



# Sandy City, Utah

10000 Centennial Parkway  
Sandy, UT 84070  
Phone: 801-568-7256

## Meeting Agenda Planning Commission

*Dave Bromley*  
*Cameron Duncan*  
*David Hart*  
*Ron Mortimer*  
*Daniel Schoenfeld*  
*Steven Wrigley*  
*LaNiece Davenport*  
*Craig Kitterman (Alternate)*  
*Jennifer George (Alternate)*

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Thursday, June 5, 2025

6:15 PM

Council Chambers and Online

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Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

[https://us02web.zoom.us/webinar/register/WN\\_v17MpgpHRxqLKk7RUZck\\_w](https://us02web.zoom.us/webinar/register/WN_v17MpgpHRxqLKk7RUZck_w)

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/86164573229>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866

(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/krXawqMr0>

Webinar ID: 861 6457 3229

Passcode: 646819

### 4:30 PM FIELD TRIP

1. [25-155](#) Map

Attachments: [06052025.pdf](#)

### 5:15 PM EXECUTIVE SESSION

### 6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

## Public Hearings

2.     [REZ04182025](#) Altus Rezone  
      [-006956 \(PC\)](#) 951 E. 8800 S.  
                  [Community #7, Quarry Bend]
- Attachments:     [Planning Commission Report-Altus Rezone](#)  
                          [Letters and Emails-Altus Rezone](#)

## Public Meeting Items

3.     [SGN0515202](#) Trans Jordan Sign Theme (Sign Theme Permit)  
      [5-036487](#) 8813 S. 700 W.  
                  [Community # 1, Northwest Exposure]
- Attachments:     [Staff Report](#)  
                          [Exhibit A](#)  
                          [Exhibit B](#)

## Administrative Business

### 1. Minutes

[25-156](#) Minutes

Attachments:     [05.15.2025 PC Minutes \(DRAFT\)](#)

### 2. Sandy City Development Report

[25-157](#) Development Report

Attachments:     [06.01.2025 DEV REPORT](#)

### 3. Director's Report

## Adjournment

## Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



# Sandy City, Utah

10000 Centennial Parkway  
Sandy, UT 84070  
Phone: 801-568-7141

## Staff Report

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**File #:** 25-155, **Version:** 1

**Date:** 6/5/2025

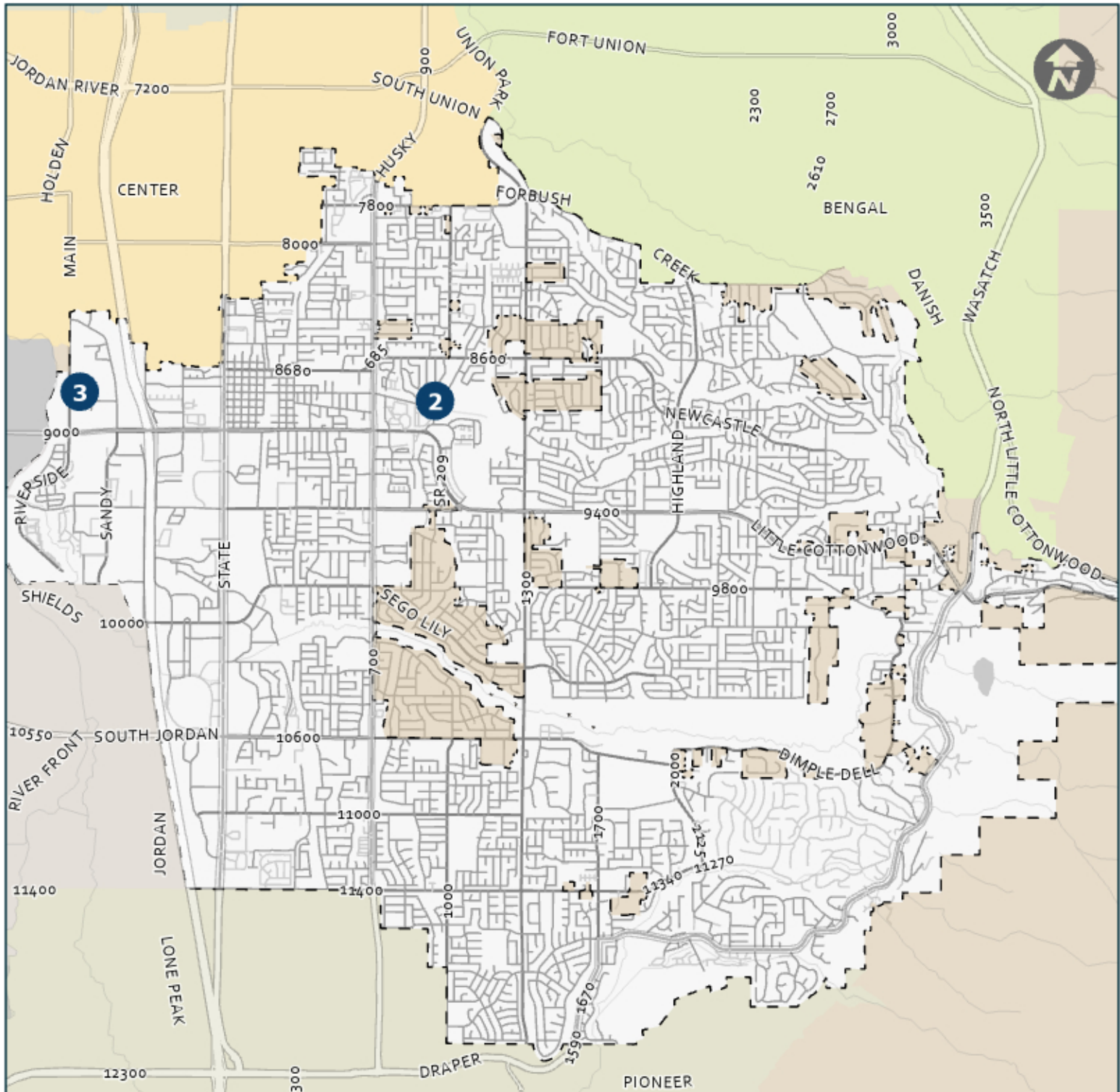
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Map



# Planning Commission Field Trip

## June 5, 2025



See Planning Commission agenda packet for specific addresses and details regarding the application.

1 Mile

Sandy City, UT  
Community Development Department

### Agenda Item Number



Locations to visit on your own



Locations to be visited on tour



## Staff Report

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**File #:** REZ04182025-006956  
**(PC), Version:** 1

**Date:** 6/5/2025

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**Agenda Item Title:**

Altus Rezone  
951 E. 8800 S.  
[Community #7, Quarry Bend]

**Presenter:**

Jake Warner, Long Range Planning Manager

**Description/Background:**

Brandon Harris, on behalf of Altus Development Group (applicant), is requesting a change of zone district on two parcels (2.14 acres) located at 951 E. 8800 S. from the R-1-20A Zone ("Single-Family Residential District") to the R-1-8 Zone ("Single-Family Residential District"). The subject property currently includes one single-family home and multiple accessory structures. Sandy City owns property on both the east and west sides of the subject property, a total of 0.54 acres combined. A neighborhood meeting was held on May 22, 2025.

See the attached staff report for additional information on this request.

**Further action to be taken:**

The action requested by the Application is a rezone, a legislative item, being presented to the Planning Commission to hold a public hearing and to forward a recommendation to the City Council. The City Council will make the final determination regarding the Application. If the rezone is approved, separate application would be required to be submitted for review and approval of proposed improvements.

**Recommended Action and/or Suggested Motion:**

**Alternatives:**

1. Forward a positive recommendation, recommending that the City Council approve the application for a zone change of the subject property and adjacent city-owned property, extending to street centerlines of Cy's Road and Harvard Park Drive, from the R-1-20A Zone to the R-1-8 Zone.
2. Forward a positive recommendation, recommending that the City Council approve the application for a zone change of the subject property from the R-1-20A Zone to the R-1-8 Zone.
2. Forward a negative recommendation, recommending that the City Council not approve the zone change from the R-1-20A Zone to R-1-8 Zone.
3. Table the decision for a future meeting.



# SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN  
COMMUNITY DEVELOPMENT  
DIRECTOR

MONICA ZOLTANSKI  
MAYOR

SHANE E. PACE  
CHIEF ADMINISTRATIVE OFFICER

## Staff Report Memorandum June 5, 2025

To: Planning Commission  
From: Community Development Department  
Subject: Altus Rezone  
951 E. 8800 S.  
[Community #7, Quarry Bend]

REZ04182025-006956  
R-1-20A to R-1-8 Zone  
2.7 Acres

**Public Hearing Notice:** This item has been noticed to property owners within 500 feet of the subject area, on public websites, at public locations, and a sign posted on site.

### Request

Brandon Harris, on behalf of Altus Development Group (applicant), is requesting a change of zone district on property located at 951 E. 8800 S. (owned by Cy Village LLC.). The request is to rezone the property from the R-1-20A (Single-Family Residential District) Zone to the R-1-8 (Single-Family Residential District) Zone (see Exhibit "A" for Application Materials).

### Background

The subject property includes two parcels, addressed as 951 E. 8800 S., approximately 2.14 acres in area. The property includes a house and multiple accessory structures. The house was built in 1960. A concept provided by the applicant depicts a proposed cul-de-sac street and eight single-family lots. If this rezone application is approved, subsequent applications (subdivision, site plan, building permit, etc.) would be required to be submitted, reviewed, and approved prior to any improvements.

Sandy City owns property adjacent to the west and east of the subject property. On the west side, the City owns property (Parcel #28051770020000, 0.41 acres) associated with an abandoned irrigation system. On the east side, the City owns property (Parcel



Property Rezone  
951 E 8800 S  
REZ04182025-006956

Sandy City, UT  
Community Development Department



Property Case History	
Case Number	Case Summary
CC-94	CC-94 Annexation (6/9/1965)
GG-41	GG-41 Annexation (3/12/1969)
II-93	II-93 Annexation (3/10/1971)

#28051760070000) acquired for the Harvard Park Drive right of way. The remnant portion of this property west of Harvard Park Drive is approximately 0.13 acres. As the size, shape, and location of the two City parcels would make it difficult for them to be developed independent of the applicant's property, the City is negotiating the disposition of both properties for inclusion in any future development of the subject property. The City is requesting that any rezone of the subject property also include the two City-owned properties, and extending to the centerline of Harvard Park Drive and Cy's Road.

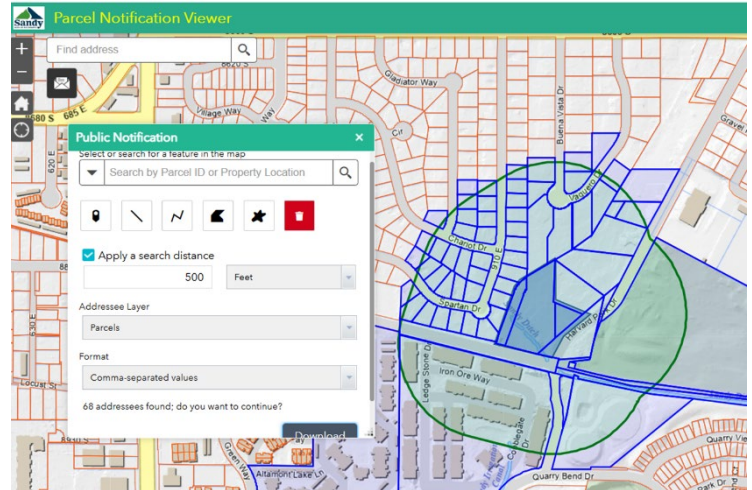
The application is requesting the R-1-8 Zone (Single Family Residential District). The zoning designation (and existing land use) of the surrounding properties are as follows (see also Exhibit "C" for an area zoning map):

North: R-1-8 & R-1-20A (single-family residential)  
 East: A-1, R-1-8, R-1-20A (Pebblebrook Golf Course)  
 South: SD-X (Cobblegate Apartments)  
 West: R-1-8 (single-family residential)

### **Public Notice and Outreach**

This item was noticed to all property owners within 500 feet of the proposal (see Exhibit "B") and posted to the property (see Exhibit "D"). The city also issued notice of the public hearing for the proposed rezone on public websites, mailed notice to affected entities and posted in three public locations at least 10 days prior to the Planning Commission public hearing in accordance with the Land Development Code Sec. 21-36-1 and the Utah State Code § 10-9a-205.

In addition, staff held a virtual neighborhood meeting via Zoom on May 22, 2025. Residents within 500 feet of the proposed site were notified by mail. Other than staff, the owner, and the applicant, 7 people attended the meeting.



### **Facts and Findings**

- The subject property is on the northwest corner of Cy's Road and Harvard Park Drive
- The zoning designation of the subject property is R-1-20A, which is a single-family residential zone that requires 20,000 square foot minimum lot sizes and allows farm animals. Properties to the north are also zoned R-1-20A.
- The applicant is requesting that the zoning designation be changed to the R-1-8 Zone, which is a single-family zone that requires 8,000 square foot lots. Properties to the west are zoned R-1-8.

- Sandy City owns property on the west (0.41 acres) and on the east (0.13 acres) of the subject property. Both properties would be difficult to develop independent of the subject property. The City is in negotiations with the property owner of the subject property to acquire both city-owned properties.
- General Plan (Pace of Progress: Sandy City General Plan 2050) analysis:
  - The future land use map designates the subject property as Low Density Neighborhood. “The Low Density Neighborhood (LN) land use designation is intended to consist “primarily of single-family residential areas focused on sustaining a high quality of life...” and to “preserve and enhance these uses and to regulate the design of new residential infill products to be within the context of the surrounding environment.” (page T20) With stated priorities being: 1. Preserving neighborhood character and quality of life, 2. Upkeep of existing housing stock, 3. Ensure smooth transitions between adjacent commercial areas and neighborhoods, 4. Opportunities for in-fill housing at an appropriate scale.
  - The subject property is not located in a station area plan, neighborhood activity center, and neither adjacent road is designated as a transition corridor.
  - Applicable goals, objectives, policies, and recommendations include:
    - Livability: Neighborhoods and Housing
      - Policy: Sidewalks and trails form complete pedestrian networks and are comfortable for users
      - Goal: Sandy’s neighborhoods in transition take advantage of opportunities and minimize negative impacts
      - Policy: Infill development will be consistent with the surrounding area based on average lot size, average setbacks, average heights, and average lot coverage
      - Goal: Newly developed housing for all households is in vibrant, attainable, and livable neighborhoods
    - Community: Health & Safety Measures
      - Sandy’s tree canopy is adequate to reduce heat islands and contribute to air quality improvements in all neighborhoods
    - Transportation & Connectivity
      - Policy: Identify opportunities to complete and improve the existing transportation network
    - Water Preservation
      - Policy: Promote development types that use water efficiently
    - Land Use
      - Objective: Sandy’s Future Land Use Map includes opportunities for the development of diverse housing types
      - Objective: Ensure that all planning applications are consistent with the General Plan and Future Land Use Map



**Conclusions**

- A zone change and development of the subject property should consider inclusion of adjacent city-owned property.
- A zone change is a legislative item that requires the Planning Commission to make a recommendation to the City Council, after having held a public hearing, with the City Council making the final decision.
- If the zone change application were to be approved, final approval of the proposed development, would be subject to compliance with the Development Code upon a full review of a subdivision and/or site plan application.

Planner:



Jake Warner  
Long Range Planning Manager

File Name: S:\USERS\PLN\STAFFRPT\2025\REZ04182025-006956 ALTUS\PLANNING COMMISSION\PC REPORT-JORDAN CU REZONE (5.22.25).PDF

## Exhibit "A"

### Application Materials



## SANDY CITY COMMUNITY DEVELOPMENT

### GENERAL DEVELOPMENT APPLICATION

Revised April 2022

#### Project Information

Name of Proposed Project: 951 E 8800 S Date Submitted: 4/18/2025  
 Parcel Tax I.D. Number(s): 28051760090000, 28051760170000, 28051770020000 Address: 951 E 8800 S, Sandy UT

#### Type of Request (mark all that apply)

<input type="checkbox"/>	Annexation
<input type="checkbox"/>	Code Amendment
<input type="checkbox"/>	Conditional Use Permit
<input type="checkbox"/>	General Plan Amendment
<input checked="" type="checkbox"/>	Rezoning of Property
<input type="checkbox"/>	Sign Review
<input type="checkbox"/>	Site Plan Review

<input type="checkbox"/>	Special Exception
<input type="checkbox"/>	Special Use Permit
<input type="checkbox"/>	Street Vacation / Closure / Street Renaming
<input type="checkbox"/>	Subdivision
<input type="checkbox"/>	Telecommunications
<input type="checkbox"/>	Temporary Use
<input type="checkbox"/>	Other <small>(Please Specify)</small>

Provide a brief summary of the proposed action/request:

Take the 3 existing parcels zoned R-1-20a, and rezone and subdivide  
into an 8 lot subdivision that meets the R-1-8 zoning regulations.

#### Applicant/Project Contact

By signing this application, you certify that you own the subject property or are authorized to act on behalf of the property owner to make the above referenced land use application(s). You also certify that the application information provided and submitted through the [Cityworks Portal](#) constitutes a complete submittal in compliance with Sandy City Code and Administrative Procedures to the best of your knowledge. You do also acknowledge that you have read and consent to the [disclosure](#) shown at the bottom of the page.

Signature: Brandon Harris Date: 4/18/2025  
 Name: Brandon Harris Company: Harris Design Group

#### Property Owner (if property owner is different than applicant)

By signing this application, you certify that the applicant listed above is authorized to act in your behalf regarding the above referenced land use application.

Signature: Phil Winston Date: 4/21/2025  
 Name: Phil Winston Company: Altus Development Group

**Disclosure:** The Planning Commission typically meets on the first and third Thursdays of the month. Applicants will be notified of changes in meetings and meetings times. The Planning Division will not officially accept a submittal until the conditions and necessary parts of each application procedure are completed.

Records provided to Sandy City are subject to the Utah Government Records Access and Management Act, Utah Code Ann. §63G-2-101 et seq., which may require Sandy City to produce a copy, including in its original form, to any person upon that person's request. Please consult legal counsel prior to submitting or presenting any record (book, letter, document, paper, map, plan, photograph, film, card, tape, recording, electronic data, or other documentary material regardless of physical form or characteristics) to any officer, official, employee, volunteer or agent of Sandy City for any reason including without limitation, in support of an application or for presentation or display in a meeting. Information that is not provided to Sandy City will not be considered when making decisions.

By signing this application, the property owner is allowing Sandy City staff access over and through the property close to the right-of-way to post legal notice requirements and to take photographs and/or drone footage.

10000 Centennial Parkway | Sandy, Utah 84070 | p: 801.568.7250 | f: 801.568.7278 | [sandy.utah.gov](http://sandy.utah.gov)

Exhibit "A"  
Application Materials (cont.)

Rezone Letter of Intent

April 18, 2025

Planning Department  
10000 Centennial Pkwy,  
Sandy, UT 84070

Location: Parcels 28051760090000, 28051760170000 and 28051770020000 @ 951 E 8800 S  
Existing Zoning: R-1-20a  
Proposed Zoning: R-1-8  
Future Land Use: Single family homes  
Acreage of property to be rezoned: 2.513 Acres

To Whom it may concern,

We are requesting zoning changes to parcels 28051760090000, 28051760170000 and 28051770020000, located at 951 E 8800 S in Sandy Utah, from R-1-20a, to become R-1-8.

See attached picture below from the Parcel Viewer:



The neighboring properties to the West are currently Zoned R-1-8, and the property to the South is SD(X) with apartments built on it.



Exhibit "A"  
Application Materials (cont.)

Legal Description of Properties

Legal Description of Properties:

Parcel 1:

Beginning at a point on the Northerly right of way line of a railroad right of way 1380 feet South and 255 feet West and South 48°51'00" West 460.0 feet from the North quarter corner of Section 5, Township 3 South, Range 1 East, Salt Lake Base and Meridian, and running thence North 76°16' West along said railroad right of way 172.44 feet (Northwesterly 177 feet by deed) to the Easterly line of the Sandy Canal; thence Northeasterly along said Easterly line of Sandy Canal the following two (2) courses: North 19°19'43" East 281.53 feet to a point of curvature, and along the arc of a 90.03 foot radius curve to the right 37.18 feet (Northeasterly along said canal 425 feet, more or less, by deed); thence North 0°00'22" East 62.49 feet (81 feet, more or less, by deed) to a point on Northwest right of way line of the Sandy Canal; thence North 58°37'19" East along said Northwest right of way line of the Sandy Canal 168.86 feet (190 feet to the Jordan Sandy district line by deed) to a point on an extended line of an old existing fence; thence South 0°56'09" West along said fence line 218.43 feet; thence South 67°41'09" East 7.82; thence South 186.31 feet; thence South 48°51'00" West 123.00 feet to the point of beginning.

Parcel 2:

Beginning at a point on the Northerly line of a railroad right of way 1380 feet South and 255 feet West and South 48°51'00" West 337.0 feet from the North quarter corner of Section 5, Township 3 South, Range 1 East, Salt Lake Base and Meridian, and running thence North 186.31 feet; thence South 67°41'09" East 156.81 feet; thence South 48°51' West 192.65 feet to the point of beginning.

