

ANALYSIS

Section 21-11-2-(a)(3)(c) of the Sandy City Development Code states that an accessory structure may be built taller, up to the maximum building height for a permitted dwelling within the zone in which it is located, upon receipt of a Conditional Use Permit from the Sandy City Planning Commission. The Planning Commission should consider the scale of the building in relation to the immediate surroundings, the nature of the zone and land uses in the immediate vicinity, architectural design, landscaping access, proposed use, impact upon adjacent properties, in addition to other criteria normally considered during the Conditional Use Permit process. The Planning Commission may require additional setback from side and rear property lines as a condition of approval.

The proposed structure is in an R-1-7.5(HS) zone allowing the structure to be up to ten feet (10') high in the side yard and up to fifteen feet (15') in the rear yard (Section 21-11-2-(a)(3)(a)). This proposed garage is set substantially in the rear yard (see 21-11-2(a)(1)(g)). The garage does encroach into the side yard but is placed as far to the rear as possible. Thus, it would be allowed to go up to height allowed in the rear yard.

Additional Setback Requirement. Detached structures exceeding fifteen feet (15') in height shall increase the minimum setback one foot for each foot of additional height up to the minimum setback for the primary dwelling (Section 21-11-2-(a)(3)(b)). A setback of three (3) feet from both the side and rear yard property lines would be required for the requested height. The applicant is proposing to place the structure three (3) feet from the north rear property line and three (3) from the west side property line.

Address	Accessory Structure	Rear Yard Area
357 E. 8680 S.	995	2,529 (side yard)
Proposed Garage		
371. E. 8680 S.	476	1,197

COMPLIANCE WITH SECTION 21-33-04

Staff response in *italics*.

Conditions.

In order to achieve compliance with the standards set forth herein, the City may impose conditions that address standards 21-33-04 "1" to "15", as contained in the Sandy City Development Code. This proposed conditional use meets or satisfies all of Conditions "1" through "15", except the following conditions that merit discussion or additional consideration by the Planning Commission:

1. Size, configuration and location of the site and the proposed site plan layout.
The proposed accessory structure will be in the rear yard, 16' to peak and will be 476 square feet.
2. Proposed site ingress and egress to existing and proposed roads and streets.
The garage will be accessed from an existing driveway on the southwest side of the property.

6. Mass, size, number, location, design, exterior features, materials, colors of buildings, structures, and other facilities.

The proposed detached garage roof material and pitch will match the existing home but will use siding instead of brick

13. Identifying a time for regular review and monitoring, as determined necessary, to ensure the use continues to operate in compliance with all conditions and requirements of approval.

Compliance with conditions is reviewed during the building permit process.

14. Measures to ensure compliance with all conditions and requirements of approval including but not limited to bonds, letters of credit, improvement agreements, agreements to conditions, road maintenance funds, restrictive covenants.

To be reviewed upon legitimate complaint.

15. Such other conditions determined reasonable and necessary by the City to allow the operation of the proposed conditional use, at the proposed location in compliance with the requirements of this Code.

That the applicant complies with all applicable Building & Safety, and Fire & Life Codes.

CONCERNS

Staff is concerned that the new garage siding materials will not match the current materials of the existing home.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission approve a Conditional Use Permit for Jason and Nicole Kirchner the property located at 371 East 8680 South to allow for an accessory structure with a maximum height of sixteen feet (16') as described in the application and based on the following findings and the subject to the conditions below:

Findings:

1. Staff finds that the proposed structure meets the intent of section 21-11-2 provided the applicant complies with the following conditions:
2. There is multiple similarly sized structure located within a half mile radius of the proposed structure. Staff has provided information for six similar structures.

Conditions:

1. That the proposed structure complies with all applicable Building & Safety, and Fire & Life Codes.
2. That the structure shall not be used as an accessory dwelling unit.

3. That the applicant be responsible for meeting all provisions of the Sandy City Development Code, and all conditions of approval imposed by the Planning Commission.
4. That this Conditional Use Permit be reviewed upon legitimate complaint.

Brynn Bohlender

Brynn Bohlender, Zoning Technician

S:\Users\PLN\STAFFRPT\2022\CUP04072022-006301 Kirchner Accessory Structure

Exhibit #1 – Application Materials

Planning Commission:

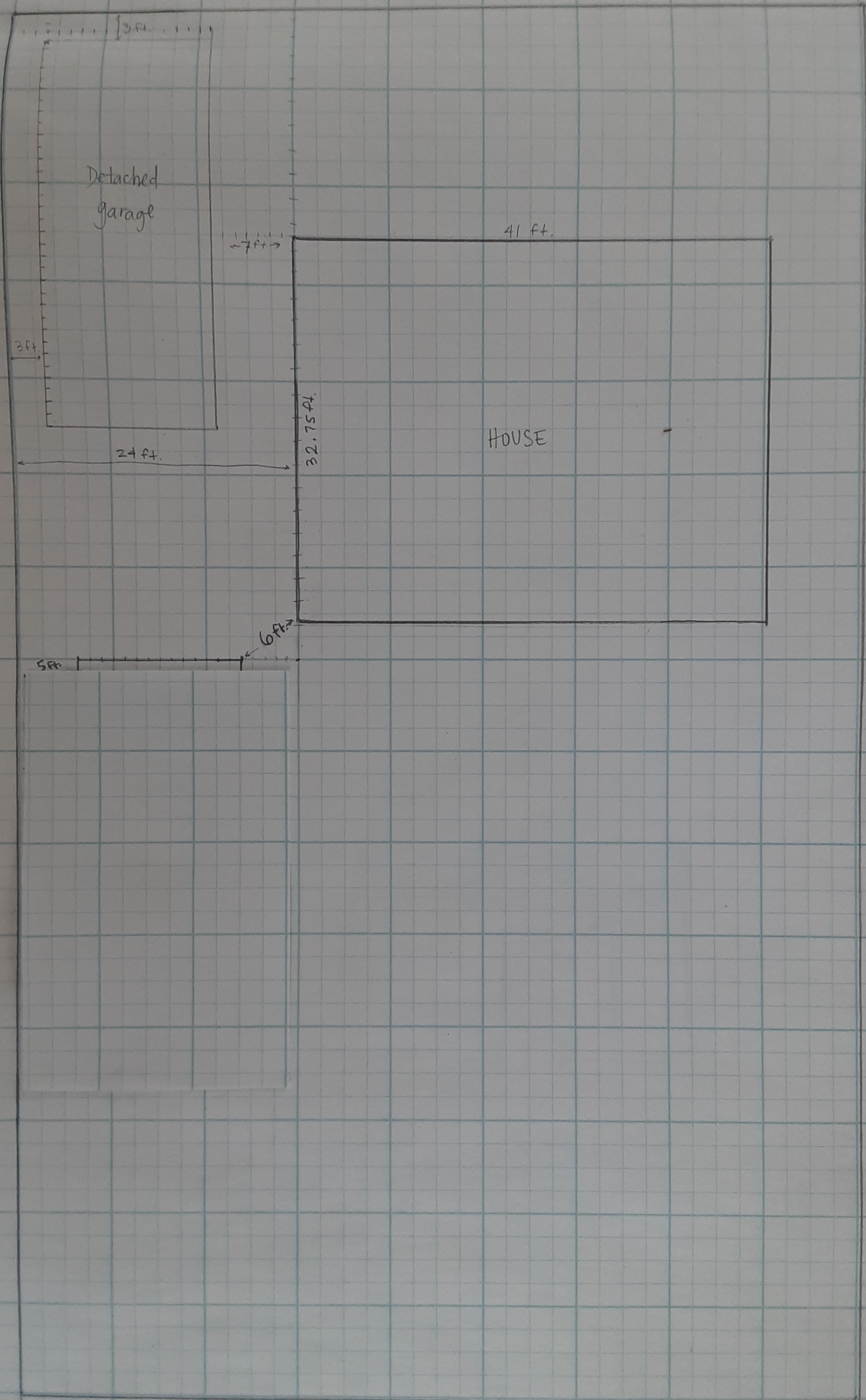
Please consider an allowance of an increase in height of the detached garage that we wish to build. The added height does not seem to compromise any nearby structures as they are taller than the allowance we are requesting. Specifically, our neighbor directly to the west with their garage/mother-in-law apartment and the newly constructed houses to the northeast. We have purchased the plans for this suggested height and would like to follow the plans as they are written.

Thank you,

Jason and Nicole Kirchner

Exhibit #2 – Site Plan and Construction Drawing

N



Detached garage

HOUSE

120.5 ft.

STREET 70.5 ft.



© 2023 Google

© 2023 Google

Google

Building Materials List for Plan # 476-5D

~ Local building code approved substitutions may be made to this list ~
 Variations in construction methods and materials can require modification of this list. Every attempt is made for greatest accuracy, but typographical or human error is possible. Quantities verification by the materials supplier is recommended before materials package is finalized and/or shipped.

Rough Framing

- 2 x 4 x 103 1/2" HF/DF "stud" wall framing ----- 103 pcs.
- 2 x 8 DF No. 1 Header----- 10' length--- 2 pcs.
- 3 1/2 x 11 1/4 LVL Header 2950Fb / 2.0E ---- 13'-9" length --- 1 pc.
- 2 x 6 DF No. 1 Header ----- 8' length--- 1 pcs.
- 2 x 4 x HF/DF No. 2 for wall top plates ----- 232 lf
- 2 x 4 x HF/DF No. 2 for wall horiz. blocking ----- 64 lf
- 2 x 4 HF/DF No. 2 press-trtd. bottom plate material-- 96 lf
- 2 x 6 x 14' HF/DF No. 2 Rafters----- 40 pcs.
- 2 x 10 x 14' HF/DF No. 2 Ceiling Joists ----- 18 pcs.
- 2 x 6 x 22-1/2" Eave Blocking w/ screened vent holes-- 34 pcs.
- 2 x 10 HF/DF No. 2 Ridgeboard material ----- 34 lf
- 2 x 4 x 14' HF/DF No. 2 Subrakes ----- 4 pcs.
- 4 x 4 x 8' l. HF/DF No. 2 Bracket material ----- 6 pcs.

Sheathing Materials

- 7/16" o.s.b.,--- 4x8 sheet---- 34 sheets
- 15/32" C-D APA Plywood, ext. glue,--- 4x8 sheet---- 32 sheets

Vapor Barrier

- Roof 15# bituminous felt paper in 36" wide roll---- 386 lf
- Wall 7# bituminous felt paper in 40" wide roll ---- 322 lf
- Floor .006" black polyethylene membrane----- 476 sf

Siding Materials

- 8" textured o.s.b. siding boards -- area = 864 sf
- (alternate) 7/16" o.s.b. text.(or 5/8" T1-11 plyw'd)---4x9 sheet--- 28 sheets
- Trim: 5/4 x 4 (for alt. siding, use 1x) ----8' l.-- 11 pcs.
- Trim: 5/4 x 4 -----10' l.----- 5 pcs.
- Trim: 5/4 x 3 ----- 9' l.----- 4 pcs.
- Fascia: 1 x 4 ----- 76 lf
- Rakeboard: 2 x 6 ----- 14' length-- 4 pcs.

Roofing Materials

- Composition Roofing Shingles-----roof area = 966 sf
- Ridgevent material----- 34 lf

Window and Door Assemblies

- 9'-0" x 7'-0" sectional garage door----- 1 ea.
- 3068 exterior door----- 1 ea.
- 4030 slider window(s)----- 2 ea.
- 2020 fixed attic window ----- 1 ea.

Metal Parts & Misc.

- Drip flashing for window/door heads----- 22 lf
- Anchor bolts:1/2" dia.x 10" ASTM A-307----- 20 pcs.
- Flat washer: 3" sq. x 1/4" thick plate steel - 20 pcs.
- Simpson STHD 14 hold-down straps (or equal)----- 4 pcs.
- Simpson H2.5 clips (or equal)----- 48 pcs.
- 16d sinker nails ----- 50 lbs.
- 8d common nails @ 145 nails / lb. ----- 22 lbs.
- Simpson MST24 Straps ----- 2 ea.

