OR CLEANOUT BOXES, AND OTHER SURFACE UTILITY ACCESSORIES SHALL BE RAISED AND SLOPED TO ACCURATE FINISH SURFACE BY A CONCRETE GRADE COLLAR IN PAVEMENT. COLLAR SHALL BE 12" WIDE AROUND THE UTILITY APPARATUS AND 6" MINIMUM THICKNESS. PLACE 2" REBAR HOOPS IN COLLAR. CONCRETE COLLARS TO BE USED ONLY IN ASPHALT/CONCRETE AND GRASS PAVEMENT AREAS.
- ADS-1 AND ADS-4 TO HAVE 3/8" DIAMETER HOLES DRILLED THROUGH THE CIRCUMFERENCE OF THE INLET OF 18" ON CENTER. BOTTOM OF DRILL HOLES TO BE AT THE BOTTOM OF THE DRILL BIT AT THE CITY GRID.
- RELOCATE SOIL AND SPRINKLER SYSTEM AND MAKE NEW IMPROVEMENTS IN LANDSCAPE. SPRINKLER SYSTEM MUST BE MAINTAINED AND REMAIN IN SERVICE FOR REMAINDER OF GRASS AREA DURING CONSTRUCTION.
- REFER TO ARCHITECTURAL AND LANDSCAPE PLANS FOR ALL INFORMATION ABOUT EXISTING AND PROPOSED TREES.
- REMOVE AND REPLACE ANY DAMAGED CURB, GUTTER, OR SIDEWALK ALONG FRONTAGE BEFORE FINAL INSPECTION.
- ALL GUTTERS TO SLOPE 0.5% MINIMUM TOWARDS CURB INLET BOX. CONTRACTOR TO NOTIFY ENGINEER OF RECORD IF THE PROPOSED GRADE DOES NOT MEET 0.5% SLOPE IN GUTTER.
- SITE WALLS (EXCEPT STAIR CHEEK WALLS OR SEAT WALLS) TO HAVE 3" PERFORATED DRAIN (PVC OR HDPE WRAPPED IN DRAINAGE FABRIC) AS SHOWN ON PLANS AND ON THE RETAINING WALL DETAILS ON THE STRUCTURAL PLANS. CONNECT TO SITE DRAINAGE STRUCTURES AS SHOWN WITH 4" PVC SOLID PIPE (SOR: 36) FROM THE CONNECTION AT THE PERFORATED FOOTING DRAIN TO THE STORM DRAIN STRUCTURE. SLEEVE DRAIN PIPE THROUGH SITE WALLS AND REQUIRE TO CONNECT TO DRAINAGE SYSTEM. WHERE FOOTINGS STEP DOWN BELOW NORMAL DEPTH FOR UTILITY CROSSING, PERFORATED DRAIN PIPE DOES NOT STEP DOWN TO AVOID ANY LOW POINTS IN THE WALL DRAIN PIPING.
- SPOT ELEVATION PREFIX OF 48 HAS BEEN DROPPED FROM THE ELEVATIONS. E. ELEVATION 00.00 = 4800.00 AND 16.50 = 4816.50.
- GEOTECHNICAL ENGINEER MUST BE ON SITE FOR ALL SOIL EXCAVATIONS TO ENSURE POORLY GRADED SOILS ARE REMOVED AND STRUCTURAL FILL MEETS SPECIFICATIONS. SOIL EXCAVATIONS EXPECTED TO BE 34 FEET UNDER ALL HARD SURFACE AREAS AND BUILDINGS. PROVIDE LETTER FROM GEOTECHNICAL ENGINEER THAT COMPLETED CONSTRUCTION MEETS GEOTECHNICAL REPORT RECOMMENDATIONS.



STORM WATER NOTES:

- NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-488-7268), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
- A PRE-CONSTRUCTION MEETING IS REQUIRED. ONCE FINAL APPROVAL HAS BEEN GRANTED, THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
- SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, AND STRUCTURES (INLET BOXES, COMBO BOXES, AND JUNCTION BOXES). SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
- CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
- ALL MATERIALS AND WORK DONE IN LIFT-RIGHT-OF-WAY SHALL CONFORM TO LIFT STANDARDS AND SPECIFICATIONS (DELETE IF NOT APPLICABLE).
- NON-SPLINK GROUT SHALL BE USED WHEREVER GROUT IS REQUIRED FOR THE STORM DRAIN FACILITIES.
- CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE AND GROUT AT CONNECTION OF PIPE TO BOX TO A SMOOTH FINISH. ADDITIONALLY, ALL JAGGED OR SHARP EDGES AT PIPE CONNECTIONS ARE TO BE REMOVED AND GROUTED SMOOTH.
- GROUT BETWEEN GRADE RINGS. FOR EACH INLET BOX THAT IS LOCATED NEXT TO A CURB, THE CURB AND GUTTER CONTRACTOR IS RESPONSIBLE TO REMOVE ALL PROTRUDING, JAGGED OR SHARP CONCRETE EDGES AND TO GROUT BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX. GROUT TO CREATE A SMOOTH, BEVELED TRANSITION AT ALL EDGES IN CLEAN OUT AND INLET BOXES. GROUT AROUND ALL EDGES OF THE RESTRICTIVE OFFICE PLATE.

- REMOVE SNAP TIES, WALLS, REBAR AND OTHER PROTRUSIONS FROM THE BOX OR PIPE INSIDE SURFACE, AS WELL AS ALL FORM WORK, PLASTIC AND CARDBOARD.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL INLET BOXES, COMBO BOXES, JUNCTION BOXES, AND PIPE. THE BOXES AND PIPES ARE TO BE MAINTAINED IN A CLEAN CONDITION UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CLEAN OFF ALL MANHOLE LIDS AND INLET GRATES OF ASPHALT, CONCRETE, TAR OR OTHER ADHESIVES TO ALLOW ACCESS.
- WHERE A SUMP IS REQUIRED, THE SANDY CITY PUBLIC UTILITIES INSPECTOR SHALL BE CONTACTED PRIOR TO CONSTRUCTION TO PROVIDE AN OPPORTUNITY TO CHECK THE VOLUME OF GRAVEL AND GRAVEL GRADATION.
- SOILS MUST BE PROTECTED NEAR EACH INLET BOX LOCATED IN A DRINKING WATER RECHARGE ZONE, WITH THE FOLLOWING WORDS: "WARNING THIS IS A DRINKING WATER AQUIFER RECHARGE AREA. DISPOSAL OF ANY WASTE MATERIALS IN THE STORM WATER IS STRICTLY PROHIBITED."
- ALL INLET, COMBO AND JUNCTION BOXES SHALL BE PLACED ON 12-INCH (MIN.) COMPACTED STABILIZATION MATERIAL.
- A VIDEO OF ALL PIPES MUST BE COMPLETED BEFORE THE 80% OR 90% BOND RELEASE AND AGAIN BEFORE FINAL BOND RELEASE.
- A REPRESENTATIVE OF THE MANUFACTURER OR SUPPLIER SHALL BE ON SITE DURING INSTALLATION OF OIL WATER SEPARATOR, MECHANICAL TREATMENT DEVICES, MEDIA FILTERS, AND UNDERGROUND DETENTION/RETENTION SYSTEMS. THE MANUFACTURER OR SUPPLIER SHALL PROVIDE A LETTER STATING THAT THE SYSTEM WAS INSTALLED PER MANUFACTURER'S SPECIFICATIONS. IF IT IS UNKNOWN WHETHER A REPRESENTATIVE IS REQUIRED TO BE PRESENT DURING INSTALLATION, CONTACT THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
- A STAMPED LETTER OF CONFORMANCE FROM THE DESIGN ENGINEER IS REQUIRED TO BE SUBMITTED TO SANDY CITY PUBLIC UTILITIES DEPARTMENT, PRIOR TO 90% BOND RELEASE, STATING THAT STORM WATER FLOW CONTROL, ELEMENTS AND STORM WATER TREATMENT FACILITIES (E.G. DETENTION, RETENTION, LID BEST MANAGEMENT PRACTICES, OIL WATER SEPARATORS, SUMPS, ETC.) WERE CONSTRUCTED ACCORDING TO THE APPROVED PLANS.

FIRST FL: 4819.70
2ND FL: 4833.70

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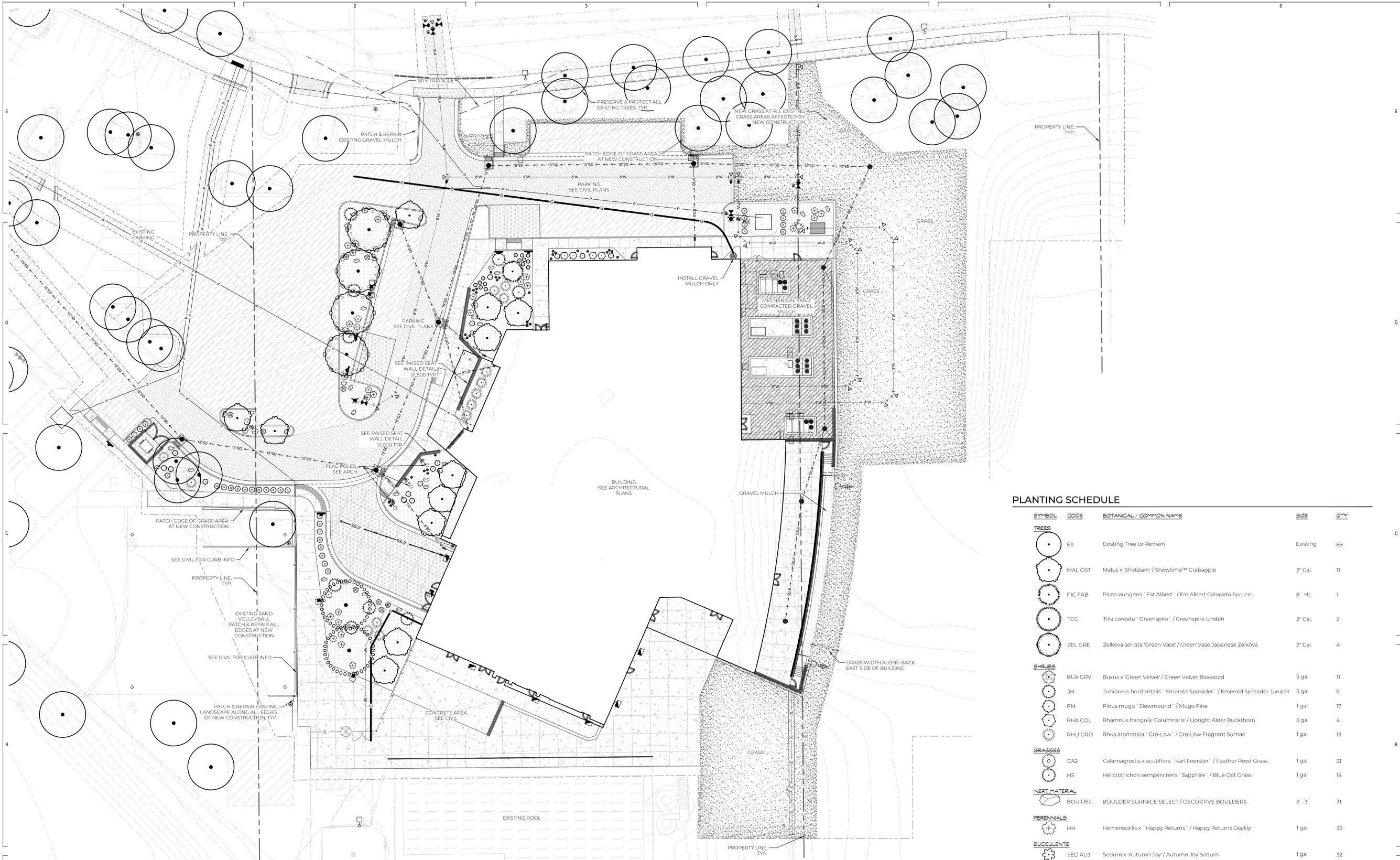
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VOBO NUMBER: 23345
DATE: 2025.08.21

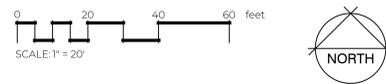


REV	DATE	DESCRIPTION



PLANTING NOTES

- CONTRACTOR TO VERIFY ALL CONDITIONS PERTAINING TO THIS PLAN AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER.
- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE OWNER.
- CONTRACTOR SHALL REPAIR ALL DAMAGES CAUSED BY OPERATIONS (WHICH OCCUR ON OR OFF SITE) TO THE OWNER'S SATISFACTION.
- ALL QUANTITIES SHOWN ARE APPROXIMATE AND ARE FURNISHED SOLELY FOR THE CONTRACTOR'S CONVENIENCE. THEY DO NOT NECESSARILY CORRESPOND TO BID SCHEDULE ITEMS. IN THE CASE OF ANY DISCREPANCIES, PLANS SHALL OVERRIDE THE LANDSCAPE AND BID SCHEDULE QUANTITIES. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON THE PLANS AND BASE THEIR BID ACCORDINGLY. PLANTS ARE LABELED FOR REFERENCE ONLY. DO NOT MAKE UNAPPROVED SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY FROM AT LEAST FIVE SOURCES TO OWNER, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL FOR FINAL APPROVAL.
- LAYOUT INDIVIDUAL TREE LOCATIONS, STAKE LOCATIONS, AND OUTLINE AREAS AND SECURE OWNERS ACCEPTANCE BEFORE START OF PLANTING WORK. MAKE MINOR ADJUSTMENTS AS MAY BE DIRECTED.
- INSTALL DEWITT PRO-S WEED BARRIER UNDER MULCH. FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED. CUT AN "X" SHAPE IN WEED BARRIER FOR PLANTS AND STAPLE FOLDS DOWN INTO SOIL. USE FABRIC STAPLES EVERY FIVE FEET ON CENTER IN PLANTER BED.
- REPAIR ALL LANDSCAPING WHERE NEW CONSTRUCTION MEETS EXISTING.
- PERFORM PERCOLATION TEST ON ALL TREE PLANTING HOLES PRIOR TO PLANTING. INFORM OWNER OF CONDITIONS OF POOR DRAINAGE.
- LANDSCAPE CONTRACTOR SHALL COORDINATE AND ADJUST PLANT PLACEMENT WITH SPRINKLERS.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL PLANT MATERIALS IN A HEALTHY STATE DURING CONSTRUCTION. ANY DAMAGE TO PLANT MATERIAL DUE TO NEGLIGENCE BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- SCARIFY ALL SOILS IN PLANTER BEDS AND ISLANDS TO A MINIMUM DEPTH OF 24 INCHES FROM FINISH GRADE PRIOR TO IMPORTING TOP SOIL. SEE SPECIFICATIONS FOR SOIL DEPTHS.
- ALL EXCAVATION TO BE DONE AROUND EXISTING TREES TO BE PRESERVED SHALL BE DONE BY HAND OR WITH AIR SPADE. PRESERVE AND PROTECT ROOT SYSTEM BELOW CANOPY. KEEP ROOTS MOIST IF EXPOSED.
- STOCKPILE EXISTING TOP SOIL AND SCREEN PRIOR TO PLACEMENT. SCREEN ON SITE TO SIZE OF 3" AND SMALLER. SEE SHEET L-500 AND L-501 FOR LANDSCAPE & IRRIGATION DETAILS.
- MULCH: AFTER COMPLETION OF ALL PLANTING, ALL IRRIGATED NON-TURF AREAS SHALL BE COVERED WITH A MINIMUM LAYER OF FOUR (4) INCHES OF MULCH TO RETAIN WATER, INHIBIT WEED GROWTH AND MODERATE SOIL TEMPERATURE. NON-POROUS MATERIAL SHALL NOT BE PLACED UNDER THE MULCH. 4-INCH MULCH IS ALL IRRIGATED NON-TURF AREA, IF ROCK MULCH, MINIMUM 3-INCH BARK MULCH IS NOT ALLOWED IN PARK STRIP. ROCK MULCH IN PARK STRIP MUST BE A MINIMUM OF 3".
- SEE IRRIGATION PLAN FOR REQUIREMENTS & STANDARDS.
- 20X60' CLEAR-VIEW SIGHT TRIANGLE AT ENTRY. NO OBSTACLES (INCLUDING VEGETATION) OVER THREE FEET HIGH AS MEASURED FROM TOP BACK OF CURB, ARE ALLOWED WITHIN THE TRIANGLE. TRIM BRANCHES ON EXISTING TREES BRANCHES TO 8 FT MIN ABOVE TOP BACK OF CURB