Basis of Bearing North 89°59'38" West along the Section Line between the North quarter corner, and the Northwest corner of Section 5, Township 3 South, Range 1 East, Salt Lake Base and Meridian.

Parcel 3:

Warranty Deed #344143

Exhibit "A"  
Application Materials (cont.)

1/64" = 1' SCALE ON LETTER PAPER

PREPARED BY:  
ALTUS DEVELOPMENT GROUP

R-1-8 ZONING  
R-1-8 SETBACKS SHOWN  
FRONT: 25' TO GARAGE, 30' TO LIVING  
REAR: 20'  
SIDE: 8'

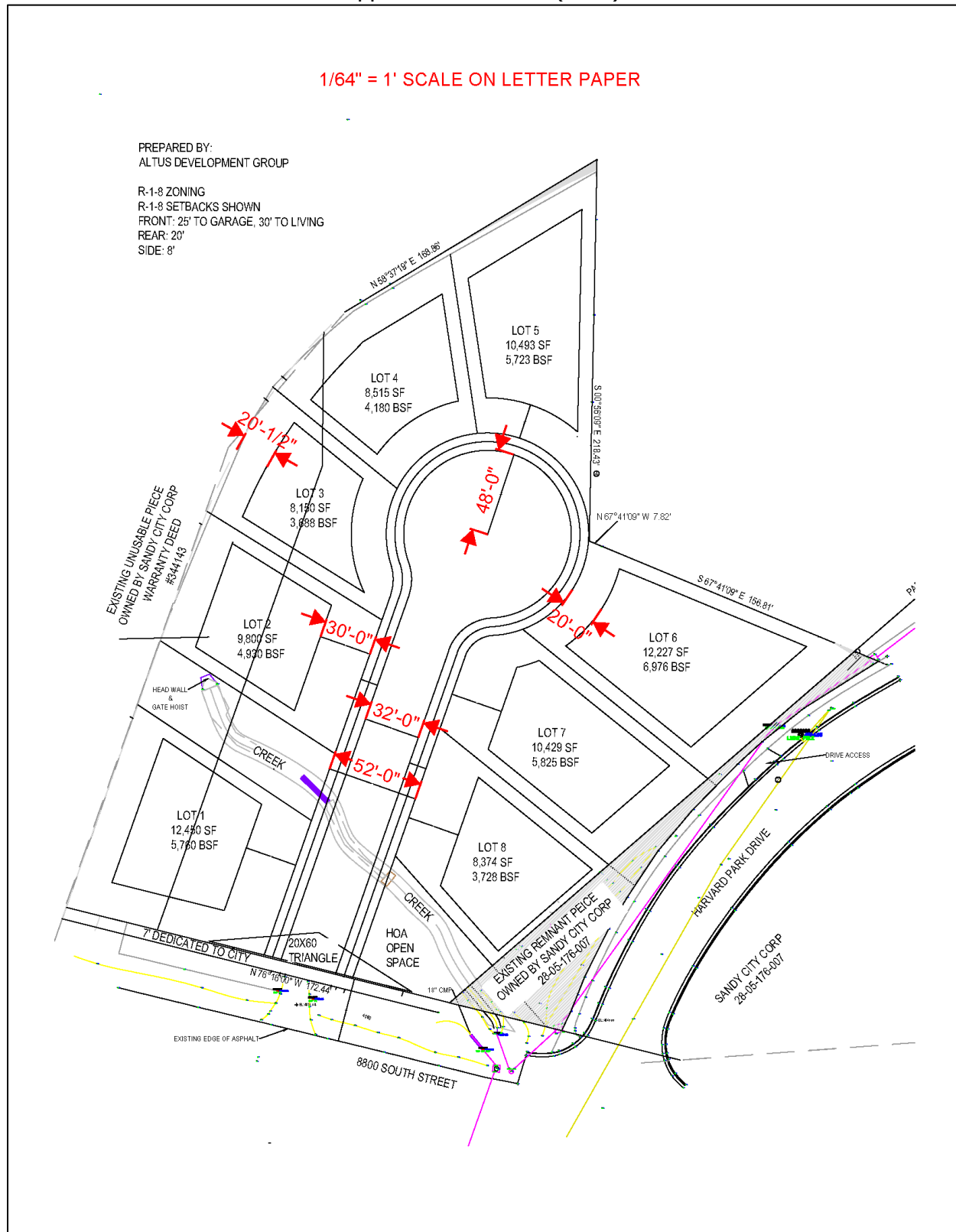


Exhibit "B"  
Planning Commission Notice



## SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN  
COMMUNITY DEVELOPMENT  
DIRECTOR

MONICA ZOLTANSKI  
MAYOR

SHANE E. PACE  
CHIEF ADMINISTRATIVE  
OFFICER

### Notice of Public Hearing

NOTICE IS HEREBY GIVEN that on **June 5, 2025** at approximately **6:15 p.m.**, the **Sandy City Planning Commission** will hold a public hearing regarding a rezone application submitted by Brandon Harris on behalf of Altus Development Group for property located at approximately 951 E. 8800 S. The request is to rezone approximately 2.6 acres from the R-1-20A (Single-Family Residential) Zone to the R-1-8 (Single-Family Residential) Zone. A concept plan (see reverse side) of the proposed project shows eight single-family lots on the property. All application materials and a full staff report for this item can be found at <https://sandyutah.legistar.com> when the agenda is published (typically the Friday preceding the meeting date).

This Planning Commission meeting will be conducted both in-person (in the Sandy City Council Chambers at City Hall, 10000 S. Centennial Pkwy.), and via Zoom Webinar (see details below). Interested parties may attend and participate in the meeting either in-person or by accessing the meeting using the Zoom webinar link below. Attendees wishing to comment who are participating virtually must have a microphone connected to their device (smartphone, laptop, desktop, etc.), otherwise you'll only be able to view the proceedings. A listen-only option is also available by telephone using the phone numbers provided below.

This notice is being sent to known property owners within 500 feet of this proposal. Please forward this information on to others who may be interested. Interested parties may provide comments prior to the meeting (no later than 3 p.m.) to Jake Warner, **Long Range Planning Manager**, at 801-568-7262 or by email at: [jwarner@sandy.utah.gov](mailto:jwarner@sandy.utah.gov).

#### How to join Zoom Webinar General Instructions:

- Join on via laptop, desktop or mobile device
- Go to [www.zoom.us](http://www.zoom.us)
- Click 'join a meeting', in the top right-hand corner
- Enter Meeting ID: 861 6457 3229 and click "Join."
- Enter Meeting Password: 646819
- A download should start automatically in a few seconds. If not, click "download here."
- Open download, meeting should begin at 6:15 p.m.
- To make a comment: Select "Participants" in the lower center of the screen. In the Participant Window, select "Raise A Hand" at the lower left to indicate that you would like to make a comment.

#### You can also join directly through this URL:

<https://us02web.zoom.us/j/86164573229>

#### Or join by phone (choose based on your current location):

US: +1 669 900 6833 or +1 719 359 4580 or +1 253 205 0468

Webinar ID: 861 6457 3229

Or find your local number:

<https://us02web.zoom.us/j/krXawqMr0>



Property Rezone  
951 E 8800 S  
REZ04182025-006956

Scale: City UT  
Community Development Department

10000 Centennial Parkway | Sandy, Utah 84070 | p: 801.568.7250 | f: 801.568.7278 | [sandy.utah.gov](http://sandy.utah.gov)

Exhibit "B"  
Planning Commission Notice (cont.)

1/64" = 1' SCALE ON LETTER PAPER

PREPARED BY:  
ALTUS DEVELOPMENT GROUP

R-1-8 ZONING  
R-1-8 SETBACKS SHOWN  
FRONT: 25' TO GARAGE, 30' TO LIVING  
REAR: 20'  
SIDE: 8'

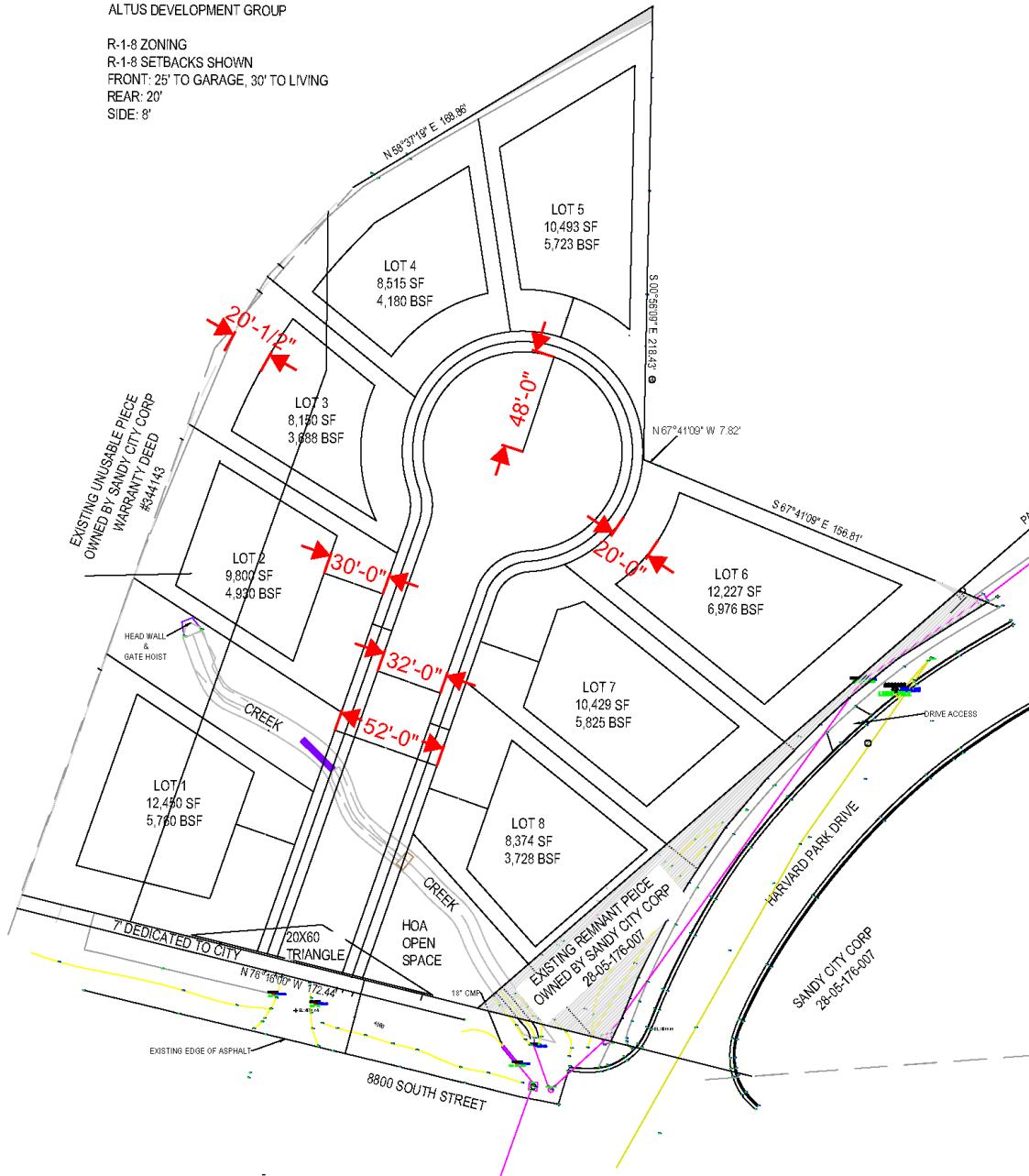




Exhibit "C"  
Zoning Map

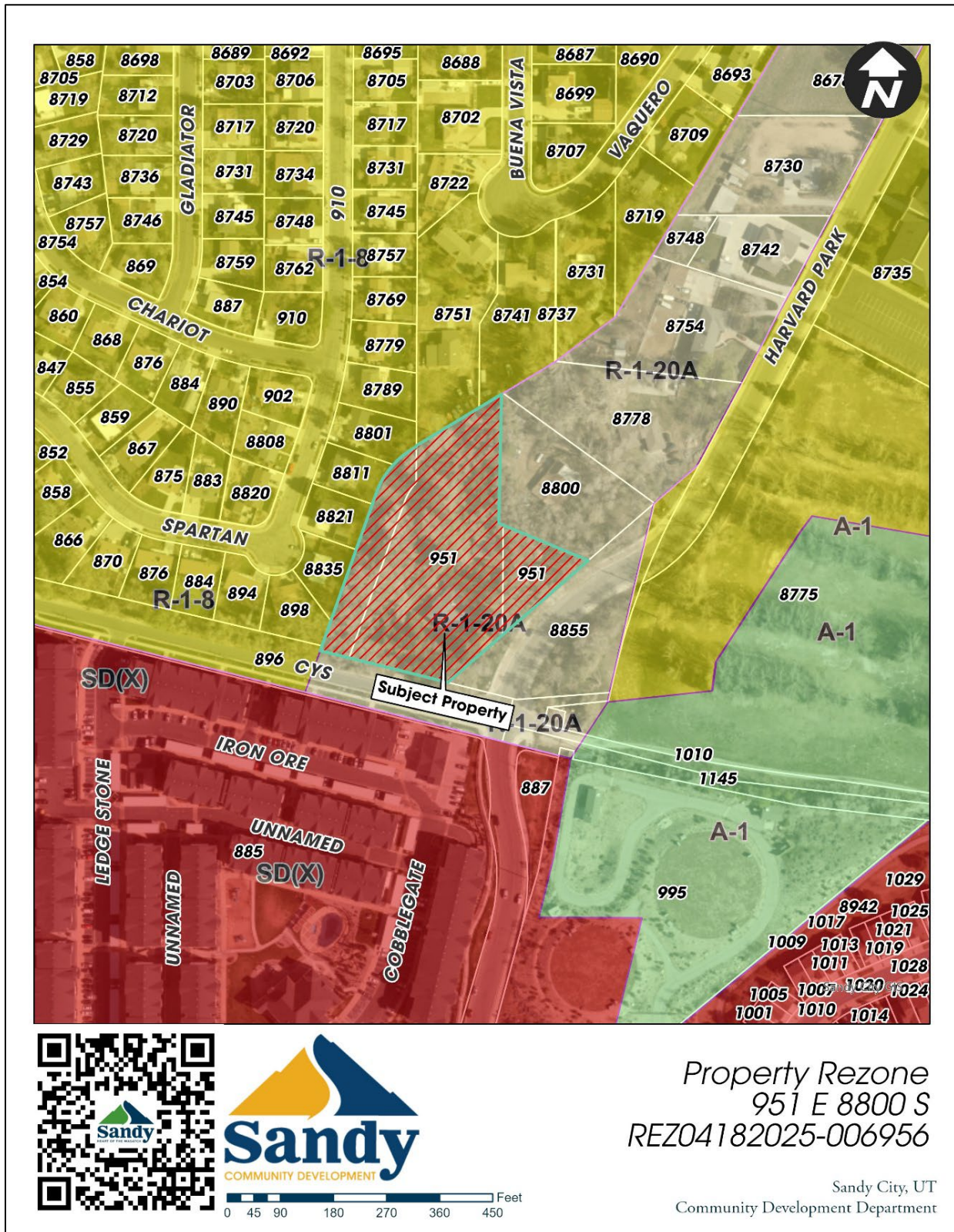


Exhibit "D"  
Neighborhood Meeting Summary



## SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN COMMUNITY  
DEVELOPMENT DIRECTOR

MONICA ZOLTANSKI  
MAYOR

SHANE E. PACE  
CHIEF ADMINISTRATIVE OFFICER

### Neighborhood Meeting Summary

**Date:** 5/22/2025

**Project Name:** Altus Rezone

**Applicants:** Altus Development Group (Brandon Harris)

**Location:** Zoom Webinar

**Number of Attendees:** 7

**Number of Invitees:** 61

**Project Description:**

The application proposes to rezone two parcels, and possibly adjacent city property, approximately 2.7 acres, located at approximately 951 E. 8800 S. from the R-1-20A Zone to the R-1-8 Zone. The property is currently being used for one single family home. The applicant intends to develop a single-family residential subdivision.

**Summary of Attendee Comments:**

Other than Planning staff and the project team, seven people attended. Attendees asked questions and commented on impacts of encroaching development on other R-1-20A properties, trees (both on the subject property and on adjacent properties), traffic on Harvard Park, improvements on Cy's Road, and the impact on existing ground water issues in the area.



Exhibit "E"  
Posted Sign Picture



**From:** [C Life](#)  
**To:** [Jake Warner](#)  
**Subject:** [EXTERNAL] Rezone  
**Date:** Saturday, May 24, 2025 2:32:57 PM

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**CAUTION:** Do not click links, open attachments, or reply, unless you recognize the sender's email address!

951 E 8800 S  
And 951 E 8800 S

Was hoping that the old and new communities could incorporate and connect walking paths and green spaces would be nice to be able to walk from my home 8820 S 910 E with a fenced pass through from 910 and Spartan to cy's road and walk along the creek to the park and walking pathes behind Walmart hobby lobby.

And for the area to be planted with new trees for shade as Sandy is the tree city cy's road lined with trees and a walking space connecting the neighborhoods would be nice! Please remove the old trash trees species that should be banned as invasive and cause allergy and asthma cottonwood but then line the street with drought tolerance plants like used for localscapes program.

Thank you please find away to allow walking from circles on 910 and Spartan to make sandy more walkable and connect green spaces to out doors.





## Staff Report

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**File #:**

SGN05152025-036487,

**Version: 1**

**Date: 6/5/2025**

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**Agenda Item Title:**

Trans Jordan Sign Theme (Sign Theme Permit)  
8813 S. 700 W.  
[Community # 1, Northwest Exposure]

**Presenter:**

Sarah Stringham, Planner

**Description/Background:**

The applicant, Chris Child with Galloway & Company, Inc., on behalf of the property owners of the Trans-Jordan Waste Transfer Station is requesting approval of a sign theme for the combined parcels of the Trans-Jordan Waste Transfer Station, Salt Lake County Household Hazardous Waste, and Sandy City Public Works located at 8813 S. 700 W. The request is for a sign theme to allow for directional and information signage throughout the site.

See the attached staff report and exhibits for full details of the application.

**Recommended Action and/or Suggested Motion:**

Staff recommends that the Planning Commission approve the sign theme for the Trans- Jordan Waste Transfer Station and as described in the staff report for the property located at 8813 S. 700 W. based on the following findings and subject to the following conditions:

**Findings:**

1. Staff finds that the proposed sign theme meets the intent of Section 21-26-10 of the Sandy City Development Code regarding approval by the Planning Commission for developments of seven or more acres and having more than 300 linear feet of frontage.
2. There are two existing signs that did not go through the sign permitting process.

**Conditions:**

1. That the overhead directional sign (Type E) be modified to meet the intent of the design requirement for the support posts for pylon signs as set forth in Sec. 21-26-7(c)(7) of the Sandy City Land Development Code with pole covers covering up to 10' of the poles and that the remaining exposed poles be painted white.
2. That the existing Type B sign goes through permitting and the Type C sign be replaced with a similar sign to the Type B directional sign. The directional signs be permitted up to 23 square feet and six feet in height.

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**File #:**  
SGN05152025-036487,  
**Version:** 1

**Date:** 6/5/2025

- 
3. That the scale house sign be allowed to occupy no more than 25% of the wall façade.
  4. That the signs installed meet all requirements set forth in the Sandy City Land Development Code and sign code.
  5. Any signs installed go through the proper sign permitting process.
  6. Any additions or alterations to the Sign Theme be approved by the Planning Commission prior to being installed.



JAMES SORENSEN  
COMMUNITY DEVELOPMENT  
DIRECTOR

MONICA ZOLTANSKI  
MAYOR

SHANE E. PACE  
CHIEF ADMINISTRATIVE  
OFFICER

## Staff Report Memorandum June 5, 2025

To: Planning Commission  
From: Community Development Department  
Subject: Trans Jordan Sign Theme (Sign Theme Permit)  
8813 S. 700 W.  
[Community # 1, Northwest Exposure]

SGN05152025-036487  
ID Zone  
20 acres

**Public Meeting Notice:** This item has been noticed to property owners within 500 feet of the subject area, on public websites, and at public locations.

### Request

The applicant, Chris Child with Galloway & Company, Inc., on behalf of the property owners of the Trans-Jordan Waste Transfer Station is requesting approval of a sign theme for the combined parcels of the Trans-Jordan Waste Transfer Station, Salt Lake County Household Hazardous Waste, and Sandy City Public Works located at 8813 S. 700 W. The request is for a sign theme to allow for directional and information signage throughout the site. See Exhibit A and B for details of the application.

### Background

There are two parcels that are approximately 20 acres (871,200 square feet) that make up the area for the proposed sign theme. The Trans-Jordan Waste Transfer Station is mostly contained to one parcel owned by the Sandy Suburban Improvement District. The rest of the facility is on land that is leased from Sandy City. The Salt Lake County Household Hazardous Waste (SLCo HHW) building is also located on property that is leased from Sandy City. The Sandy City Public Works building is located just north of the SLCo HHW building. The properties are located in the Industrial Zone (ID). The surrounding properties to the north, south, and west are in the ID zone. Property to the east is in the CR-PUD zone.