~ To advise corrections, call 1-800-210-6776 Thank you.~.

Note: Electrical and finishes not included in this list.



PLAN #476-5D

(shown with alternate panel siding)

14' x 34'

Building Code Compliance

This planset was prepared to comply with the requirements of the 2018 International Residential Code (IRC)

Parameters For Design

Wind Speed: 120 mph ultimate

Wind Exposure: C

Seismic Category: D2

Snow Load: 30# / sq. ft.

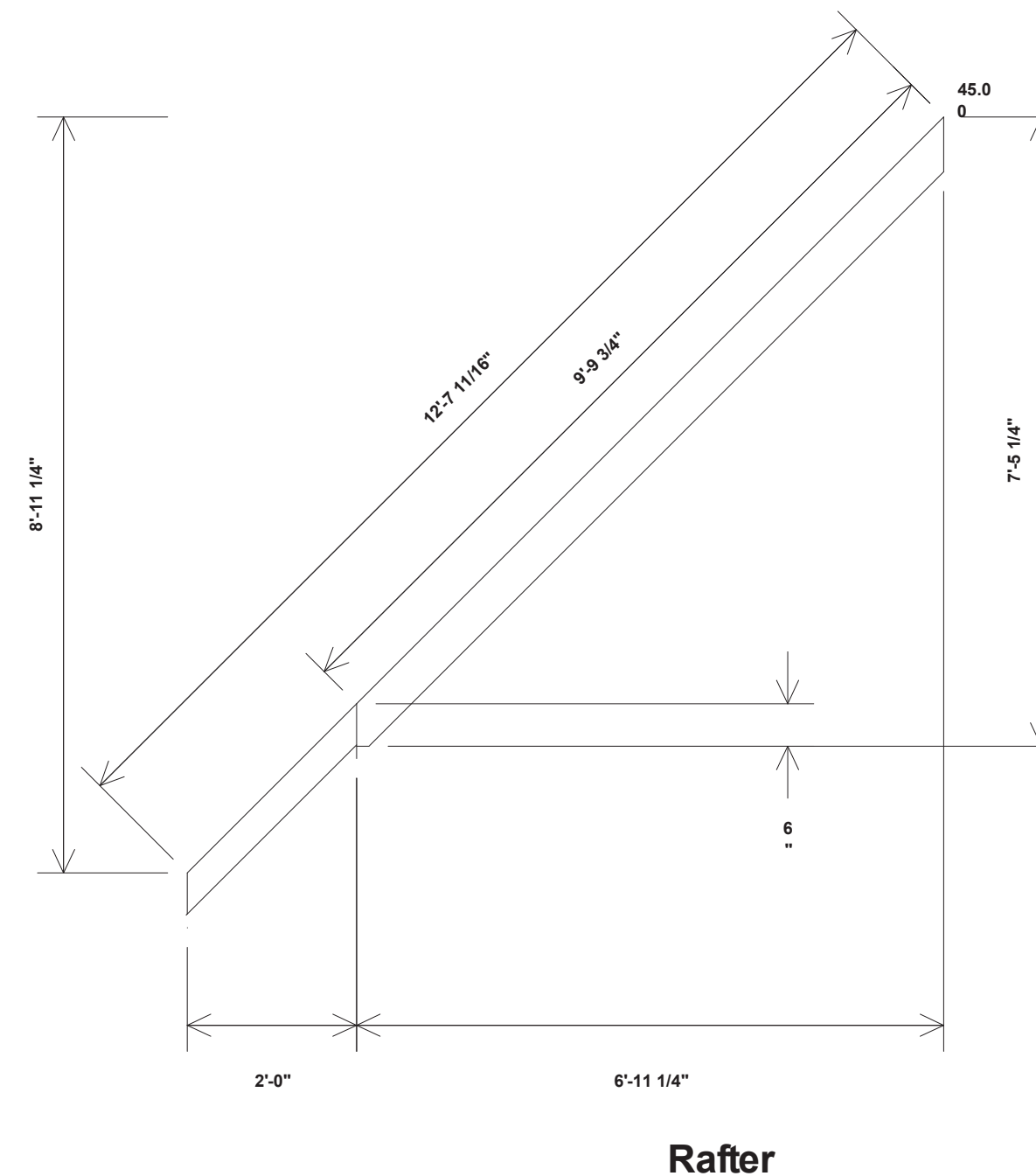
Building Categories and Data

Occupancy Classification: "U")

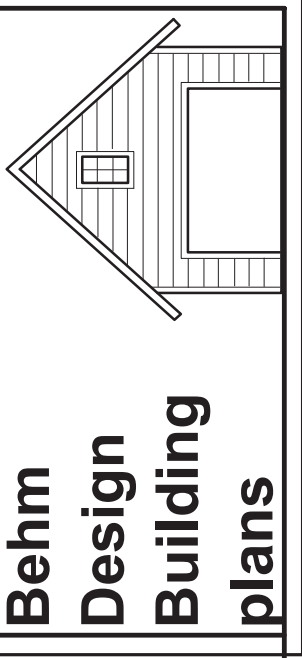
Construction Type: "V"

Grade-To-Ridge Height: 17'-4"

Gross Building Area: 476 sq. ft.



Slope = 12/12 (45.0°)
 Run = 7'-0"
 Ridge Allowance = 3/4"
 Adjusted Run = 6'-11 1/4"
 Overhang = 2'-0"
 Heel = 6"
 Seat = 1 3/4"
 Rafter = 1 1/2" x 5 1/2"
 Ridge = 1 1/2" x 9 1/4"



QUESTIONS?...CALL
 1-800-210-6776
 www.behmdesign.com

PLAN NO.
476-5D

DESIGN BY: JJB
 DATE: updated 2/12/19

SHEET CONTENTS:
 Pictorial View Of Design
 Project Data
 Building Materials List

SHEET
1
 OF
7

Copyright behm design

ALTERNATE FOUNDATION SHOWN IN THIS CORNER IS MONOLITHIC-POURED, THICKENED EDGE SLAB/ FOOTING. VERIFY IF IT IS LOCALLY ACCEPTABLE. SEE DETAIL 3
4

FOUNDATION SHOWN IS STEMWALL ON FOOTING

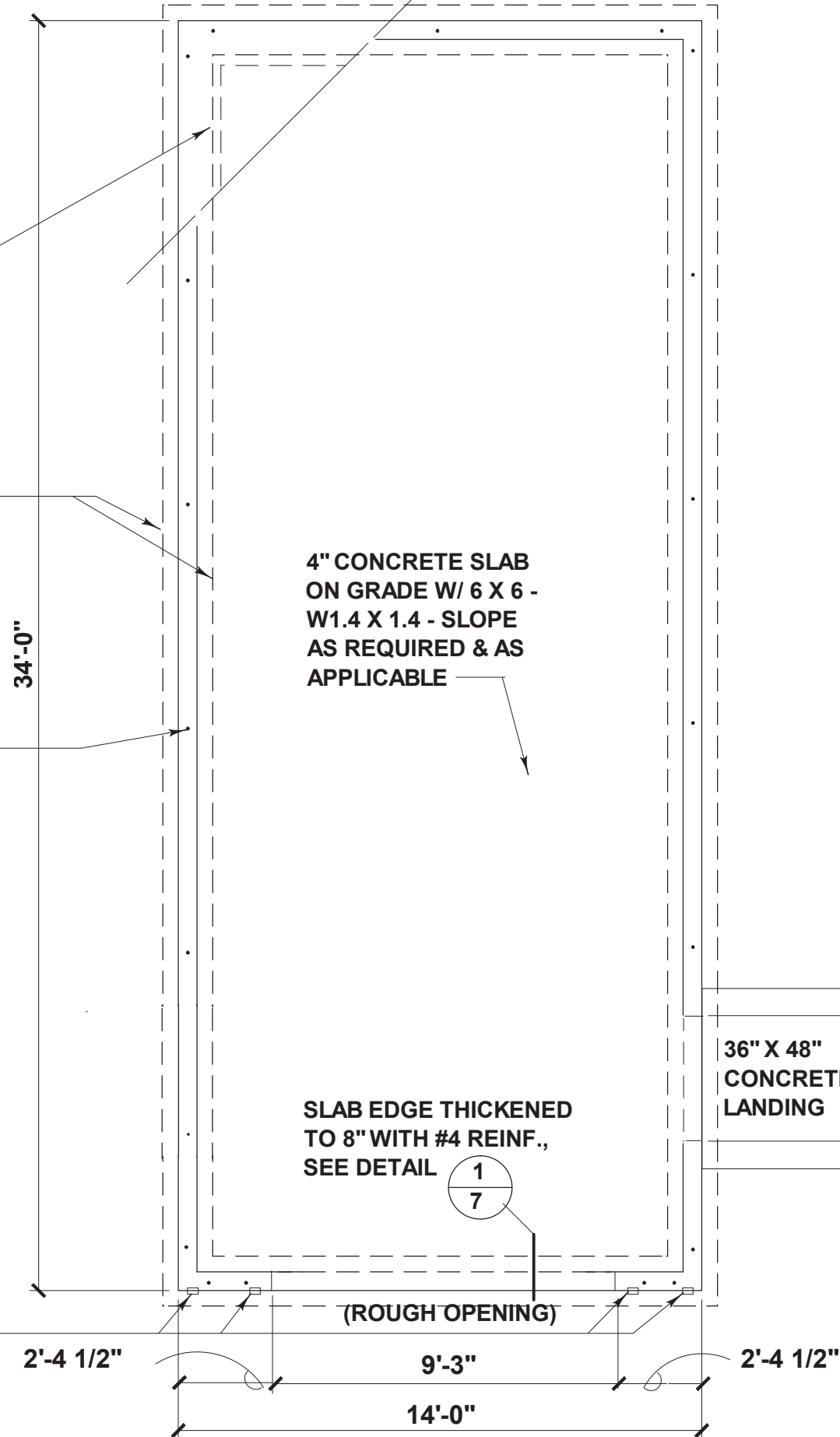
LINES OF CONTINUOUS CONCRETE FOUNDATION BELOW - SEE DETAIL 1
4

NOTE:
PROVIDE 1/2" DIA. X 10" ANCHOR BOLTS W/ 7" EMBEDMENT @ MAX. 6 FT. O.C. SPACING AND MIN. 12" FROM WALL ENDS AND CORNERS