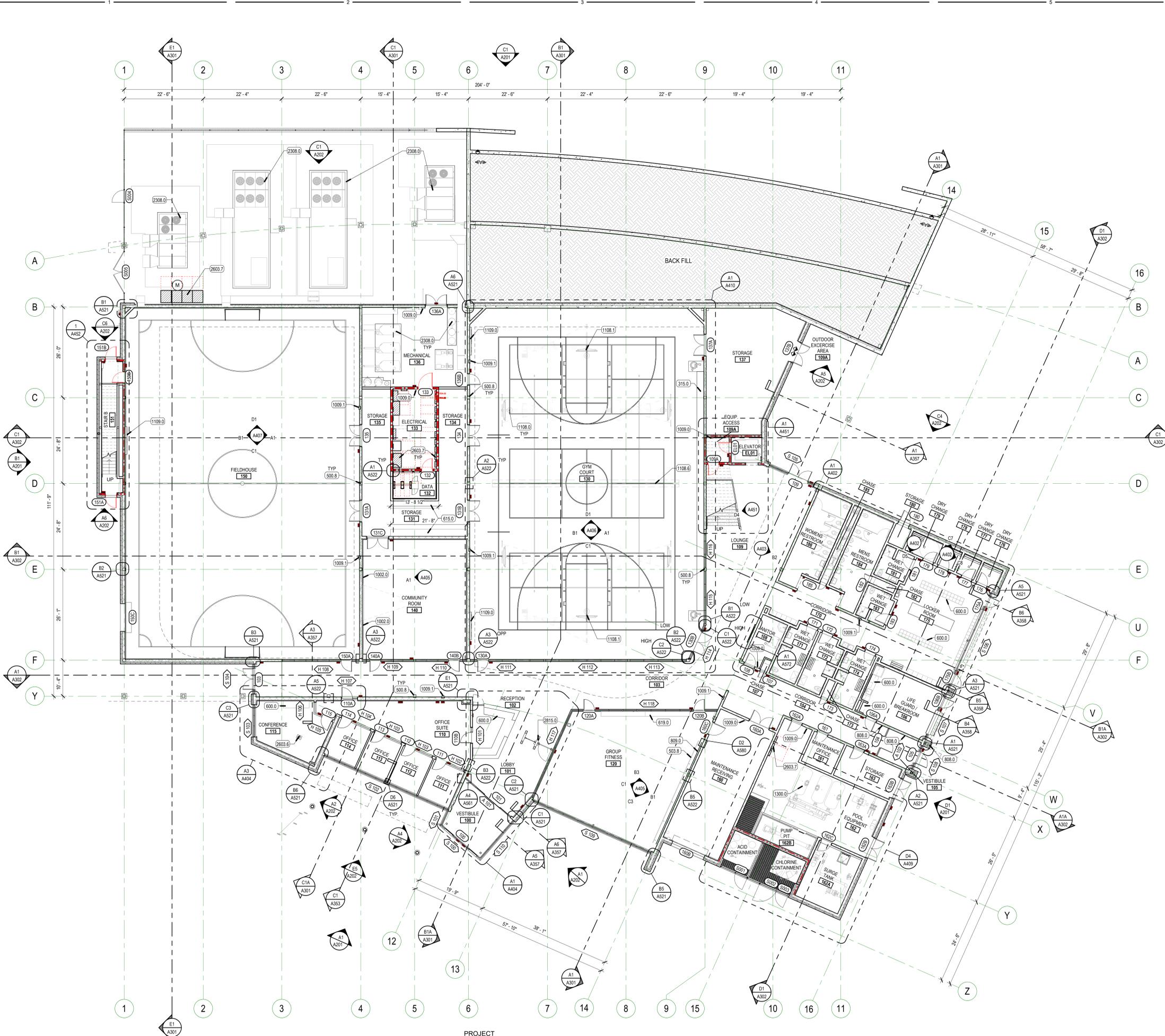
PLANTING SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
TREES				
	EX	Existing Tree to Remain	Existing	89
	MAL OST	Malus x 'Shotizam' / Showtime™ Crabapple	2" Cal.	11
	PIC FAB	Picea pungens 'Fat Albert' / Fat Albert Colorado Spruce	8' Ht.	1
	TCG	Tilia cordata 'Greenspire' / Greenspire Linden	2" Cal.	2
	ZEL GRE	Zelkova serrata 'Green Vase' / Green Vase Japanese Zelkova	2" Cal.	4
SHRUBS				
	BUX GRV	Buxus x 'Green Velvet' / Green Velvet Boxwood	5 gal.	11
	JH	Juniperus horizontalis 'Emerald Spreader' / Emerald Spreader Juniper	5 gal.	9
	PM	Pinus mugo 'Slowmound' / Mugo Pine	1 gal.	17
	RHA COL	Rhamnus frangula 'Columnaris' / Upright Alder Buckthorn	5 gal.	4
	RHU GRO	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	1 gal.	13
GRASSES				
	CA2	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal.	31
	HS	Helictotrichon sempervirens 'Sapphire' / Blue Oat Grass	1 gal.	14
INERT MATERIAL				
	BOU DE2	BOULDER SURFACE SELECT / DECORTIVE BOULDERS	2'-3'	31
PERENNIALS				
	HH	Hemerocallis x 'Happy Returns' / Happy Returns Daylily	1 gal.	35
SUCCULENTS				
	SED AU3	Sedum x 'Autumn Joy' / Autumn Joy Sedum	1 gal.	32
GROUND COVERS				
	CR3	1"-3" MAX ROCK MULCH T - WASHED / MATCH ROCK MULCH ON SITE	N/A	9,761 sf
	BAR BA9	GRAVEL MULCH / Owner to select color & size	3/4" MINUS	3,609 sf
	POA PRA	Kentucky Bluegrass / Kentucky Bluegrass	sod	23,000 sf



REV	DATE	DESCRIPTION





PLAN NOTES

- WHERE FLOOR DRAINS ARE INSTALLED THE FLOOR IS TO SLOPE TO THE DRAIN. THE MAXIMUM SLOPE IS NOT TO EXCEED 2% WHILE THE MINIMUM SLOPE IS NOT TO BE LESS THAN 1%.
- WHERE CONCRETE PADS ARE CALLED TO BE CONSTRUCTED UNDER EQUIPMENT THE SLAB IS TO BE 8" THICK, U.O., AND IS TO HAVE #4 BARS AT 18" O.C. EACH WAY. COORDINATE DIMENSIONS OF PAD WITH ACTUAL EQUIPMENT SPEC.
- REFER TO SHEET **A580** FOR TYPICAL FLOORING TRANSITION DETAILS.
- THE CONTRACTOR IS TO ENSURE THAT BETWEEN ANY FINISH FLOOR ELEVATION TO 36" A.F.F. ALL GUARDRAILS ARE TO BE CONSTRUCTED AND INSTALLED SO THAT A 4" SPHERE WILL NOT PASS BETWEEN ANY TWO ADJACENT GUARDRAIL COMPONENTS OR BETWEEN THE EDGE OF A GUARDRAIL AND ALL ADJACENT BUILDING ELEMENT SUCH AS A WALL OR FLOOR. AN 8" DIAMETER SPHERE IS NOT TO PASS BETWEEN THE ABOVE MENTIONED COMPONENTS AND ELEMENTS FROM AN ELEVATION 36" A.F.F. AND HIGHER.
- REFER SHEET **B2 & B3/A520** FOR TYPICAL FIRE EXTINGUISHER CABINET INSTALLATION DETAILS.
- PER IBC 1111.4.10, ANY EXERCISE EQUIPMENT PROVIDED MUST BE ON AN ACCESSIBLE ROUTE. AT LEAST ONE OF EACH TYPE OF EXERCISE MACHINE AND EQUIPMENT PROVIDED SHALL BE PROVIDED WITH AN ACCESSIBLE CLEAR FLOOR SPACE PER ICC A117.1-17 SECTION 1004.1.

PARTITION + FRAMING GENERAL NOTES

SEE SHEET **A500** FOR PARTITION + FRAMING GENERAL NOTES

KEYED NOTES

- 315.0 PRECAST CONCRETE BENCH SEATING
- 500.8 STEEL COLUMN PAINTED WHERE EXPOSED
- 503.8 DANCE BARRIE WITH SOLID WOOD RAILS
- 600.0 MILLWORK
- 615.0 ADJUSTABLE SHELVING 24" DEEP. SEE TYP. CASEWORK DETAILS
- 619.0 MILLWORK, BALLET BENCH
- 808.0 ADA DOOR ACTUATOR, WALL MOUNTED
- 809.0 WALL MIRROR, CUSTOM SIZE, FRAMELESS
- 1002.0 WALL MOUNTED MARKER BOARD
- 1009.0 BRACKET MOUNTED FIRE EXTINGUISHER
- 1009.1 SEMI-RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER
- 1108.0 BASKETBALL STAND, RETRACTABLE, GLASS BACKBOARD, FRONT-FOLD
- 1108.1 BASKETBALL STAND, RETRACTABLE, GLASS BACKBOARD, SIDE-FOLD
- 1108.6 GYMNASIUM DIVIDER CURTAIN, OVERHEAD
- 1109.0 GYMNASIUM SCOREBOARD WITH ASSOCIATED CONSOLE AND CONTROLLER
- 1300.0 SWIMMING POOL EQUIPMENT, SEE WATER DESIGN DRAWINGS
- 2308.0 MECHANICAL EQUIPMENT
- 2603.6 ELECTRICAL FLOOR BOX
- 2603.7 ELECTRICAL EQUIPMENT, SEE ELECTRICAL
- 2815.0 ENTRANCE CONTROL SYSTEM, COORDINATE POWER AND DATA REQUIREMENTS WITH MANUFACTURER

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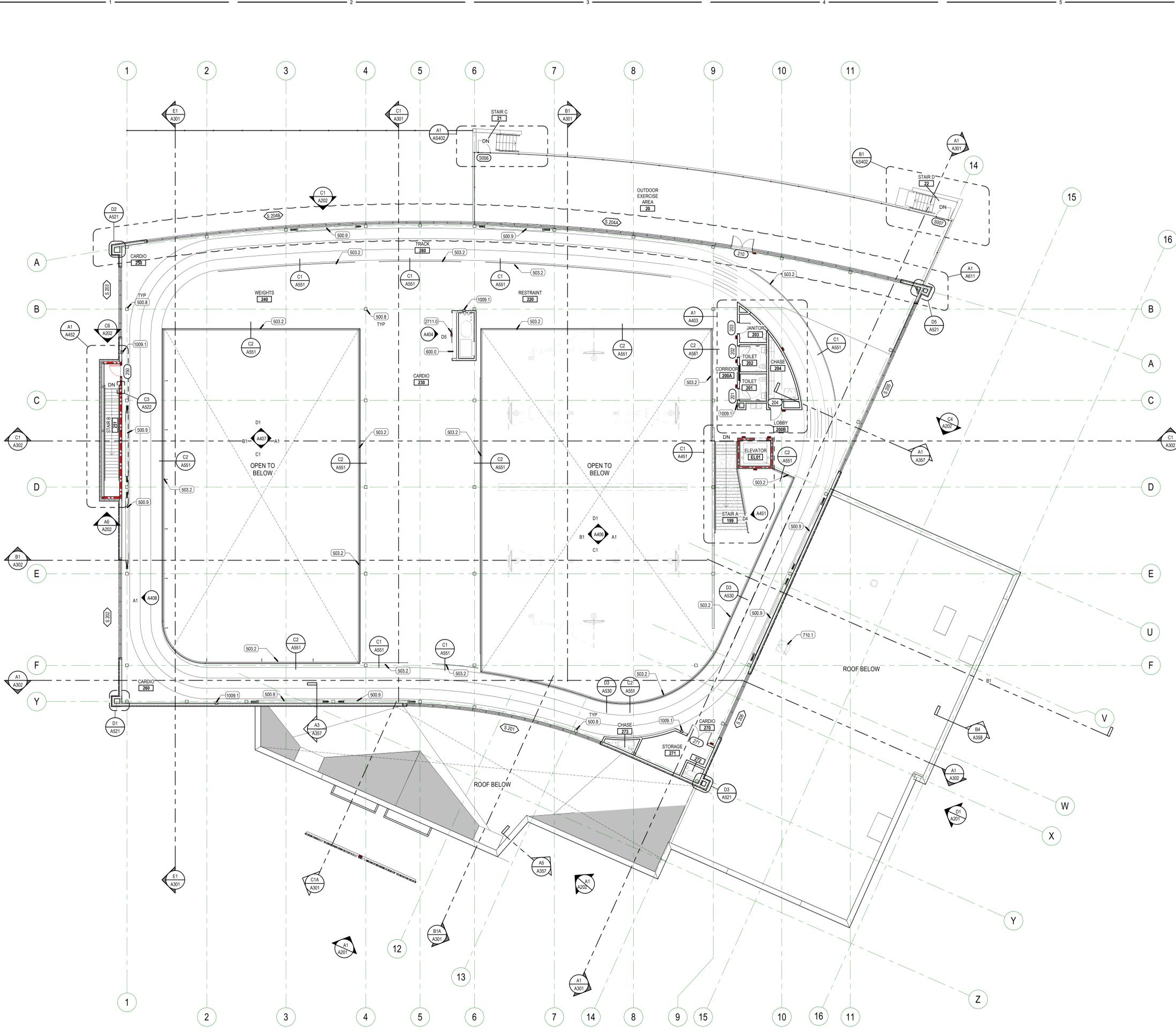
SANDY COMMUNITY & RECREATION CENTER
9565 SOUTH HIGHLAND DRIVE SANDY, UT
PRELIMINARY SITE PLAN REVIEW - RESPONSE

A1 ANNOTATED PLAN - LEVEL 01
SCALE: 3/32" = 1'-0"



ANNOTATED PLAN - LEVEL 01

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PLAN NOTES

- WHERE FLOOR DRAINS ARE INSTALLED THE FLOOR IS TO SLOPE TO THE DRAIN. THE MAXIMUM SLOPE IS NOT TO EXCEED 2% WHILE THE MINIMUM SLOPE IS NOT TO BE LESS THAN 1%.
- WHERE CONCRETE PADS ARE CALLED TO BE CONSTRUCTED UNDER EQUIPMENT THE SLAB IS TO BE 8" THICK, U.N.O., AND IS TO HAVE #4 BARS AT 18" O.C. EACH WAY. COORDINATE DIMENSIONS OF PAD WITH ACTUAL EQUIPMENT SPEC.
- REFER TO SHEET **A580** FOR TYPICAL FLOORING TRANSITION DETAILS.
- THE CONTRACTOR IS TO ENSURE THAT BETWEEN ANY FINISH FLOOR ELEVATION TO 36" A.F.F. ALL GUARDRAILS ARE TO BE CONSTRUCTED AND INSTALLED SO THAT A 4" SPHERE WILL NOT PASS BETWEEN ANY TWO ADJACENT GUARDRAIL COMPONENTS OR BETWEEN THE EDGE OF A GUARDRAIL AND ALL ADJACENT BUILDING ELEMENT SUCH AS A WALL OR FLOOR. AN 4" DIAMETER SPHERE IS NOT TO PASS BETWEEN THE ABOVE MENTIONED COMPONENTS AND ELEMENTS FROM AN ELEVATION 36" A.F.F. AND HIGHER.
- REFER SHEET **B2 & B3/A520** FOR TYPICAL FIRE EXTINGUISHER CABINET INSTALLATION DETAILS.
- PER IBC 1111.4.10, ANY EXERCISE EQUIPMENT PROVIDED MUST BE ON AN ACCESSIBLE ROUTE. AT LEAST ONE OF EACH TYPE OF EXERCISE MACHINE AND EQUIPMENT PROVIDED SHALL BE PROVIDED WITH AN ACCESSIBLE CLEAR FLOOR SPACE PER ICC A117.1-17 SECTION 1004.1.

PARTITION + FRAMING GENERAL NOTES

SEE SHEET **A550** FOR PARTITION + FRAMING GENERAL NOTES

KEYED NOTES

- 500.8 STEEL COLUMN PAINTED WHERE EXPOSED
- 500.9 STEEL CROSS BRACING PAINTED WHERE EXPOSED
- 503.2 DECORATIVE STEEL RAIL, PAINTED, 1 1/2" O.D. STAINLESS STEEL TOP RAIL
- 600.0 MILLWORK
- 710.1 ROOF HATCH AND ACCESS LADDER
- 1009.1 SEMI-RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER
- 271.0 WALL MOUNTED VIDEO MONITOR

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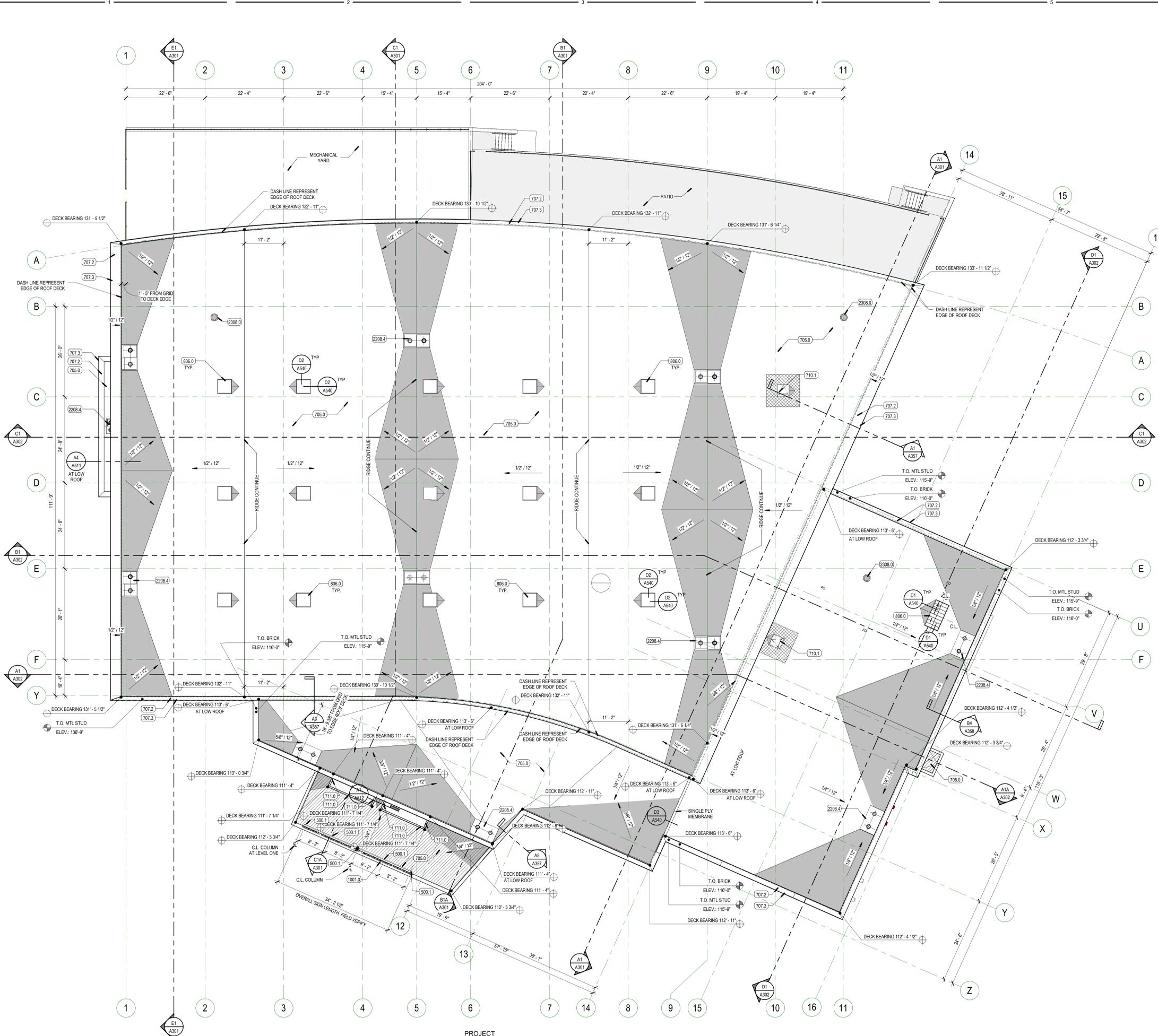
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SANDY COMMUNITY & RECREATION CENTER
9565 SOUTH HIGHLAND DRIVE SANDY, UT
CONSTRUCTION DOCUMENTS