SGN05152025-036487  
Sign Theme  
8813 S 700 W

Sandy City, UT  
Community Development Department

Property Case History	
Case Number	Case Summary
SPR 91-12	Sandy Public Works Expansion
SPR 01-07	Sandy Animal Shelter
SPR 01-36	Sandy Suburban Improvement District
SPR 04-08	Public Works Wash Rack
SPR 06-32	Sandy City Police/Arts Warehouse
SPR-08-16-5117	Salt Storage Facility
SPR-12-17-5338	Sandy City Public Works Office and Complex
SPR06042021-006065	SLCo Household Hazardous Waste Facility
SPR11232022-006449	Trans-Jordan Waste Facility
SPR07272022-006369	Sandy Public Works Fuel Island
SPR02152023-006485	Sandy Public Works Phase II
SGN09262023-031817	SLCo HHW/Trans-Jordan Monument Sign

### **Public Notice and Outreach**

This item has been noticed to property owners within 500 feet. A neighborhood meeting was not held for this project, due to the property being in an established industrial area. Staff have not received any emails or phone calls regarding the project.

### **Analysis**

Section 21-26-10(b) of the Sandy City Land Development code states that upon Planning Commission approval, the design and placement of on-premises signs (including any proposed advertising statuary signs) for developments of seven acres or larger and having at least 300 lineal feet of frontage may vary from the regulations set forth herein. The Planning Commission must determine that:

- The proposed sign exceptions are not in conflict with the purpose and intent of this chapter;
- The proposed signs are in architectural harmony with the development; and
- The proposed signs appropriately utilize those elements listed in the design criteria of this chapter

**Sign Design.** Each sign submitted for approval shall incorporate the following elements:

1. Architectural compatibility
2. Size, scale, proportion (balance)
3. Illumination
4. Color and style
5. Location
6. Landscaping

The Tran-Jordan Waste Transfer Station, in conjunction with Salt Lake County Household Hazardous Waste (SLCo HHW) and Sandy City Public Works are proposing several signs that will help contribute to site functionality and safety of the area. There are multiple entry points to these businesses with scales, restricted zones, and high vehicle traffic. The applicant is proposing several signs that will help to direct both public and commercial vehicles as they navigate the area. Part of the Trans-Jordan Waste Transfer Station and the SLCo HHW are located on property owned by Sandy City and is leased by these entities.





### Directional Signage

**Type A - Entry Feature Sign** (see Exhibit B) - There is an existing monument sign for the SLCo HHW and Trans-Jordan at the entrance of the SLCo HHW facility. This sign went through the sign permitting process. The total sign height is six feet, and the sign copy portion is 40 square feet.

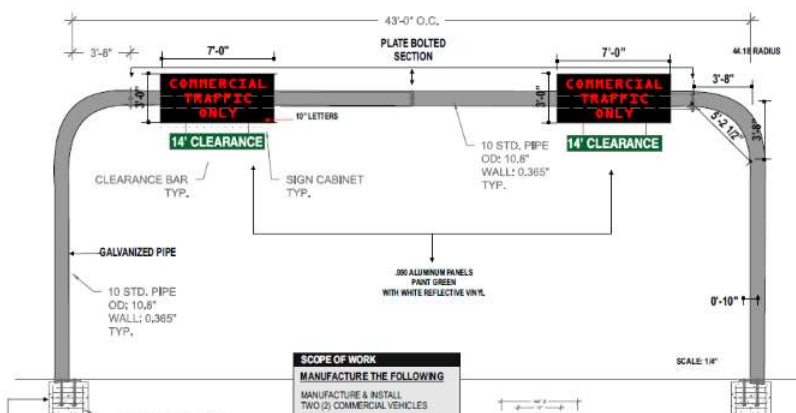


**Type B – Secondary Entry/Directional Sign** (see Exhibit B) - There is an existing monument sign for directions to the SLCo HHW and Trans-Jordan drop off areas. The sign is six feet in height and 23 square feet. This sign has not been approved through the sign permit process. This sign could qualify under the directional sign standards in Sec. 21-26-7(b) Standards for Permanent Signs that Require a Permit in the Sandy City Land Development Code.

**Type C – Internal Directional Sign** (see Exhibit B) - There is an existing directional sign for directions to SLCo HHW, Trans-Jordan, and Sandy City Public Works. This sign has not been approved through the sign permit process and does not meet the standards located in Sec. 21-26-7(b) Standards for Permanent Signs that Require a Permit in the Sandy City Land Development Code for directional signage or a monument sign. See staff concerns below.



**Type E – Wayfinding Sign** (see Exhibit B) - A large overhead directional sign at the commercial entrance to the Trans-Jordan site is being proposed. The proposed sign is 19 feet 9 inches high to the top of the sign and 43 feet across. The clearance signs are 14 feet high. The sign will have an overhead cross bar with two electronic signs indicating what types of traffic are allowed at any given time. This will serve primarily as a 'commercial user' entrance Monday – Friday and 'all traffic' on Saturdays. There will be a 'closed message' on Sundays and holidays. The electronic portion of the sign would 100% of the sign face. This type of sign device as proposed would not fit into any legal sign types listed in the code. However, this sign type could be most closely associated with a pylon sign in Sec. 21-26-7(c) of the Sandy City Land Development code if those design standards were to be followed.



**Trans-Jordan Building Signage**

The proposed wall signage of the Trans-Jordan facility shows the branded signage for the transfer station on the building faces and scale house. There is also a proposed public entrance sign on the building. The proposed sign on the scale house is approximately 24% of the wall face. Sec. 21-26-7(j)(3) Wall Signs in the Sandy City Land Development Code states that signage may not occupy more than 15% of any one wall.

**Staff Concerns**

Staff is concerned that the two directional signs (Type B and C) did not receive a sign permit. The Type B directional sign would be allowed to remain with a permit but the Type C sign does not meet the standards for a directional sign. Staff is recommending the Type C sign be replaced with a sign similar in design to the Type B sign. This type of sign would be able to be permitted under the directional sign standards and would allow for more consistency with the directional signage. Those directional signs would exceed the height and square footage typically allowed, but that request to increase the sign area is part of the sign theme request.

Staff is concerned about the Type E wayfinding sign and that as proposed does not fit into the design standards for any legal sign type. This sign could be most closely associated with a pylon sign with certain modifications that would more closely follow those standards. Staff is recommending that the support poles follow the standards for pylon signs in Sec. 21-26-7(c)(7) that states that structural supports are covered or concealed with pole covers. The covers must utilize materials that are architecturally compatible with the building or development to which it is associated.

**Recommendation**

Staff recommends that the Planning Commission approve the sign theme for the Trans- Jordan Waste Transfer Station and as described in the staff report for the property located at 8813 S. 700 W. based on the following findings and subject to the following conditions:

**Findings:**

1. Staff finds that the proposed sign theme meets the intent of Section 21-26-10 of the Sandy City Development Code regarding approval by the Planning Commission for developments of seven or more acres and having more than 300 linear feet of frontage.
2. There are two existing signs that did not go through the sign permitting process.

**Conditions:**

1. That the overhead directional sign (Type E) be modified to meet the intent of the design requirement for the support posts for pylon signs as set forth in Sec. 21-26-7(c)(7) of the Sandy City Land Development Code with pole covers covering up to 10' of the poles and that the remaining exposed poles be painted white.
2. That the existing Type B sign goes through permitting and the Type C sign be replaced with a similar sign to the Type B directional sign. The directional signs be permitted up to 23 square feet and six feet in height.
3. That the scale house sign be allowed to occupy no more than 25% of the wall façade.
4. That the signs installed meet all requirements set forth in the Sandy City Land Development Code and sign code.
5. Any signs installed go through the proper sign permitting process.
6. Any additions or alterations to the Sign Theme be approved by the Planning Commission prior to being installed.

Planner:



Sarah Stringham  
Planner

File Name: S:\USERS\PLN\STAFFRPT\2025\SGN05152025-036487 - TRANS JORDAN SIGN THEME\STAFF REPORT TRANS JORDAN SIGN THEME.DOCX

## Exhibit “A”

See separate attachment for full details



The Trans Jordan Solid Waste Transfer Station plays a vital role in the city’s waste management system, supporting public health, environmental goals, and efficient service delivery. To enhance both operational clarity and community awareness, we propose the adoption of a **sign theme** and request approval to allow additional on-site signage beyond standard zoning limits.

This provides a unified design framework for directional, informational, and identification signage throughout the facility. **Improve site functionality and safety:** With multiple entry points, scales, restricted zones, and high vehicle traffic, clear, consistent signage is essential to guide residents, haulers, and staff safely through the site. The **primary purpose of this request is safety.** The facility receives a steady flow of both residential and commercial traffic, including large trucks, equipment, and personal vehicles. Without clear, well-placed signage, there is a higher risk of confusion, misdirection, and potential accidents. These four themed signs are essential to help visitors—many of whom are unfamiliar with the site—move safely and confidently through active operational zones.

### Sign Types and Placement

The proposed signage plan includes **four distinct sign types**, as shown in the attached site diagram. Each sign serves a unique function within the facility:

1. **Type A – Entry Feature Sign**  
Positioned at the facility entrance, this sign provides clear identification of the site.
2. **Type B – Secondary Entry/Directional Sign**  
Guides incoming traffic and separates public access from operational areas, reducing the risk of crossover between public vehicles and heavy equipment.
3. **Type C – Internal Directional Sign**  
Located at key internal intersections, this sign ensures proper flow through drop-off areas, scales, and restricted zones, increasing efficiency and reducing risk.
- 1.
4. **Type E – Wayfinding Sign**  
Supports both pedestrian and vehicle navigation within the site, particularly for first-time users unfamiliar with operational procedures.

All signage follows a consistent design framework, as shown in the Sign Theme Diagram, ensuring visual unity across the site while serving distinct navigational functions.

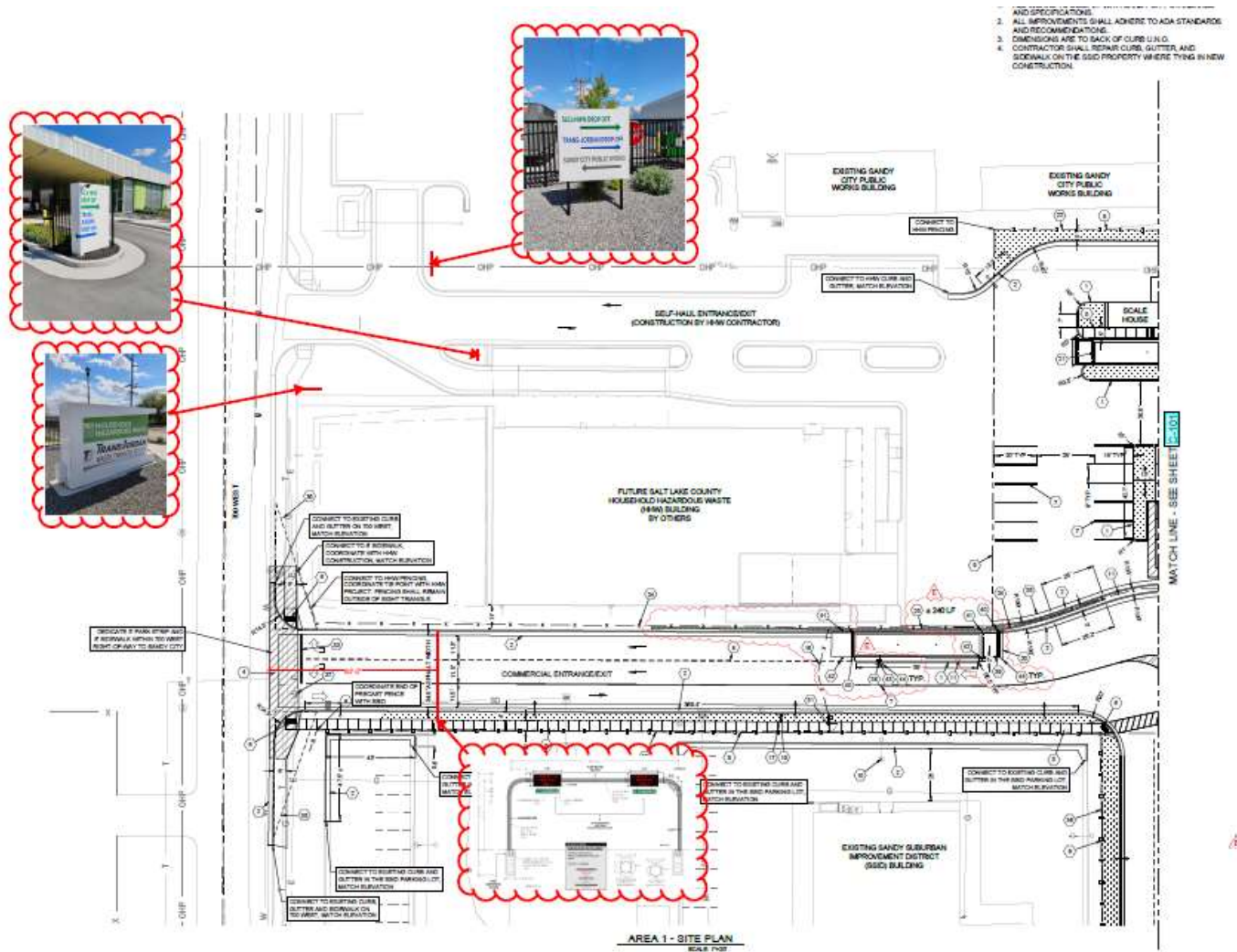
- **Ensure visual consistency:** A coordinated theme ensures that all signage—from directional signs to facility identification—shares a cohesive aesthetic. This prevents visual clutter and supports a professional public image.
- **Communicate City values:** The theme reinforces Sandy’s commitment to clean operations and environmental responsibility, in line with broader sustainability goals and community expectations.
- **Enhance user experience:** Many residents visiting the facility are first-time users. Clear, themed signage reduces confusion, improves efficiency, and strengthens public perception.





## Exhibit "B"

See separate attachments for full details



The Trans Jordan Solid Waste Transfer Station plays a vital role in the city's waste management system, supporting public health, environmental goals, and efficient service delivery. To enhance both operational clarity and community awareness, we propose the adoption of a **sign theme** and request approval to allow additional on-site signage beyond standard zoning limits.

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## Sign Types and Placement

The proposed signage plan includes **four distinct sign types**, as shown in the attached site diagram. Each sign serves a unique function within the facility:

### 1. Type A – Entry Feature Sign

Positioned at the facility entrance, this sign provides clear identification of the site.

### 2. Type B – Secondary Entry/Directional Sign

Guides incoming traffic and separates public access from operational areas, reducing the risk of crossover between public vehicles and heavy equipment.

### 3. Type C – Internal Directional Sign

Located at key internal intersections, this sign ensures proper flow through drop-off areas, scales, and restricted zones, increasing efficiency and reducing risk.

1.

### 4. Type E – Wayfinding Sign

Supports both pedestrian and vehicle navigation within the site, particularly for first-time users unfamiliar with operational procedures.

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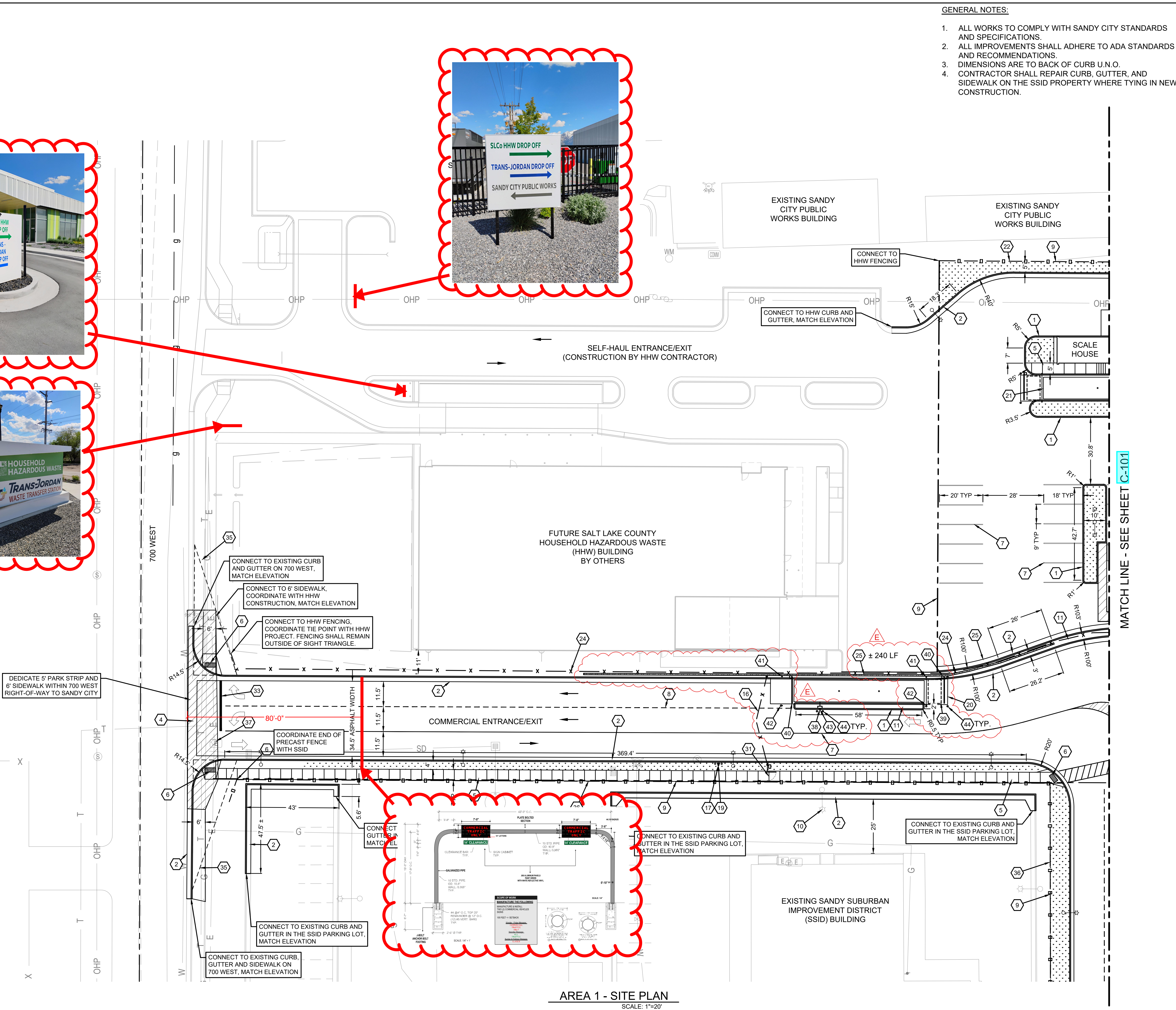
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- **Communicate City values:** The theme reinforces Sandy's commitment to clean operations and environmental responsibility, in line with broader sustainability goals and community expectations.
- **Enhance user experience:** Many residents visiting the facility are first-time users. Clear, themed signage reduces confusion, improves efficiency, and strengthens public perception.



The four signs will be strategically placed to maximize safety, efficiency, and visibility while adhering to the aesthetic and messaging guidelines. We respectfully request the approval to allow this modest exception in support of a critical civic facility and its mission.

Chris Child  
Sr. Architectural Project Manager



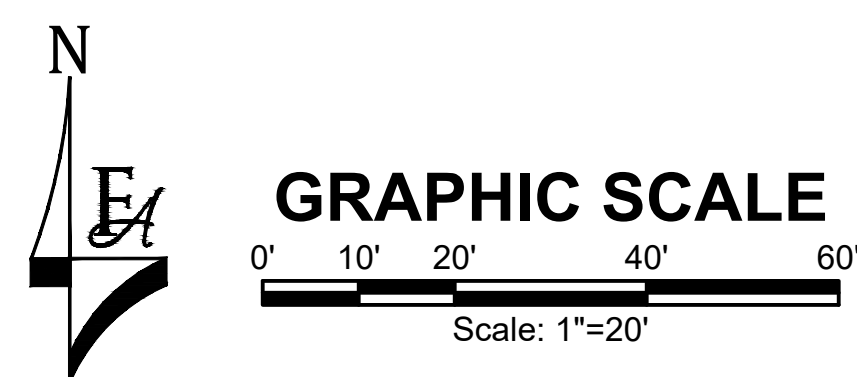


GENERAL NOTES:

1. ALL WORKS TO COMPLY WITH SANDY CITY STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS SHALL ADHERE TO ADA STANDARDS AND RECOMMENDATIONS.
3. DIMENSIONS ARE TO BACK OF CURB U.N.O.
4. CONTRACTOR SHALL REPAIR CURB, GUTTER, AND SIDEWALK ON THE SSID PROPERTY WHERE TYING IN NEW CONSTRUCTION.