4" CONCRETE SLAB ON GRADE W/ 6 X 6 - W1.4 X 1.4 - SLOPE AS REQUIRED & AS APPLICABLE

SLAB EDGE THICKENED TO 8" WITH #4 REINF., SEE DETAIL 1
7

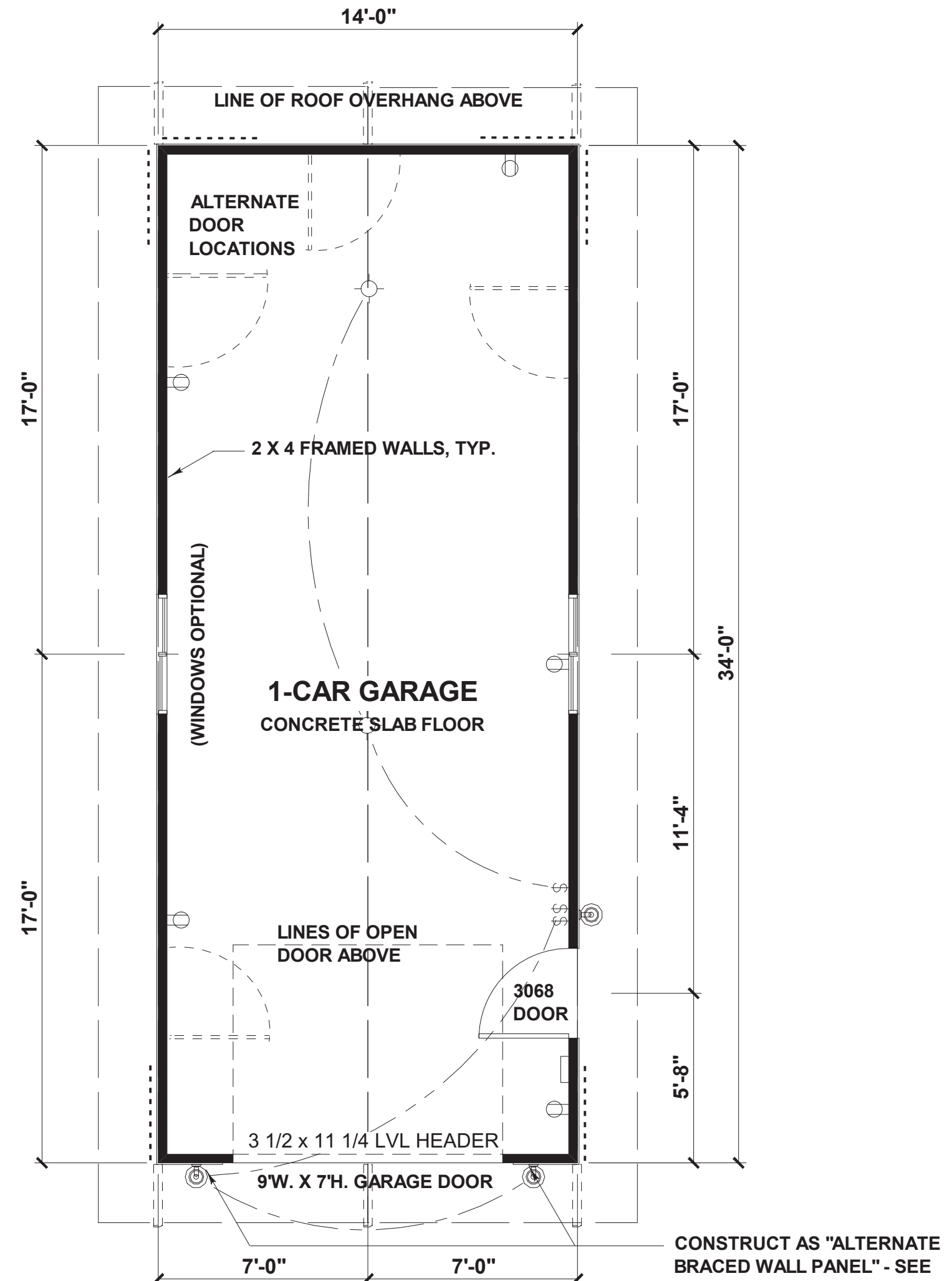
EMBEDDED HOLDDOWNS REQUIRED, SEE ALTERNATE BRACED WALL PANEL DETAIL 4
5



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTE:
FOUNDATION PLAN DIMENSIONS ARE TO FACE OF CONCRETE OR CENTERLINE OF BEARING, AS SHOWN



FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE:
FLOOR PLAN DIMENSIONS ARE TO FACE OF FRAMING OR CENTERLINE OF BEARING, TYP. AS SHOWN

NOTE:
SEE EXTERIOR ELEVATIONS FOR SIZES AND FUNCTION

NOTE:
DOOR AND WINDOW HEADERS SHALL BE 2- 2 X 6 UNLESS OTHERWISE NOTED

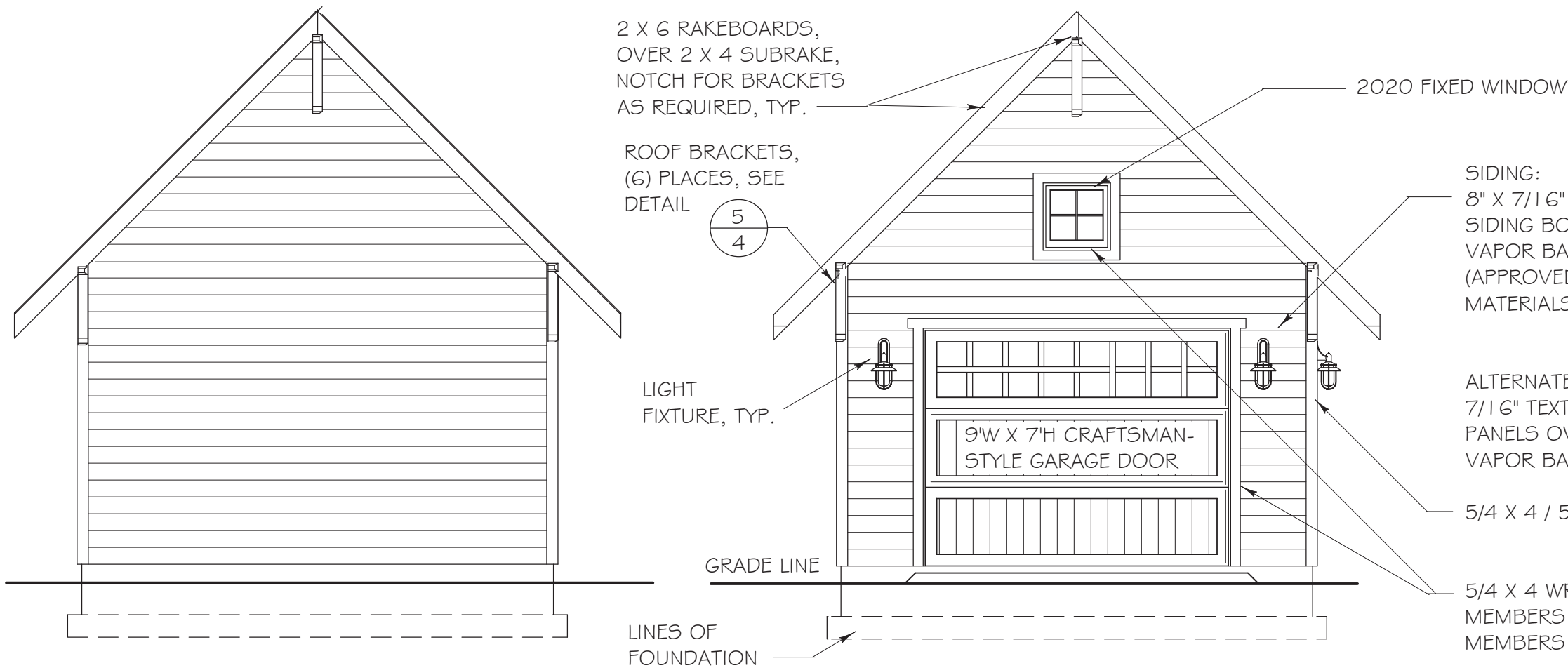
LEGEND

- \$ SWITCH LOCATION
- ⊙ CEILING MOUNTED LIGHT FIXTURE
- ⊕ 110 VOLT DUPLEX OUTLET
- ⊕ EXTERIOR WALL-MTD. LIGHT FIXTURE
- ELECTRIC PANEL OR SUB-PANEL LOCATION, INSTALL PER LOCAL CODES

BRACED WALLS AS PER IRC R602.10, AS APPLICABLE FOR LOCAL CODES

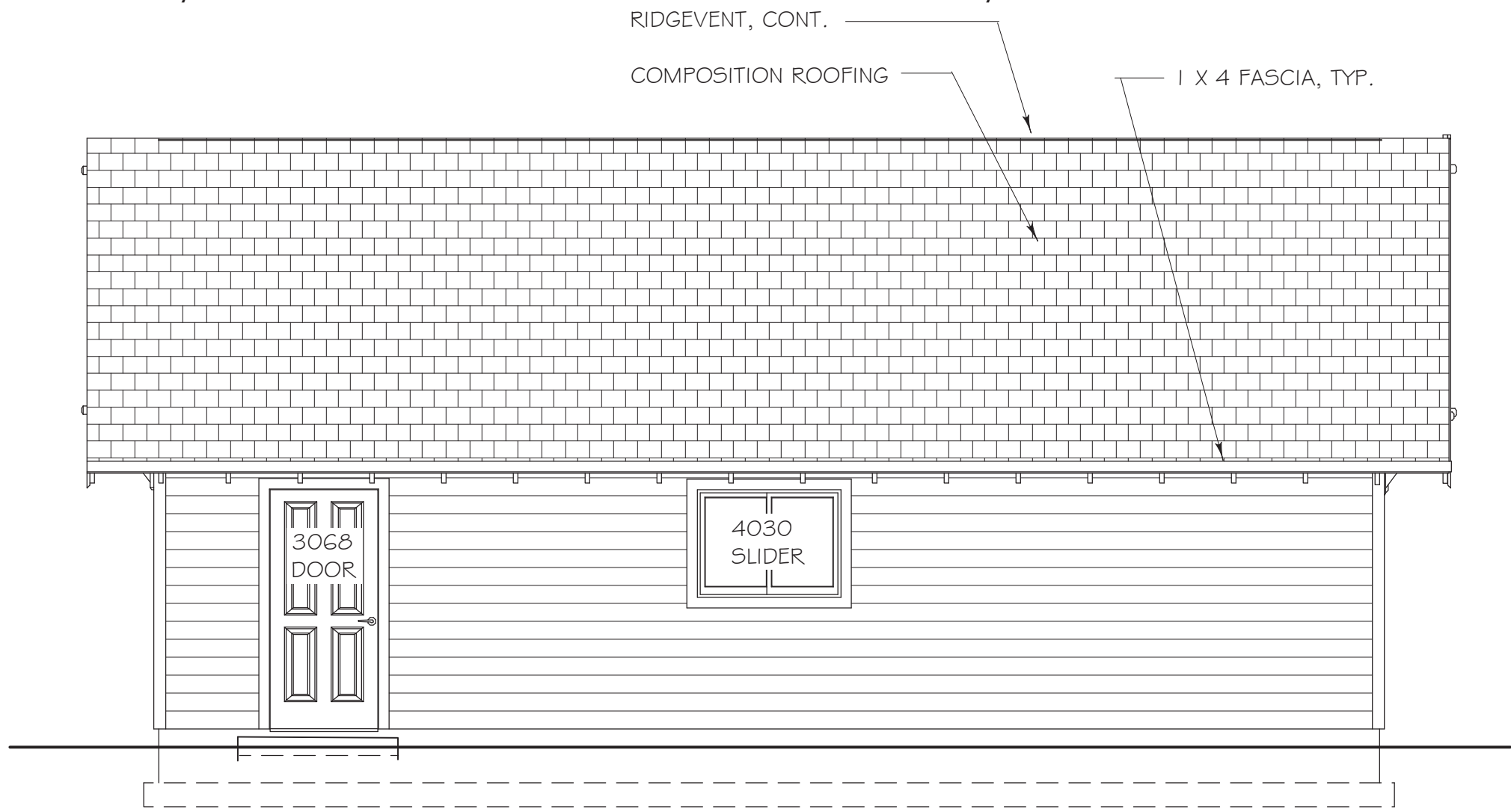
(SHOWN: - - - - -)

METHOD: CS-WSP
EXTERIOR BRACED WALLS (MIN. 48") NAIL SIDING PANELS OR SHEATHING W/ 8d @ 6" o.c., EDGES AND @ 12" O.C., FIELD AND BLOCK AT HORIZ. PANEL JOINTS. PROVIDE ALTERNATE BRACED WALL PANELS AS INDICATED.