GENERAL ROOF NOTES

- ALL ROOF DECK IS TO BE COVERED IN R-30 INSULATION AND SPECIFIED ROOFING SYSTEM.
- THE CONTRACTOR IS TO ASSURE THAT THE MINIMUM ROOF SLOPE IS NOT LESS THAN 1/4" PER FOOT. ANY AREA THAT IS LESS THAN 1/4" PER FOOT SLOPE SHALL BE ADJUSTED AT THE CONTRACTOR'S EXPENSE WITH CRICKETING TO PROVIDE THE REQUIRED SLOPE.
- DECK BEARING ELEVATIONS SHOWN ON THIS SHEET ARE TO BE INCLUDED FOR ARCHITECT'S REFERENCE ON ALL STEEL SHOP DRAWINGS.
- ALL ROOFING CRICKETS ARE TO BE CONSTRUCTED OF TAPERED INSULATION. CRICKETS ARE TO BE INSTALLED SO THAT A SLOPE OF 1/4" PER FOOT IS MAINTAINED ACROSS THE FACE OF THE CRICKET.
- PROVIDE CRICKETS AT ALL ROOF TOP MOUNTED EQUIPMENT (I.E. SKYLIGHTS, ROOF HATCHES, ETC.) TO ASSURE POSITIVE DRAINAGE AROUND SUCH ELEMENTS.
- ALL FLASHING, COUNTER FLASHING AND SHEET METAL WORK TO COMPLY WITH THE MINIMUM STANDARDS PER THE CURRENT EDITION OF SMACNA.
- NOT ALL ROOF MOUNTED EQUIPMENT AND ROOF PENETRATIONS ARE SHOWN ON THE ARCHITECTURAL ROOF PLAN SHEETS. IN ADDITION TO THE ARCHITECTURAL, THE CONTRACTOR IS RESPONSIBLE FOR REFERENCING THE STRUCTURAL, MECHANICAL AND ELECTRICAL DOCUMENTS FOR ALL SUCH OCCURRENCES. ALL PENETRATIONS OF THE ROOF SHALL MEET WITH THE ROOFING MANUFACTURER'S RECOMMENDATIONS TO MAINTAIN INTEGRITY OF ROOFING SYSTEMS.
- THE CONTRACTOR IS RESPONSIBLE AT BIDDING, FOR PROVIDING A MANUFACTURER'S APPROVED ROOFING DETAIL FOR ALL ROOFING CONDITIONS SO THAT THE SPECIFIED WARRANTY IS OBTAINED. IF A CONDITION SHOWN IN THESE CONSTRUCTION DOCUMENTS DOES NOT MEET THE REQUIREMENTS OF THE ROOFING MANUFACTURER THESE CONDITIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING AND INSTALLATION OF THE APPROVED DETAIL.
- THE CONTRACTOR IS TO CONFIRM THE ROOFING SYSTEM THICKNESS, INCLUDING THE RIGID INSULATION PRIOR TO INSTALLING CURB AND PARAPET BLOCKING. BLOCKING AND CURB HEIGHTS ARE TO BE ADJUSTED AS NEEDED TO CONFORM TO THE ROOFING THICKNESS TO MEET REQUIREMENTS FOR WARRANTY.
- WHERE ROOFING MEMBRANE IS SHOWN EXTENDING UP TO THE TOP OF THE PARAPET, THE MEMBRANE IS TO WRAP UP OVER THE TOP OF THE WOOD BLOCKING. THE AIR INFILTRATION BARRIER IS TO EXTEND UP EXTERIOR FACE OF WALL AND FULLY OVER THE TOP OF THE PARAPET WALL AND UNDER THE SILL BLOCK FLASHING AND THE INTO WEATHER BARRIER. VERIFY WALL TYPE FOR PARAPET CAP WIDTH. SEE DETAILS ON SHEETS A300 & A311. CONTRACTOR TO SEQUENCE WORK TO MEET THIS REQUIREMENT.
- ALL TOPS OF PARAPETS TO BE PROVIDED WITH 1/2" PER FOOT MINIMUM POSITIVE SLOPE TOWARD THE ROOF FOR ADEQUATE DRAINAGE.
- ALL PRE-MANUFACTURED MECHANICAL CURBS ARE TO BE MANUFACTURED TO ACCOMMODATE ROOF SLOPE. THEY MUST BE OF ADEQUATE HEIGHT TO ALLOW FOR THE DEPTH OF THE ROOF INSULATION, INCLUDING CRICKETS AND HAVE 8" HEIGHT ABOVE THE ROOF MEMBRANE. SEE SHEET A540.
- SKYLIGHTS ARE TO BE INSTALLED SO THE TOP OF SKYLIGHT SLOPES 1/2" PER FOOT MINIMUM. THIS SLOPE IS TO SLOPE IN THE DIRECTION OF THE ROOF BELOW. FOR TYPICAL SKYLIGHT CURB, SEE SHEET A540.
- ALL REGLET ARE TO BE PREFINISHED AND 8" MINIMUM HEIGHT ABOVE THE ROOF MEMBRANE.
- ROOF DRAINS ARE TO BE INSTALLED IN A TWO LEVEL DRAIN BASIN. THE BASIN IS TO BE CONSTRUCTED USING LAYERS OF ROOFING INSULATION. SEE SHEET A540.
- FOR TYPICAL ROOF HATCH AND LADDER, SEE SHEET A540.
- FOR TYPICAL ROOF PIPE PENETRATIONS, SEE SHEET A540.

ROOF LEGEND

- TYPE A -** MECHANICALLY FASTENED TPO ROOF MEMBRANE OVER MECHANICALLY FASTENED R-30 INSULATION OVER SELF-ADHERED VAPOR BARRIER.
- TYPE B - (CANOPIES)** MECHANICALLY FASTENED TPO ROOF MEMBRANE OVER ROOFING COVERBOARD.
- TAPERED INSULATION CRICKET MINIMUM SLOPES: 1/8" ALONG VALLEY, 1/4" ACROSS CRICKET
- TRANSLUCENT PANEL SKYLIGHT SYSTEM
- PROTECTIVE WALKABLE SURFACE
- DECK RIDGE OR VALLEY
- IMAGINARY VALLEY WITH WARPED DECKING

KEYED NOTES

- 500.1 STEEL TUBE PAINTED WHERE EXPOSED
- 705.0 ROOF SYSTEM, SINGLE-PLY MEMBRANE
- 707.2 6" WIDE COUNT FLASHING MEMBRANE WELDED TO FIELD MEMBRANE & COATED METAL
- 707.3 24 GA. PREFINISHED FASCIA METAL INSTALL OVER HOLD-DOWN CLIP AND CRIMP TOP OVER COATED METAL
- 710.1 ROOF HATCH AND ACCESS LADDER
- 711.0 PRE-FINISHED RAIN GUTTER, 5" X 5" U-STYLE BOX GUTTER
- 805.0 TRANSLUCENT INSULATED SKYLIGHT
- 1001.0 SIGNAGE, SEE SCHEDULE
- 2208.4 DRAIN, ROOF
- 2308.0 MECHANICAL EQUIPMENT

A1 ROOF PLAN
SCALE: 3/32" = 1'-0"



REV	DATE	DESCRIPTION
1	08.07.2025	ADD 001
2	08.14.2025	ADD 002

KEYED NOTES

- 248.0 EXISTING DECORATIVE IRON FENCE. PROTECT AS NECESSARY, REPAIR AS REQUIRED
- 249.2 EXISTING METAL TURNSTILE. SALVAGE AND REINSTALL ON 6' X 6' X 4" CONCRETE PAD
- 302.0 REINFORCED CONCRETE FOUNDATION WALL, ARCHITECTURAL GRADE FINISH WHERE EXPOSED. SEALED
- 302.1 REINFORCED CONCRETE BENCH WALL, ARCHITECTURAL GRADE FINISH WHERE EXPOSED. SEALED. SEE LANDSCAPE FOR SECTION DETAIL
- 303.0 REINFORCED CONCRETE WALL, ARCHITECTURAL GRADE FINISH WHERE EXPOSED. SEALED
- 306.0 REINFORCED CONCRETE RETAINING WALL, ARCHITECTURAL GRADE FINISH WHERE EXPOSED
- 401.0 BRICK VENEER CLADDING SYSTEM, SEALED
- 404.0 VERTICAL MASONRY CONTROL JOINT WITH SEALANT AND BACKER ROD, CSBA
- 500.1 STEEL TUBE PAINTED WHERE EXPOSED
- 503.6 1 1/2" O.D. GALVANIZED STEEL HANDRAIL, PAINTED WHERE EXPOSED
- 707.0 PRE-FINISHED METAL FLASHING
- 709.0 PRE-FINISHED EXTERIOR METAL PANEL SYSTEM, TYPE A
- 709.1 PRE-FINISHED EXTERIOR METAL PANEL SYSTEM, TYPE B
- 709.4 ACM METAL PANEL SYSTEM, SURFACE FASTENED, COLOR A
- 709.5 ACM METAL PANEL SYSTEM, SURFACE FASTENED, COLOR B
- 709.6 ACM PANEL JOINT
- 711.1 PRE-FINISHED 3" X 3" SQUARE DOWNSPOUT
- 800.0 SCHEDULED DOOR AND FRAME
- 802.0 STOREFRONT SYSTEM
- 1010.0 SIGNAGE, SEE SCHEDULE
- 1010.1 LOCKERS, SINGLE TIER, 12"W X 12"D X 36"H
- 1013.0 FLAG POLE & BASE, 30' TALL
- 1013.1 FLAG POLE & BASE, 29' TALL
- 2609.0 SURFACE MOUNTED POOL CLOCK, SEE ELECTRICAL
- 3205.0 DECORATIVE IRON GATE, BY FENCE MANUFACTURER, TO MATCH ADJACENT DECORATIVE IRON FENCE. SEE DOOR SCHEDULE FOR SIZE AND APPLICABLE HARDWARE
- 3205.1 DECORATIVE IRON FENCE - 8'-0" TALL
- 3205.2 DECORATIVE IRON FENCE - 6'-0" TALL, MATCH ADJACENT EXISTING FENCE HEIGHT & STYLE

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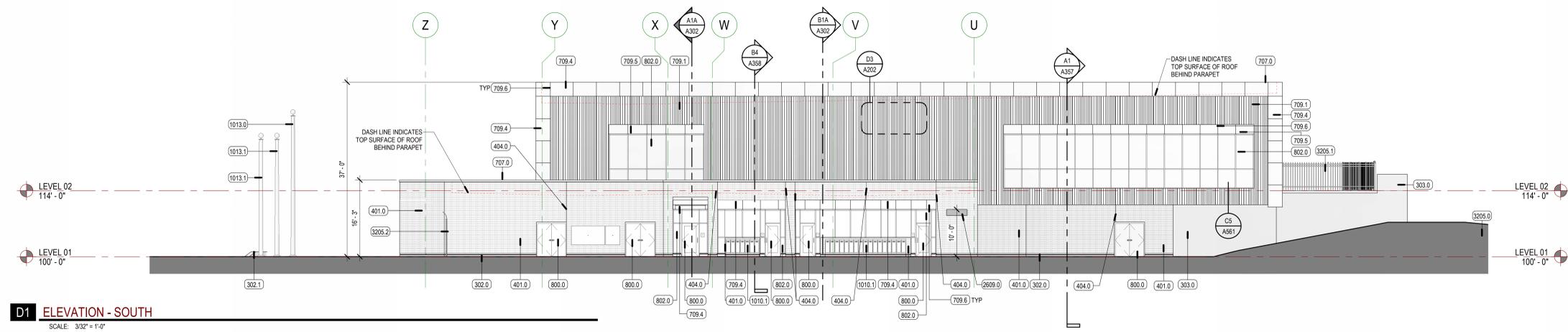


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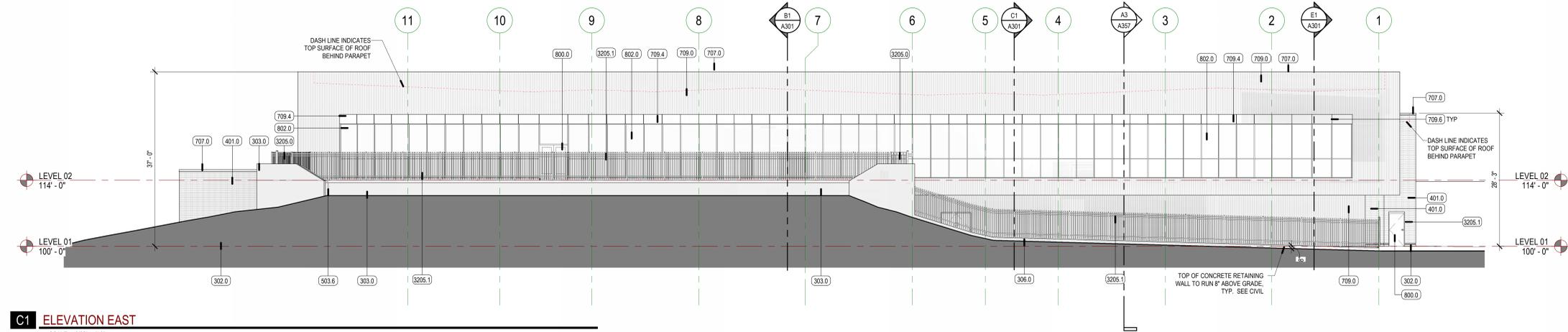
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EXTERIOR ELEVATIONS

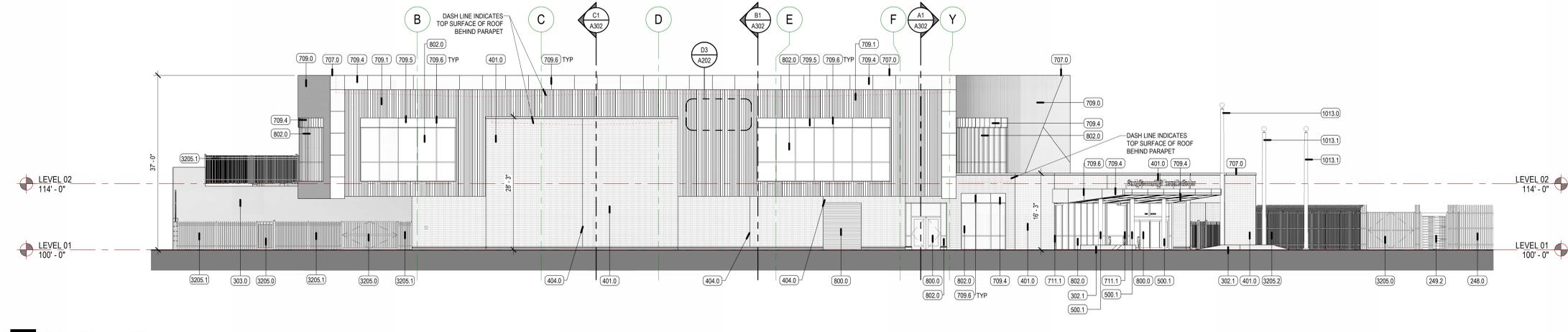
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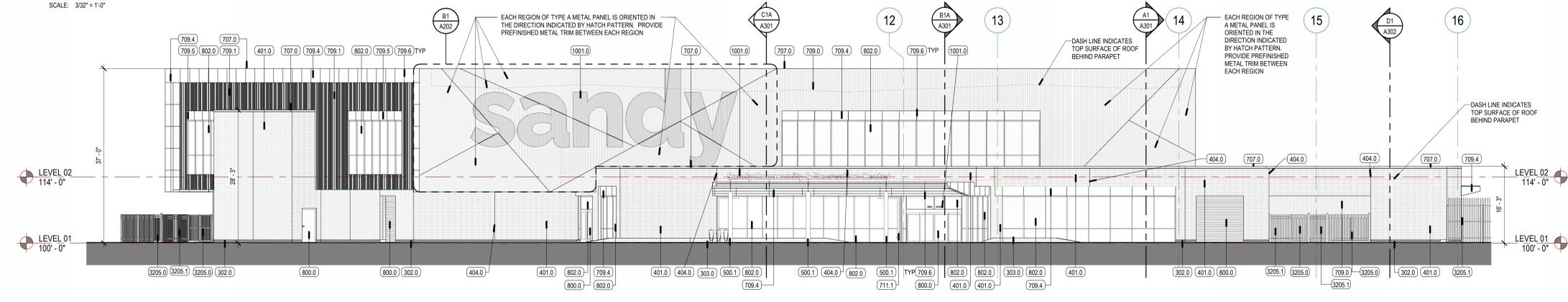
D1 ELEVATION - SOUTH
 SCALE: 3/32" = 1'-0"



C1 ELEVATION EAST
 SCALE: 3/32" = 1'-0"