KEYNOTES:

1. 6" CONCRETE CURB WALL, PER DETAIL 1/C-006 (SANDY CITY DETAIL CG-01).
2. 30" CONCRETE STANDARD CURB AND GUTTER, PER DETAIL 1/C-006 (SANDY CITY DETAIL CG-01).
3. CONCRETE WATERWAY PER DETAIL 3/C-006 (SANDY CITY DETAIL CG-03).
4. COMMERCIAL DRIVE APPROACH PER DETAIL 4/C-006 (SANDY CITY DETAIL DA-03).
5. 5' CONCRETE SIDEWALK, SEE DETAIL 4/C-009.
6. ADA COMPLIANT DETECTABLE WARNING SURFACE PER DETAIL 3/C-009, SAFETY YELLOW, CAST IN CONCRETE, FULL WIDTH OF RAMP.
7. 4" SOLID WHITE STRIPING.
8. 4" DASHED WHITE STRIPING.
9. PROPERTY BOUNDARY.
10. RELOCATE EXISTING LIGHTING APPROXIMATELY 7' SOUTH OF CURRENT LOCATION.
11. FILL WITH CONCRETE BETWEEN CURBING.
12. DIESEL FUELING STATION, EQUIPMENT AND TANK PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.
13. DUAL HEAD ELECTRIC CHARGING STATIONS, REF. ELECTRICAL DWGS.
14. CONCRETE GENERATOR PAD, SEE DETAIL 7/C-005. LOCATE PAD TO MAINTAIN REQUIRED CLEARANCE PER MANUFACTURER'S RECOMMENDATIONS.
15. CONCRETE TRANSFORMER PAD, SEE DETAIL 5/C-005. LOCATE PAD TO MAINTAIN REQUIRED CLEARANCE PER MANUFACTURER'S RECOMMENDATIONS.
16. 40' LONG x 6' TALL ELECTRIC OPERATED DOUBLE (20' EACH SIDE) SWING GATE, AMERISTAR TRANSPORT II, OR APPROVED EQUAL. USE LIFTMASTER HDSW24UL OPERATOR WITH ALL COMPONENTS NECESSARY FOR A COMPLETE AND OPERABLE SYSTEM, OR APPROVED EQUAL.
17. GATE OPERATOR, MOUNT @ 42" AFG ON GOOSENECK STAND.
18. 16' LONG 6' TALL MANUAL SWING GATE, AMERISTAR MONTAGE II OR APPROVED EQUAL. (COORDINATE GATE LOCATION WITH OWNER) AND 4' PEDESTRIAN GATE, DETAIL 5/C-010 (LOCATE ADJACENT TO BUILDING). INCLUDE GATE LOCKS.
19. ALL EXTERIOR GATES SHALL INCLUDE SANDY CITY APPROVED KNOX BOX FOR FIRE ACCESS, PER SANDY CITY STANDARDS.
20. 60"x10' FAIRBANKS SCALE PROVIDED BY OWNER, INSTALLED BY SUPPLIER. CONTRACTOR SHALL INSTALL CONCRETE PIT PER SUPPLIERS RECOMMENDATIONS AND DETAILS. SEE DETAIL 1, SHEET C-102.
21. 50"x10' FAIRBANKS SCALE PROVIDED BY OWNER, INSTALLED BY SUPPLIER. CONTRACTOR SHALL INSTALL CONCRETE PIT PER SUPPLIERS RECOMMENDATIONS AND DETAILS. SEE DETAIL 2, SHEET C-102.
22. 6' PRECAST CONCRETE WALL, OLYMPUS PRECAST STANDARD SHIPLAP OR APPROVED EQUAL.
23. RECYCLING CANOPY, SEE STRUCTURAL DETAILS.
24. 6' ORNAMENTAL STEEL FENCING, USE AMERISTAR MONTAGE II OR APPROVED EQUAL WITH THE FOLLOWING INCLUDED: CLASSIC STYLE TOP, 8" PANEL LENGTHS, 3-RAIL PANELS WITH 4" AIR GAP, STANDARD SQUARE POSTS WITH FLAT CAPS, POST AND HARDWARE AS REQUIRED BY MANUFACTURER.
25. CAST-IN-PLACE RETAINING WALL, PER DETAIL 8/S-001.
26. 20' LONG 6' TALL MANUAL DOUBLE SWING GATE, AMERISTAR MONTAGE II OR APPROVED EQUAL. INCLUDE HARDWARE AND LOCKS.
27. 25' LONG 6' TALL MANUAL SWING GATE, AMERISTAR MONTAGE II OR APPROVED EQUAL.
28. 32' LONG 6' TALL MANUAL DOUBLE SWING GATE, AMERISTAR MONTAGE II OR APPROVED EQUAL.
29. 36' LONG 6' TALL ELECTRIC OPERATED CANTILEVERED GATE, AMERISTAR TRANSPORT II OR EQUIVALENT. USE LIFTMASTER INSL24UL OPERATOR WITH ALL COMPONENTS NECESSARY FOR A COMPLETE AND OPERABLE SYSTEM, OR APPROVED EQUAL.
30. 26' LONG 6' TALL ELECTRIC OPERATED SWING GATE, AMERISTAR TRANSPORT II OR EQUIVALENT. USE LIFTMASTER INSL24UL OPERATOR WITH ALL COMPONENTS NECESSARY FOR A COMPLETE AND OPERABLE SYSTEM, OR APPROVED EQUAL.
31. 4' WIDE 6' TALL MANUAL PEDESTRIAN GATE, AMERISTAR MONTAGE II OR APPROVED EQUAL. INCLUDE HARDWARE AND GATE LOCK.
32. ROLLUP DOOR SENSOR IN DRIVEWAY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
33. PAINT STOP BAR.
34. OUTBOUND GATE DOOR SENSOR PER MANUFACTURER'S RECOMMENDATIONS.
35. 20'x60' CLEAR-VIEW TRIANGLE. NO OBSTACLES (INCLUDING VEGETATION) OVER THREE FEET HIGH, AS MEASURED FROM TOP BACK OF CURB, ARE ALLOWED WITHIN THE TRIANGLE.
36. 8' PRECAST CONCRETE WALL, OLYMPUS PRECAST STANDARD SHIPLAP OR APPROVED EQUAL.
37. REMOVE AND RELOCATE STREETLIGHT SOUTH TO THE PARK STRIP. CONTRACTOR MAY REUSE THE FIXTURE IF NOT DAMAGED. PROVIDE NEW BASE, POLE, CONDUITS, WIRES, ETC. PER SANDY CITY STANDARDS.
38. UNATTENDED SCALE KIOSK, PROVIDED BY SOFTWARE SUPPLIER, INSTALLED BY CONTRACTOR. MOUNT KIOSK ON 4" SQUARE SHAPED STEEL POLE 10' TALL. MOUNTING HEIGHT SHALL BE FIELD COORDINATED WITH ENGINEER AND OWNER. LOCATE 12-FEET FROM FRONT OF SCALE AND 2-FEET FROM EDGE OF SCALE. PROVIDE (1) POWER CONDUIT TO ELECTRICAL SOURCE AND (1) COMMUNICATION CONDUIT FROM THE BUILDING NETWORK, WITH PULL STRINGS.
39. FURNISH AND INSTALL 36-50 IN GROUND LOOP SENSOR, CONNECT TO GATE CABINET.
40. LIFTMASTER VEHICLE ACCESS GATE, PROVIDED BY SOFTWARE SUPPLIER, INSTALLED BY CONTRACTOR. PROVIDE (1) POWER CONDUIT TO ELECTRICAL SOURCE AND (1) COMMUNICATION CONDUIT TO THE OPTO BOX WITH PULL STRINGS.
41. PHOTO EYES FOR VEHICLE ACCESS GATES, PROVIDED BY GATE SUPPLIER, INSTALLED BY CONTRACTOR. PROVIDE COMMUNICATION CONDUIT WITH PULL STRING FROM PHOTO EYE TO THE GATE CABINET. LOCATION PER THE SITE PLAN CAD FILE.
42. INSTALL REFLECTOR DIRECTLY ACROSS FROM THE PHOTO EYE, MOUNTED TO CONCRETE BOLLARD PER ARCHITECTURAL DETAIL.
43. OPTO BOX FOR ACCESS GATES, PROVIDED BY PARADIGM, INSTALLED BY CONTRACTOR. RUN POWER IN SAME CONDUIT AS KIOSK FROM THE POWER SOURCE. CONNECT TO NETWORK IN THE KIOSK WITH A NETWORK SWITCH. PROVIDE (1) CONDUIT TO ACCESS GATES FOR COMMUNICATIONS, WITH PULL STRINGS.
44. BOLLARDS PER ARCHITECTURAL DETAILS.

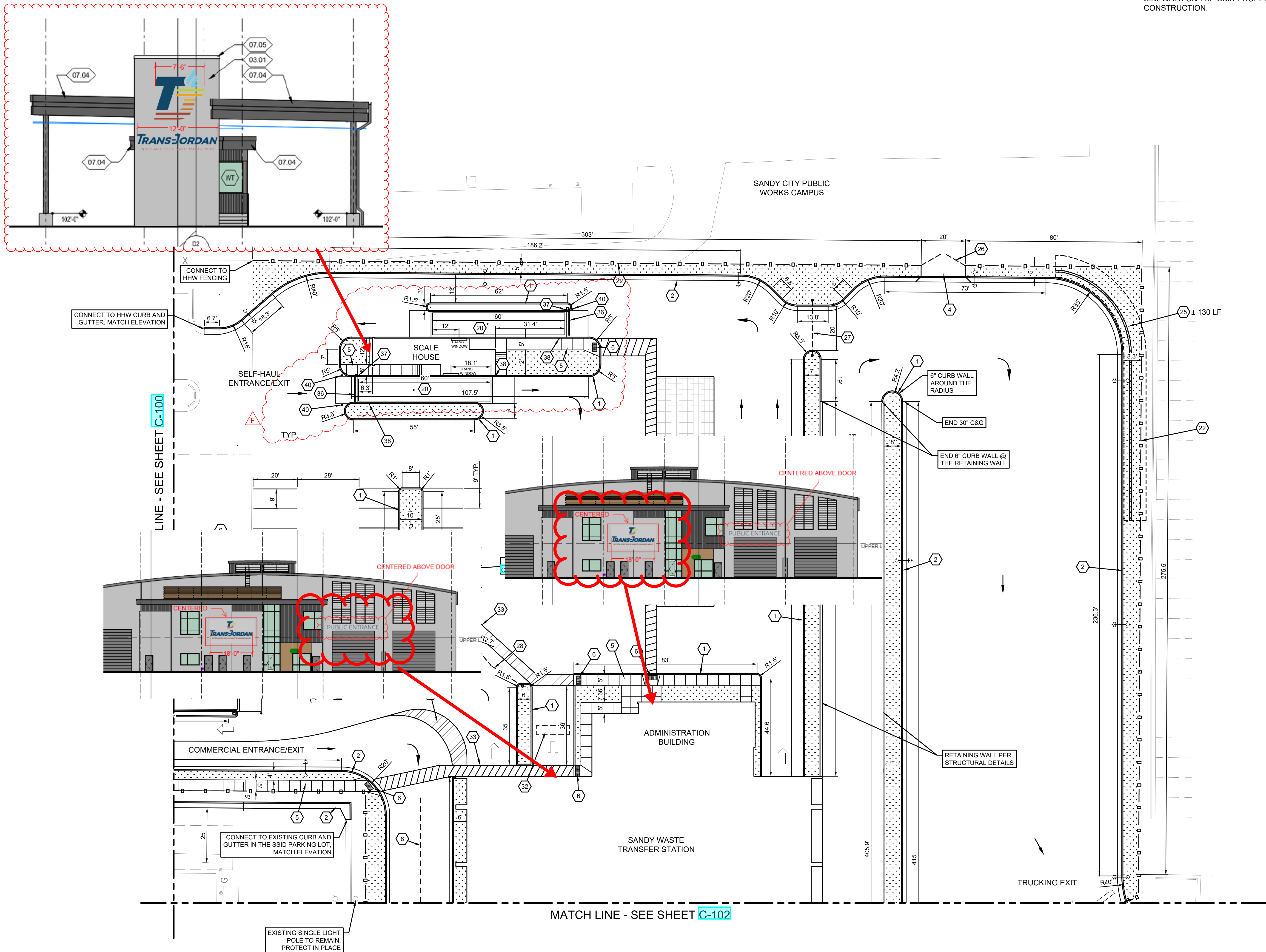


PERMIT SET

DATE	REVISION
1/6/22	ADDENDUM 5
2/8/23	SITE PLAN REVIEW
3/17/23	SITE PLAN UPDATES
5/15/23	PR 002
6/23/23	PR 002
7/10/24	SCALE UPDATES



F:\S:\Cadd\Structure\2021\05-21-0172 Trans-Jordan Waste Transfer Station\CAD Sheets\05-21-0172 C-101.dwg ----- 9/23/2024 4:27 PM



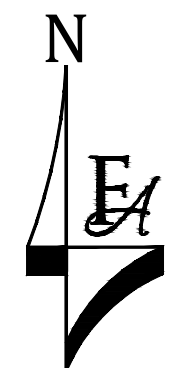
AREA 2 - SITE PLAN  
SCALE: 1"=20'

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17. GATE OPERATOR, MOUNT @ 42" AFG ON GOOSENECK STAND.
18. 16' LONG 6' TALL MANUAL SWING GATE. AMERISTAR MONTAGE II OR APPROVED EQUAL. (COORDINATE GATE LOCATION WITH OWNER) AND 4' PEDESTRIAN GATE. DETAIL 8/C-010 (LOCATE ADJACENT TO BUILDING). INCLUDE GATE LOCKS.
19. ALL EXTERIOR GATES SHALL INCLUDE SANDY CITY APPROVED KNOX BOX FOR FIRE ACCESS, PER SANDY CITY STANDARDS.
20. 80'x10' FAIRBANKS SCALE PROVIDED BY OWNER. INSTALLED BY SUPPLIER. CONTRACTOR SHALL INSTALL CONCRETE PIT PER SUPPLIERS RECOMMENDATIONS AND DETAILS. SEE DETAIL 1, SHEET C-102.
21. 50'x10' FAIRBANKS SCALE PROVIDED BY OWNER. INSTALLED BY SUPPLIER. CONTRACTOR SHALL INSTALL CONCRETE PIT PER SUPPLIERS RECOMMENDATIONS AND DETAILS. SEE DETAIL 2, SHEET C-102.
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33. PAINT 5' WIDE CROSSWALK.
34. OUTBOUND GATE DOOR SENSOR PER MANUFACTURER'S RECOMMENDATIONS.
35. FURNISH AND INSTALL 36-50 IN GROUND LOOP SENSOR, CONNECT TO GATE CABINET.
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37. PHOTO EYES FOR VEHICLE ACCESS GATES, PROVIDED BY GATE SUPPLIER, INSTALLED BY CONTRACTOR. PROVIDE COMMUNICATION CONDUIT WITH PULL STRING FROM PHOTO EYE TO THE GATE CABINET. LOCATION PER THE SITE PLAN CAD FILE.
38. INSTALL REFLECTOR DIRECTLY ACROSS FROM THE PHOTO EYE, MOUNTED TO CONCRETE BOLLARD PER ARCHITECTURAL DETAIL.
39. OPTO BOX FOR ACCESS GATES, PROVIDED BY PARADIGM, INSTALLED BY CONTRACTOR. RUN POWER IN SAME CONDUIT AS GATES FROM THE SCALE BUILDING. PROVIDE (1) CONDUIT TO SERVER ROOM IN SCALE BUILDING. PROVIDE (1) CONDUIT TO ACCESS GATES FOR COMMUNICATIONS, WITH PULL STRINGS.
40. BOLLARDS PER ARCHITECTURAL DETAILS.



GRAPHIC SCALE

0' 10' 20' 40' 60'  
Scale: 1"=20'

PERMIT SET

TRANS-JORDAN: SANDY WASTE TRANSFER STATION

8854 SOUTH PARKLAND DRIVE  
SANDY, UT 84070

FA PROJECT # 05-21-0172

PROJECT # 05-21-0172

CONSTRUCTION DOCUMENTS

DATE	REVISION
1/6/22	ADDENDUM 5
5/15/23	PROJ2
6/21/23	PROJ2
7/10/24	SCALE UPDATES
8/26/24	SCALE UPDATES

SITE PLAN  
AREA 2

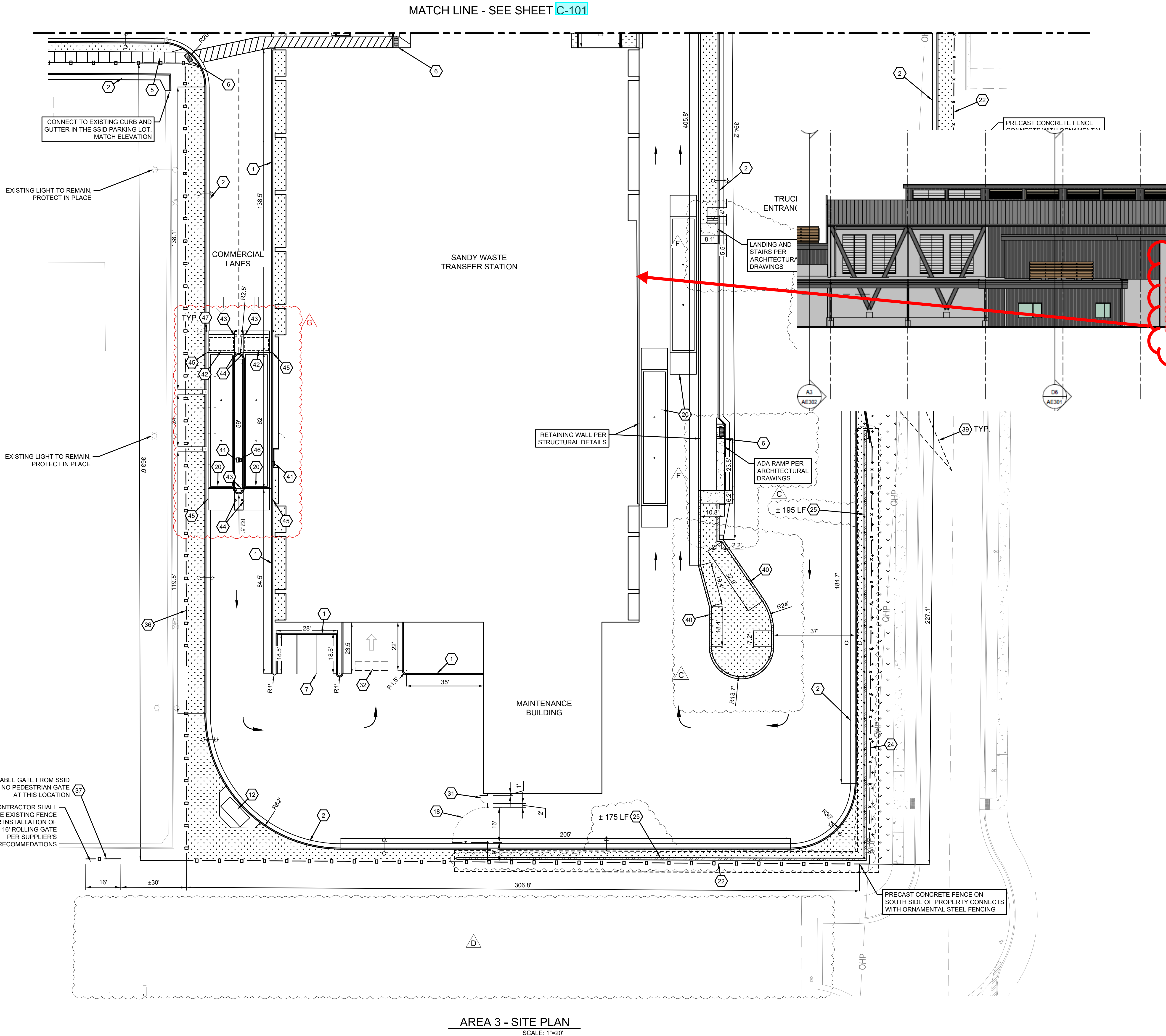
C-101

**Galloway**  
577 South 200 East  
Ogden, UT 84401  
Call: 801.333.2100  
GallowayUS.com

**FORSGREN**  
270 East 500 South, STE 200, SALT LAKE CITY, UT 84143  
PH: 801.364.4785  
FAX: 801.364.4802



F:\SLC\Offices\Structure\2021\05-21-0172 Trans-Jordan Waste Transfer Station\CAD\Sheets\Civil\05-21-0172 C-102.dwg ----- 1/24/2025 2:05 PM



GENERAL NOTES:

1. ALL WORKS TO COMPLY WITH SANDY CITY STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS SHALL ADHERE TO ADA STANDARDS AND RECOMMENDATIONS.
3. DIMENSIONS ARE TO BACK OF CURB U.N.O.
4. CONTRACTOR SHALL REPAIR CURB, GUTTER, AND SIDEWALK ON THE SSID PROPERTY WHERE TYING IN NEW CONSTRUCTION.