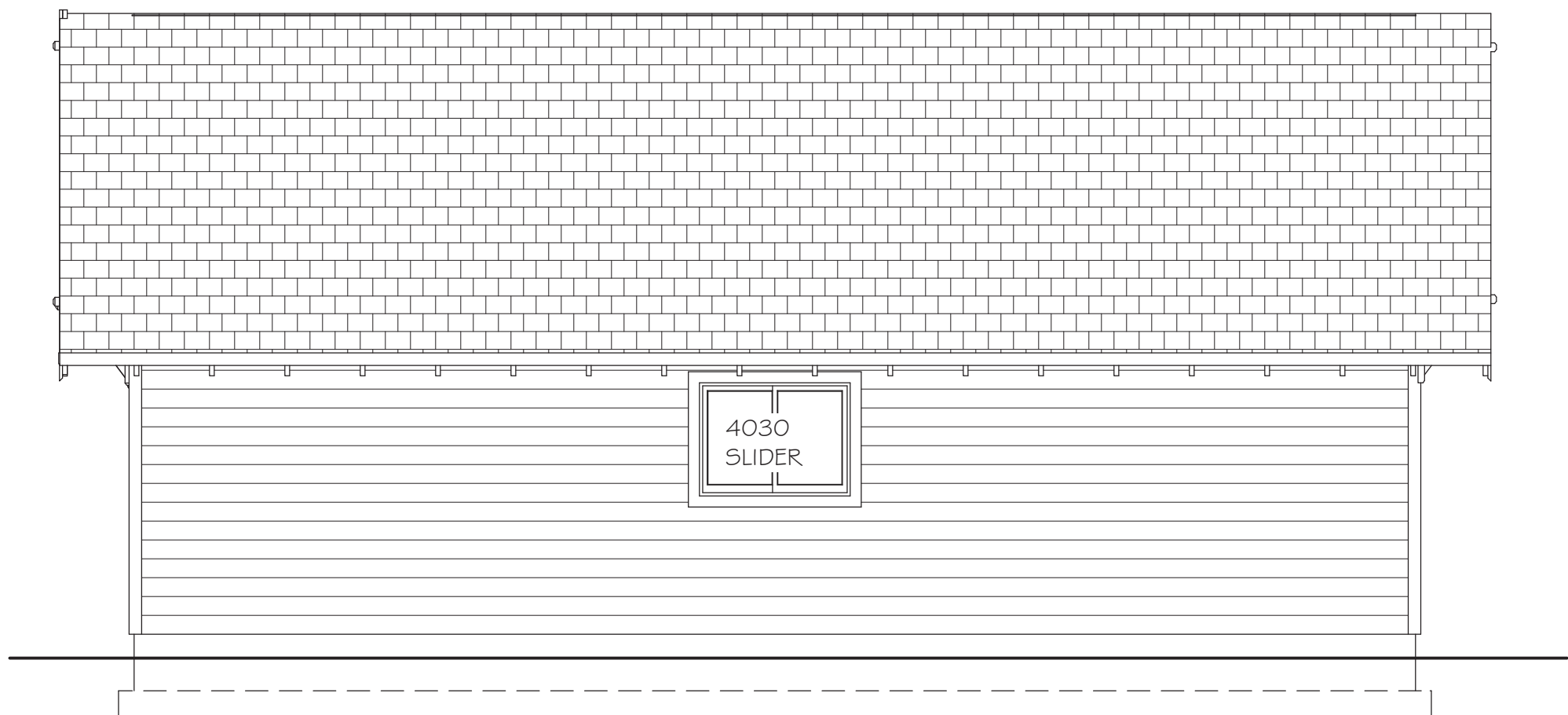


REAR ELEVATION
SCALE: 1/4" = 1'-0"

FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

SIDING:
8" X 7/16" TEXTURED O.S.B. SIDING BOARDS, OVER 7# FELT VAPOR BARRIER, OVER SHEATHING (APPROVED ALTERNATE SIDING MATERIALS MAY BE SUBSTITUTED)

ALTERNATE SIDING:
7/16" TEXTURED O.S.B. SIDING PANELS OVER 7# FELT VAPOR BARRIER

5/4 X 4 / 5/4 X 3 CORNER BOARDS

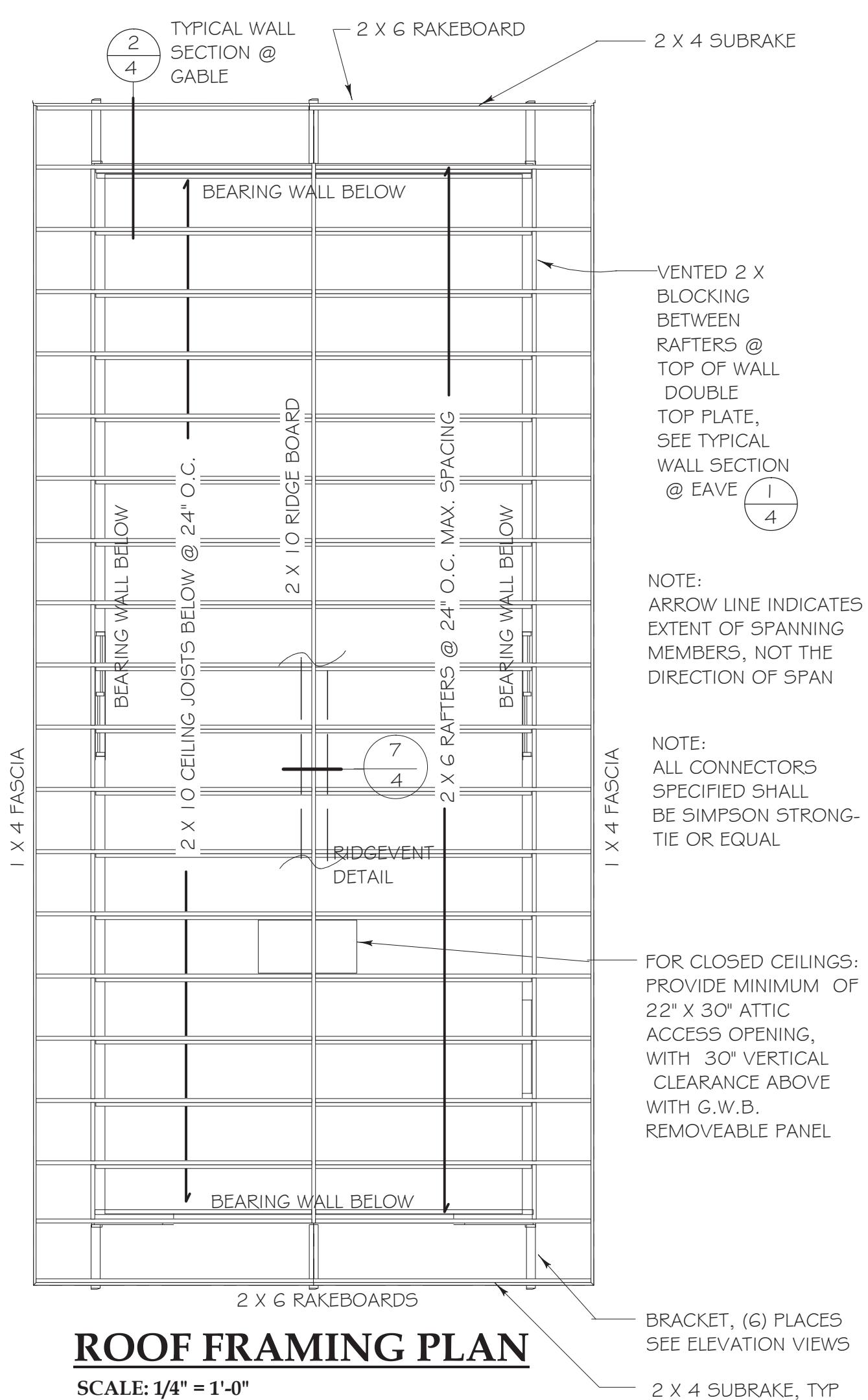
5/4 X 4 WRAP TRIM - BUTT SIDE MEMBERS TO TOP AND BOTTOM MEMBERS

NOTE:
FOR ALTERNATIVE SIDING USE 1x TRIM BOARDS - NAIL OVER SIDING PANELS, TYP.

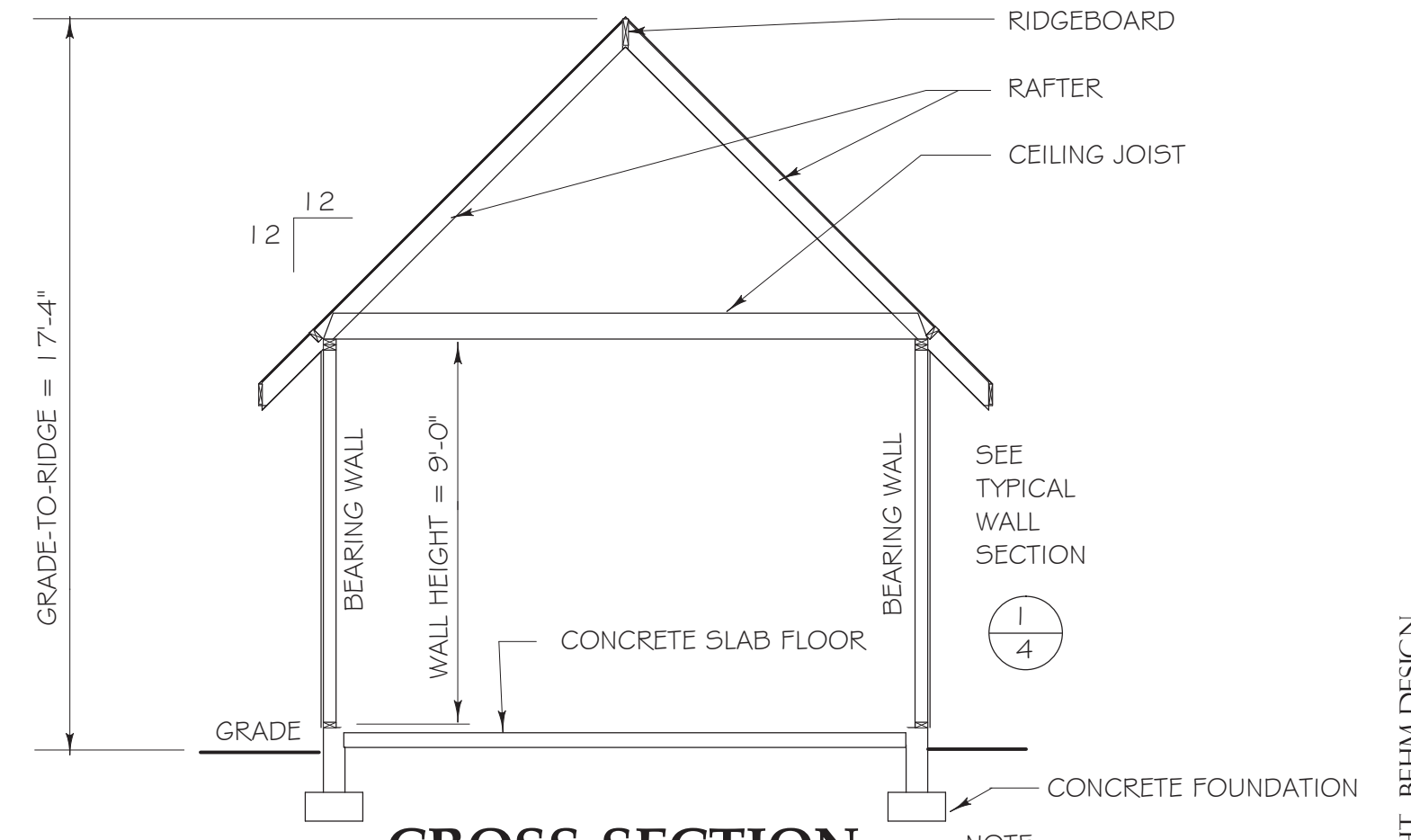
NOTE:
NOMINAL WINDOW SIZES ARE SHOWN: FEET/INCHES WIDE X FEET/INCHES HIGH, TYP. - VERIFY FRAMED OPENING REQUIRED BY PRODUCT MFR.

NOTE:
FLASH OPENINGS AND PROVIDE WEATHERSTRIPPING AS REQUIRED BY LOCAL CODES

NOTE:
NOTES AND MATERIALS INDICATED IN THIS ELEVATION ARE TYPICAL FOR ENTIRE BUILDING AS APPLIC.