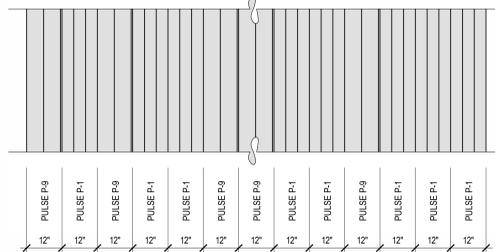
B1 ELEVATION - NORTH
 SCALE: 3/32" = 1'-0"



A1 ELEVATION - WEST
 SCALE: 3/32" = 1'-0"

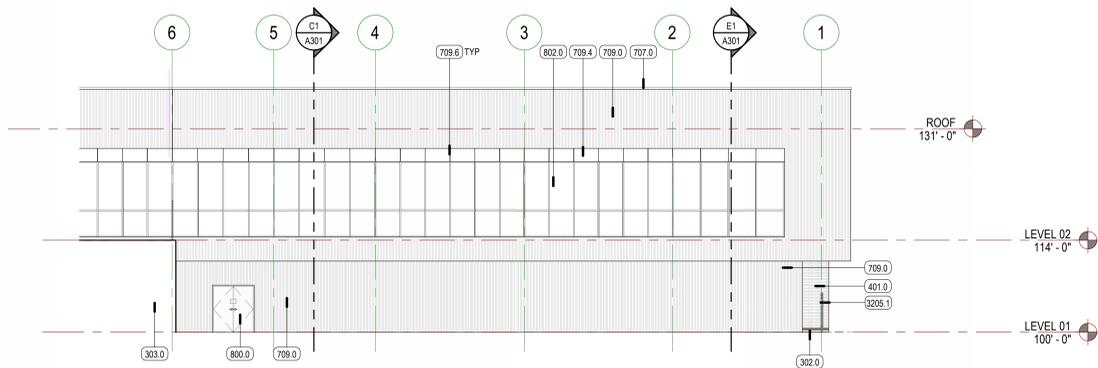
		ACM Type A	ACM Type B	Concrete - Architectural Finish	Masonry Veneer Brick	Prefinished Metal Panel A	Prefinished Metal Panel B	Storefront Window	Total Elevation
BUILDING TOTALS	SF	2072	241	2066	6022	6901	4171	6058	27530
	%	8%	1%	8%	22%	25%	15%	22%	100%
ELEVATION WEST	SF	333	0	0	1677	3173	0	1400	6583
	%	5%	0%	0%	25%	48%	0%	21%	100%
ELEVATION NORTH	SF	570	96	682	1320	0	2092	731	5491
	%	10%	2%	12%	24%	0%	38%	13%	100%
ELEVATION EAST	SF	427	0	856	44	3727	0	2447	7502
	%	6%	0%	11%	1%	50%	0%	33%	100%
ELEVATION SOUTH	SF	693	145	528	1747	0	2079	1197	6389
	%	11%	2%	8%	27%	0%	33%	19%	100%
PARTIAL ELEVATION EAST	SF	0	0	0	1103	0	0	135	1238
	%	0%	0%	0%	89%	0%	0%	11%	100%
PARTIAL ELEVATION SOUTH	SF	48	0	0	131	0	0	148	327
	%	15%	0%	0%	40%	0%	0%	45%	100%

NOTE: METAL PANEL PATTERN IS COMPRISED OF TWO MORIN PULSE SERIES PROFILES: PULSE P-1 AND PULSE P-9



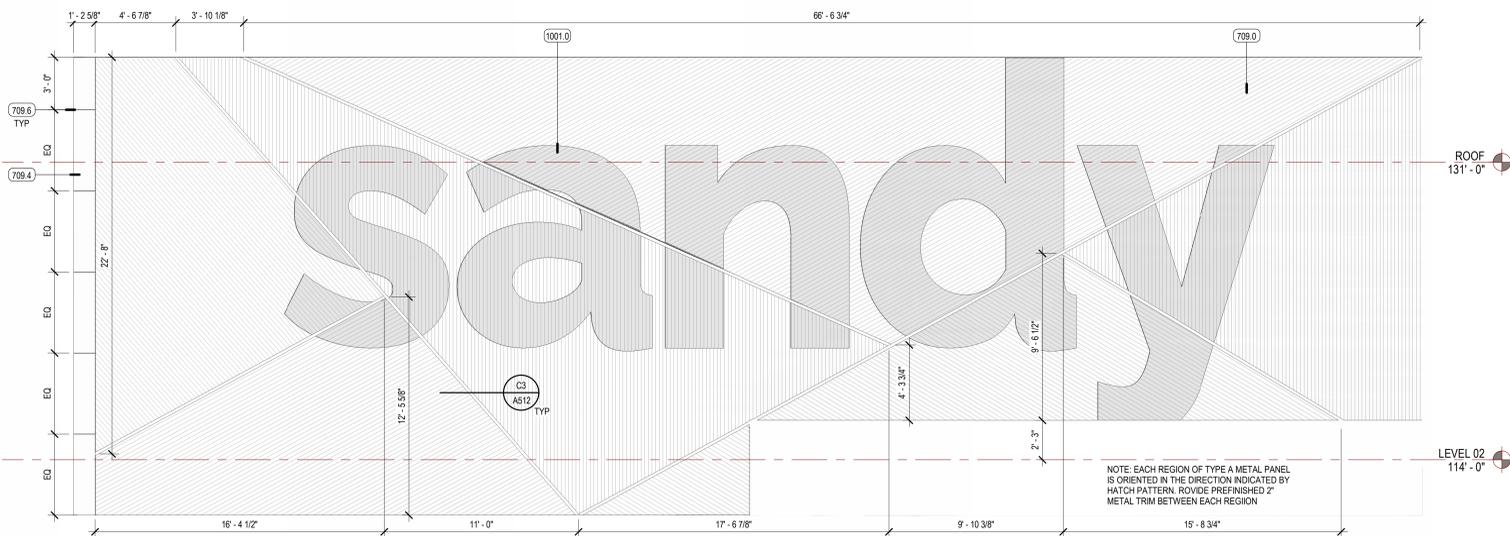
D1 BUILDING EXTERIOR MATERIAL COMPOSITION

SCALE: 12" = 1'-0"



C1 PARTIAL ELEVATION - EAST 1

SCALE: 3/32" = 1'-0"



B1 ELEVATION - WEST - ENLARGED

SCALE: 1/4" = 1'-0"

NOTE: EACH REGION OF TYPE A METAL PANEL IS ORIENTED IN THE DIRECTION INDICATED BY HATCH PATTERN. ROUGE PREFINISHED METAL TRIM BETWEEN EACH REGION

D3 PROFILE METAL PATTERN TYPE B (PULSE PANEL)

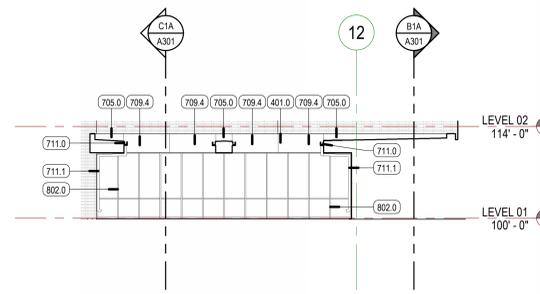
SCALE: 1/2" = 1'-0"

KEYED NOTES

- 302.0 REINFORCED CONCRETE FOUNDATION WALL, ARCHITECTURAL GRADE FINISH WHERE EXPOSED, SEALED
- 303.0 REINFORCED CONCRETE WALL, ARCHITECTURAL GRADE FINISH WHERE EXPOSED, SEALED
- 401.0 BRICK VENEER CLADDING SYSTEM, SEALED
- 404.0 VERTICAL MASONRY CONTROL JOINT WITH SEALANT AND BACKER ROD, CSBA
- 500.1 STEEL TUBE PAINTED WHERE EXPOSED
- 705.0 ROOF SYSTEM, SINGLE-PLY MEMBRANE
- 707.0 PRE-FINISHED METAL FLASHING
- 709.0 PRE-FINISHED EXTERIOR METAL PANEL SYSTEM, TYPE A
- 709.4 ACM METAL PANEL SYSTEM, SURFACE FASTENED, COLOR A
- 709.6 ACM PANEL JOINT
- 711.0 PRE-FINISHED RAIN GUTTER, 5" X 5" U-STYLE BOX GUTTER
- 711.1 PRE-FINISHED 3" X 3" SQUARE DOWNSPOUT
- 800.0 SCHEDULED DOOR AND FRAME
- 802.0 STOREFRONT SYSTEM
- 100.1 SIGNAGE, SEE SCHEDULE
- 3205.1 DECORATIVE IRON FENCE

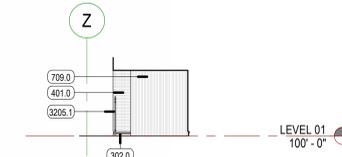
E5 PARTIAL ELEVATION WEST

SCALE: 3/32" = 1'-0"



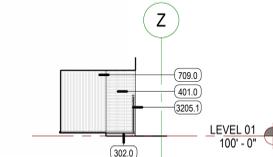
D5 PARTIAL ELEVATION SOUTH 3

SCALE: 3/32" = 1'-0"



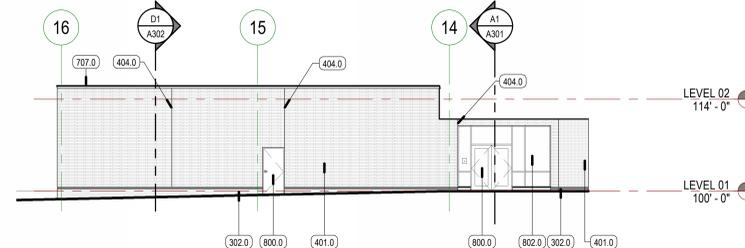
D6 PARTIAL ELEVATION NORTH 2

SCALE: 3/32" = 1'-0"



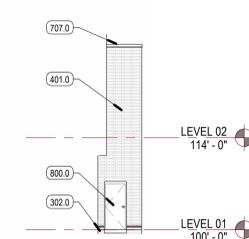
C4 PARTIAL ELEVATION - EAST 2

SCALE: 3/32" = 1'-0"



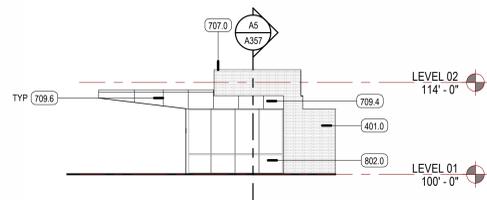
C6 PARTIAL ELEVATION - EAST 3

SCALE: 3/32" = 1'-0"



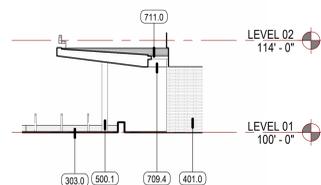
A1 PARTIAL ELEVATION - SOUTH 1

SCALE: 3/32" = 1'-0"



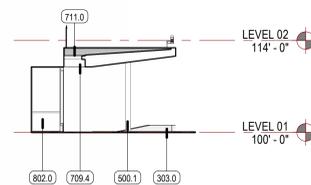
A2 PARTIAL ELEVATION SOUTH 2

SCALE: 3/32" = 1'-0"



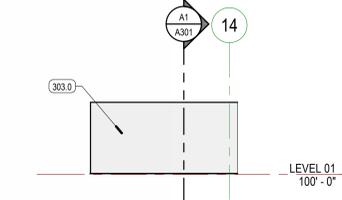
A4 PARTIAL ELEVATION NORTH 1

SCALE: 3/32" = 1'-0"



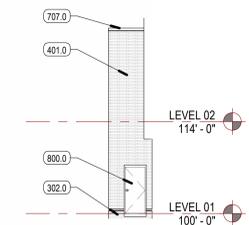
A5 PARTIAL ELEVATION - WEST

SCALE: 3/32" = 1'-0"

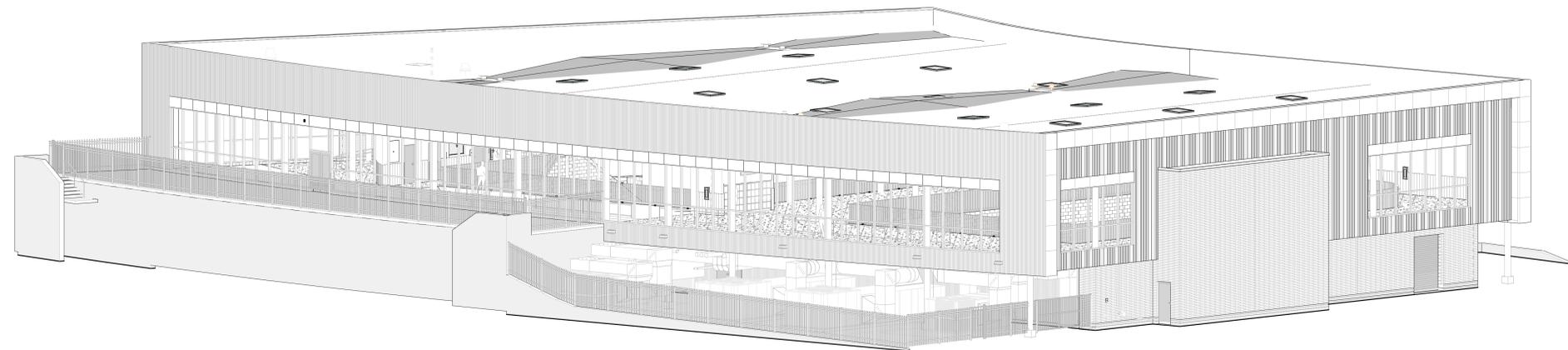
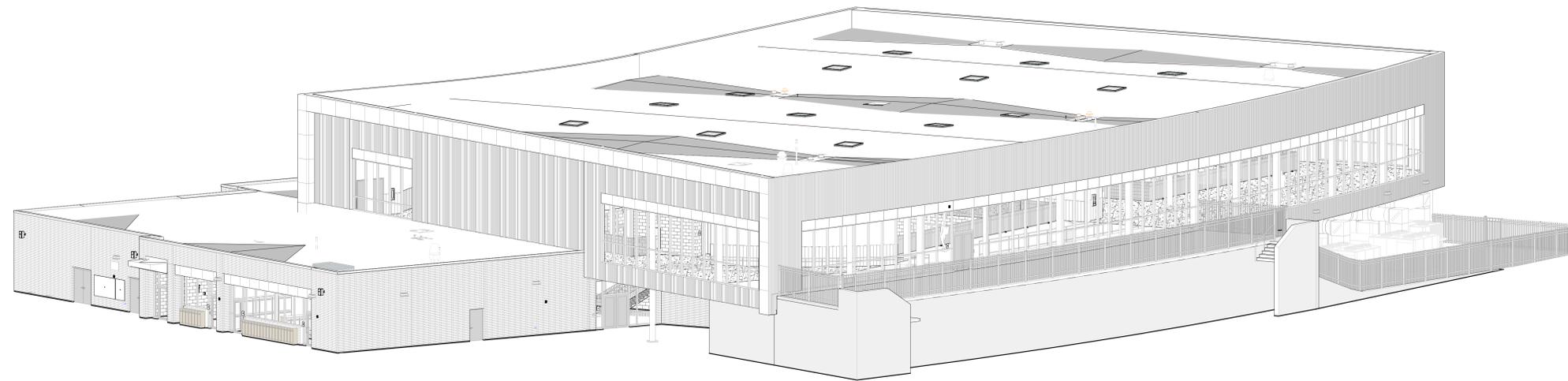
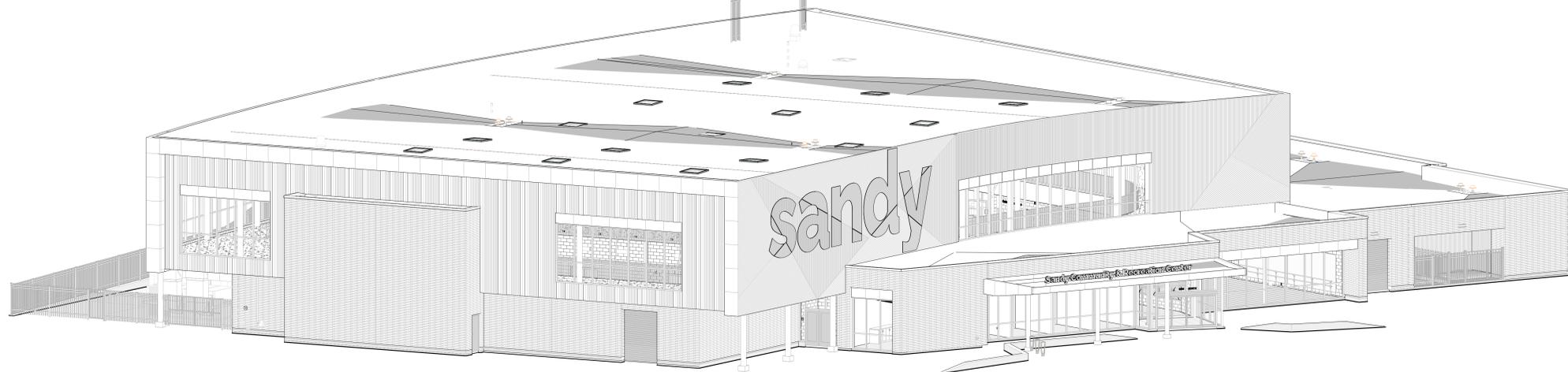
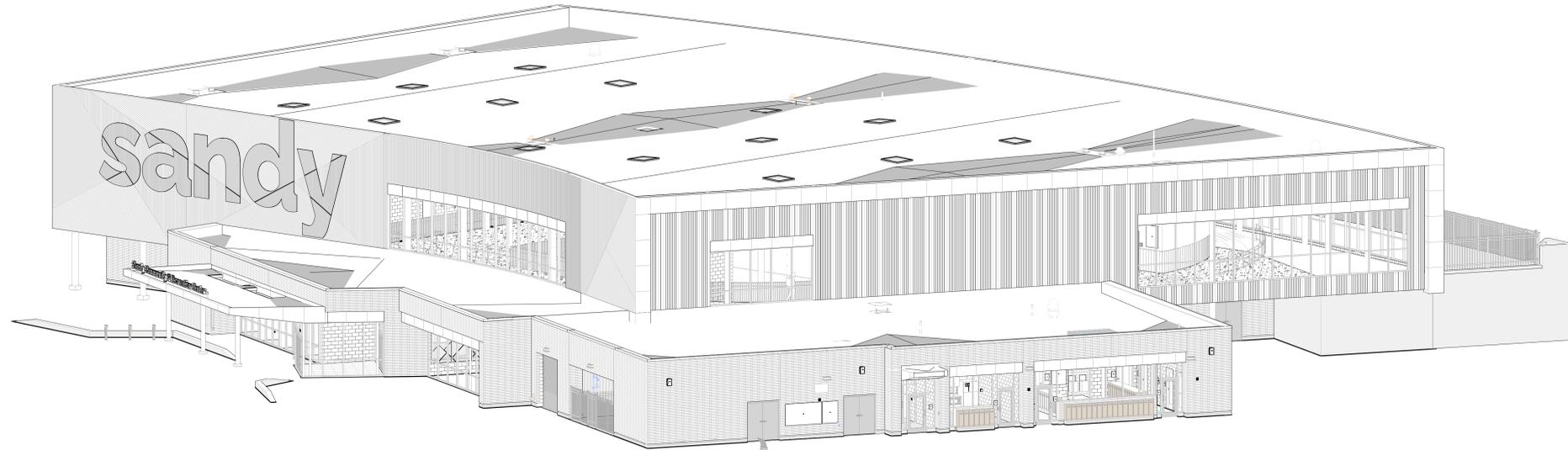


A6 PARTIAL ELEVATION - WEST 1

SCALE: 3/32" = 1'-0"



REV	DATE	DESCRIPTION
1	08.07.2025	ADD 001
2	08.14.2025	ADD 002



3D VIEW GENERAL NOTES

1. THREE DIMENSIONAL VIEWS SHOWN IN THIS SET OF DRAWINGS ARE PROVIDED TO HELP EXPLAIN THE OVERALL CONCEPT AND INTENT OF THE BUILDING DESIGN AND ARE TO BE USED FOR REFERENCE ONLY.
2. BIDDERS ARE NOT TO USE THESE VIEWS TO DETERMINE COMPONENT TYPES, QUANTITIES, ASSEMBLY METHODS OR ANY OTHER INFORMATION WHICH RELATE TO CONSTRUCTION COST.