KEYNOTES:

1. 6" CONCRETE CURB WALL, PER DETAIL **1/C-006** (SANDY CITY DETAIL CG-01).
2. 30" CONCRETE STANDARD CURB AND GUTTER, PER DETAIL **1/C-006** (SANDY CITY DETAIL CG-01).
3. CONCRETE WATERWAY PER DETAIL **3/C-006** (SANDY CITY DETAIL CG-03).
4. COMMERCIAL DRIVE APPROACH PER DETAIL **4/C-006** (SANDY CITY DETAIL DA-03).
5. 5' CONCRETE SIDEWALK, SEE DETAIL **4/C-009**.
6. ADA COMPLIANT DETECTABLE WARNING SURFACE PER DETAIL **3/C-009**, SAFETY YELLOW, CAST IN CONCRETE, FULL WIDTH OF RAMP.
7. 4" SOLID WHITE STRIPING.
8. 4" DASHED WHITE STRIPING.
9. PROPERTY BOUNDARY.
10. RELOCATE EXISTING LIGHTING APPROXIMATELY 7" SOUTH OF CURRENT LOCATION.
11. FILL WITH CONCRETE BETWEEN CURBING.
12. DIESEL FUELING STATION, EQUIPMENT AND TANK PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.
13. DUAL HEAD ELECTRIC CHARGING STATIONS, REF. ELECTRICAL DWGS.
14. CONCRETE GENERATOR PAD, SEE DETAIL **7/C-005**. LOCATE PAD TO MAINTAIN REQUIRED CLEARANCE PER MANUFACTURER'S RECOMMENDATIONS.
15. CONCRETE TRANSFORMER PAD, SEE DETAIL **5/C-005**. LOCATE PAD TO MAINTAIN REQUIRED CLEARANCE PER MANUFACTURER'S RECOMMENDATIONS.
16. 40' LONG x 6' TALL ELECTRIC OPERATED DOUBLE (20' EACH) SWING GATE, AMERISTAR TRANSPORT II, OR INSULATOR, NECESSARY FOR A COMPLETE AND OPERABLE SYSTEM, OR APPROVED EQUAL.
17. 25' LONG 6' TALL MANUAL SWING GATE, AMERISTAR MONTAGE II OR APPROVED EQUAL.
18. 32' LONG 6' TALL MANUAL DOUBLE SWING GATE, AMERISTAR MONTAGE II OR APPROVED EQUAL.
19. 36' LONG 6' TALL ELECTRIC OPERATED CANTILEVERED GATE, AMERISTAR TRANSPORT II OR EQUIVALENT. USE LIFTMASTER INSL24UL OPERATOR WITH ALL COMPONENTS NECESSARY FOR A COMPLETE AND OPERABLE SYSTEM, OR APPROVED EQUAL.
20. 26' LONG 6' TALL ELECTRIC OPERATED SWING GATE, AMERISTAR TRANSPORT II OR EQUIVALENT. USE LIFTMASTER INSL24UL OPERATOR WITH ALL COMPONENTS NECESSARY FOR A COMPLETE AND OPERABLE SYSTEM, OR APPROVED EQUAL.
21. 4' WIDE 6' TALL MANUAL PEDESTRIAN GATE, AMERISTAR MONTAGE II OR APPROVED EQUAL. INCLUDE HARDWARE AND GATE LOCK.
22. ROLLUP DOOR SENSOR IN DRIVEWAY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
23. PAINT 5' WIDE CROSSWALK.
24. OUTBOUND GATE DOOR SENSOR PER MANUFACTURER'S RECOMMENDATIONS.
25. CUT CURB ON THE SSID PROPERTY FOR GATE.
26. 8' PRECAST CONCRETE WALL, OLYMPUS PRECAST STANDARD SHIPLAP OR APPROVED EQUAL.
27. 16' LONG 6' TALL MANUAL ROLLING GATE, AMERISTAR MONTAGE II OR APPROVED EQUAL. COORDINATE FINAL GATE LOCATION WITH SSID ENGINEER, JARED OLDROYD AT JVO ENGINEERING, jared@jvoengineering.com, OR 801-828-7805. GATE SHALL BE EQUIPPED FOR FUTURE AUTOMATION AND SHALL INCLUDE GATE LOCK.
28. NOT USED.
29. 20'x60' CLEAR-VIEW TRIANGLE. NO OBSTACLES (INCLUDING VEGETATION) OVER THREE FEET HIGH, AS MEASURED FROM TOP BACK OF CURB, ARE ALLOWED WITHIN THE TRIANGLE.
30. FURNISH AND INSTALL HANDRAIL ON TOP OF RETAINING WALL, END HANDRAIL AT CANOPY.
31. UNATTENDED SCALE KIOSK, PROVIDED BY SOFTWARE SUPPLIER, INSTALLED BY CONTRACTOR. MOUNT KIOSK ON 4" SQUARE SHAPED STEEL POLE 10' TALL. MOUNTING HEIGHT SHALL BE FIELD COORDINATED WITH ENGINEER AND OWNER. LOCATE 12-FEET FROM FRONT OF SCALE AND 2-FEET FROM EDGE OF SCALE. PROVIDE (1) POWER CONDUIT TO ELECTRICAL SOURCE AND (1) COMMUNICATION CONDUIT FROM THE BUILDING NETWORK, WITH PULL STRINGS.
32. FURNISH AND INSTALL 36-50 IN GROUND LOOP SENSOR, CONNECT TO GATE CABINET.
33. LIFTMASTER VEHICLE ACCESS GATE, PROVIDED BY SOFTWARE SUPPLIER, INSTALLED BY CONTRACTOR. PROVIDE (1) POWER CONDUIT TO ELECTRICAL SOURCE AND (1) COMMUNICATION CONDUIT TO THE OPTO BOX WITH PULL STRINGS.
34. PHOTO EYES FOR VEHICLE ACCESS GATES, PROVIDED BY GATE SUPPLIER, INSTALLED BY CONTRACTOR. PROVIDE COMMUNICATION CONDUIT WITH PULL STRING FROM PHOTO EYE TO THE GATE CABINET. LOCATION PER THE SITE PLAN CAD FILE.
35. INSTALL REFLECTOR DIRECTLY ACROSS FROM THE PHOTO EYE, MOUNTED TO CONCRETE BOLLARD PER ARCHITECTURAL DETAIL.
36. OPTO BOX FOR ACCESS GATES, PROVIDED BY PARADIGM, INSTALLED BY CONTRACTOR. RUN POWER IN SAME CONDUIT AS KIOSK FROM THE POWER SOURCE. CONNECT TO NETWORK IN THE KIOSK WITH A NETWORK SWITCH. PROVIDE (1) CONDUIT TO ACCESS GATES FOR COMMUNICATIONS, WITH PULL STRINGS.
37. BOLLARDS PER ARCHITECTURAL DETAILS.

TRANS-JORDAN: SANDY WASTE TRANSFER STATION

8854 SOUTH PARKLAND DRIVE  
SANDY, UT 84070

FA PROJECT # 05-21-0172

PROJECT #05-21-0172

CONSTRUCTION DOCUMENTS

DATE	REVISION
1/8/22	ADDENDUM 5
2/8/23	PROJ1
4/8/23	PROJ2
6/15/23	PROJ2
6/21/23	PROJ2
6/22/23	CONSTR. UPDATES 1
12/23/23	ASH-01
7/10/24	SCALE UPDATES

SITE PLAN  
AREA 3

C-102

**FORSGREN**  
*design-build*  
INC.

577 South 200 East  
Sandy, UT 84070  
P: (801) 833-2100  
Callaway@fsg.com

700 East 400 South, STE 200, Salt Lake City, UT 84143  
PH: (801) 364-4785  
FAX: (801) 364-4802

**Galloway**

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Sandy, UT 84070  
P: (801) 833-2100  
Callaway@fsg.com

700 East 400 South, STE 200, Salt Lake City, UT 84143  
PH: (801) 364-4785  
FAX: (801) 364-4802



FRONT

17.1"

6"

8815

COLOR LEGEND

☐ WHITE VINYL  
CONFIRM COLOR

NOTES

1. SIZING FOR LETTERS BASED ON "X". FONT SHOWN IS HELVETICA.
2. PLEASE CONFIRM ADDRESS PRIOR TO PRODUCTION.

DRAWINGS SCALE = NTS



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TEL 801.973.7915 - FAX 801.973.0434  
WWW.ALLOTECH.COM

PROJECT NAME

TRANS-JORDAN TRANSFER STATION  
8815 SOUTH 700 WEST  
SANDY UT 84070

GENERAL CONTRACTOR

BIG-D CONSTRUCTION  
404 WEST 400 SOUTH  
SALT LAKE CITY UT 84101

ARCHITECT

GALLOWAY  
577 SOUTH 200 EAST  
SALT LAKE CITY UT 84111

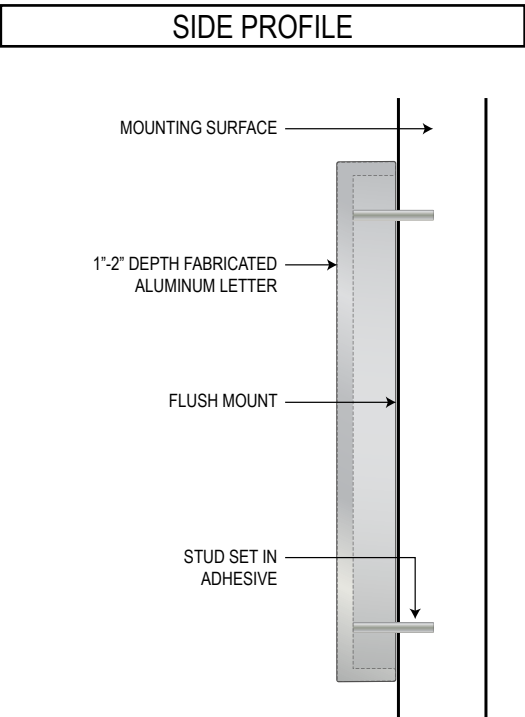
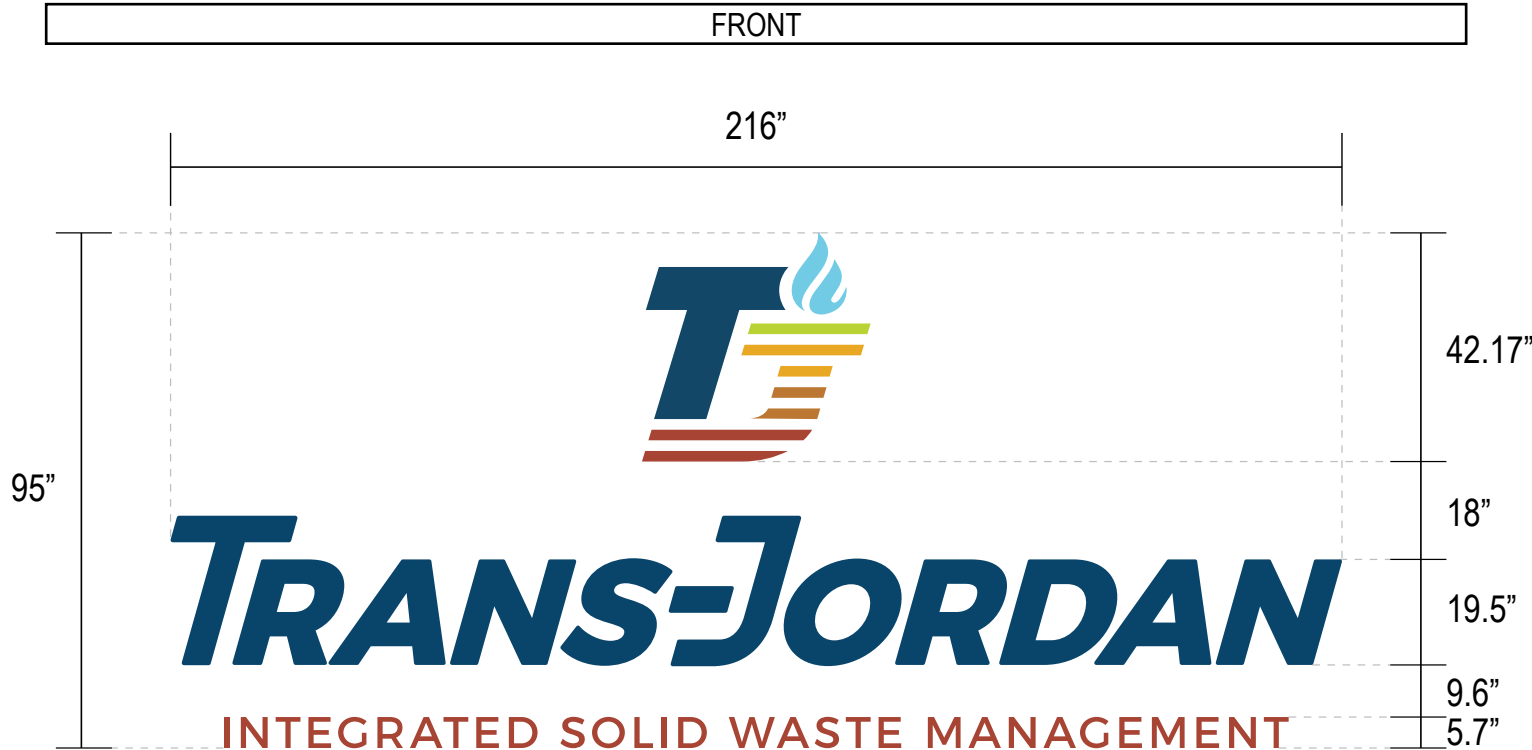
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BY	MDW	MDW					
DATE	05/02/23	11/25/24					
PROJECT#	17881	DATE	05/02/23	ARTWORK	MDW	REVIEWED	

PAGE TOC/IDX.15

SHEET NO.

ADDRESS

VINYL ADDRESS  
DRAWING / SPECIFICATION



COLOR LEGEND

- |  |  |
|--|--|
|  ALUMINUM LETTERING<br>SW 9177 SALTY DOG          |  ALUMINUM LOGO<br>SW 6642 RHUMBA ORANGE |
|  ALUMINUM LETTERING & LOGO<br>SW 7599 BRICK PAVER |  ALUMINUM LOGO<br>SW 6904 GUSTO GOLD    |
|  ALUMINUM LOGO<br>SW 6953 CANDID BLUE             |  ALUMINUM LOGO<br>SW 6920 CENTER STAGE  |

NOTES

1. SIZING FOR LETTERS BASED ON "X".
2. PLEASE CONFIRM SIZES, LAYOUT, ETC.
3. 1 SET OF LETTERING TOTAL.

DRAWINGS SCALE = NTS

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PROJECT NAME

TRANS-JORDAN TRANSFER STATION  
8815 SOUTH 700 WEST  
SANDY UT 84070

GENERAL CONTRACTOR

BIG-D CONSTRUCTION  
404 WEST 400 SOUTH  
SALT LAKE CITY UT 84101

ARCHITECT

GALLOWAY  
577 SOUTH 200 EAST  
SALT LAKE CITY UT 84111

DESCRIPTION OF CHANGES	SHOP DRAWINGS CREATED	SHOP DRAWINGS REVISED						
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DATE	05/02/23	11/25/24						
PROJECT#	17881	DATE	05/02/23	ARTWORK	MDW	REVIEWED		

PAGE TOC/IDX.16

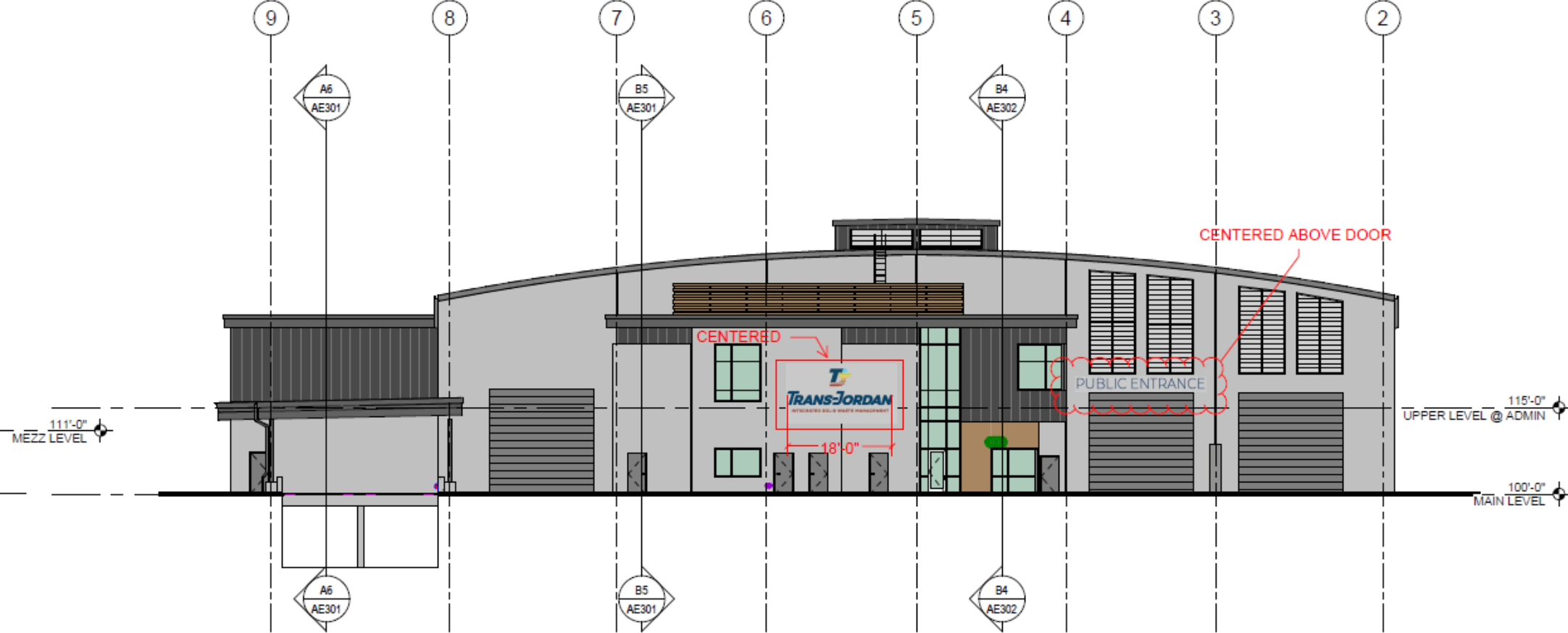
SHEET NO.

LETTERING

TRANSFER STATION LETTERING  
DRAWING / SPECIFICATION



ELEVATION



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PROJECT NAME

TRANS-JORDAN TRANSFER STATION  
8815 SOUTH 700 WEST  
SANDY UT 84070

GENERAL CONTRACTOR

BIG-D CONSTRUCTION  
404 WEST 400 SOUTH  
SALT LAKE CITY UT 84101

ARCHITECT

GALLOWAY  
577 SOUTH 200 EAST  
SALT LAKE CITY UT 84111

DESCRIPTION OF CHANGES	SHOP DRAWINGS CREATED	SHOP DRAWINGS REVISED					
BY	MDW	MDW					
DATE	05/02/23	11/25/24					
PROJECT#	17881	DATE	05/02/23	ARTWORK	MDW	REVIEWED	

PAGE TOC/IDX.17

SHEET NO.

ELEVATION

TRANSFER STATION

FRONT

271.8"

PUBLIC ENTRANCE

20"

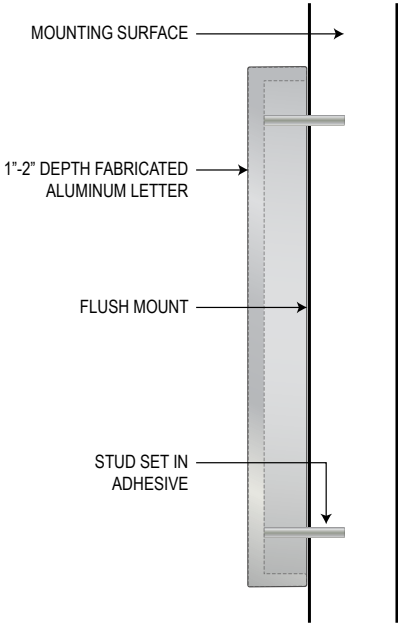
COLOR LEGEND

ALUMINUM LETTERING  
SW 9177 SALTY DOG  
PLEASE CONFIRM

NOTES

1. SIZING FOR LETTERS BASED ON "X". FONT SHOWN IS MONTERRAT REGULAR- PLEASE CONFIRM.
2. PLEASE CONFIRM SIZES, LAYOUT, ETC.
3. 1 SET OF LETTERING TOTAL.