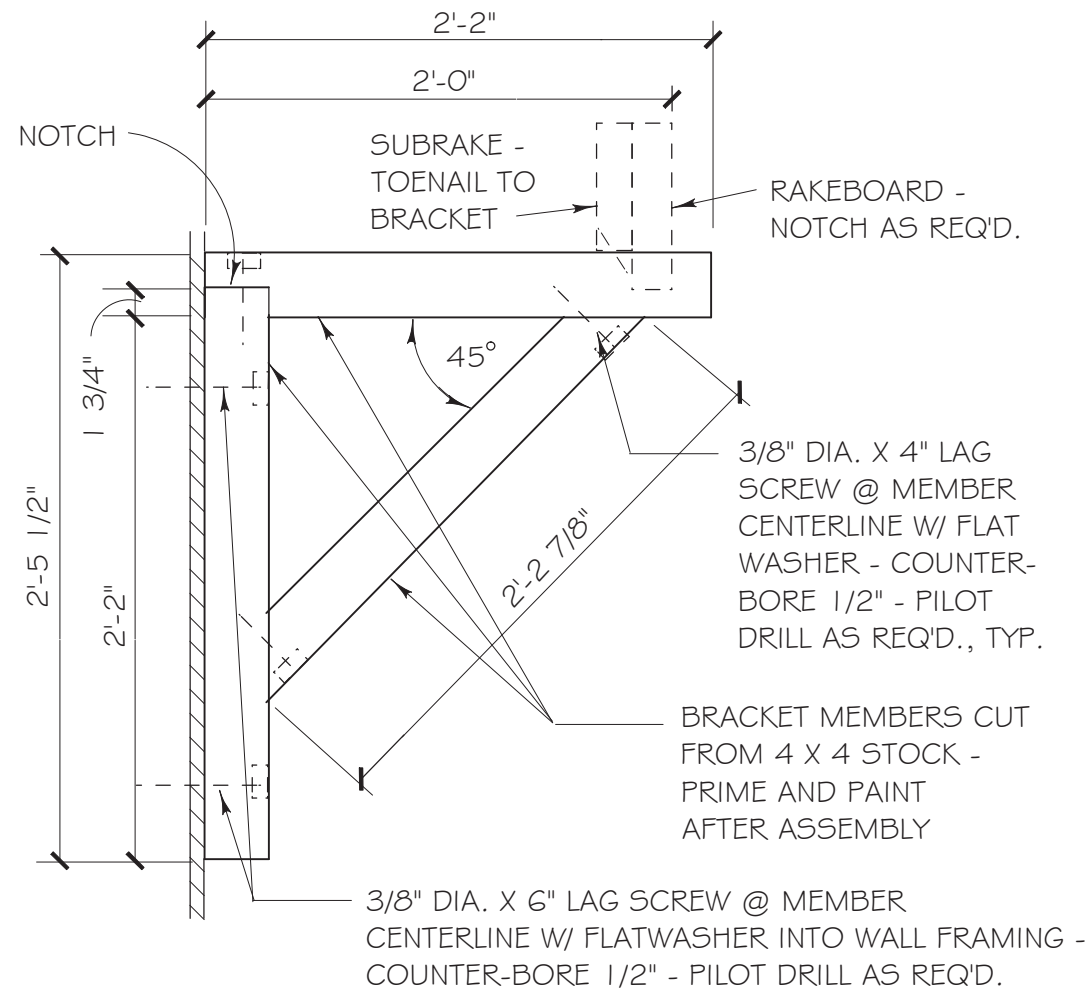


ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

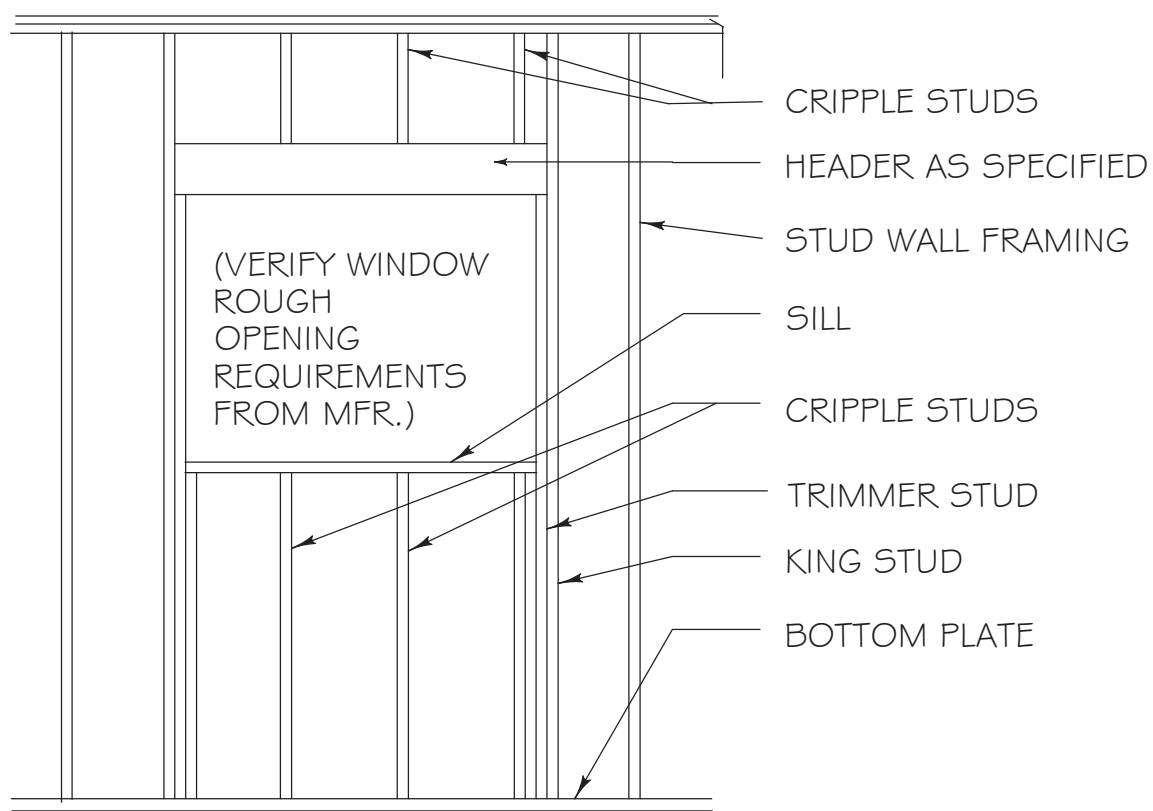


CROSS-SECTION
SCALE: 1/4" = 1'-0"

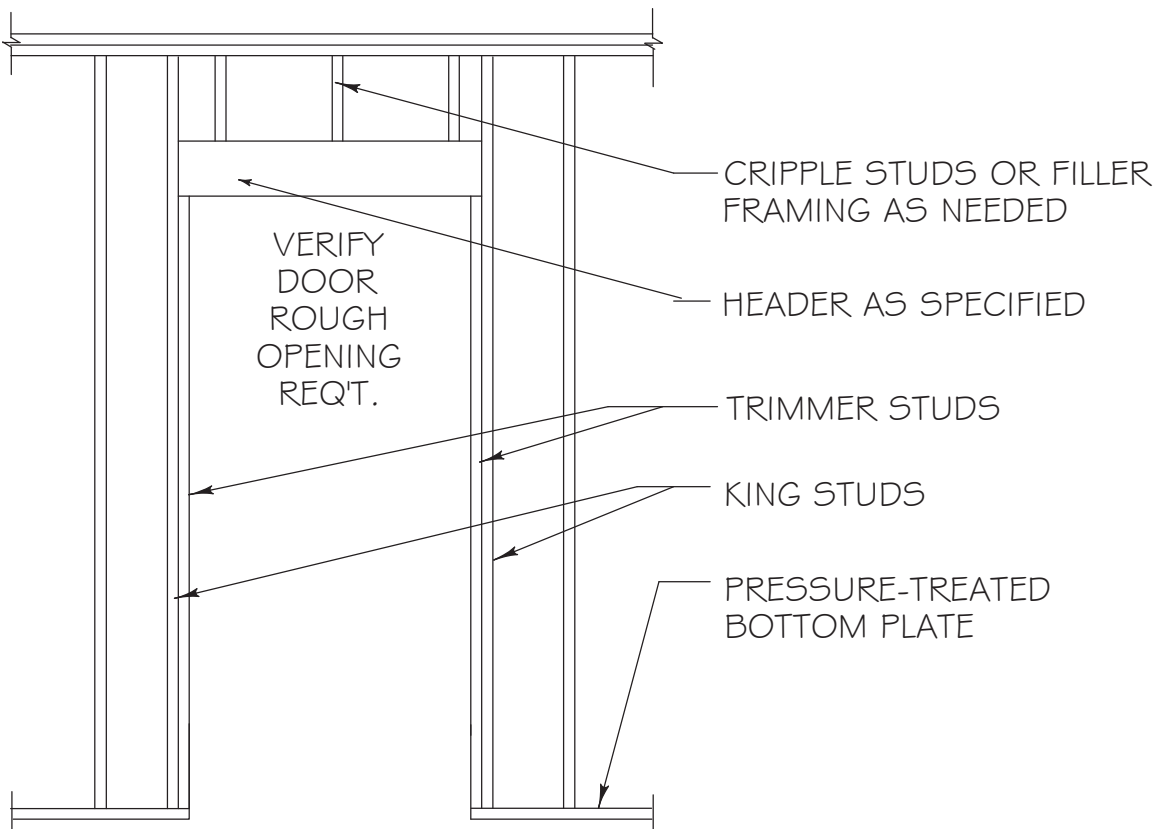
FOR CLOSED CEILINGS:
PROVIDE MINIMUM 20" X 30" ATTIC ACCESS OPENING W/ REMOVEABLE PANEL OR: INSTALL PULL-DOWN ATTIC ACCESS LADDER, INSTALL PER MFR'S. REQUIREMENTS