REV	DATE	DESCRIPTION
-----	------	-------------



**6MM PAVIA
CLEAR**

Do not
glue
1/2
by
for glass installation only, the spacer comes in many configurations.
In center of
an end is
http://www.
This sample is
at units.

SOLARBAN® 65 (2) Clear + Clear Glass Insulating Glass Unit 5-76 15225

U-T	Exterior Reflectance		Interior Reflectance		U-Value Insulated (Relative)		SHGC	CPI
	single-pane	double-pane	single-pane	double-pane	air	Argon		
0.72	14%	14%	15%	15%	0.29	0.34	0.33	98

Visit www.glazing.com for performance data with a range of tint and reflective glasses by VPP.

Exterior
Zetro
1-855-867-4457 (1-855-VTRD-425)

Acid Etched Glazing:
Solarban 65
Insulating Glass Unit
Clear + Acid Etched

Clear Glazing:
Solarban 65
Insulating Glass Unit
Clear + Clear



ACM Panel Color A:
Alpolic - Face Fastened
Color - BSX Metallic Silver



Profile Panel Color A:
Morin - Concealed Fastener
Integrity S-16 Panel
Color - Silversmith



ACM Panel Color B:
Alpolic - Face Fastened
Color - MZG Mica Grey



Profile Panel Color A:
Morin - Concealed Fastener
Pulse P-1 + P-9 Panels
Color - Medium Gray (Metallic)



Brick:
Interstate Brick
Color: Ironstone
Texture: Smooth
Size: Norman (4 X 2 1/4 X 16)



Alta Canyon Rec Center

Neighborhood Meeting - July 30, 2025, 7:00pm

1. How will construction logistics work for 9510 S.
2. Concerned about impact of ingress/egress of road that comes to a stop sign. On street parking huge concern with swim meets, general use, etc.
3. Left from 9510 S. onto Highland is impossible
4. Wants to understand why an entrance onto Highland is not being used.
5. You can't turn left at Highland which is why you have to turn on the local road
6. Adding the extra exit is more dangerous.
7. If extra entrance required, make it an emergency access only.
8. Proposed building is much larger but parking has not been increased. Local streets turn into parking lots. Empty lot should be parking. What are plans for the empty lot?
9. Others do not want a parking lot on the empty lot.
10. Empty lot is a nuisance with weeds and gophers, should be turned into a park
11. Need a buffer to keep neighborhood safe
12. Is it possible to restrict the access to the additional entrance with a gate or sign?
13. Wonders how the aesthetics will look. Wants to know if there is anything similar in the area that they could go look at.
14. Limiting a left hand turn will cause problems for 9510 S.
15. Will new tennis courts be put in since the old ones are being removed
16. Are there plans for signage that is advertising?
17. Worried about the traffic flowing to a single stop sign
18. Swim meet traffic is really bad and ends up all along Candle Tree
19. At the public hearing no one wanted this project, and it is wasting money.
20. Thanked the city for the work and is excited for the renovation.

Name (orig Email	Join time	Leave time	Duration (r	Guest	In waiting room
Sarah Strin; mwilcox@s	#####	#####	68	No	No
Jetta	#####	#####	55	Yes	No
James Sorensen	#####	#####	23	Yes	No
Kathleen King	#####	#####	64	Yes	No
Rich and Laurie	#####	#####	62	Yes	No
Dan Medina; dmedina@:	#####	#####	61	No	No
Doug Whee mwilcox@s	#####	#####	61	No	No
Joshua Weiss	#####	#####	58	Yes	No
Nathan Leavitt VCBO	#####	#####	57	Yes	No
Meghan's iPhone	#####	#####	55	Yes	No
Russell	#####	#####	56	Yes	No
1.8E+10	#####	#####	2	Yes	No
Yiorgos Sergy	#####	#####	56	Yes	No
1.8E+10	#####	#####	8	Yes	No
1.95E+10	#####	#####	8	Yes	No
1.3E+10	#####	#####	2	Yes	No
Chris Zeigler	#####	#####	54	Yes	No
1.8E+10	#####	#####	53	Yes	No
Lois phone	#####	#####	20	Yes	No
Chuck Heiser	#####	#####	52	Yes	No
Michael Finnerty	#####	#####	50	Yes	No
Rand L.	#####	#####	48	Yes	No
Eddie	#####	#####	47	Yes	No
Mark	#####	#####	47	Yes	No
James Sorensen	#####	#####	42	Yes	No
Lois phone	#####	#####	18	Yes	No

Doug Wheelwright

From: britsrgr8@comcast.net
Sent: Wednesday, July 30, 2025 8:24 PM
To: Doug Wheelwright
Subject: [EXTERNAL] Alta Canyon Development

CAUTION: Do not click links, open attachments, or reply, unless you recognize the sender's email address!

Hi Doug,

I joined this evening's zoom call via my mobile phone, since I was unable to connect via zoom. Consequently I was able to hear the whole call, but unable to join the conversation. I live on Candle Spruce Cove, with my home backing on to the small baseball diamond. We are the original homeowners of this house, so have been here over 30 years. The Recreation Center certainly needs an upgrade. My input would have been:

1. Why did they decide to close the recreation center prior to the regular season ending?
2. The only time I use the center is for the dipping dogs, and now there isn't going to be one this year 😞
3. The children playing on the grass between the UTA parking lot and the tennis courts are not random children, but children attending the child care program at Alta Canyon.
4. While the swim meets caused congestion on 9510 Street closing access to parking on the street during that time is just going to push the parking further into the neighborhood. Maybe the UTA parking lot would be a better option.
5. Putting a sign outside my house at the SE corner saying "No Alta Canyon Parking" does not stop folks from parking there!
6. If a "No U Turn" sign was posted for those turning right (south) out of Swig may help avoid a potential accident, not to mention those who U turn at the west end of 9510 South.
7. No one addressed the tax issue and higher cost of entrance to Alta Canyon once it is finished. There it's a lot of "noise" about this being unfair to the other Sandy residents. Why not add the additional property tax to all Sandy residents?
8. Lastly, if there are no plans for the scrub land to the east of Alta Canyon, maybe Sandy City could control the weed/seed problem.

Thanks for your time (I don't envy you!)

Sharon Howard

Doug Wheelwright

From: Rand Layton <randlayton@gmail.com>
Sent: Wednesday, July 30, 2025 7:58 PM
To: Doug Wheelwright
Subject: [EXTERNAL] Re: Notice of Neighborhood Meeting - very dissapointed

CAUTION: Do not click links, open attachments, or reply, unless you recognize the sender's email address!

Thank you again for the listening ear and helpful information. This public participation is greatly appreciated and thank you for your service as a public servant.

Please feel free to reach out with any questions.

/Rand and Emily Layton
2065 E 9510 S, Sandy, UT 84092

On Wed, Jul 30, 2025 at 7:10 PM Rand Layton <randlayton@gmail.com> wrote:
UPDATE: We have all been granted access. Late, after the meeting started, but we are now on the meeting.

On Wed, Jul 30, 2025 at 7:07 PM Rand Layton <randlayton@gmail.com> wrote:
Mr. Wheelwright,

I'm a resident that lives within 500ft of the proposed recreation project. I, along with several neighbors, are unable to join the Zoom link.

This is incredibly disappointing and, frankly, embarrassing that our city sent out a notice to join, and now we are unable to participate in a meaningful way.

Please respond with why this Zoom link was invalid and what the city will do to allow us to appropriately voice our concerns and input.

Awaiting your response in a timely manner.

Regards,

Rand Layton
949-910-3715

Doug Wheelwright

From: Rand Layton <randlayton@gmail.com>
Sent: Wednesday, July 30, 2025 7:07 PM
To: Doug Wheelwright
Subject: [EXTERNAL] Notice of Neighborhood Meeting - very dissapointed

CAUTION: Do not click links, open attachments, or reply, unless you recognize the sender's email address!

Mr. Wheelwright,

I'm a resident that lives within 500ft of the proposed recreation project. I, along with several neighbors, are unable to join the Zoom link.

This is incredibly disappointing and, frankly, embarrassing that our city sent out a notice to join, and now we are unable to participate in a meaningful way.

Please respond with why this Zoom link was invalid and what the city will do to allow us to appropriately voice our concerns and input.

Awaiting your response in a timely manner.

Regards,

Rand Layton
949-910-3715

Doug Wheelwright

From: Kathleen King <kkpkpr@gmail.com>
Sent: Wednesday, July 30, 2025 4:31 PM
To: Doug Wheelwright
Subject: [EXTERNAL] Meeting tonight

CAUTION: Do not click links, open attachments, or reply, unless you recognize the sender's email address!

Good afternoon Mr. Wheelwright:

Looking forward to the meeting tonight on zoom.

My questions are:

1. Will the parking lot remain where it is? What will the space that borders Candle Tree Lane look like? Given these are neighborhood streets, I am thinking of traffic on Candle Tree.
2. As for an exercise facility, will there be a new and expanded one?

Very much looking forward to a beautiful new space.

Sincerely, Kathleen King and John Turner

--
Kathleen King
Cell: 801.243.1707

John Turner
Cell: 801.699.3598



MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

RYAN KUMP, P.E.
PUBLIC WORKS DIRECTOR

To: Doug Wheelwright – Development Services Manager
From: Ivan Hooper, P.E. – Transportation Engineer
cc: Britney Ward, P.E. – Assistant Public Works Director/City Engineer
Date: August 27, 2025
Re: Alta Canyon Sports Center Traffic and Parking Analysis - **DRAFT**

Over the next year or so, the Alta Canyon Sports Center building will be torn down and reconstructed with a new building that will have about twice the square footage of the existing building. This has raised some concerns regarding the traffic to and from the recreation center and the associated parking demands. This memo summarizes a traffic and parking analysis performed for the new recreation center.

Traffic Analysis

Traffic counts were performed at the rec center driveways from 7:00 to 9:00 am on Wednesday, August 6, 2025 and from 4:00 to 6:00 pm on Tuesday, August 5, 2025. The AM peak hour was from 7:30 to 8:30 am, while the PM peak hour was from 5:00 to 6:00 pm. The table below shows the number of entering, exiting, and total vehicles for each peak hour.

Existing Vehicle Trip Generation

Time Period	Entering	Exiting	Total
AM Peak Hour	96	44	140
PM Peak Hour	64	56	120

Traffic observations performed during the count period showed minimal vehicle delay at the rec center driveways and minimal delay at the Highland Drive & 9510 South two-way stop-controlled intersection.

Future vehicle trip generation for the new rec center was estimated using fitted curve equation from the Recreational Community Center (Land Use Code 495) land use in the *ITE Trip Generation Manual, 11th Edition*. The pool area was included as part of the building square footage to better match the existing trip generation data obtained from the driveway counts.



The existing square footage was assumed to be 57,500 and the future square footage was assumed to be 82,250.

The resulting future trip generation is shown in the following table, which shows an increase of 26 AM peak hour trips and 35 PM peak hours trips.

Future Vehicle Trip Generation

Time Period	Entering	Exiting	Total
AM Peak Hour	114	52	166
PM Peak Hour	83	72	155

These modest volume increases are not expected to significantly impact traffic operations at the intersections near the rec center.

At the neighborhood meeting held for the rec center on July 30, 2025, there were several comments about the difficulty in making a westbound left turn at the Highland Drive & 9510 South intersection. Unfortunately, there is not much that can be done to mitigate that. The 9510 South intersection is too close to 9400 South for a traffic signal. As an arterial road, the minimum distance between traffic signals is a quarter mile (1,320 feet). The distance to the 9510 South intersection is half that at 660 feet. Traffic volumes on Highland Drive are expected to increase substantially as the road is extended farther to the south, which will make preserving the existing signal spacing all the more important.

Parking Analysis

A parking analysis was performed to estimate existing parking demand and how that demand could increase with the new building. Three parking scenarios were analyzed:

1. Non-Summer Weekday
2. Summer Weekday
3. Summer Saturday

The theoretical existing parking supply is 161 spaces, 131 in front of the rec center and 30 at the pavilion just west of the rec center. However, eight of those spaces are essentially unable to be utilized, four due to rec center buses that are nearly always parked in them and four due to a glass recycling bin, so the functional capacity is 153 parking spaces. The new building will have 148 parking spaces. Additionally, the new rec center won't use the buses, and the glass recycling bin will be moved to another location, so the functional capacity of the new building will be the full 148 spaces, resulting in a net decrease of five parking spaces.

Using data from the front desk admittance transaction system and consultation with Parks Department staff familiar with utilization of the rec center, including the review of video footage of the parking lot during busy times of year, estimates of existing parking demand by hour were prepared for the three scenarios. Charts showing the estimated number of vehicles entering



and exiting the rec center each hour along with the resulting parking demand can be found at the end of this memo.

Future parking demand for the new rec center was estimated using fitted curve equation from the Recreational Community Center (Land Use Code 495) land use in the *ITE Parking Generation Manual, 6th Edition*. As with the trip generation analysis, the pool area was included as part of the building square footage. The analysis resulted in an estimated parking demand increase of 36 vehicles during peak conditions. Because the growth in parking demand is due to the building and not the pool, the increase was applied equally to all three scenarios. The table below shows the estimated existing and future peak parking demand for each scenario.