SIDE PROFILE



DRAWINGS SCALE = NTS



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WWW.ALLOTECH.COM

PROJECT NAME

TRANS-JORDAN TRANSFER STATION  
8815 SOUTH 700 WEST  
SANDY UT 84070

GENERAL CONTRACTOR

BIG-D CONSTRUCTION  
404 WEST 400 SOUTH  
SALT LAKE CITY UT 84101

ARCHITECT

GALLOWAY  
577 SOUTH 200 EAST  
SALT LAKE CITY UT 84111

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DATE	05/02/23	11/25/24					
PROJECT#	17881	DATE	05/02/23	ARTWORK	MDW	REVIEWED	

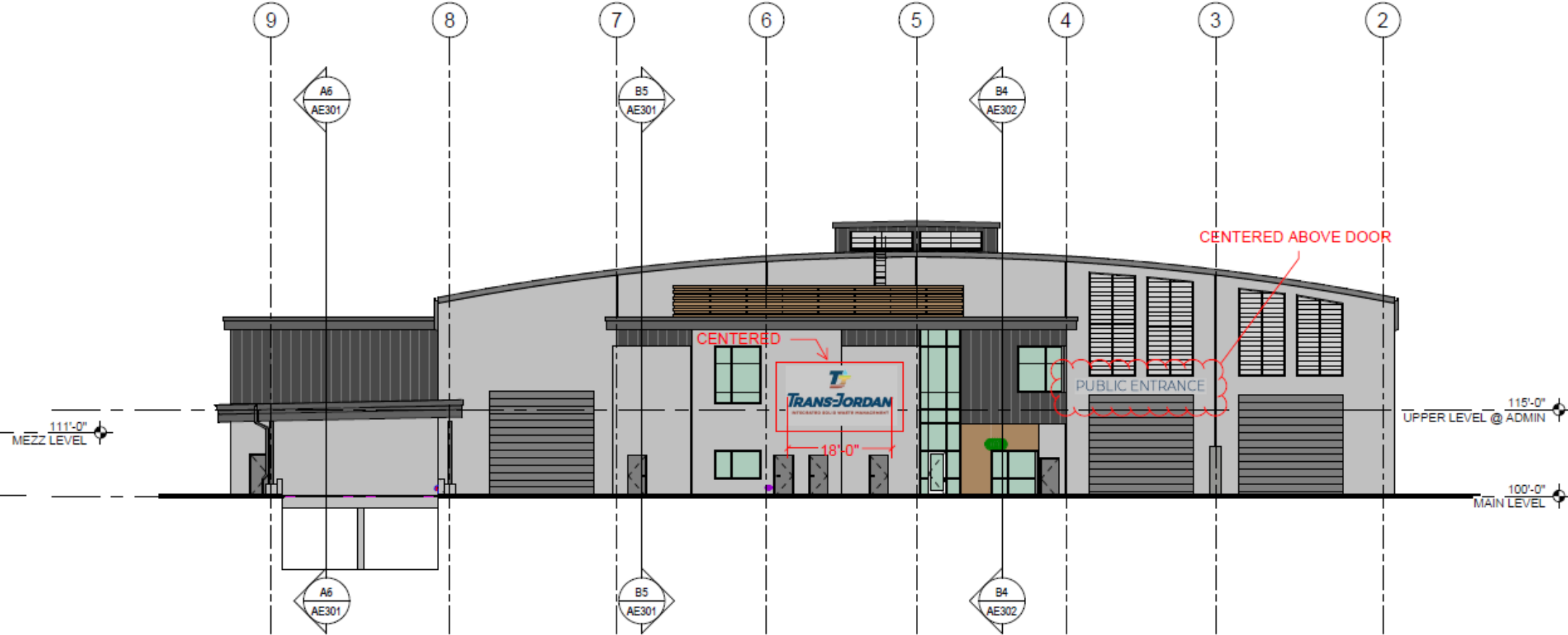
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SHEET NO.

LETTERING

PUBLIC ENTRANCE LETTERING  
DRAWING / SPECIFICATION

ELEVATION



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**PROJECT NAME**

TRANS-JORDAN TRANSFER STATION  
8815 SOUTH 700 WEST  
SANDY UT 84070

**GENERAL CONTRACTOR**

BIG-D CONSTRUCTION  
404 WEST 400 SOUTH  
SALT LAKE CITY UT 84101

**ARCHITECT**

GALLOWAY  
577 SOUTH 200 EAST  
SALT LAKE CITY UT 84111

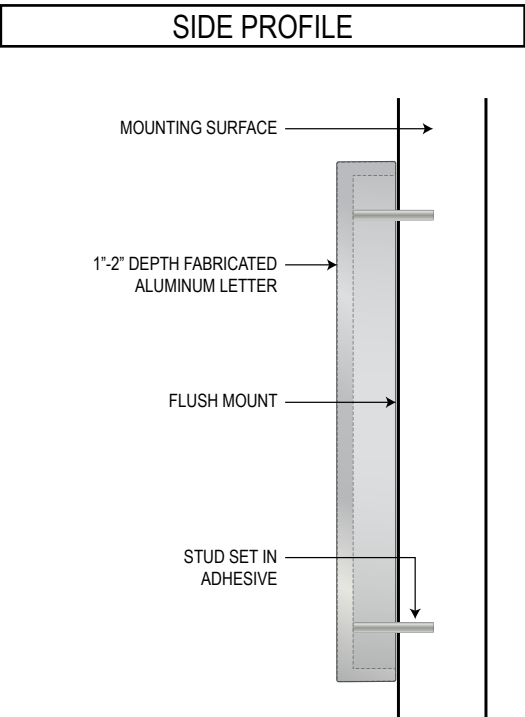
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BY	MDW	MDW					
DATE	05/02/23	11/25/24					
PROJECT#	17881	DATE	05/02/23	ARTWORK	MDW	REVIEWED	

PAGE TOC/IDX.19

SHEET NO.

ELEVATION

PUBLIC ENTRANCE



COLOR LEGEND

	ALUMINUM LETTERING SW 9177 SALTY DOG
	ALUMINUM LETTERING & LOGO SW 7599 BRICK PAVER
	ALUMINUM LOGO SW 6953 CANDID BLUE

NOTES

1. SIZING FOR LETTERS BASED ON "X".
2. PLEASE CONFIRM SIZES, LAYOUT, ETC.
3. 1 SET OF LETTERING TOTAL.

DRAWINGS SCALE = NTS

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**PROJECT NAME**

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8815 SOUTH 700 WEST  
SANDY UT 84070

**GENERAL CONTRACTOR**

BIG-D CONSTRUCTION  
404 WEST 400 SOUTH  
SALT LAKE CITY UT 84101

**ARCHITECT**

GALLOWAY  
577 SOUTH 200 EAST  
SALT LAKE CITY UT 84111

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DATE	05/02/23	11/25/24					
PROJECT#	17881	DATE	05/02/23	ARTWORK	MDW	REVIEWED	

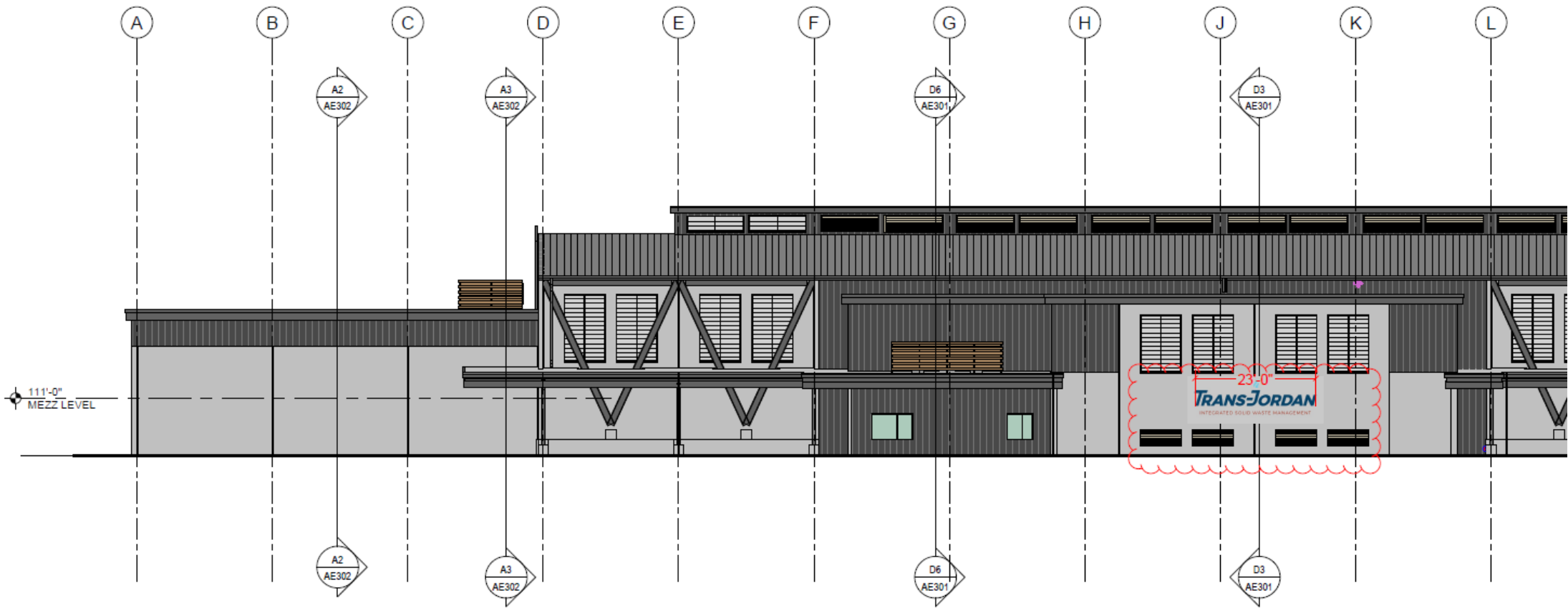
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SHEET NO.

LETTERING

TRANSFER STATION LETTERING  
DRAWING / SPECIFICATION

ELEVATION



A6 OVERALL EAST ELEVATION  
AE201 SCALE 1/16" = 1'-0"

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TRANS-JORDAN TRANSFER STATION  
8815 SOUTH 700 WEST  
SANDY UT 84070

**GENERAL CONTRACTOR**  
BIG-D CONSTRUCTION  
404 WEST 400 SOUTH  
SALT LAKE CITY UT 84101

**ARCHITECT**  
GALLOWAY  
577 SOUTH 200 EAST  
SALT LAKE CITY UT 84111

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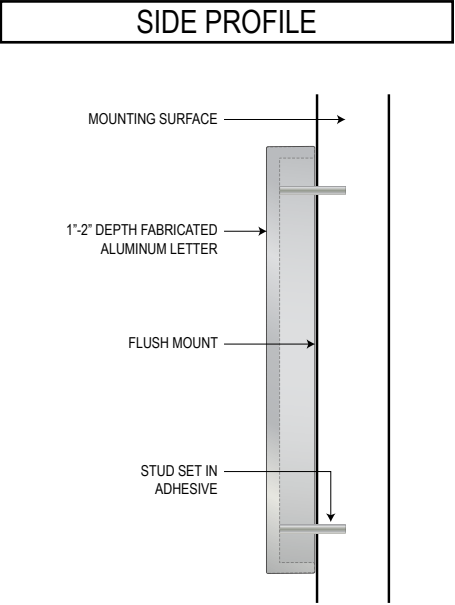
PAGE TOC/IDX.21

SHEET NO.

ELEVATION

TRANSFER STATION





COLOR LEGEND

ALUMINUM LETTERING SW 9177 SALTY DOG
ALUMINUM LETTERING & LOGO SW 7599 BRICK PAVER
ALUMINUM LOGO SW 6953 CANDID BLUE
ALUMINUM LOGO SW 6642 RHUMBA ORANGE
ALUMINUM LOGO SW 6904 GUSTO GOLD
ALUMINUM LOGO SW 6920 CENTER STAGE

- NOTES
- 1. SIZING FOR LETTERS BASED ON "X".
  - 2. PLEASE CONFIRM SIZES, LAYOUT, ETC.
  - 3. 1 SET OF LETTERING TOTAL.
  - 4. SMALLER LETTERS MAY BE TOO SMALL TO FABRICATE AND CHANGE TO ANOTHER CONSTRUCTION, PLEASE ADVISE.



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**PROJECT NAME**  
TRANS-JORDAN TRANSFER STATION  
8815 SOUTH 700 WEST  
SANDY UT 84070

**GENERAL CONTRACTOR**  
BIG-D CONSTRUCTION  
404 WEST 400 SOUTH  
SALT LAKE CITY UT 84101

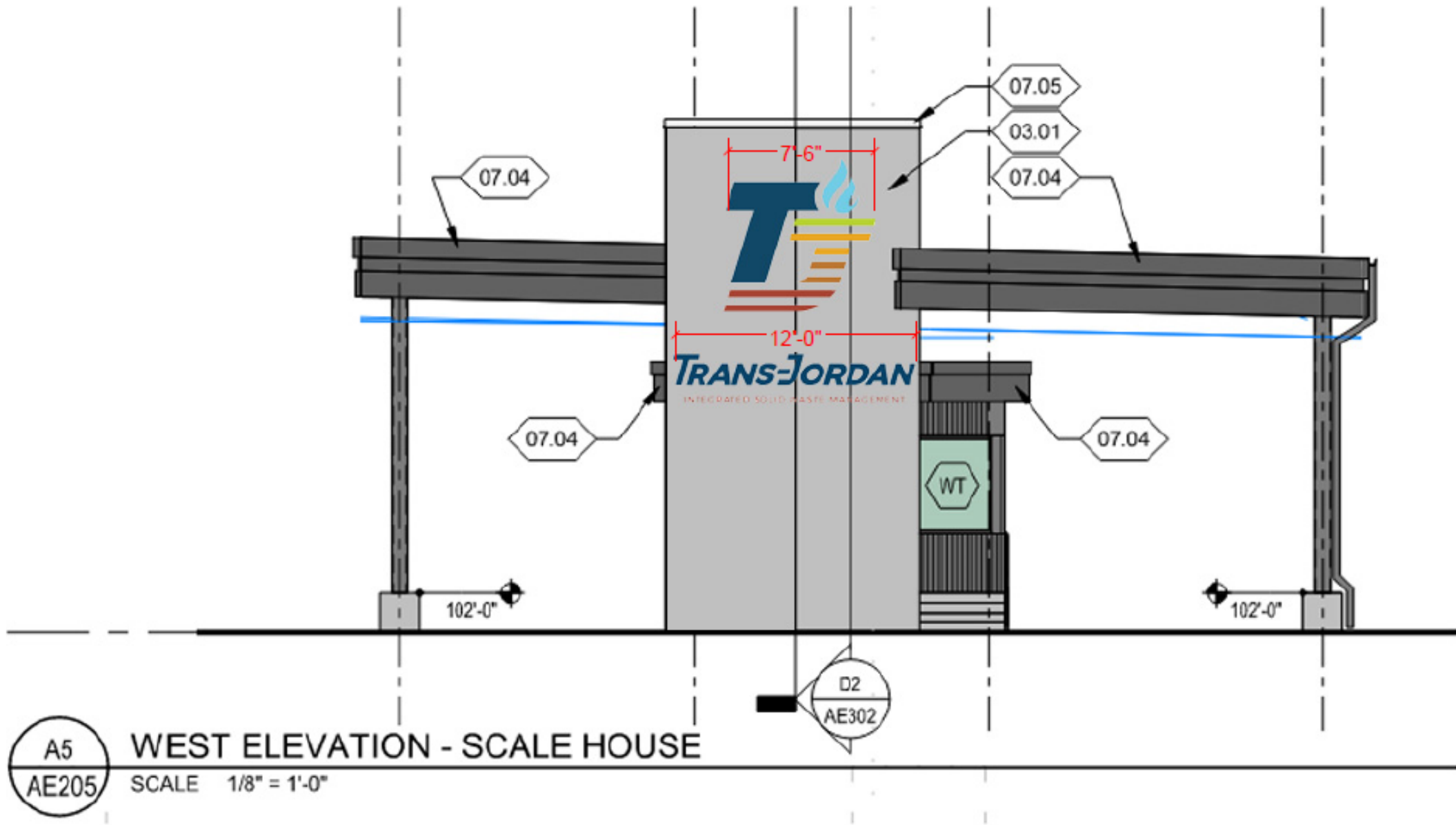
**ARCHITECT**  
GALLOWAY  
577 SOUTH 200 EAST  
SALT LAKE CITY UT 84111

DESCRIPTION OF CHANGES	SHOP DRAWINGS CREATED	SHOP DRAWINGS REVISED					
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PROJECT#	17881	DATE	05/02/23	ARTWORK	MDW	REVIEWED	

PAGE TOC/IDX.22

SHEET NO.  
  
LETTERING  
  
SCALE HOUSE LETTERING  
DRAWING / SPECIFICATION

ELEVATION



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**PROJECT NAME**

TRANS-JORDAN TRANSFER STATION  
8815 SOUTH 700 WEST  
SANDY UT 84070

**GENERAL CONTRACTOR**

BIG-D CONSTRUCTION  
404 WEST 400 SOUTH  
SALT LAKE CITY UT 84101

**ARCHITECT**

GALLOWAY  
577 SOUTH 200 EAST  
SALT LAKE CITY UT 84111

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PROJECT#	17881	DATE	05/02/23	ARTWORK	MDW	REVIEWED

PAGE TOC/IDX.23

SHEET NO.

ELEVATION

SCALE HOUSE

# RGB Multi Color Scrolling LED Sign



2236 S 3270 W Unit 1  
Salt Lake City, UT 84119  
(801) 972-5101  
www.impact-signs.com

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ORIGIN DATE: 2-5-25  
**REVISIONS**  
01:


**CUSTOMER**  
GALLOWAY ARCHITECTS  
8815 SOUTH 700 WEST  
SANDY, UTAH  
84070

Sales: BRAD  
Designer: GERI CORDOVA  
**PROJECT**

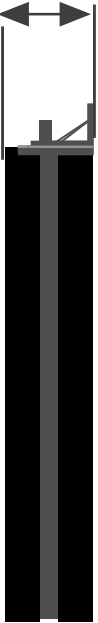
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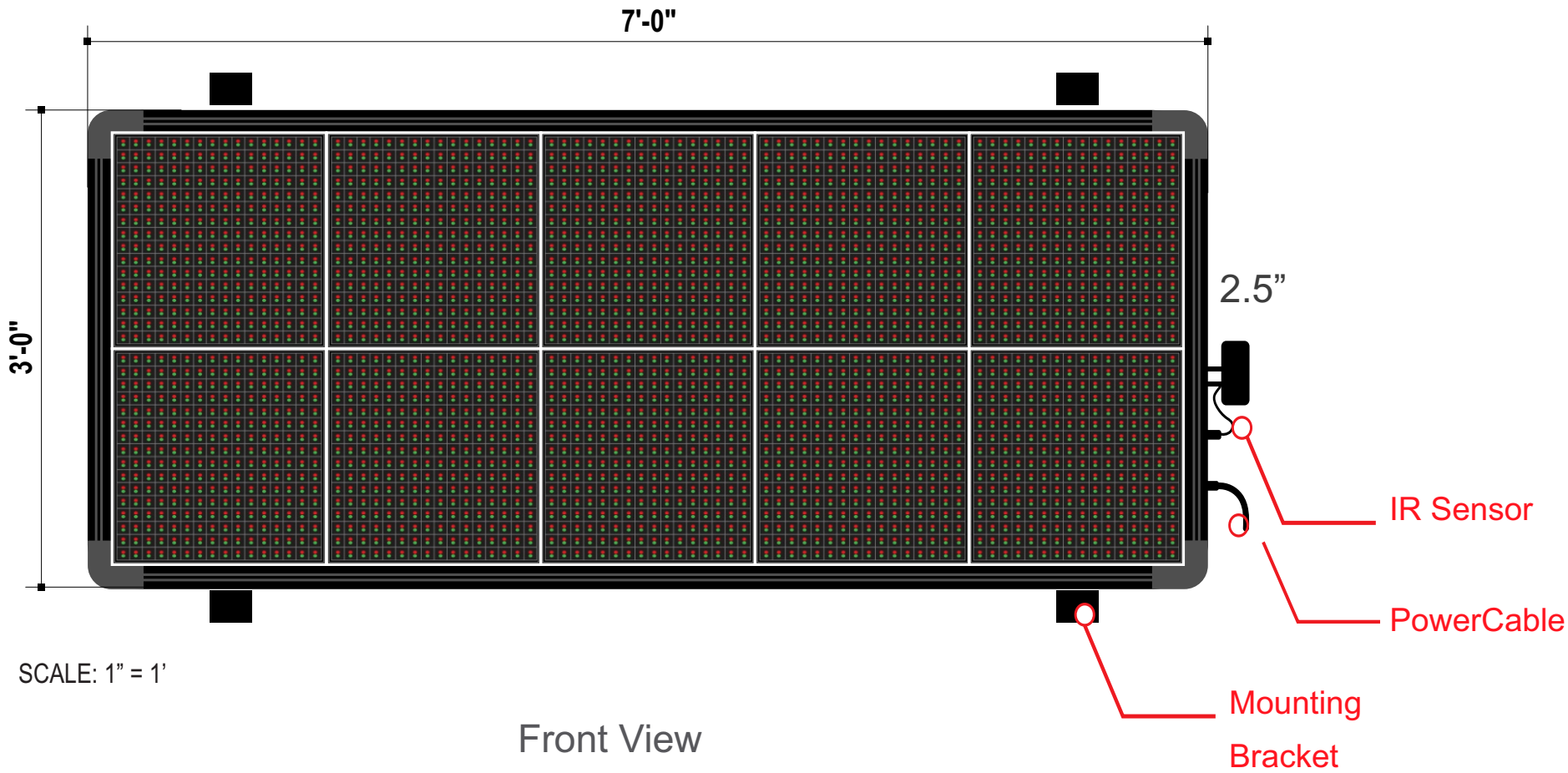
1" (Height)

1-3/8" (Width)

2.75"



Side View



Frame Size	Weight	Pixel Matrix
85" x 36"	60 lbs.	32 x 80





# Sandy City, Utah

10000 Centennial Parkway  
Sandy, UT 84070  
Phone: 801-568-7141

## Staff Report

---

**File #:** 25-156, **Version:** 1

**Date:** 6/5/2025

---

Minutes





# Sandy City, Utah

10000 Centennial Parkway  
Sandy, UT 84070  
Phone: 801-568-7256

## Meeting Minutes

### Planning Commission

*Dave Bromley*  
*Cameron Duncan*  
*David Hart*  
*Ron Mortimer*  
*Daniel Schoenfeld*  
*Steven Wrigley*  
*LaNiece Davenport*  
*Craig Kitterman (Alternate)*  
*Jennifer George (Alternate)*

---

Thursday, May 15, 2025

6:15 PM

Council Chambers and Online

---

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

[https://us02web.zoom.us/webinar/register/WN\\_iNYylgCTSkOb-ZTbjAK6VQ](https://us02web.zoom.us/webinar/register/WN_iNYylgCTSkOb-ZTbjAK6VQ)

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/83367414633>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866  
(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/83367414633>

Webinar ID: 833 6741 4633

Passcode: 494238

#### 4:00 PM FIELD TRIP

1. [25-136](#) Map

Attachments: [05152025.pdf](#)

#### 6:15 PM REGULAR SESSION

Welcome

## Pledge of Allegiance

## Introductions

- Present** 5 - Commissioner Dave Bromley  
Commissioner Ron Mortimer  
Commissioner Daniel Schoenfeld  
Commissioner Steven Wrigley  
Commissioner Craig Kitterman
- Absent** 4 - Commissioner Cameron Duncan  
Commissioner David Hart  
Commissioner Jennifer George  
Commissioner LaNiece Davenport

## Public Hearings

2. [ANX0331202](#) Hidden Hollow Annexation (R-1-40A Zone)  
[5-006938\(PC](#) 10665 S. Dimple Dell Road & 3075 E. Deer Hollow Drive  
[\]](#) [Community #29]

**Attachments:** [Staff Report](#)  
[Vicinity Map](#)  
[Resolution 25-12C](#)  
[Annexation Plat](#)  
[Physical Posting of property](#)

Brian McCuiston presented this item to the Planning Commission and recommended approval for the annexation.