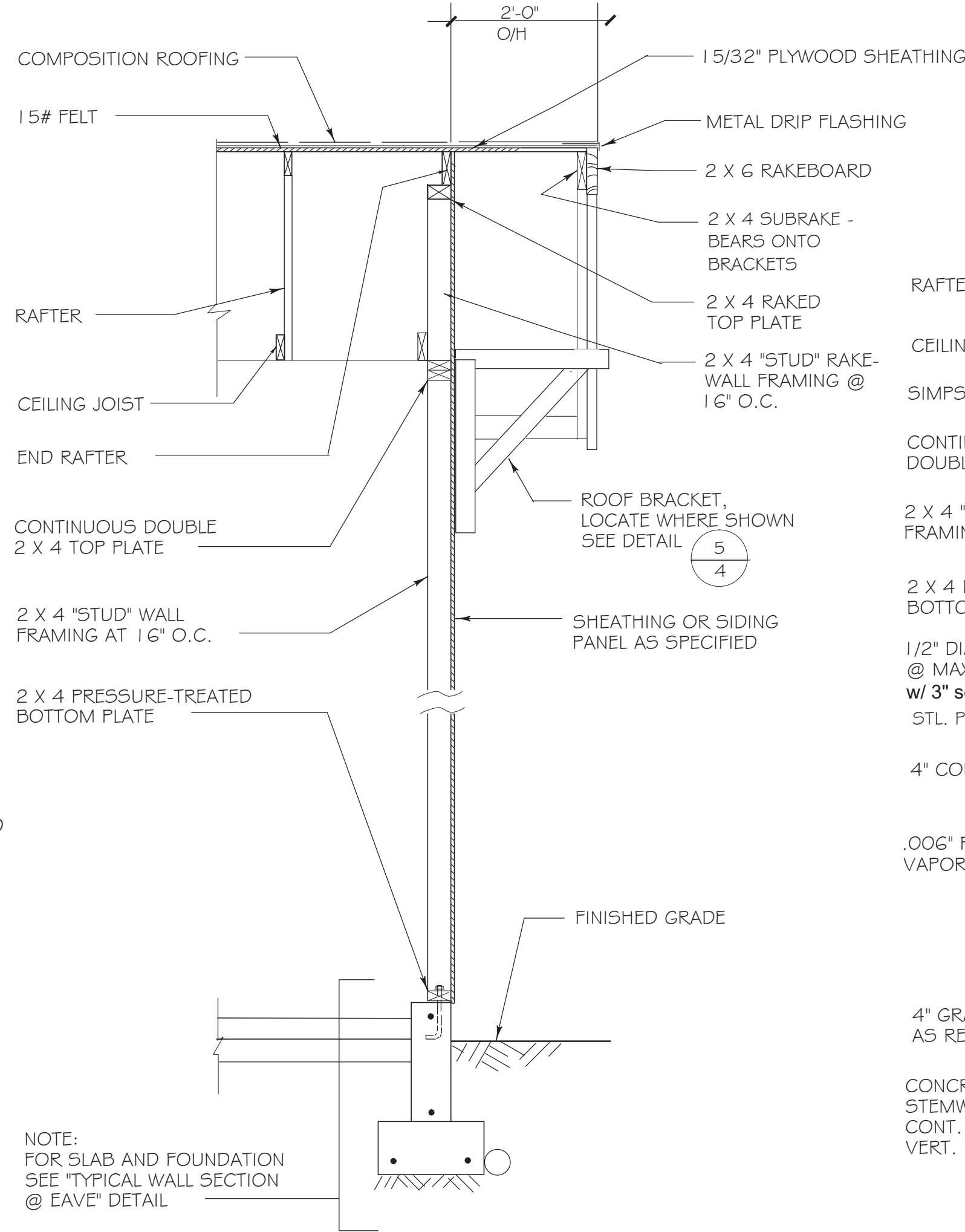
5 ROOF BRACKET DETAIL



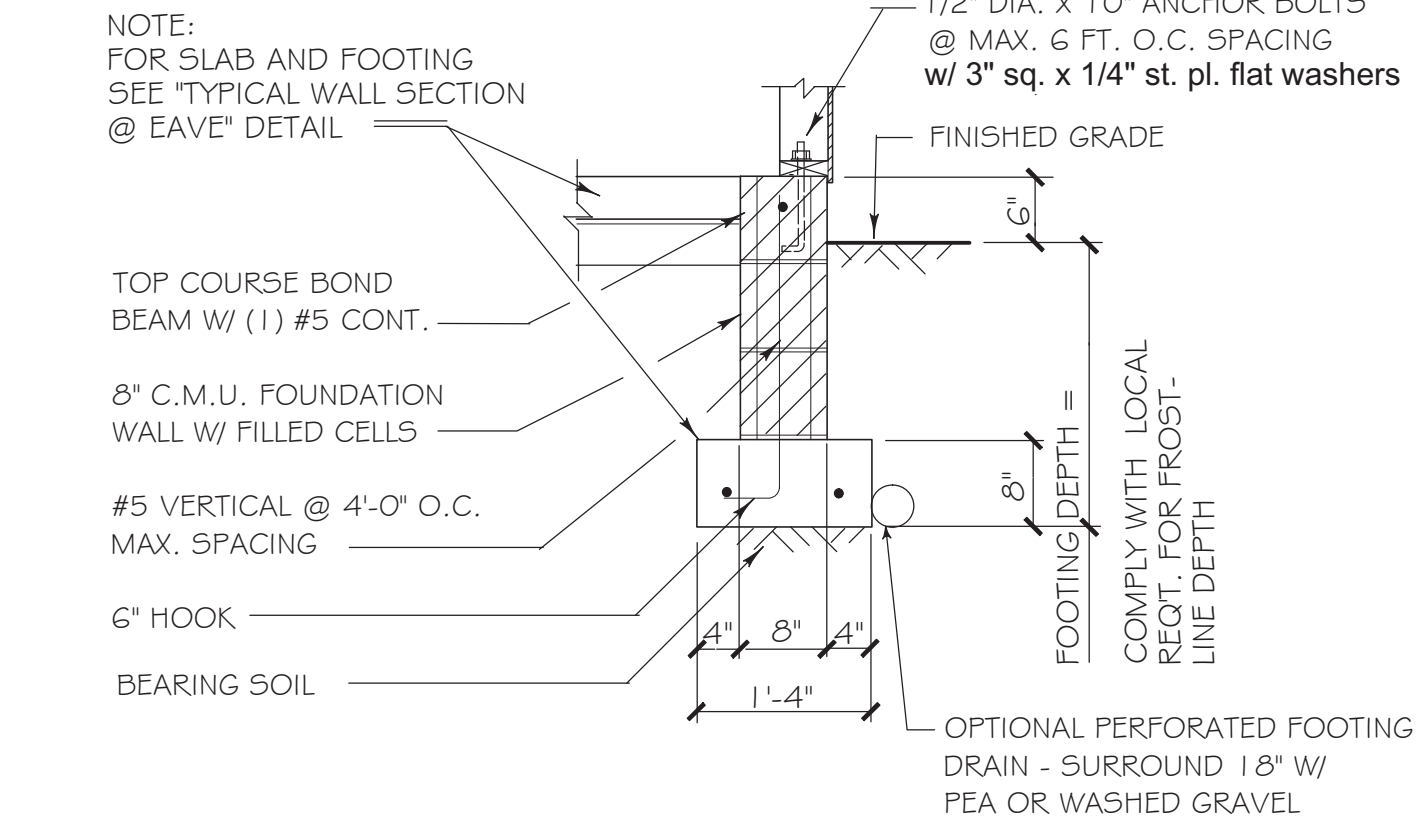
6 DOOR OPENING DETAIL



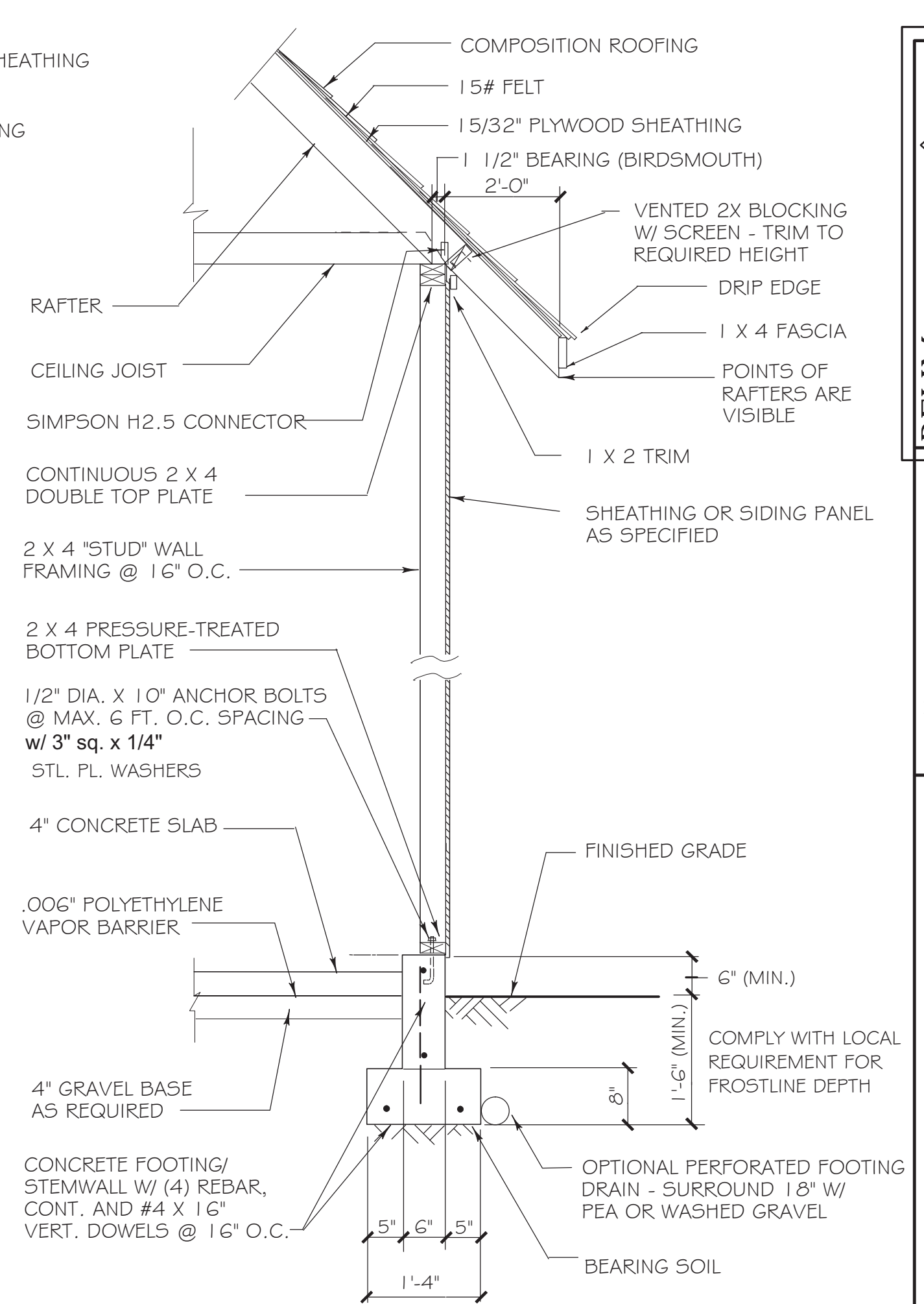
7 WINDOW OPENING DETAIL



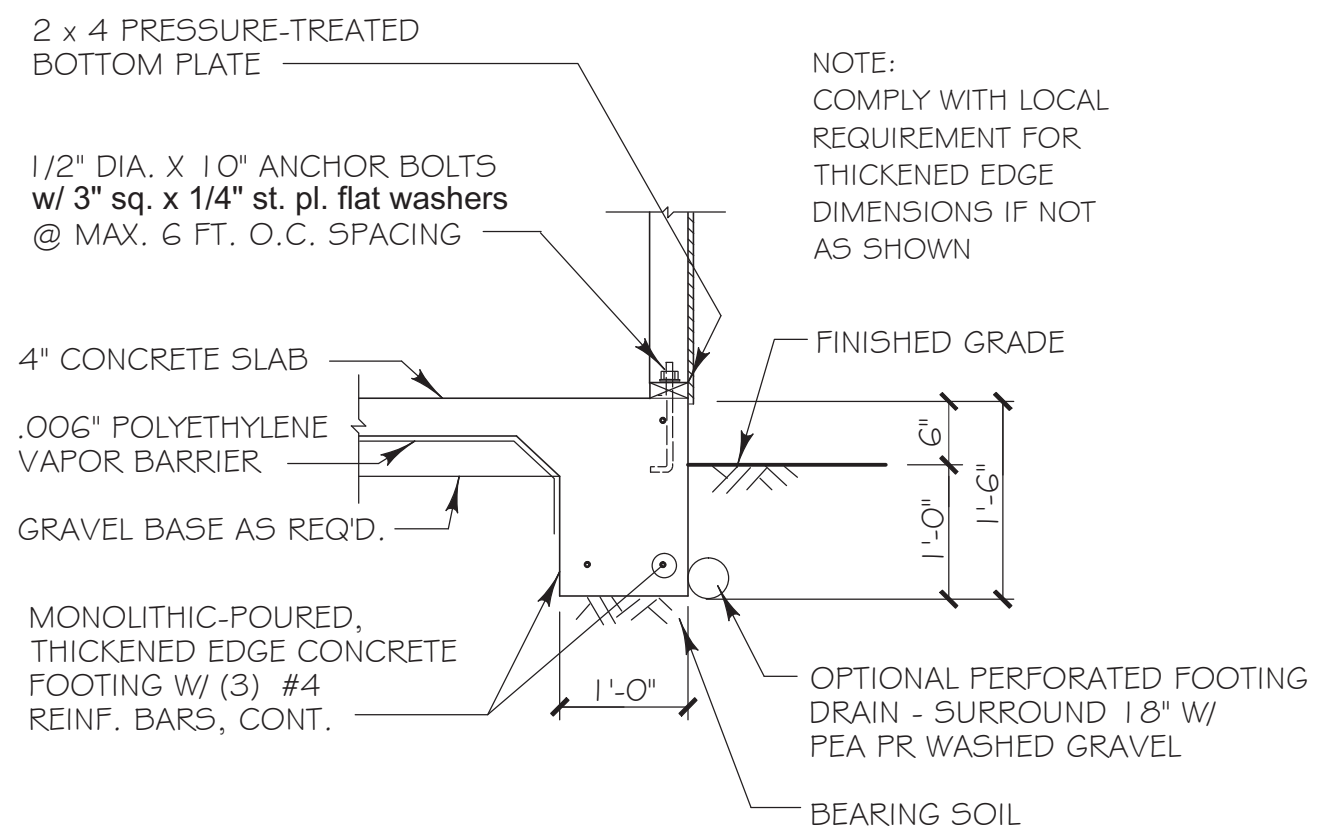
2 TYPICAL WALL SECTION @ GABLE
SCALE: 3/4" = 1'-0"