Peak Parking Demand

Time Period	Existing	Future
Non-Summer Weekday	62	98
Summer Weekday	96	132
Summer Saturday	130	166

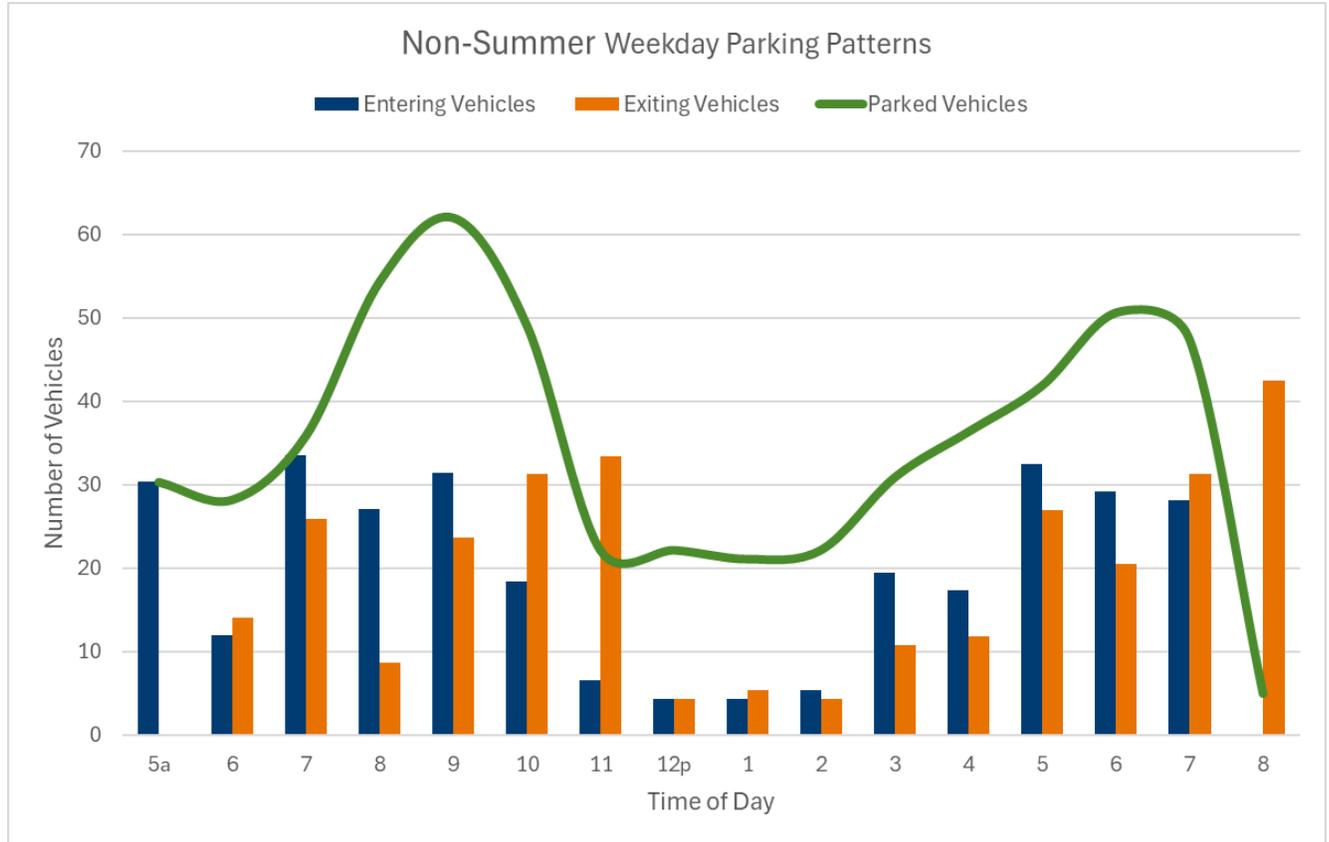
The future peak parking demand for the non-summer weekday and the summer weekday scenarios is below the future on-site parking supply of 148 spaces. The future peak parking demand for the summer Saturday scenario exceeds the parking supply by 18 vehicles. That may be alarming, but this is a conservative analysis that represents a worst-case scenario. If that is indeed what happens, it is important to realize how infrequently that would happen. The admission data shows that the summer Saturday peak occur in June and July, so at most there are only nine "summer Saturdays" in a year. Of those Saturdays, the potential to exceed parking supply would only happen for an hour or two during the day. Thus, demand could exceed supply on only about two percent of the days and for far less than one percent of the center's annual operating hours. When parking demand exceeds supply, it is anticipated that overflow vehicles will park at the UTA park-and-ride lot across the street from the rec center.

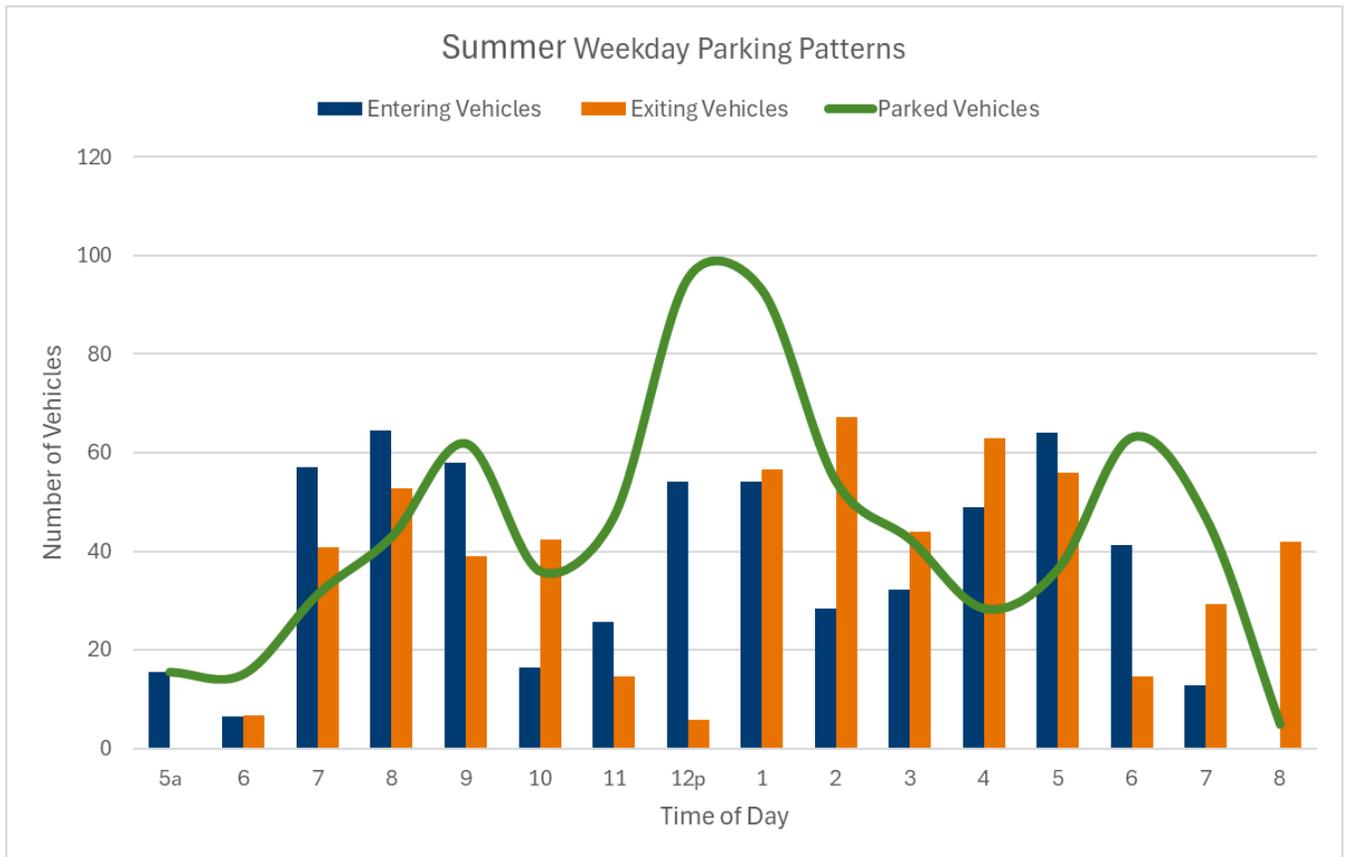
Special Events

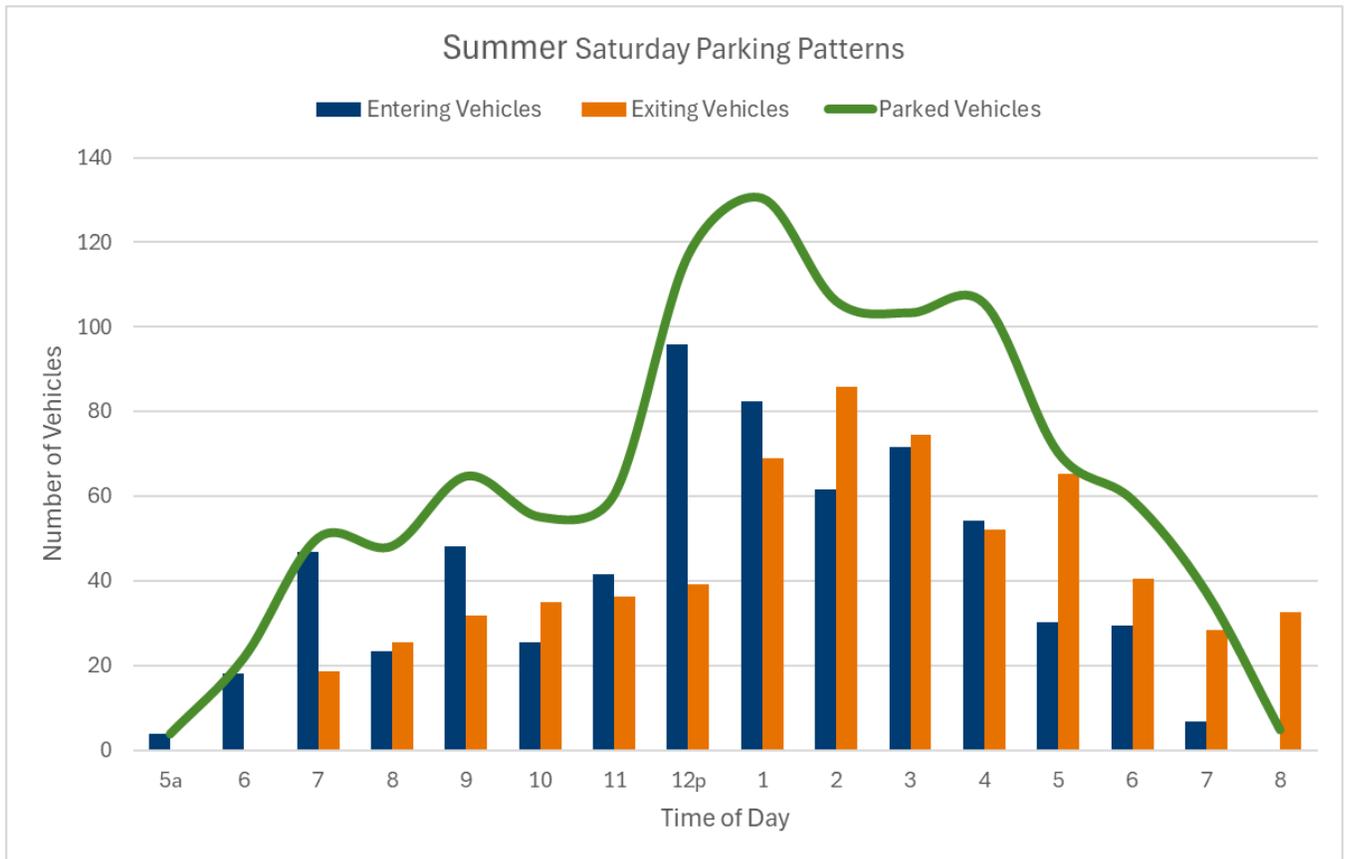
Three to four times a year, Alta Canyon Sports Center will host swim meets. These special events generate more traffic than any of the peak summer days. As a special event, it is not reasonable to expect all the required parking to be provided on site. The need for additional parking during these events has generally been met by the UTA park-and-ride lot on the north side of 9510 South. This has worked well since the park-and-ride lot is most heavily utilized during the winter months while the swim meets are held during the summer months. Considering the expansion of the rec center building, overflow parking may be needed a little more often. City staff has contacted UTA about a shared parking agreement, which they are amenable to. It is expected that the agreement will be finalized before the new rec center opens. With the formalization of shared parking, it is recommended that enhanced pedestrian connectivity options between the park-and-ride lot be evaluated and, if feasible, implemented.



Estimated Existing Parking Pattern Charts







Memo

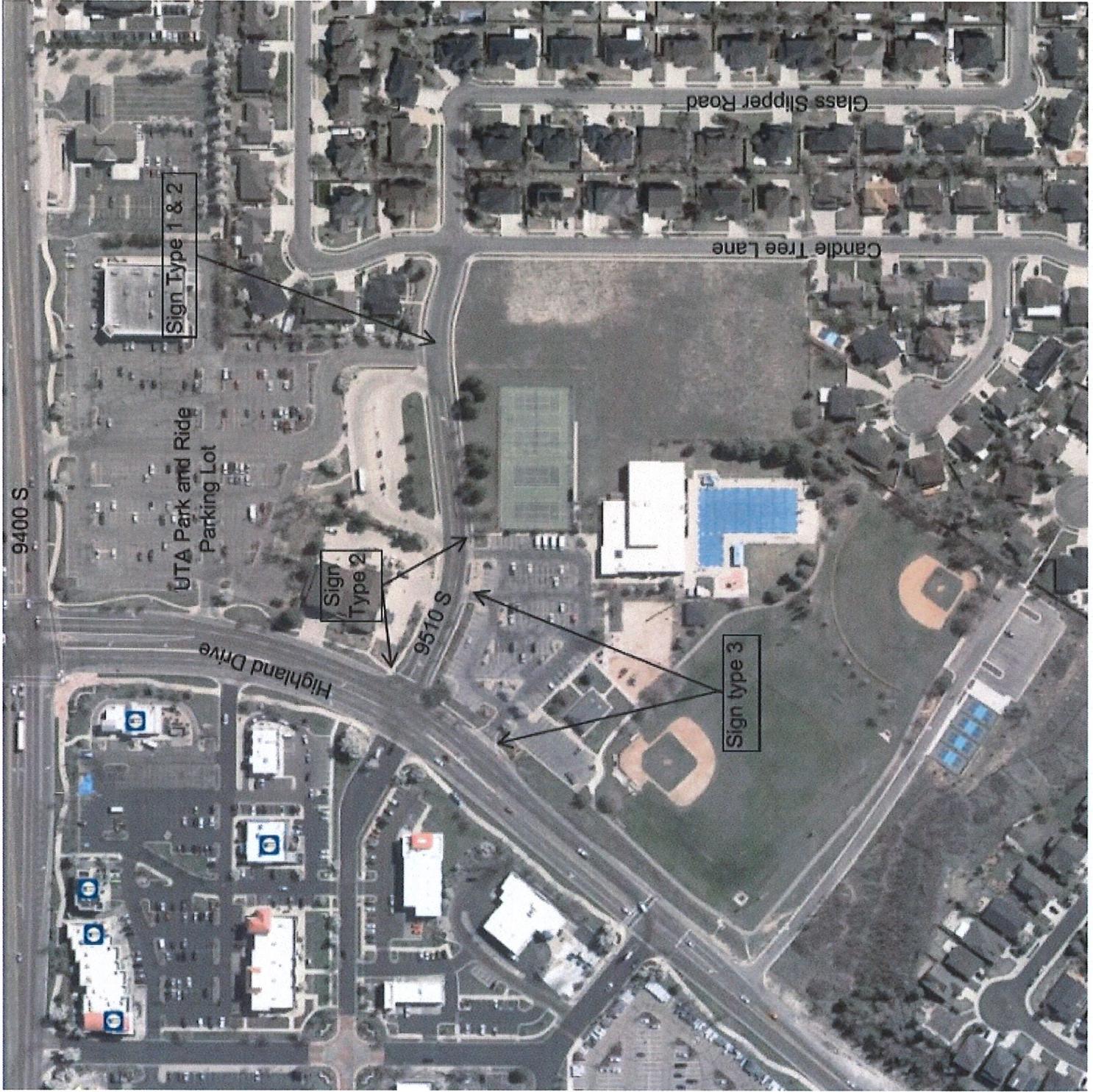
To: Doug Wheelwright, Development Services Manager
Dan Medina
From: Dan Medina, Parks & Recreation Director
cc: Martin Jensen, Deputy CAO
Lois Stillion, Alta Canyon Sports Center Division Manager
Date: August 22, 2025
Re: Alta Canyon Sports Center Event Parking Plan

This memo is to document our parking procedure for events such as swimming meets or triathlons. This is in response to the neighborhood meeting which was held on July 30, 2025, regarding the reconstruction of the recreation center.

In a typical year we will have four events which require overflow parking. During these events we will have in place an agreement with UTA to use their parking lot as we have had in the past for triathlons. Martin Jensen, Deputy CAO, has been in contact with UTA and they have indicated they are willing to continue this relationship for additional events.

Before an event which requires overflow parking we will perform the following tasks:

1. Secure an agreement with UTA to use their parking lot as an overflow parking lot for the day of the event.
2. Three days before the event we will place signs at the center entrances to let patrons know ahead of time there will be an event on X date and time. This will also include a map that shows where the overflow vehicle parking will be for the event.
3. One hour before the event we will place signs out directing patrons to the overflow vehicle parking lot. See attached example.
4. During the event we will use staff to assist in parking stall locations as necessary to the event.
5. Once event is completed, we will remove all notifications and signs of the event parking changes.





Staff Report

File #: 25-266, **Version:** 1

Date: 9/4/2025

Minutes from August 7th Meeting



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Minutes

Planning Commission

Dave Bromley
Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
LaNiece Davenport
Craig Kitterman (Alternate)
Jennifer George (Alternate)

Thursday, August 7, 2025

6:15 PM

Council Chambers and Online

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

https://us02web.zoom.us/webinar/register/WN_W4zVNH3BSjuQRHiwuCDaQ

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/89153255803>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866
(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/89153255803>

Webinar ID: 867 2628 7957

Passcode: 494047

4:00 PM FIELD TRIP

1. [25-243](#) Map

Attachments: [08072025.pdf](#)

6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

- Present** 7 - Commissioner Cameron Duncan
 Commissioner David Hart
 Commissioner Daniel Schoenfeld
 Commissioner Steven Wrigley
 Commissioner Craig Kitterman
 Commissioner Jennifer George
 Commissioner LaNiece Davenport
- Absent** 2 - Commissioner Dave Bromley
 Commissioner Ron Mortimer

Public Hearings

- 2. [ANX1002202](#) Kershaw Annexation (R-1-8 Zone)
[4-006863\(PC](#) Homes along 1350 E. and 1380/1400 E. south of 9400 S.
[\]](#) [Community #17]

- Attachments:** [Vicinity Map](#)
[Staff Report](#)
[#25-33C Kershaw Annexation Resolution](#)
[Kershaw Annexation Description](#)
[Annexation Plat](#)
[Public Notice signs](#)

Brian McCuiston presented this item to the Planning Commission.

Janice Kershaw, 9512 S 1380 E, is ready to be annexed into Sandy City.

Daniel Schoenfeld opened this item for public comment.

Daniel Schoenfeld closed this item to public comment.