Ron Mortimer opened this item for public comment.

Ron Mortimer closed this item to public comment.

**A motion was made by Steven Wrigley, seconded by Daniel Schoenfeld, that the Planning Commission send a positive recommendation to the City Council that the Hidden Hollow Annexation be approved and zoned R-1-40A based on the four findings detailed in the staff report. The motion carried by the following roll call vote:**

- Yes:** 5 - Dave Bromley  
Ron Mortimer  
Daniel Schoenfeld  
Steven Wrigley  
Craig Kitterman

- Absent:** 4 - Cameron Duncan  
David Hart  
Jennifer George  
LaNiece Davenport

**Nonvoting:** 0

3. [REZ0319202](#) Jordan Credit Union Rezone  
[5-006931](#) 9260 S. 300 E.  
[\(PC\)](#) [Community #4, Historic Sandy]

**Attachments:** [Staff Report](#)

Jake Warner presented this item to the Planning Commission.

Ron Mortimer opened this item for public comment.

Ron Mortimer closed this item to public comment.

Steven Wrigley said this rezone is to bring the property into compliance.

**A motion was made by Daniel Schoenfeld, seconded by Craig Kitterman that the Planning Commission forward a positive recommendation, recommending that the City Council approve the application for a zone change from the R-1-8 Zone to the PO Zone. The motion carried by the following roll call vote:**

**Yes:** 5 - Dave Bromley  
Ron Mortimer  
Daniel Schoenfeld  
Steven Wrigley  
Craig Kitterman

**Absent:** 4 - Cameron Duncan  
David Hart  
Jennifer George  
LaNiece Davenport

**Nonvoting:** 0

## Public Meeting Items

4. [SUB0928202](#) Sandy Station Block 20 Subdivision (HSD Architectural Review)  
[2-006410](#) 240 E 8960 S  
[\(2nd\)](#) [Community #4, Historic Sandy]

**Attachments:** [Staff Report](#)

[Exhibit A](#)

[Exhibit B](#)

Thomas Irvin presented this item to the Planning Commission.

Ron Mortimer opened this item for public comment.

Ron Mortimer closed this item to public comment.

**A motion was made by Steven Wrigley, seconded by Daniel Schoenfeld, that the Planning Commission approve the revised architectural elevations for the Sandy Station Block 20 Subdivision located at 240 E 8960 S based on the two findings and subject to the one condition detailed in the staff report. The motion carried by the following roll call vote:**

**Yes:** 5 - Dave Bromley  
Ron Mortimer  
Daniel Schoenfeld  
Steven Wrigley  
Craig Kitterman

**Absent:** 4 - Cameron Duncan  
David Hart  
Jennifer George  
LaNiece Davenport

**Nonvoting:** 0

5. [SUB0125202](#) [4-006704](#) GSL Electric Campus Subdivision Amendment  
595 W. Sandy Parkway  
[Community #1, Northwest Exposure]

**Attachments:** [Staff Report](#)  
[Exhibit A](#)

Doug Wheelwright introduced this item to the Planning Commission.

Carl Green, 6524 S Daffodil Way, West Jordan, presented this item to the Planning Commission.

Doug Wheelwright further presented this item and recommended approval to the Planning Commission.

Ron Mortimer opened this item for public comment.

Brad Fog, 2816 E Etienne Way, asked for clarification about widening of the private street.

Ron Mortimer closed this item to public comment.

Staff explained that the street dedication to Sandy City is only on Sandy Parkway and does not impact the private road easement.

Mike Wilcox also mentioned that it's dedication to allow for the public sidewalk and park strip along that frontage of Sandy Parkway.

**A motion was made by Daniel Schoenfeld, seconded by Steven Wrigley, that the Planning Commission approve the proposed preliminary GSL Electric Campus Subdivision amended plat for the property located at 595 W Sandy Parkway based on the two findings and subject to the three conditions detailed in the staff report. The motion carried by the following roll call vote:**

**Yes:** 5 - Dave Bromley  
Ron Mortimer  
Daniel Schoenfeld  
Steven Wrigley  
Craig Kitterman

**Absent:** 4 - Cameron Duncan  
David Hart  
Jennifer George  
LaNiece Davenport

**Nonvoting:** 0



6. [CUP0309202](#) [5-006921](#) Wijdan Khadhir Daycare (Conditional Use Permit)  
8535 S. Littlewood Circle  
[Community # 6, High Point]

**Attachments:** [Staff Report](#)

Sarah Stringham introduced this item to the Planning Commission.

Wijdan Khadir, 8535 S Littlewood Circle, presented this item to the Planning Commission.

Ron Mortimer opened this item for public comment.

Ron Mortimer closed this item to public comment.

Craig Kitterman shared his concerns with traffic congestion in a cul-de-sac with additional children from the daycare.

Ivan Hooper, Sandy City Transportation Engineer, said that the traffic impacts are minimal with a daycare and a cul-de-sac.

**A motion was made by Daniel Schoenfeld, seconded by Dave Bromley, that the Planning Commission approve a Conditional Use Permit for a category II home occupation for a day care use for the property located at 8535 S Littlewood Circle based on the one finding and subject to the four conditions detailed in the staff report. The motion carried by the following roll call vote:**

**Yes:** 4 - Dave Bromley  
Ron Mortimer  
Daniel Schoenfeld  
Steven Wrigley

**No:** 1 - Craig Kitterman

**Absent:** 4 - Cameron Duncan  
David Hart  
Jennifer George  
LaNiece Davenport

**Nonvoting:** 0

7. [CUP0323202](#) Canny Kids on Hidden Circle Daycare (Conditional Use Permit)  
[5-006937](#) 11617 S. Hidden Circle  
[Community # 24]

**Attachments:** [Staff Report](#)

Sarah Stringham introduced this item to the Planning Commission.

Sariah Schmikrath, 11617 S Hidden Circle, presented this item to the Planning Commission.

Steven Wrigley asked the applicant if she has 12 or 16 kids.

Sariah Schmikrath said she currently has eight.

Mike Wilcox said that the code allows for a maximum of 18 per day but no more than 16 at one time.

Ron Mortimer opened this item for public comment.

Donald Dana, 11612 S Casper Place, is opposed to the daycare and shared his concerns relating to noise, toys and rocks being thrown over the fence.

Shauna Soles, 11622 S Hidden Circle, shared her concerns relating to noise, traffic and equity.

Jerry Jensen, 11636 S Hidden Circle, shared his concerns relating to traffic and safety.

Alex Jensen, 11636 S Hidden Circle, shared his concerns with the daycare's drop in aspect.

Susan Moody, 11631 S Hidden Circle, shared her concerns about traffic, safety and noise.

Reagan Moody, 11631 S Hidden Circle, shared her concerns relating to her safety while tanning by her pool in her backyard and her younger brother who's learning how to drive.

Holly Taylor, 11609 S Hidden Circle, shared concerns about barking dogs and declining property value.

Ron Mortimer closed this item to public comment.

Steven Wrigley said he likes the concept but he's not sure if it fits a cul-de-sac neighborhood because of all the traffic.

Sarah Stringham said a category II allows for 24 trips.

Craig Kitterman said that as a commissioner they have a duty to protect the neighbors regardless of what the code says.

Danny Schoenfeld said the code allows for the day care.

Dave Bromley clarified the duties of the commission and that this conditional use can be revoked upon legitimate complaint.

Sariah Schmickrath said she's making efforts to being a respectful neighbor.

A motion was made by Daniel Schoenfeld, seconded by Dave Bromley to approve the category II Conditional Use Permit did not pass with this permit due to not meeting the minimum quorum requirement of four votes in favor of the motion in order for it to carry.

Dave Bromley talked about the purpose of the conditional use permit.

Steven Wrigley said he also worries about snow removal in a cul-de-sac.

Sarah Stringham reviewed the conditions in the staff report and reminded commissioners that this item can be revoked upon legitimate complaint.

Craig Kitterman said he feels the neighbors concerns outweighs the code.

Dave Bromley said 98 trips was the total number of trips in the cul-de-sac and not from the daycare.

Craig Kitterman said that because it's a cul-de-sac you can't control how many people go in and out but you can control the number of commercial trips and this isn't the right place for the business.

Dave Bromley said the applicant could provide additional training relating to the traffic flow.

Mike Wilcox read a message from Sandy City Attorney, Darien Alcorn, who was attending remotely - A conditional use permit by state definition is an approved use where the impacts from that proposed use can be mitigated. The appropriate motion would be that if the impacts that are being generated by the use cannot be mitigated, those are grounds for a motion to deny a request. But if there are conditions that can be mitigated or impacts that can mitigated through conditions, whether those are already in the staff report or if there are additional ones that you think might help mitigate the concerns that you have or have been expressed by others, that would be the appropriate matter to address those rather than to deny unless you find and make a series of findings that the impacts cannot be in any way, shape or form, mitigated.

Craig Kitterman said the traffic count that we have now is with the current permit and an additional permit would double the count.

Dave Bromley said the applicant has been operating as a category II and didn't realize it.

Sarah Stringham clarified that the current trips wouldn't increase from what they currently are and that the applicant's intent is to come into compliance with this permit.

Brittney Ward, Sandy City Engineer, said that on average a single family home has 11 trips per day so with the eight homes in this cul-de-sac you're looking at 90 trips per day generated from regular home use which is consistent with what the neighbor had counted. With the daycare of 12 kids being dropped off by one vehicle you're looking at 48 additional trips the daycare is generating.

Craig Kitterman said the neighbors have the right to go in and out in whatever manner they do because they're the homeowners and they have that right but the daycare doesn't have the right to exceed those vehicle trips.

Daniel Schoenfeld said the applicant has the right to continue those trips with up to eight trips per day, the CUP would grant them up to 24 trips, and reminded the commissioners that they cannot deny this request.

Craig Kitterman said that the applicant is not in compliance now with the current number of children.

Sarah Stringham reminded the commissioners that the applicant did share, during her presentation, that she didn't realize she was out of compliance and has since then decreased the number of kids in her daycare to eight so that she's in compliance with operating as a category I.

Steven Wrigley asked if they have the ability to limit the amount of kids that can go into the backyard at one time to mitigate the noise.

Mike Wilcox said that they'll need to impose certain conditions that they find would make it equivalent to a permitted use. So having children playing in a backyard is an anticipated noise factor that's already part of a neighborhood and there is no cap or limit on the amount of kids one single family can have.

Steven Wrigley said the neighbors are saying the noise level is very loud with eight kids, to have 16 would be louder and asked if they could limit it to eight at one time to mitigate the noise. He also suggested a condition to have the children exit and enter on the right side of the vehicle.

Sarah Stringham said that children exiting on the right side of the car was part of the traffic plan that she will be educating the parents with.

Mike Wilcox suggested that they could add that no reverse and backward movements be allowed to help mitigate traffic concerns.

Darien Alcorn, Sandy City attorney, said that children being outside would not exceed the existing noise ordinance and the traffic plan is a good mitigation.

Steven Wrigley asked about mitigating safety in the cul-de-sac.

Darien Alcorn said that she didn't think there was a way to propose that a public road be used differently than what it is - a public road.

Mike Wilcox asked Darien Alcorn if they could impose further maximums or limit the total number of children and if that would be an allowable condition given what the code allows for.

Craig Kitterman said the permit that the applicant currently has would limit that.

Darien Alcorn replied that Sandy City code already authorizes up to 16 children in a day care under the category II home occupation as a conditional use and a conditional use is a permitted use subject to conditions that address reasonably and anticipated detrimental impacts.

Mike Wilcox clarified that they couldn't further limit that.

Darien Alcorn said no.

A motion was made by Daniel Schoenfeld, seconded by Dave Bromley, that the Planning Commission approve a Conditional Use Permit for a category II home occupation for day care use for the property located at 11617 S Hidden Circle based on the one finding and subject to the five conditions detailed in the staff report with a modification to add the following to Condition #2: That a traffic plan be developed with staff and notifications to clients to comply with the traffic plan including no backing movements. The motion carried by the following roll call vote:

**Yes:** 4 - Dave Bromley  
Ron Mortimer  
Daniel Schoenfeld  
Steven Wrigley

**No:** 1 - Craig Kitterman

**Absent:** 4 - Cameron Duncan  
David Hart  
Jennifer George  
LaNiece Davenport

**Nonvoting:** 0

8. [CUP0404202](#) Sandgren Accessory Structure (Conditional Use Permit)  
[5-006947](#) 9195 S. Laura Anne Way  
[Community #7]

**Attachments:** [Staff Report](#)

Sarah Stringham introduced this item to the Planning Commission.

Robin Sandgren, 9195 S Laura Anne Way, presented her item to the Planning Commission.

Ron Mortimer opened this item for public comment.

Ron Mortimer closed this item to public comment.

A motion was made by Dave Bromley, seconded by Steven Wrigley, that the Planning Commission approve a Conditional Use Permit for increase size and height with reduced setbacks for the property located at 9195 S Laura Anne Way based on the four findings and subject to the six conditions detailed in the staff report. The motion carried by the following roll call vote:

**Yes:** 5 - Dave Bromley  
Ron Mortimer  
Daniel Schoenfeld  
Steven Wrigley  
Craig Kitterman

**Absent:** 4 - Cameron Duncan  
David Hart  
Jennifer George  
LaNiece Davenport



Nonvoting: 0

9. [CUP0404202](#) Edwards Accessory Structure (Conditional Use Permit)  
[5-006946](#) 10157 S. 2020 E.  
[Community #21, Falcon Hill]

**Attachments:** [Staff Report](#)

Sarah Stringham presented this item to the Planning Commission.

Ron Mortimer opened this item for public comment.

Ron Mortimer closed this item to public comment.

Steven Wrigley asked the applicant if he was ok with condition #2.

Erik Edwards said yes.

**A motion was made by Daniel Schoenfeld, seconded by Dave Bromley that the Planning Commission approve a Conditional Use Permit for increased size and height with reduced setbacks for the property located at 10157 S 2020 E based on the four findings and subject to the five conditions detailed in the staff report.**

**Yes:** 5 - Dave Bromley  
Ron Mortimer  
Daniel Schoenfeld  
Steven Wrigley  
Craig Kitterman

**Absent:** 4 - Cameron Duncan  
David Hart  
Jennifer George  
LaNiece Davenport

Nonvoting: 0

10. [CUP0305202](#) Lamb Accessory Structure (Conditional Use Permit)  
[5-006919](#) 10746 S. 455 E.  
[Community 11, Crescent]

**Attachments:** [Staff Report](#)  
[Exhibit B](#)

Brynn Bohlender introduced this item to the Planning Commission.

Zeke Lamb, 10746 S 455 E, further presented this item to the Planning Commission.

Steven Wrigley asked the applicant the reason for his request for additional height.

Zeke Lamb replied that if ADU's were ever approved he'd like to use it for his mother.

James Sorensen clarified that the department follows the existing code which currently does not allow for this ADU use.

Ron Mortimer opened this item for public comment.

Ron Mortimer closed this item to public comment.

**A motion was made by Daniel Schoenfeld, seconded by Dave Bromley, that the Planning Commission approve a Conditional Use Permit for building size and height increase for the property located at 10746 S 455 E based on the two findings and subject to the five conditions detailed in the staff report with a modification to Condition #1: That the proposed accessory structure is 23.4" feet tall. The motion carried by the following roll call vote:**

**Yes:** 5 - Dave Bromley  
Ron Mortimer  
Daniel Schoenfeld  
Steven Wrigley  
Craig Kitterman

**Absent:** 4 - Cameron Duncan  
David Hart  
Jennifer George  
LaNiece Davenport

**Nonvoting:** 0

## Administrative Business

### 1. Minutes

**An all in favor motion was made by Daniel Schoenfeld to approve the meeting minutes from 04.03.2025 and 05.01.2025.**

[25-137](#) Minutes

**Attachments:** [04.03.2025 PC Minutes \(DRAFT\)](#)

[05.01.2025 PC Minutes \(DRAFT\)](#)

## 2. Sandy City Development Report

[25-120](#) Development Report

**Attachments:** [05.01.2025 DEV REPORT](#)

## 3. Director's Report

**Adjournment**

**An all in favor motion was made to adjourn.**

## Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



# Sandy City, Utah

10000 Centennial Parkway  
Sandy, UT 84070  
Phone: 801-568-7141

## Staff Report

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**File #:** 25-157, **Version:** 1