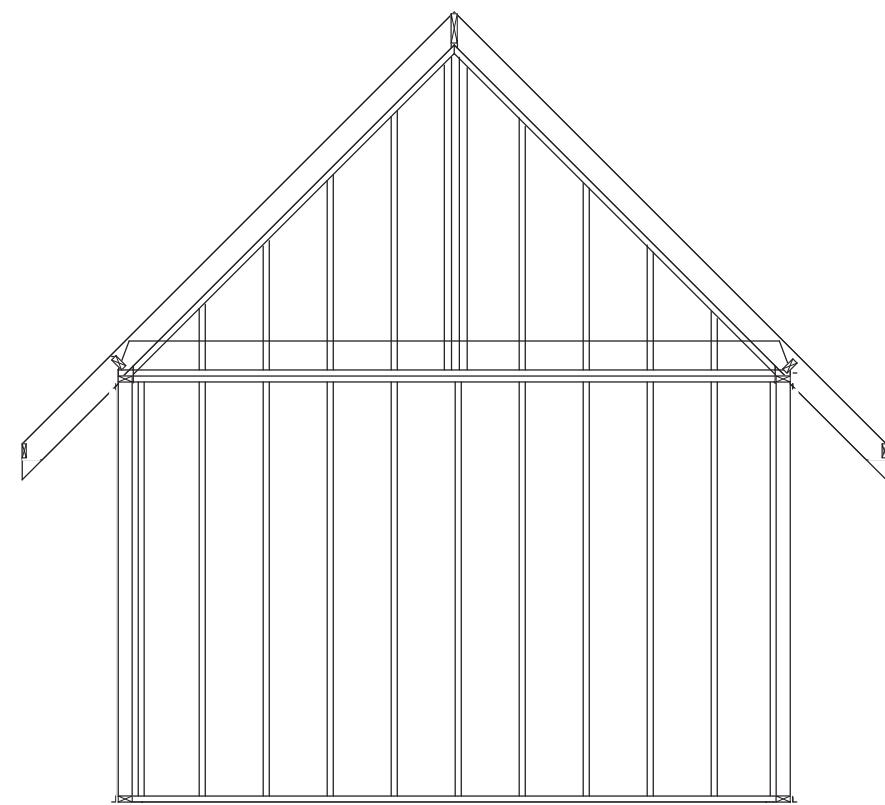
4 BLOCK FOUNDATION WALL DETAIL
SCALE: 3/4" = 1'-0"



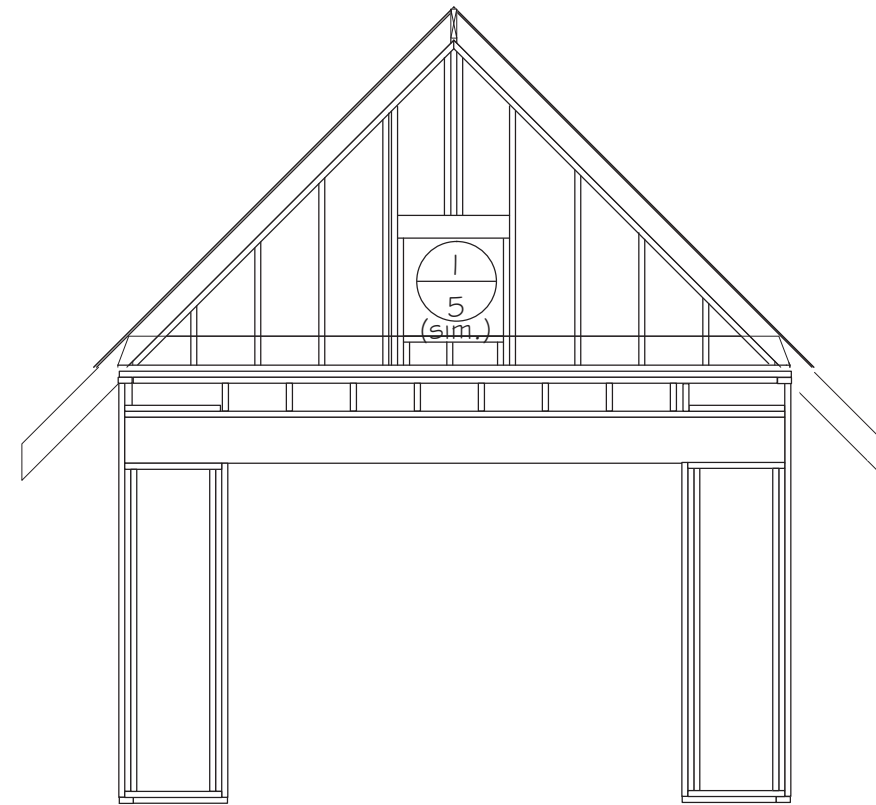
1 TYPICAL WALL SECTION @ EAVE
SCALE: 3/4" = 1'-0"



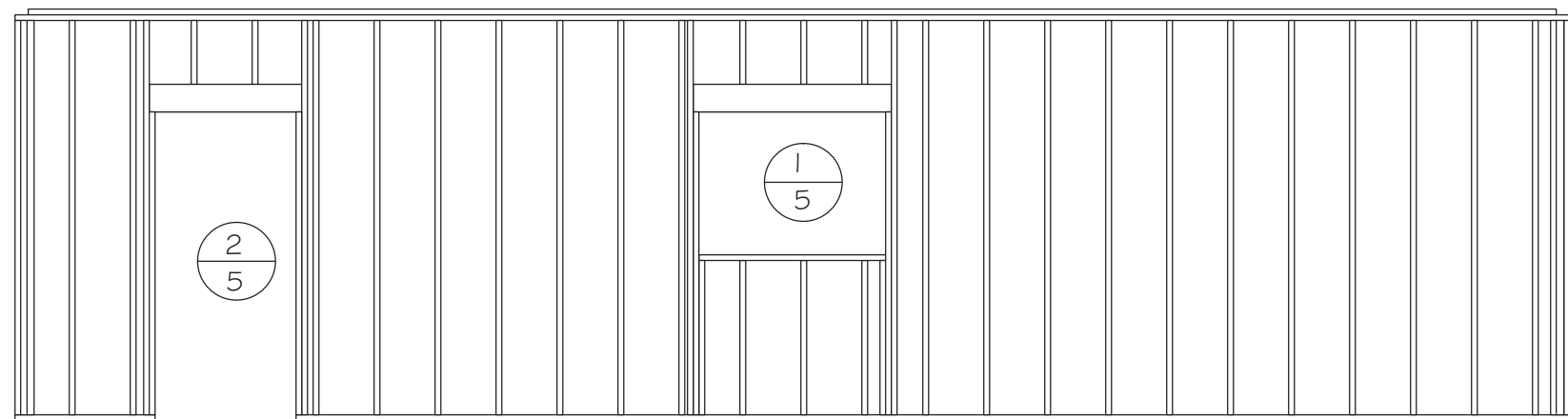
3 MONOLITHIC FOOTING DETAIL
SCALE: 3/4" = 1'-0"