A motion was made by David Hart, seconded by Cameron Duncan, that the Planning Commission send a positive recommendation to the City Council that the Kershaw Annexation be approved and zoned R-1-8 based on the four findings detailed in the staff report. The motion carried by the following roll call vote:

- Yes:** 7 - Cameron Duncan
 David Hart
 Daniel Schoenfeld
 Steven Wrigley
 Craig Kitterman
 Jennifer George
 LaNiece Davenport

Absent: 2 - Dave Bromley
Ron Mortimer

Nonvoting: 0

- 3. [ANX0625202](#) Jameson Point Annexation (R-1-15 Zone)
[5-006986\(PC](#) 9767 - 9782 S. Jameson Point Cove; 3320 E. Old Wasatch Blvd.;
[\)](#) 3332-3342 E. Little Cottonwood Road and 9820 S. Wasatch Blvd. (two
parcels)
[Community #30]

- Attachments:** [Vicinity Map](#)
[Staff Report](#)
[Jameson Point Annexation Resolution](#)
[Jameson Point Annexation Description](#)
[Annexation Plat](#)
[Public Notice signs](#)

Brian McCuiston presented this item to the Planning Commission.

Daniel Schoenfeld opened this item for public comment.

Daniel Schoenfeld closed this item to public comment.

A motion was made by Cameron Duncan, seconded by Craig Kitterman, that the Planning Commission send a positive recommendation to the City Council that the Jameson Point Annexation be approved and zoned R-1-15 based on the four findings detailed in the staff report. The motion carried by the following roll call vote:

- Yes:** 7 - Cameron Duncan
David Hart
Daniel Schoenfeld
Steven Wrigley
Craig Kitterman
Jennifer George
LaNiece Davenport

Absent: 2 - Dave Bromley
Ron Mortimer

Nonvoting: 0

Public Meeting Items

4. [SUB0317202](#) Firefly Subdivision (Subdivision Review)
[5-006927](#) 517 E 8680 S
[Community 4, Historic Sandy]

Attachments: [Staff Report](#)

[Exhibit A](#)

[Exhibit B](#)

Thomas Irvin introduced this item to the Planning Commission.

Jacob Ballstead with Garbett Homes, 273 N E Capital Street, Salt Lake City, presented this item to the Planning Commission.

David Hart asked what the average lot width is.

Jacob Ballstead said the average width is 55 feet.

Daniel Schoenfeld opened this item for public comment.

Richard Vanderheyde, 514 E 8575 S, is concerned that the height of the new homes would block the sun from his backyard.

Scott Cowdell, 8660 S, is in favor of the development and said most of the property owners will stay in their homes.

Mark Seguin, 484 E 8575 S, has a concern with the height of the new homes.

Zack Burgard, 478 E 8575 S, has concerns with height restrictions of the new homes and loss of privacy.

Marvin Kunz, 392 E Lindell Avenue, is in favor of the subdivision.

Mike Milligan, 448 E 8575 S, shared concerns about losing the nature effect from the gully property, the height of the new homes and increased traffic.

Zemeng Li, 8638 S Golden Rain Circle, shared his concern about traffic safety from the alley across from the park.

Phil Chaffin, 527 E 8680 S, wanted to know why he's being asked at the last minute to be a part of the subdivision.

Doug Shelby, executor of Shelby estate, is in support of the development.

Ann Hansen, trustee over the Hansen Estate, is in support of the development.

Susan Vanderheyde, 514 E 8575 S, has concerns about the value of living from the gully.

Steven Crapo, 399 E 8680 S, wants to know why the map from the notice shows part of his property as included when it is not part of the subdivision.

Zac Crawford, 504 E 8575 S, shared concerns about the lot size density, traffic safety and open space.

Daniel Schoenfeld closed this item to public comment.

Thomas Irvin said the map showing the jog out is a previous iteration and Mr. Crapo's property is not included in the development. Thomas also finished presenting this item to the Planning Commission which addressed several of the residents concerns.

LaNiece Davenport asked if there's a plan to replace the loss of trees.

Jacob Ballstead replied that the trees will go away.

Cameron Duncan asked if the drainage water will remain on site during construction.

Jacob Ballstead replied that all of the water will stay on their property and not flow to the north.

Brittney Ward, Sandy City Engineer, said that Sandy City code requires drainage to stay on their own property.

Craig Kitterman asked how the north backyard drainage will be handled.

Brittney Ward said the existing lots to the north won't have any construction impediments.

Craig Kitterman asked if there's going to be a swell along the north property line to keep water from going over to the neighbors property.

Thomas Irvin said no, it will just have to be properly drained from north to south.

Brittney Ward said that swells are used for larger projects and not necessary for single home developments.

David Hart clarified the process for the small piece of property adjacent to the Chaffin property and asked the applicant if he's okay with the findings and conditions in the staff report.

Jacob Ballstead said yes.

A motion was made by David Hart, seconded by LaNiece Davenport, that the Planning Commission determine that preliminary subdivision review is substantially complete for the Firefly Subdivision located at approximately 517 E 8680 S based on the five findings and subject to the eight conditions detailed in the staff report with an amendment to condition 1a to correct the address to 8620. The motion carried by the following roll call vote:

Yes: 7 - Cameron Duncan
David Hart
Daniel Schoenfeld
Steven Wrigley
Craig Kitterman
Jennifer George
LaNiece Davenport

Absent: 2 - Dave Bromley
Ron Mortimer

Nonvoting: 0

5. [SUB0414202](#) Sandy Jordan Credit Union Subdivision
[5-006950](#) 9260 S. 300 E.
[Community #4, Historic Sandy]

Attachments: [Staff report](#)
[Exhibit A](#)

Doug Wheelwright introduced this item to the Planning Commission and stated that the purpose of the plat is to combine two land parcels into one property and to dedicate some street widening land to the City.

Nate Reiner with CIR Engineering, 10718 S Beckstead Lane, South Jordan, presented this item to the Planning Commission.

Craig Kitterman asked if the street dedication is for a turn in lane.

Doug Wheelwright said it's widening it to the standard street width and recommended approval of the one lot subdivision plat.

Mike Wilcox said it'll be consistent with the street width in front of the middle school.

Steve Wrigley asked if there's going to be a wall or fence to stop the sound from going over to the residents.

Nate Reiner said there are plans for a masonry screening wall along the entire north property line.

Daniel Schoenfeld opened this item for public comment.

Daniel Schoenfeld closed this item to public comment.

A motion was made by Jennifer George, seconded by David Hart, that the Planning Commission determine that preliminary subdivision review is complete for the proposed Sandy Jordan Credit Union Subdivision, for the property located at 9260 S 300 E, based on the three findings and subject to the three conditions detailed in the staff report. The motion carried by the following roll call vote:

Yes: 7 - Cameron Duncan
 David Hart
 Daniel Schoenfeld
 Steven Wrigley
 Craig Kitterman
 Jennifer George
 LaNiece Davenport

Absent: 2 - Dave Bromley
 Ron Mortimer

Nonvoting: 0

- 6. [SPR0414202](#) Jordan Credit Union Branch Office
[5-006949](#) 9260 S. 300 E. St.
 [Community # 4, Historic Sandy]

Attachments: [Staff Report](#)
[Exhibit A](#)
[Exhibit B](#)
[Exhibit C](#)

Doug Wheelwright reviewed the proposed new site plan. He stated that the goal of the site plan redevelopment is to move the existing drive-up teller functioning from being attached to the existing building. Reconstruct the existing building's architectural design, materials and colors, and to eliminate the existing driveway on the north side of the building and revise the landscaping and the parking lot layout.

A motion was made by Jennifer George, seconded by Cameron Duncan, that the Planning Commission determine preliminary site plan review is complete for the proposed Jordan Credit Union Branch Office located at 9260 S 300 E based on the four findings and subject to the eight conditions detailed in the staff report. The motion carried by the following roll call vote:

Yes: 7 - Cameron Duncan
 David Hart
 Daniel Schoenfeld
 Steven Wrigley
 Craig Kitterman
 Jennifer George
 LaNiece Davenport

Absent: 2 - Dave Bromley
 Ron Mortimer

Nonvoting: 0

- 7. [CUP0501202](#) Jordan Credit Union Conditional Use Permit
[5-006961](#) 9260 S. 300 E. St.
 [Community # 4, Historic Sandy]

A motion was made by Jennifer George, seconded by Cameron Duncan, that the Planning Commission approve a conditional use permit for the drive-up window (remote teller building and its related vehicle queuing layout), based on the two findings and subject to the two conditions detailed in the staff report. The motion carried by the following roll call vote:

Yes: 7 - Cameron Duncan
 David Hart
 Daniel Schoenfeld
 Steven Wrigley
 Craig Kitterman
 Jennifer George
 LaNiece Davenport

Absent: 2 - Dave Bromley
 Ron Mortimer

Nonvoting: 0

Administrative Business

- 1. Minutes

An all in favor motion was made by David Hart to approve the meeting minutes from 07.17.2025

[25-251](#) Minutes from July 17, 2025 Meeting

Attachments: [07.17.2025 PC Minutes \(DRAFT\)](#)

- 2. Sandy City Development Report

[25-250](#) Development Report

Attachments: [08.01.2025 DEV REPORT](#)

- 3. Director's Report

Adjournment

An all in favor motion was made by David Hart to adjourn.

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #: 25-264, **Version:** 1

Date: 9/4/2025

Development Report

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Pending										
Bicentennial Park Locascapes Conversion	552 E 8680 S	SPR01242024-006702	03/12/2024			OS	Ben Rodes	2088607297	sstringham	Pending
Storm Mountain Park Locascapes Conversio	11426 S 1000 E	SPR01242024-006703	03/08/2024			OS	Ben Rodes	2088607297	sstringham	Pending
Sandy Shulsen Mixed Use	10116 S MONROE ST, 84070	SPR02082023-006482	12/14/2023			CBD-A&C	Howard Cooke	801-664-8132	mwilcox	Pending
EOS Fitness Sandy	10291 S 1300 E	SPR02162024-006713			2.99	CC	Art Babcock		dwheelwright	Open
Compass Apartments	179 West 9270 South	SPR02212024-006719	09/27/2024			RC	Cole Peterson	8014484486	mwilcox	Pending
The Orchards at Dimple Dell	10216 S DIMPLE DELL RD	SPR03262024-006738	05/01/2024			R-1-10	Brett Lovell	8017064693	tirvin	Pending
Classic Fun Center	9151 S MONROE ST	SPR06142024-006783			5.12	RC	David Henderson		dwheelwright	Pending
Silver Sage Business Park II	10895 S 700 E	SPR07232025-007003			0.56	SD(PO Silv	Kyle Spencer		dwheelwright	Open
Middle Mile Infrastructure	10935 S 700 E	SPR08072025-007014			0.57	SD(PO Silv	Alec Geist		dwheelwright	Fees Paid
MACU Event Cenenter/ SLCO	9575 S STATE ST	SPR09062024-006841			5.57	CBD	Jordan Gray	3582145760	dwheelwright	Pending
MedVet Urgent Care - Modified Site Plan Rev	10291 S STATE ST	SPR10022024-006862				CBD	Michelle Martin		sstringham	Fees Due
Wasatch Pain Solutions	1420 E SEGO LILY DR	SPR10072024-006865	01/28/2025		0.66	CC	Robert Howell		dwheelwright	Pending
Meadows at Cy Road Site Plan	8777 S 700 E	SPR10162024-006872	02/25/2025		4.32	PUD(10)	Brad Reynolds		tirvin	Pending
Smith's 153 Fuel Center	10305 S 1300 E	SPR11112024-006885	07/28/2025		10.38	CC	AWA - Jalaine Gibson	8018970849	dwheelwright	Pending
Intermountain South Sandy Clinic Expansion	955 E 11400 S	SPR11132024-006886			2.40	PO	Gerrit Timmerman	8015586015	dwheelwright	Pending
Under Review										
SWIG - State Street	10101 S STATE ST	SPR01062025-006903	06/25/2025		0.67	CBD	Pranavi Koka - Bowma		mwilcox	Final Review
WM Fuel #5235 Sandy, UT	9081 S QUARRY BEND DR	SPR03112022-006282	01/03/2023			SD(X)	Ryan Alvarez		dwheelwright	Under Review
Jordan Credit Union	9260 S 300 E	SPR04142025-006949			0.38	R-1-8	Nate Reiner		dwheelwright	Preliminary Review
Rasht Development Project	8475 S STATE ST	SPR04242024-006758	03/21/2025		0.98	RC	Ramin Nasrabadi		dwheelwright	Final Review
Thackeray Towns Site Plan	10760 S 700 E	SPR06242021-006083	06/24/2021		4.00	PUD(10)	John Sawyer		tirvin	Under Review
Alta Canyon Sports Center	9565 S HIGHLAND DR	SPR06302025-006990			1.51	OS	Dan Medina		dwheelwright	Preliminary Review
Centennial Village	235 W SEGO LILY DR	SPR12282021-006237	07/28/2022		0.49	CBD-A&C	Dan Simons	(801) 230-1339	mwilcox	Under Review
Resubmit										
Architectural Components HQ	9352 S 670 W	SPR03132025-006926			0.69	ID	Josh Naylor	8015577523	tirvin	Resubmit
Gutierrez Multifamily Site Plan	886 E 7800 S	SPR04072025-006948			0.47	RM(10)	Elisha Deschenie		tirvin	Resubmit
Mark Ray Office Building	7865 South 700 East	SPR04172025-006955				BC	Robert Money	8015731029	dwheelwright	Resubmit
Quick Quack Car Wash Conversion	10640 S 700 E	SPR04212025-006957			1.10	CN	Polo Padilla		dwheelwright	Resubmit
Sandy Station Townhomes	8925 S HARRISON ST	SPR05132025-006965			1.36	RC	David Kelly	3852835285	mwilcox	Resubmit
Quick Quack Car Wash	7708-7720 S 700 E	SPR05142024-006769				CN	Hailey Peterson		tirvin	Resubmit
Sandy Towns Site Plan	1270 E 8600 S	SPR06052025-006976			0.43	CN	Riley Streit		tirvin	Resubmit
iONNA Sandy UT	151 W 10600 S	SPR07012025-006992			0.43	AM	Jess Cain		dwheelwright	Resubmit
Creek Rd Office Condos - 5th AMD	7410 CREEK RD 301 84093	SPR07072021-006096	09/23/2021			PO	Marcus Green		tirvin	Resubmit
Sandy City Public Utilities Vac Truck Water C	9140 S 150 E	SPR07252024-006802			6.23	ID	Tyler Shelley	8019151082	dwheelwright	Resubmit
Kuwahara Wholesale	8575 STATE ST, 84070	SPR10162023-006639				SD(FM-HS	Alex Kuwahara	8016916592	tirvin	Resubmit
Red Sky Apartments	10145 S CENTENNIAL PKWY	SPR12062022-006452	05/08/2023		1.45	CBD	Corey Solum		mwilcox	Resubmit
On Hold										
Band Fire Warehouse	9618 S 500 W	SPR01272023-006477			0.51	ID	Jesse Reynolds		dwheelwright	On Hold
Summit Two - Phase 1	10250 MONROE ST, 84070	SPR03292022-006291				CBD-O	Raddon Summit Hotel,		dwheelwright	On Hold
Sandy Park Center retail pad	9835 S MONROE ST	SPR04152022-006306			0.73	CBD-O	LeeAnn Miller	3852996262	dwheelwright	On Hold
iONNA EV Charging Station	151 W 10600 S	SPR05092025-006962			0.43	AM	Andres Villacres		dwheelwright	On Hold
Master Muffler	9235 S 700 E	SPR06292022-006355			0.44	CC	Brandy Donecker	2103716751	dwheelwright	On Hold
Smith's Altaview Fuel Center	10315 S 1300 E	SPR07202021-006107			0.46	CC	Anderson Wahlen & As	801-913-8406	dwheelwright	On Hold
Harmons Landscape Improvements	7755 S 700 E	SPR07262022-006365			7.12	CN	Frank Lunquist		dwheelwright	On Hold
Summit Two at the Cairns	10250 S CENTENNIAL PKWY	SPR08032021-006124			5.07	CBD-O	Anthony Lyman	8012304582	dwheelwright	On Hold
ECLAIR FRENCH PASTRY	7948 S 1300 E	SPR08092024-006809				SD(Smart)	KARRAR ALJEWARI	3852295300	dwheelwright	On Hold
Office Building at 11000 South	65 E 11000 S	SPR09202023-006624			0.18	LC	Alta Construction		dwheelwright	On Hold