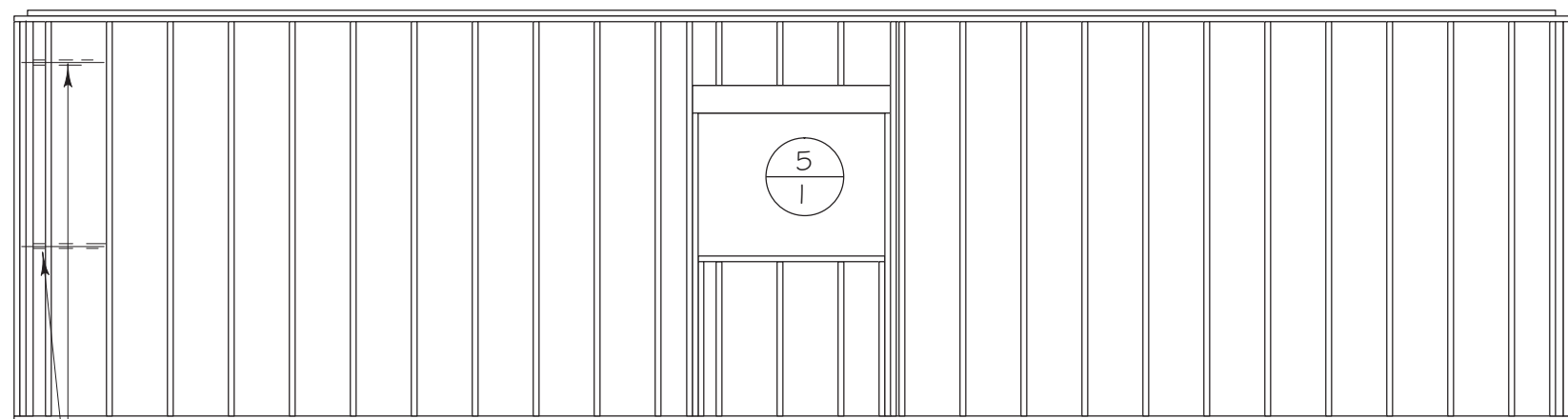
REAR WALL



FRONT WALL

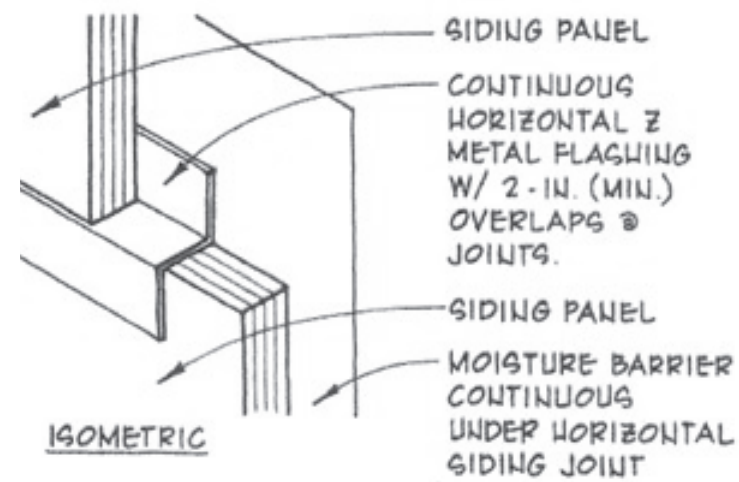


RIGHT SIDE WALL FRAMING ELEVATION

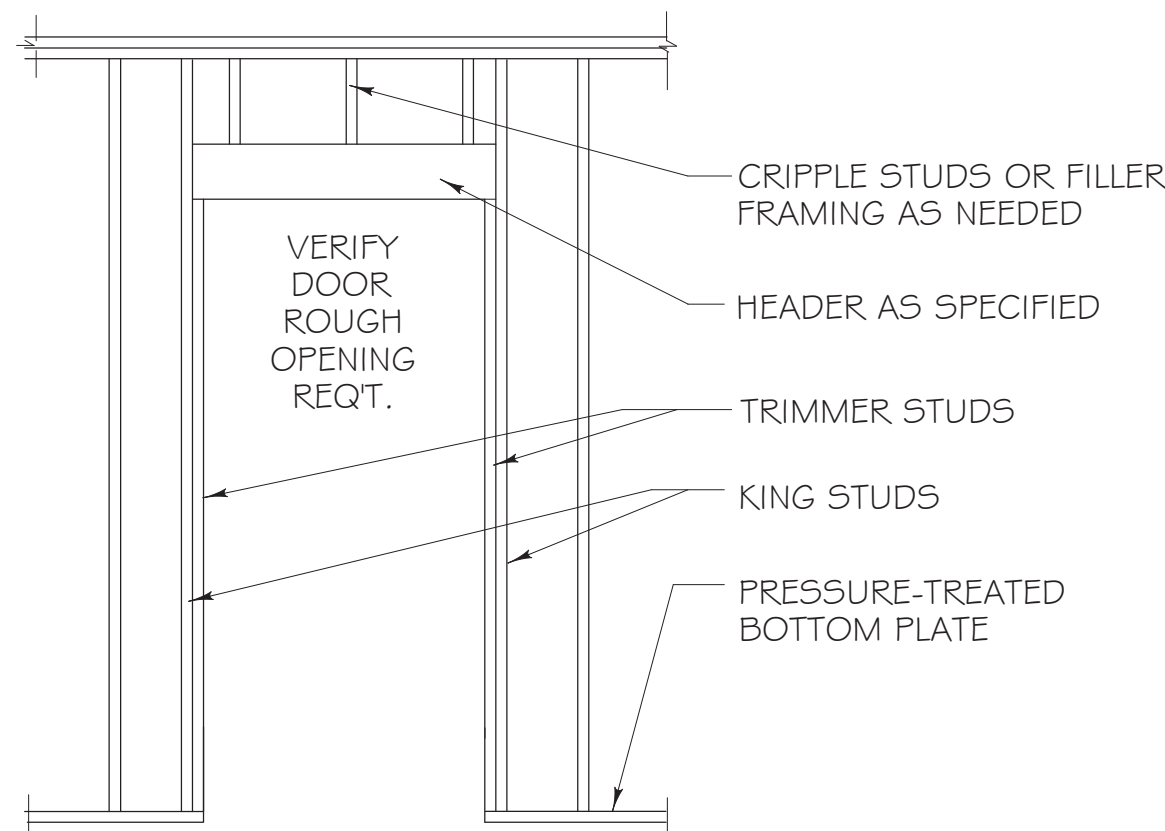


LEFT SIDE WALL FRAMING ELEVATION

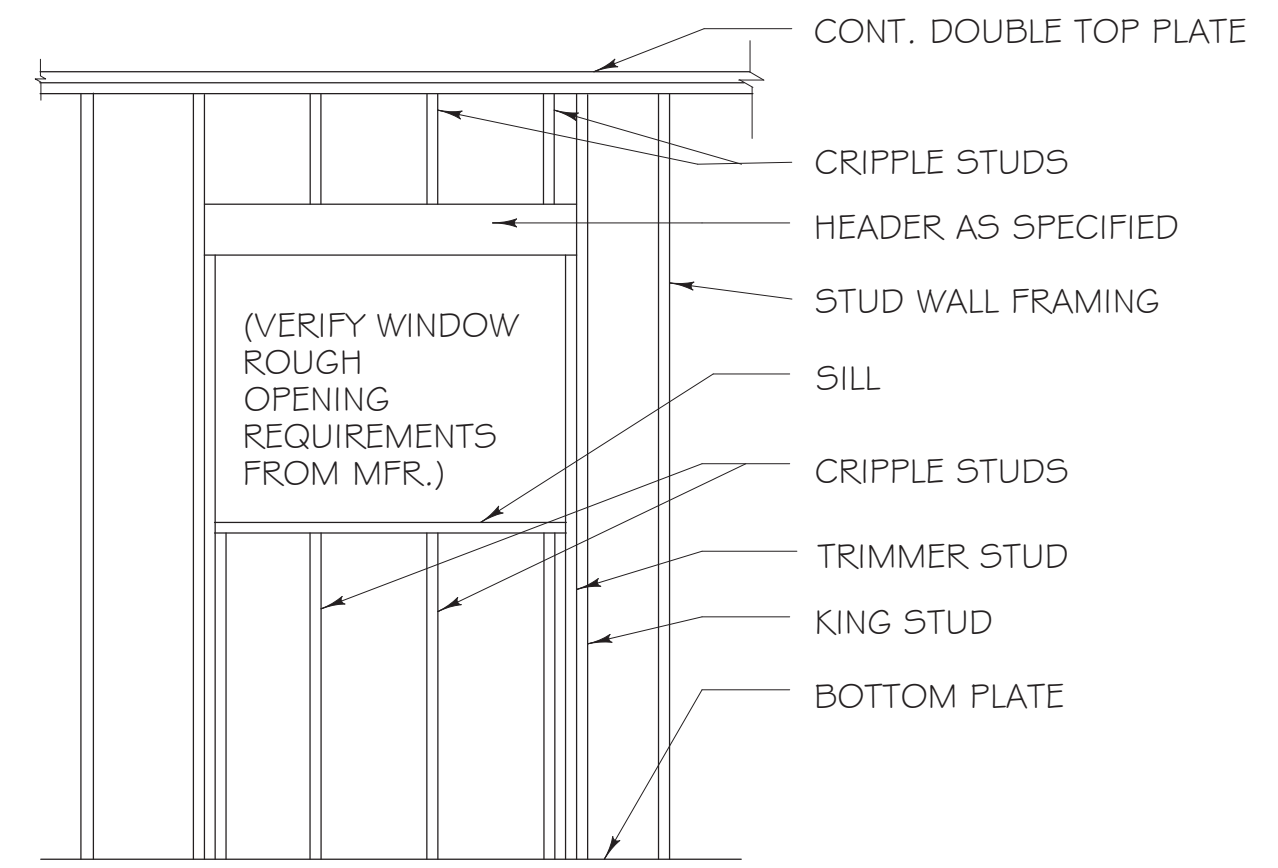
NOTE:
FOR HORIZONTALLY APPLIED WALL SHEATHING PROVIDE 2 X 4 HORIZONTAL
BLOCKING BETWEEN STUDS FOR PANEL EDGE NAILING FOR BRACED WALLS



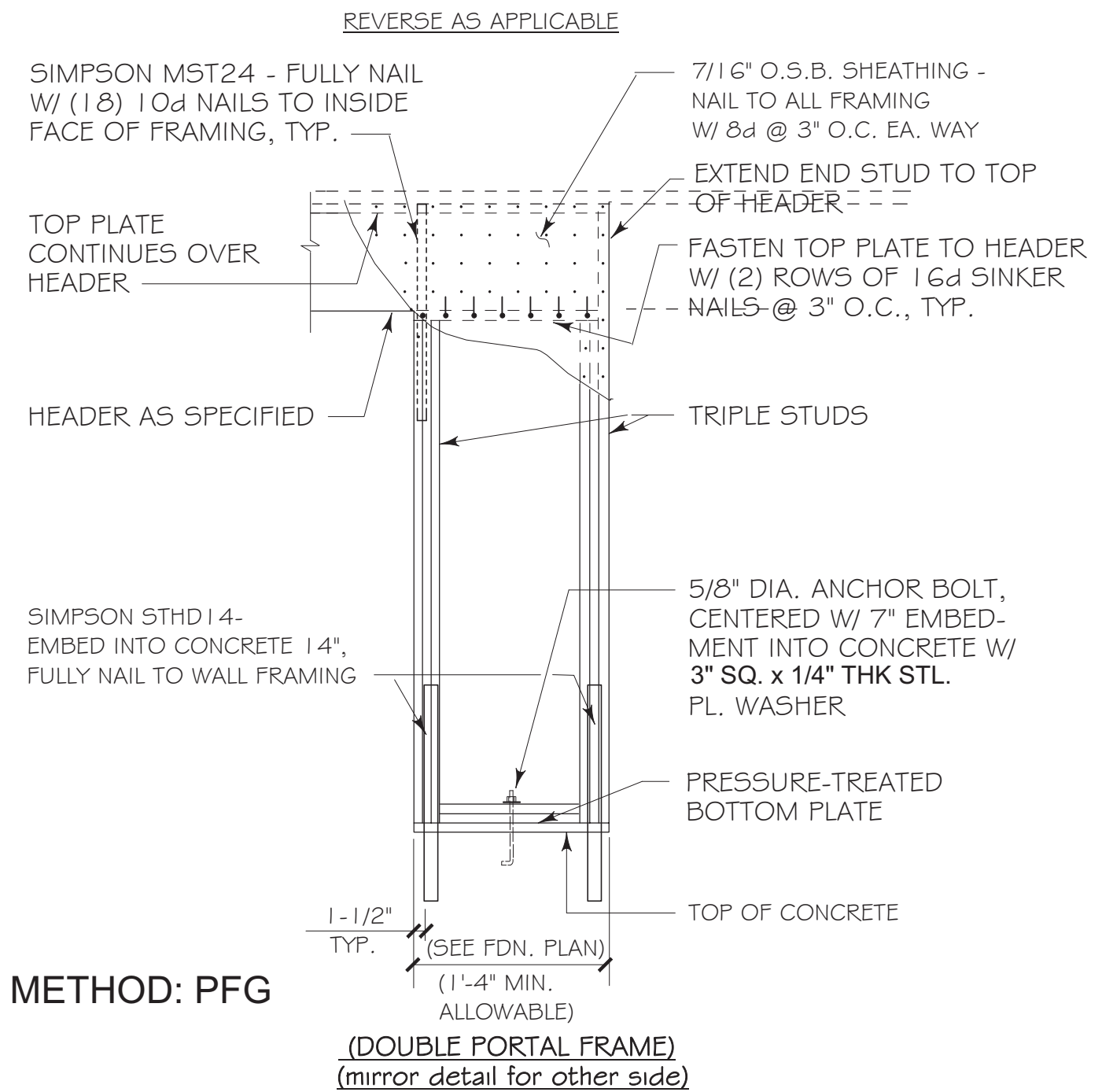
**FLASHING DETAIL
(PANEL SIDING)**



2 DOOR OPENING DETAIL

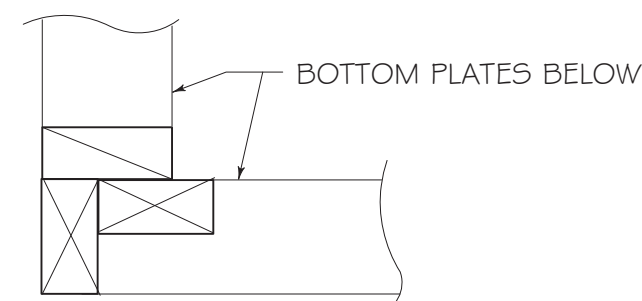


1 WINDOW OPENING DETAIL

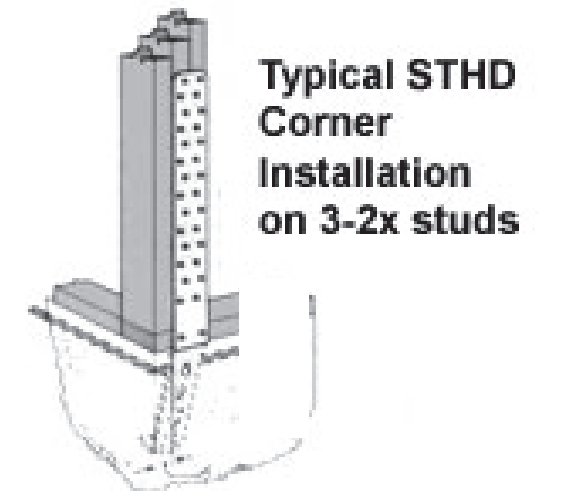


4 ALTERNATE BRACED WALL PANEL DETAIL

SCALE: 3/4" = 1'-0"



**STUDS @ CORNER
(PLAN VIEW)**



STHD10 HOLDDOWN

Exhibit #3- Vicinity Map