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Stage Office Storage Building	8238 700 E, 84070	SPR09212022-006407	12/07/2023			BC	Ross Drummond	8015737620	dwheelwright	On Hold
Casa Brazil Market	8671 S STATE ST	SPR11112024-006884			0.22	CN(HSN)	Patricia Jacobs	8017358513	dwheelwright	On Hold
Under Construction										
Woodhaven Estates	7613 S 300 E	SPR01102023-006464	12/18/2023		0.98	PUD (12)	Brandon Fry		tirvin	Under Construction
The Rio at 94th	115 W 9400 S	SPR01242023-006473			0.38	RM(12)	Jacob Toombs	8017879344	tirvin	Under Construction
St. Anna Greek Orthodox Church	9201 S 1300 E	SPR01262022-006258	03/25/2022		3.00	CN	James Derby	8016801385	dwheelwright	Under Construction
MACU Event Cenenter/ SLCO	9575 S STATE ST	SPR01292024-006706			5.57	CBD	Jordan Gray	3582145760	dwheelwright	Under Construction
Sandy City Fire Station #31	9295 S MONROE ST	SPR02132024-006711	04/19/2024			RC	Trevon Beutler	4353195847	mwilcox	Under Construction
Sandy Public Works Phase II	8775 S 700 W	SPR02152023-006485			16.92	ID	Taylor Smith	8016368327	dwheelwright	Under Construction
UTA Civic Center Station - Site Modification	10015 S BEETDIGGER BLVD	SPR02172023-006487				MU	Nick Duerksen	8012012050	mwilcox	Under Construction
Latin Grill	1289 E 8600 S	SPR04182024-006756			1.23	CN	Robert Dance		dwheelwright	Under Construction
Sandy Amphitheater Plaza Expansion	1245 E 9400 S	SPR04242023-006523	07/21/2023		7.13	SD(MU)	Mearle Marsh		mwilcox	Under Construction
Dimple Dell Park - 300 East Trailhead	321 E 10195 S	SPR05132022-006318	07/12/2022		5.00	OS	Dan Sonntag	8012058201	tirvin	Under Construction
Dimple Dell Park - Badger Cove Trailhead	1651 E BADGER CV	SPR05132022-006320	08/25/2022		4.63	OS	Dan Sonntag		tirvin	Under Construction
Dimple Dell Park - Wrangler Trailhead	10305 S 1300 E	SPR05132022-006324	08/25/2022		10.38	CC	Dan Sonntag		tirvin	Under Construction
Willow Creek Country Club - Maintenance A	8505 S WILLOW CREEK DR	SPR05172024-006771	12/19/2024		11.09	OS	James B Glascock		dwheelwright	Under Construction
South Towne II	10150 S CENTENNIAL PKWY	SPR05302024-006777			7.63	CBD-O	Logan Prete		dwheelwright	Under Construction
AFCU Sandy Landscape Remodel	2104 E 9400 S	SPR07262022-006364	08/16/2022		2.23	PO	Brad Illingsworth		dwheelwright	Under Construction
Bicentennial Park Improvements	530 E 8680 S	SPR07272023-006575	10/17/2023			OS	Jeremy Garcia		sstringham	Under Construction
Standard Plumbing	9150 S 300 W	SPR08012022-006374			3.31	ID	Chad Spencer	8014505113	dwheelwright	Under Construction
The Ridges at Dimple Dell	1405 E 10600 S	SPR08032021-006125	11/19/2021		0.02	MU	Brad Reynolds Constru	8015980246	mwilcox	Under Construction
AFCU Sandy ADA Site Improvements	2104 E 9400 S	SPR08112023-006586			2.23	PO	Brad Illingsworth		dwheelwright	Under Construction
JVWCD 700 East Well House	7618 S 700 E	SPR08212023-006589			0.80	PUD(12)	Kevin Rubow	8015654377	dwheelwright	Under Construction
Medically Vulnerable Peoples Program (MVI)	8955 S HARRISON ST	SPR08282024-006825			1.50	RC	Shasta Galyon	9079038553	manderson	Under Construction
Utah HPC - Phase 2	10450 S STATE ST	SPR09062024-006844	09/19/2024		4.59	CBD	Larry Oldham	8015311144	dwheelwright	Under Construction
Hale Centre Beehive Academy	9900 S MONROE ST	SPR10112023-006636				CBD-O	Bradley Beecher	8015974589	dwheelwright	Under Construction
Mountain America Credit Union	9446 S HIGHLAND DR	SPR10222024-006875	04/01/2025		0.70	SD(Magna)	Michael Shane Sanders		dwheelwright	Under Construction
OneTen Apartments	109 W 11000 S	SPR10242022-006427	08/18/2023		2.84	CBD	Corey Solum		mwilcox	Under Construction
Hansen Warehouse Modified	9127 S 255 W	SPR11142024-006887			1.31	RC	Reid Wintersteen	6083862723	dwheelwright	Under Construction
Cedarwood at Sandy - Expansion	575 E 11000 S	SPR11172022-006447	02/21/2023		3.87	SD(EH)	Ryan Griffiths	8019102756	tirvin	Under Construction
Trans-Jordan Waste Facility	8813 S 700 W	SPR11232022-006449				ID	Trans-Jordan Cities		dwheelwright	Under Construction
Main Street Park	70 E 8760 S	SPR12032021-006220	01/28/2022		0.92	R-1-7.5(HS)	DAN MEDINA	801-201-2202	mwilcox	Under Construction
9000 South C-Store	694 W 9000 S	SPR12172024-006901	05/09/2025		1.77	RC	Thomas Hunt	8016644724	dwheelwright	Under Construction
Complete										
Dimple Dell Park - Lone Peak Trailhead	10042 S 700 E	SPR05132022-006322	08/25/2022		4.65	OS	Dustin Wiberg	801-828-7865	tirvin	Complete
Others										
90th South Mixed Use Master Plan Amendm€	8925 S HARRISON ST	SPR01022025-006902	02/07/2025		1.36	RC	David Kelly	3852835285	mwilcox	Approved
Sandy East Village Ph 3 & Dry Creek Apartm	166 E MIDVILLAGE BLVD	SPR11142022-006445				MU	IBI Group		mwilcox	Approved

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Pending										
Fur Breeders	8860 S 700 W	SUB03122025-006925			22.43	ID	Josh Vance		tirvin	Received
Firefly Subdivision	517 E 8680 S	SUB03172025-006927	08/10/2025	29.00	2.91	R-1-7.5(HS)	Jacob Robert Ballstaedi	8014555131	tirvin	Pending
Dimple Dell Ridge Consolidation	1727 DIMPLE DELL RD 84092	SUB03192024-006733				R-1-20A	Efren Lopez		tirvin	Received
Quick Quack Lot Line Adjustment	10640 S 700 E	SUB05202025-006971			1.10	CN	Wayne Leasing, LLC	8017210030	tirvin	Received
Sierra Estates 2-3	3677 E LITTLE COTTONWOOD RD	SUB05232024-006773				R-1-10	S. SCOTT CARLSON	8014503511	tirvin	Pending
The Rio at 94th Subdivision	115 W 9400 S	SUB05312024-006779		3.00	0.38	RM(12)	Jacob Toombs		tirvin	Open
East Town Village Condo Plat	8327 STATE ST 84070	SUB06132023-006550		1.00		MU	Charles Akerlow		tirvin	Fees Due
Crabtree Subdivision	2845 E LITTLE COTTONWOOD RD	SUB06142022-006347	06/26/2025	2.00		R-1-15	Tami Crabtree	8012314484	tirvin	Pending
Quick Quack Sandy Harmons	7708 700 E	SUB06252024-006790		3.00		CN	Russ Nelson		tirvin	Fees Paid
Pinecone Lot Line Adjustment	734 E 10600 S	SUB06272025-006989			0.35	CN	Pinecone Properties		tirvin	Open
Myers/Long property line adjustment	3035 E HIDDENWOOD DR	SUB07022024-006793			0.71	PUD(1.62)	David Myers	5102195349	tirvin	Open
Monroe Street Center Plat Amendment	111 W 9000 S	SUB07182025-007000		1.00	0.31	RC	Mark Sudbury		tirvin	Pending
Smith's Altaview SUB	10315 S 1300 E	SUB07202021-006108	09/23/2021	4.00	0.46	CC	Anderson Wahlen & A		dwheelwright	Open
Cash Lot Line Adjustment	17 E ALTAWOOD LN	SUB07312025-007009			0.03	R-1-20	Joan and Donald Cash	801-556-1422	tirvin	Open
Sandy City Centre Plat Second Amended and	215 W 10000 S, 84070	SUB08152022-006383		4.00		CBD-A&C	David A Jenkins	8016312999	mwilcox	Open
Cole 825 E 8600 S Consolidation	825 E 8600 S	SUB08232024-006817			0.71	R-1-8	Tyler Cole	8019139315	tirvin	Open
Silver Sage Business Park II	10935 S 700 E	SUB08252025-007024			0.57	SD(PO Silv	Kyle Spencer		dwheelwright	Open
Brandon Park 3 Amended Plat	1960 E BRANDON PARK WAY	SUB09242024-006855				R-1-12	Scott Hancock	8015974833	tirvin	Open
Sandy Station Block 20 Subdivision	8982 S 250 E	SUB09282022-006410	09/15/2023	2.00		R-1-7.5(HS)	Mark stephenson	8015148797	tirvin	Pending
School Yard Subdivision Amended	11020 S STATE ST	SUB10232024-006877	01/09/2025		3.07	CBD	X Development, LLC /		tirvin	Pending
Under Review										
Crescent Wood Estates	543 E 10735 S	SUB02032022-006262	02/03/2022		0.50	R-1-20A	Arthur J. (A.J.) Kim	8019133400	tirvin	Under Review
Southeast Industrial Park Amended Condomin	8496 S HARRISON ST	SUB02222022-006272	04/08/2022	16.00	1.95	RC	Jessica Rice		tirvin	Under Review
Aspen Plaza Condo Amendment	849 E 9400 S	SUB03262024-006735				SD(CC)-Ti	SCOTT A DILLEY	8017067384	tirvin	Under Review
Dimple Dell Ridge Consolidation	1727 E DIMPLE DELL RD	SUB04012024-006741	08/10/2025		0.81	R-1-20A	Efren Lopez		tirvin	Under Review
Jeremy Day Subdivision	8 SHADOW WOOD LN Sandy UT	SUB04032025-006944				PUD(1.62)	Blake Peterson	8017553548	tirvin	Final Review
Alta Park Lot 3 Amended	11202 S 1000 E	SUB04232025-006958		1.00	0.25	R-1-8	Castlewood Developme	4076170698	tirvin	Final Review
Lambert - Magleby construction	11489 S OBERLAND RD	SUB06052023-006543	08/04/2023	1.00	2.99	PUD(2)	Laura Bunker	8014928087	manderson	Under Review
Sierra Estates III	3677 E LITTLE COTTONWOOD RD	SUB06172024-006786		2.00		R-1-10	S. Scott CARLSON	8014503511	tirvin	Under Review
Hartman Estates 2 lot Subdivision	3853 E LITTLE COTTONWOOD LN	SUB08052025-007011		2.00		R-1-15	David Jenkins	8016312999	tirvin	Preliminary Review
9272 Office Condominiums	9272 S 700 E	SUB08212024-006814			3.03	CC	Brook Hintze	8018601515	tirvin	Preliminary Review
Fox Hollow Plat Amendment	9476 S FOX CIR	SUB10142024-006868		1.00	0.22	R-1-8	Craig Lawrence	8015732516	tirvin	Under Review
The Meadows at Cy Road	8777 S 700 E	SUB10162024-006871	02/25/2025	33.00	4.32	PUD(10)	Brad Reynolds Constru		tirvin	Final Review
Pepperwood Phase 10C Amended	3 S COBBLEWOOD CV	SUB11012021-006197	11/19/2021	2.00	0.71	PUD(1.62)	David Jenkins	8016312999	mwilcox	Under Review
South Towne Market Place Subdivision	10130 S STATE ST	SUB12182023-006671	04/03/2024	2.00	4.89	CBD	Jason Boal		mwilcox	Under Review
Jiffy Lube Sub Amended	2039 E 9400 S	SUB12192022-006457	04/02/2024	2.00	5.60	CN	Daniel Canning		dwheelwright	Under Review
Resubmit										
Corner Bend Subdivision	2186 E POWDERKEG DR	SUB01142022-006249	06/21/2022		0.18	R-1-8	Dan Moore	801-554-8920	tirvin	Resubmit
Dimple Dell Ridge Lot 1 Amended Plat	1703 E DIMPLE DELL RD	SUB01182022-006256	07/05/2022	1.00	0.69	R-1-20A	Mark Goodsell	801-361-0909	tirvin	Resubmit
GSL Electric New Production Facility	595 W SANDY PKWY	SUB01252024-006704		1.00	1.70	CR-PUD	Carl Greene	8016413894	dwheelwright	Resubmit
Meek Subdivision	3761 E LITTLE COTTONWOOD LN	SUB02282024-006722	04/23/2024	2.00		R-1-8	Robert Meek	3854810189	tirvin	Resubmit
Tate Woods Subdivision	485 E 7800 S	SUB03312025-006940	06/24/2025	2.00	0.15	R-1-6	GreenRock LLC	8019317228	tirvin	Resubmit
Red Sky Apartments	10140 S CENTENNIAL PKWY	SUB04102023-006516	05/08/2023	1.00		CBD-P	Corey Solum		mwilcox	Resubmit
Sandy Jordan Credit Union Subdivision	9260 S 300 E	SUB04142025-006950		1.00	0.38	R-1-8	Nate Reiner		dwheelwright	Resubmit
Sandy Park Center Lot 3 Amended	9835 S MONROE ST	SUB04152022-006305	06/07/2022	2.00	0.73	CBD-O	LeeAnn Miller	3852996262	tirvin	Resubmit
Sandy Station Townhomes Plat	8925 S HARRISON ST	SUB05132025-006966		64.00	1.36	RC	David Kelly	3852835285	mwilcox	Resubmit
Sandy Towns Subdivision	1270 E 8600 S	SUB06052025-006977		1.00	0.43	CN	Riley Streit		tirvin	Resubmit

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
9854 S. Building, LLC Condo	9854 S 700 E	SUB06092025-006981			2.36	CN	Kenneth Chapman		tirvin	Resubmit
Thackeray Towns Subdivision	10760 S 700 E	SUB06242021-006082	06/24/2021	41.00	4.00	PUD(10)	John Sawyer		tirvin	Resubmit
Hidden Hollow Subdivision	10665 S Dimple Dell Rd	SUB06252025-006987		4.00	4.02	R-1-40A	Garrett Schmidt		tirvin	Resubmit
Oberland Road Subdivision	2900 E OBERLAND RD	SUB06282022-006352		3.00		R-1-40A	Dustin Freckleton	5127796368	tirvin	Resubmit
Tagg N Go Express Car Wash	7750 S 700 E	SUB06282023-006557		1.00	0.42	CN	Thomas Hunt	8016644724	dwheelwright	Resubmit
Indigo Subdivision	348 E 8000 S	SUB07112025-006996		20.00	1.00	RM(12)	Damian Mora		tirvin	Resubmit
Gutierrez Multifamily Subdivision	886 E 7800 S	SUB07112025-006998			0.47	RM(10)	Elisha Deschenie		tirvin	Resubmit
Edgemont Elementary Subdivision	1085 E GALENA DR	SUB08232021-006136		1.00	6.68	R-1-8	Leon Wilcox	8015415372	tirvin	Resubmit
Transwest Estates No. 1 Amended Subdivisio	1479 E LONGDALE DR	SUB08232024-006818			0.23	R-1-10	Carson Fairbourn	3853549995	tirvin	Resubmit
Oneeelevensandy Subdivision No 2	11114 S STATE ST	SUB09062024-006845			2.37	CBD	David Mortensen	8017556891	tirvin	Resubmit
Badger Cove	1651 E BADGER COVE	SUB09132023-006609				OS	Dustin Wiberg	8018287865	tirvin	Resubmit
Kuwahara Wholesale	8575 STATE ST, 84070	SUB10162023-006638		1.00		SD(FM-HS)	Alex Kuwahara	8016916592	tirvin	Resubmit
Classic Fun Center	9151 S MONROE ST	SUB10262024-006878		2.00	5.12	RC	David Henderson	8016084007	tirvin	Resubmit
On Hold										
Raddon Summit Subdivision	10250 MONROE ST, 84070	SUB08312022-006390		3.00		CBD-O	Raddon Summit Hotel,		dwheelwright	On Hold
Under Construction										
Little Cottonwood Estates (aka Alana Meado	3170 E LITTLE COTTONWOOD RD	SUB01042023-006461	06/15/2023	12.00		R-1-15	Skylar Tolbert		tirvin	Under Construction
Woodhaven Estates Subdivision	7613 S 300 E	SUB01182023-006471	12/18/2023	24.00	0.98	PUD (12)	Brandon Fry		tirvin	Under Construction
OneTen Apartments	109 W 11000 S	SUB03292023-006511	08/18/2023	1.00	2.84	CBD	Corey Solum		mwilcox	Under Construction
Lot 4 Jason K Circle	182 E 9000 S	SUB04102024-006745	12/20/2024	2.00	0.63	R-1-8	Jill Kinder	8017184622	tirvin	Under Construction
Monte Cristo at LaCaille	9701 S 3775 E	SUB04262021-006034	11/29/2021	13.00		R-1-15	Chris McCandless	8015974575	mwilcox	Under Construction
Hagan Road Subdivision	11523 S HAGAN	SUB05072021-006045	06/02/2021			R-1-20A	Blair Johnson	8013011078	tirvin	Under Construction
Alta Park Subdivision	11190 S 1000 E	SUB05072024-006766	07/02/2024	4.00		R-1-8	Hayley Pratt, Castlewo	407-617-0698	tirvin	Under Construction
KV Larson Subdivision	963 E 8600 S	SUB06132023-006549	02/02/2024	8.00	2.50	SD(R-1-7)	Ronald K. Larson	2067137789	tirvin	Under Construction
Park Lane Amended	1775 E 11400 S	SUB07082022-006359	09/21/2022	2.00	0.35	SD(R-2-A)	Laine Fluekiger	8015715541	tirvin	Under Construction
Alta Canyon 2 Subdivision	9855 S 3100 E	SUB07132023-006568	07/12/2024	4.00	1.79	R-1-15	Dana Conway	8018914880	tirvin	Under Construction
Longpath Subdivision	11510 S HAGAN RD	SUB08292022-006389	11/21/2022	1.00	0.56	R-1-20A	Kyle Simons	8013814687	tirvin	Under Construction
Sandy Station Block 59 Subdivision	8810 S 90 E	SUB09232022-006408	09/15/2023	2.00	0.23	R-1-7.5(HS)	Mark stephenson	8015148797	tirvin	Under Construction
Brand Estates Subdivision	285 E 11000 S	SUB10112022-006417	08/31/2023	12.00	4.46	R-1-15	Kyle Denos	8017937660	tirvin	Under Construction
Sandy Oaks Subdivision Phase 5	8449 S 300 E	SUB11222022-006448	02/22/2023	2.00		R-1-7.5(HS)	Greg Larsen	8016081600	tirvin	Under Construction
Complete										
Cyprus Credit Union Subdivision	8955 S 700 E	SUB01122022-006248	07/05/2023	2.00	0.78	BC	Cyprus Credit Union		dwheelwright	Complete
Somerset Villas	625 E 8100 S	SUB04042022-006297	07/27/2022	6.00		RM(12)	Clayton Homes, Inc.	8018599995	tirvin	Complete
Crescent View Peaks	137 E 11000 S	SUB04272021-006035	06/18/2021			R-1-40A	Kyle Simons	8013814687	tirvin	Complete
Windflower Townhomes	9349 S WINDFLOWER	SUB06142021-006075	06/14/2021	3.00		PUD(12)	Randy Moore		tirvin	Complete