**Date:** 6/5/2025

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Development Report

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Pending										
Bicentennial Park Localscapes Conversion	552 E 8680 S	SPR01242024-006702	03/12/2024			OS	Ben Rodes	2088607297	sstringham	Pending
Storm Mountain Park Localscapes Conversio	11426 S 1000 E	SPR01242024-006703	03/08/2024			OS	Ben Rodes	2088607297	sstringham	Pending
Band Fire Warehouse	9618 S 500 W	SPR01272023-006477			0.51	ID	Jesse Reynolds		dwheelwright	Open
Sandy Shulsen Mixed Use	10116 S MONROE ST, 84070	SPR02082023-006482	12/14/2023			CBD-A&C	David Denison	801-836-6235	mwilcox	Pending
EOS Fitness Sandy	10291 S 1300 E	SPR02162024-006713			2.99	CC	Art Babcock		dwheelwright	Open
Compass Apartments	179 West 9270 South	SPR02212024-006719	09/27/2024			RC	David Denison	801-836-6235	mwilcox	Pending
Mark Ray Office Building	7865 South 700 East	SPR04172025-006955				BC	Robert Money	8015731029	dwheelwright	Open
Rasht Development Project	8475 S STATE ST	SPR04242024-006758	03/21/2025		0.99	RC	Ramin Nasrabadi		dwheelwright	Pending
iONNA EV Charging Station	151 W 10600 S	SPR05092025-006962			0.43	AM	Andres Villacres		dwheelwright	Open
Classic Fun Center	9151 S MONROE ST	SPR06142024-006783			5.12	RC	David Henderson		dwheelwright	Pending
Smith's Altaview Fuel Center	10315 S 1300 E	SPR07202021-006107			0.46	CC	Anderson Wahlen & A	801-913-8406	dwheelwright	Open
MACU Event Cenenter/ SLCO	9575 S STATE ST	SPR09062024-006841			0.96	CBD	Jordan Gray	3582145760	dwheelwright	Pending
Stage Office Storage Building	8238 700 E, 84070	SPR09212022-006407	12/07/2023			BC	Ross Drummond	8015737620	dwheelwright	Open
MedVet Urgent Care - Modified Site Plan Rev	10291 S STATE ST	SPR10022024-006862				CBD	Michelle Martin		sstringham	Fees Due
Wasatch Pain Solutions	1420 E SEGO LILY DR	SPR10072024-006865	01/28/2025		0.66	CC	Robert Howell		dwheelwright	Pending
Meadows at Cy Road Site Plan	8777 S 700 E	SPR10162024-006872	02/25/2025		4.32	PUD(10)	Brad Reynolds		tirvin	Pending
Mountain America Credit Union	9446 S HIGHLAND DR	SPR10222024-006875	04/01/2025		0.70	SD(Magna)	Michael Shane Sanders		dwheelwright	Fees Paid
OneTen Apartments	109 W 11000 S	SPR10242022-006427	08/18/2023		2.84	CBD	Corey Solum		mwilcox	Pending
Intermountain South Sandy Clinic Expansion	955 E 11400 S	SPR11132024-006886			2.40	PO	Gerrit Timmerman	8015586015	dwheelwright	Pending
Under Review										
SWIG - State Street	10101 S STATE ST	SPR01062025-006903			0.67	CBD	Pranavi Koka - Bowma		mwilcox	Preliminary Review
WM Fuel #5235 Sandy, UT	9081 S QUARRY BEND DR	SPR03112022-006282	01/03/2023			SD(X)	Ryan Alvarez		dwheelwright	Under Review
The Orchards at Dimple Dell	10216 S DIMPLE DELL RD	SPR03262024-006738	05/01/2024			R-1-10	Brett Lovell	8017064693	tirvin	Final Review
Latin Grill	1289 E 8600 S	SPR04182024-006756			1.23	CN	Robert Dance		dwheelwright	Final Review
Sandy Station Townhomes	8925 S HARRISON ST	SPR05132025-006965			1.36	RC	David Kelly	3852835285	mwilcox	Preliminary Review
Thackeray Towns Site Plan	10760 S 700 E	SPR06242021-006083	06/24/2021		4.00	PUD(10)	John Sawyer		tirvin	Under Review
JVWCD 700 East Well House	7618 S 700 E	SPR08212023-006589			0.49	PUD(12)	Kevin Rubow	8015654377	dwheelwright	Final Review
Centennial Village	235 W SEGO LILY DR	SPR12282021-006237	07/28/2022		0.49	CBD-A&C	Dan Simons	(801) 230-1339	mwilcox	Under Review
Resubmit										
Architectural Components HQ	9352 S 670 W	SPR03132025-006926			0.69	ID	Josh Naylor	8015577523	tirvin	Resubmit
Gutierrez Multifamily Site Plan	886 E 7800 S	SPR04072025-006948			0.47	RM(10)	Elisha Deschenie		tirvin	Resubmit
Jordan Credit Union	9260 S 300 E	SPR04142025-006949			0.38	R-1-8	Nate Reiner		dwheelwright	Resubmit
Quick Quack Car Wash Conversion	10640 S 700 E	SPR04212025-006957			1.10	CN	Polo Padilla		dwheelwright	Resubmit
Quick Quack Car Wash	7708-7720 S 700 E	SPR05142024-006769				CN	Hailey Peterson		tirvin	Resubmit
Creek Rd Office Condos - 5th AMD	7410 CREEK RD 301 84093	SPR07072021-006096	09/23/2021			PO	Marcus Green		tirvin	Resubmit
Sandy City Public Utilities Vac Truck Water C	9140 S 150 E	SPR07252024-006802			6.23	ID	Tyler Shelley	8019151082	dwheelwright	Resubmit
ECLAIR FRENCH PASTRY	7948 S 1300 E	SPR08092024-006809				SD(Smart)	KARRAR ALJEWARI	3852295300	dwheelwright	Resubmit
Office Building at 11000 South	65 E 11000 S	SPR09202023-006624			0.18	LC	Alta Construction		dwheelwright	Resubmit
Kuwahara Wholesale	8575 STATE ST, 84070	SPR10162023-006639				SD(FM-HS)	Alex Kuwahara	8016916592	tirvin	Resubmit
Casa Brazil Market	8671 S STATE ST	SPR11112024-006884			0.22	CN(HSN)	Patricia Jacobs	8017358513	dwheelwright	Resubmit
Smith's 153 Fuel Center	10305 S 1300 E	SPR11112024-006885			10.38	CC	AWA - Jalaine Gibson	8018970849	dwheelwright	Resubmit
Red Sky Apartments	10145 S CENTENNIAL PKWY	SPR12062022-006452	05/08/2023		1.45	CBD	Corey Solum		mwilcox	Resubmit
9000 South C-Store	694 W 9000 S	SPR12172024-006901	05/09/2025		3.38	RC	Thomas Hunt	8016644724	dwheelwright	Resubmit
On Hold										
Summit Two - Phase 1	10250 MONROE ST, 84070	SPR03292022-006291				CBD-O	Raddon Summit Hotel,		dwheelwright	On Hold
Sandy Park Center retail pad	9835 S MONROE ST	SPR04152022-006306			0.73	CBD-O	LeeAnn Miller	3852996262	dwheelwright	On Hold
Master Muffler	9235 S 700 E	SPR06292022-006355			0.44	CC	Brandy Donecker	2103716751	dwheelwright	On Hold

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Harmons Landscape Improvements	7755 S 700 E	SPR07262022-006365			7.12	CN	Frank Lunquist		dwheelwright	On Hold
Summit Two at the Cairns	10250 S CENTENNIAL PKWY	SPR08032021-006124			5.07	CBD-O	Anthony Lyman	8012304582	dwheelwright	On Hold
Under Construction										
Cyprus Credit Union	8955 S 700 E	SPR01032022-006241	08/17/2022		0.78	BC	Cyprus Credit Union		dwheelwright	Under Construction
Woodhaven Estates	7613 S 300 E	SPR01102023-006464	12/18/2023		0.98	PUD (12)	Brandon Fry		tirvin	Under Construction
Sandy Urban Fishery Wetlands	850 W SHIELDS LN	SPR01182022-006255	02/22/2022		61.17	OS	DAN MEDINA		dwheelwright	Under Construction
The Rio at 94th	115 W 9400 S	SPR01242023-006473			0.38	RM(12)	Jacob Toombs	8017879344	tirvin	Under Construction
St. Anna Greek Orthodox Church	9201 S 1300 E	SPR01262022-006258	03/25/2022		3.00	CN	James Derby	8016801385	dwheelwright	Under Construction
MACU Event Cenenter/ SLCO	9575 S STATE ST	SPR01292024-006706			0.96	CBD	Jordan Gray	3582145760	dwheelwright	Under Construction
Sandy City Fire Station #31	9295 S MONROE ST	SPR02132024-006711	04/19/2024			RC	Ryan McConaghie		mwilcox	Under Construction
Sandy Public Works Phase II	8775 S 700 W	SPR02152023-006485			16.92	ID	Taylor Smith	8016368327	dwheelwright	Under Construction
UTA Civic Center Station - Site Modification	10015 S BEETDIGGER BLVD	SPR02172023-006487				MU	Nick Duerksen	8012012050	mwilcox	Under Construction
Garden of Resurrection Larkin Sunset Garder	1950 E DIMPLE DELL RD	SPR04172024-006752	07/23/2024		69.19	R-1-20A	Rob Larkin	8015414184	dwheelwright	Under Construction
Sandy Amphitheater Plaza Expansion	1245 E 9400 S	SPR04242023-006523	07/21/2023		7.13	SD(MU)	Mearle Marsh		mwilcox	Under Construction
Dimple Dell Park - 300 East Trailhead	321 E 10195 S	SPR05132022-006318	07/12/2022		5.00	OS	Dan Sonntag	8012058201	tirvin	Under Construction
Dimple Dell Park - Badger Cove Trailhead	1651 E BADGER CV	SPR05132022-006320	08/25/2022		4.63	OS	Dan Sonntag		tirvin	Under Construction
Dimple Dell Park - Wrangler Trailhead	10305 S 1300 E	SPR05132022-006324	08/25/2022		10.38	CC	Dan Sonntag		tirvin	Under Construction
Willow Creek Country Club - Maintenance A	8505 S WILLOW CREEK DR	SPR05172024-006771	12/19/2024		11.09	OS	James B Glascock		dwheelwright	Under Construction
South Towne II	10150 S CENTENNIAL PKWY	SPR05302024-006777			0.06	CBD-O	Logan Prete		dwheelwright	Under Construction
SLCo Household Hazardous Waste Facility	8775 S 700 W	SPR06042021-006065	01/05/2022		16.92	ID	Jordan Gray	3852146750	dwheelwright	Under Construction
AFCU Sandy Landscape Remodel	2104 E 9400 S	SPR07262022-006364	08/16/2022		2.23	PO	Brad Illingsworth		dwheelwright	Under Construction
Bicentennial Park Improvements	530 E 8680 S	SPR07272023-006575	10/17/2023			OS	Jeremy Garcia		sstringham	Under Construction
Standard Plumbing	9150 S 300 W	SPR08012022-006374			3.31	ID	Chad Spencer	8014505113	dwheelwright	Under Construction
The Ridges at Dimple Dell	1405 E 10600 S	SPR08032021-006125	11/19/2021		0.02	MU	Brad Reynolds Constr	8015980246	mwilcox	Under Construction
Utah HPC - Phase 1 Pad Prep	10450 S STATE ST 1234	SPR08052024-006806				CBD	Larry Oldham	8018243351	dwheelwright	Under Construction
AFCU Sandy ADA Site Improvements	2104 E 9400 S	SPR08112023-006586			2.23	PO	Brad Illingsworth		dwheelwright	Under Construction
Hansen Dental Office	9872 S 700 E	SPR08162023-006587			0.32	CN	Pete Meuzelaar		dwheelwright	Under Construction
Veterinary Emergency Group (VEG)	11084 S STATE ST	SPR08262022-006388	08/23/2023		1.20	CBD	Tahesha Silva		dwheelwright	Under Construction
Medically Vulnerable Peoples Program (MVP)	8955 S HARRISON ST	SPR08282024-006825			1.50	RC	Shasta Galyon	9079038553	manderson	Under Construction
Utah HPC - Phase 2	10450 S STATE ST	SPR09062024-006844	09/19/2024		1.34	CBD	Larry Oldham	8015311144	dwheelwright	Under Construction
Hale Centre Beehive Academy	9900 S MONROE ST	SPR10112023-006636				CBD-O	Bradley Beecher	8015974589	dwheelwright	Under Construction
WHW Engineering New Office Building	733 W 9000 S	SPR10172022-006421	05/08/2023		0.82	CvC	Win Packer	8015803301	dwheelwright	Under Construction
Hansen Warehouse Modified	9127 S 255 W	SPR11142024-006887			1.31	RC	Reid Wintersteen	6083862723	dwheelwright	Under Construction
Cedarwood at Sandy - Expansion	575 E 11000 S	SPR11172022-006447	02/21/2023		3.87	SD(EH)	Ryan Griffiths	8019102756	tirvin	Under Construction
Trans-Jordan Waste Facility	8813 S 700 W	SPR11232022-006449				ID	Trans-Jordan Cities		dwheelwright	Under Construction
Main Street Park	70 E 8760 S	SPR12032021-006220	01/28/2022		0.92	R-1-7.5(HS	DAN MEDINA	801-201-2202	mwilcox	Under Construction
Goodwill	8550 S 1300 E	SPR12202023-006675			4.39	CN	Jeffery Jensen		dwheelwright	Under Construction
Complete										
Waterford School Sports Field and Parking A	9502 1700 E, 84092	SPR03022023-006493	05/26/2023			PO	Greg Miles		dwheelwright	Complete
Dimple Dell Park - Lone Peak Trailhead	10042 S 700 E	SPR05132022-006322	08/25/2022		0.69	OS	Dan Sonntag		tirvin	Complete
Waterford School Student Commons	1590 E 9400 S	SPR12022022-006451	06/22/2023		8.83	PO	Greg Miles	8018162289	dwheelwright	Complete
Others										
90th South Mixed Use Master Plan Amendm	8925 S HARRISON ST	SPR01022025-006902	02/07/2025		1.36	RC	David Kelly	3852835285	mwilcox	Approved
Sandy East Village Ph 3 & Dry Creek Apartm	166 E MIDVILLAGE BLVD	SPR11142022-006445				MU	IBI Group		mwilcox	Approved



PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Pending										
Fur Breeders	8860 S 700 W	SUB03122025-006925			22.43	ID	Josh Vance		tirvin	Received
Dimple Dell Ridge Consolidation	1727 DIMPLE DELL RD 84092	SUB03192024-006733				R-1-20A	Efren Lopez		tirvin	Received
OneTen Apartments	109 W 11000 S	SUB03292023-006511	08/18/2023	1.00	2.84	CBD	Corey Solum		mwilcox	Pending
Cole Lot Line Adjustment	825 E 8600 S	SUB04162025-006952			0.71	R-1-8	Brandon Preece		tirvin	Received
Sandy Station Townhomes	8925 S HARRISON ST	SUB05132025-006966		64.00	1.36	RC	David Kelly	3852835285	mwilcox	Received
Myers-Long Lot Line Adjustment	3035 E HIDDENWOOD DR	SUB05192024-006772			0.71	PUD(1.62)	David Myers	5102195349	tirvin	Pending
Quick Quack Lot Line Adjustment	10640 S 700 E	SUB05202025-006971			1.10	CN	Wayne Leasing, LLC	8017210030	tirvin	Received
Sierra Estates 2-3	3677 E LITTLE COTTONWOOD RD	SUB05232024-006773				R-1-10	S. SCOTT CARLSON	8014503511	tirvin	Received
The Rio at 94th Subdivision	115 W 9400 S	SUB05312024-006779		3.00	0.38	RM(12)	Jacob Toombs		tirvin	Open
KV Larson Subdivision	963 E 8600 S	SUB06132023-006549	02/02/2024	8.00	2.50	SD(R-1-7)	Ronald K. Larson	2067137789	tirvin	Pending
East Town Village Condo Plat	8327 STATE ST 84070	SUB06132023-006550		1.00		MU	Charles Akerlow		tirvin	Fees Due
Crabtree Subdivision	2845 E LITTLE COTTONWOOD RD	SUB06142022-006347		2.00		R-1-15	Tami Crabtree	8012314484	tirvin	Pending
Quick Quack Sandy Harmons	7708 700 E	SUB06252024-006790		3.00		CN	Russ Nelson		tirvin	Fees Paid
Myers/Long property line adjustment	3035 E HIDDENWOOD DR	SUB07022024-006793			0.71	PUD(1.62)	David Myers	5102195349	tirvin	Open
Smith's Altaview SUB	10315 S 1300 E	SUB07202021-006108	09/23/2021	4.00	0.46	CC	Anderson Wahlen & As		dwheelwright	Open
Sandy City Centre Plat Second Amended and	215 W 10000 S, 84070	SUB08152022-006383		4.00		CBD-A&C	David A Jenkins	8016312999	mwilcox	Open
Cole 825 E 8600 S Consolidation	825 E 8600 S	SUB08232024-006817			0.71	R-1-8	Tyler Cole	8019139315	tirvin	Open
Brandon Park 3 Amended Plat	1960 E BRANDON PARK WAY	SUB09242024-006855				R-1-12	Scott Hancock	8015974833	tirvin	Open
Under Review										
Crescent Wood Estates	543 E 10735 S	SUB02032022-006262	02/03/2022		0.50	R-1-20A	Arthur J. (A.J.) Kim	8019133400	tirvin	Under Review
Aspen Plaza Condo Amendment	849 E 9400 S	SUB03262024-006735				SD(CC)-Ti	SCOTT A DILLEY	8017067384	tirvin	Under Review
Tate Woods Subdivision	485 E 7800 S	SUB03312025-006940		2.00	0.15	R-1-6	GreenRock LLC	8019317228	tirvin	Preliminary Review
Dimple Dell Ridge Consolidation	1727 E DIMPLE DELL RD	SUB04012024-006741			0.81	R-1-20A	Efren Lopez		tirvin	Under Review
Jeremy Day Subdivision	8 SHADOW WOOD LN Sandy UT	SUB04032025-006944				PUD(1.62)	Blake Peterson	8017553548	tirvin	Final Review
Alta Park Lot 3 Amended	11202 S 1000 E	SUB04232025-006958		1.00	0.25	R-1-8	Castlewood Developme	4076170698	tirvin	Final Review
Lambert - Magleby construction	11489 S OBERLAND RD	SUB06052023-006543	08/04/2023	1.00	2.99	PUD(2)	Laura Bunker	8014928087	manderson	Under Review
Sierra Estates III	3677 E LITTLE COTTONWOOD RD	SUB06172024-006786		2.00		R-1-10	S. Scott CARLSON	8014503511	tirvin	Under Review
Sandy East Village Lot 2, Second Amended	10020 S BEETDIGGER BLVD	SUB09102021-006149	11/19/2021	2.00		MU	Ken Shields		tirvin	Under Review
Sandy Station Block 59 Subdivision	8810 S 90 E	SUB09232022-006408	09/15/2023	2.00	0.23	R-1-7.5(HS	Mark stephenson	8015148797	tirvin	Under Review
The Meadows at Cy Road	8777 S 700 E	SUB10162024-006871	02/25/2025	33.00	4.32	PUD(10)	Brad Reynolds Constru		tirvin	Final Review
School Yard Subdivision Amended	11020 S STATE ST	SUB10232024-006877	01/09/2025		3.07	CBD	X Development, LLC /		tirvin	Final Review
Pepperwood Phase 10C Amended	3 S COBBLEWOOD CV	SUB11012021-006197	11/19/2021	2.00	0.71	PUD(1.62)	David Jenkins	8016312999	mwilcox	Under Review
South Towne Market Place Subdivision	10130 S STATE ST	SUB12182023-006671	04/03/2024	2.00	4.89	CBD	Jason Boal		mwilcox	Under Review
Jiffy Lube Sub Amended	2039 E 9400 S	SUB12192022-006457	04/02/2024	2.00	5.60	CN	Daniel Canning		dwheelwright	Under Review
Resubmit										
Corner Bend Subdivision	2186 E POWDERKEG DR	SUB01142022-006249	06/21/2022		0.18	R-1-8	Dan Moore	801-554-8920	tirvin	Resubmit
Dimple Dell Ridge Lot 1 Amended Plat	1703 E DIMPLE DELL RD	SUB01182022-006256	07/05/2022	1.00	0.69	R-1-20A	Mark Goodsell	801-361-0909	tirvin	Resubmit
Woodhaven Estates Subdivision	7613 S 300 E	SUB01182023-006471	12/18/2023	24.00	0.98	PUD (12)	Brandon Fry		tirvin	Resubmit
GSL Electric New Production Facility	595 W SANDY PKWY	SUB01252024-006704		1.00	1.70	CR-PUD	Carl Greene	8016413894	dwheelwright	Resubmit
Southeast Industrial Park Amended Condomi	8496 S HARRISON ST	SUB02222022-006272	04/08/2022	16.00	1.95	RC	David McKinney		tirvin	Resubmit
Meek Subdivision	3761 E LITTLE COTTONWOOD LN	SUB02282024-006722	04/23/2024	2.00		R-1-8	Robert Meek	3854810189	tirvin	Resubmit
Firefly Subdivsion	517 E 8680 S	SUB03172025-006927		29.00	2.91	R-1-7.5(HS	Jacob Robert Ballstaedi	8014555131	tirvin	Resubmit
Red Sky Apartments	10140 S CENTENNIAL PKWY	SUB04102023-006516	05/08/2023	1.00		CBD-P	Corey Solum		mwilcox	Resubmit
Sandy Jordan Credit Union Subdivision	9260 S 300 E	SUB04142025-006950		1.00	0.38	R-1-8	Nate Reiner		dwheelwright	Resubmit
Sandy Park Center Lot 3 Amended	9835 S MONROE ST	SUB04152022-006305	06/07/2022	2.00	0.73	CBD-O	LeeAnn Miller	3852996262	tirvin	Resubmit
Thackeray Towns Subdivision	10760 S 700 E	SUB06242021-006082	06/24/2021	41.00	4.00	PUD(10)	John Sawyer		tirvin	Resubmit
Oberland Road Subdivision	2900 E OBERLAND RD	SUB06282022-006352		3.00		R-1-40A	Dustin Freckleton	5127796368	tirvin	Resubmit

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Tagg N Go Express Car Wash	7750 S 700 E	SUB06282023-006557		1.00	0.42	CN	Thomas Hunt	8016644724	dwheelwright	Resubmit
9272 Office Condominiums	9272 S 700 E	SUB08212024-006814			3.03	CC	Brook Hintze	8018601515	tirvin	Resubmit
Edgemont Elementary Subdivision	1085 E GALENA DR	SUB08232021-006136		1.00	6.68	R-1-8	Leon Wilcox	8015415372	tirvin	Resubmit
Transwest Estates No. 1 Amended Subdivisio	1479 E LONGDALE DR	SUB08232024-006818			0.23	R-1-10	Carson Fairbourn	3853549995	tirvin	Resubmit
Oneelevensandy Subdivision No 2	11114 S STATE ST	SUB09062024-006845			2.37	CBD	David Mortensen	8017556891	tirvin	Resubmit
Badger Cove	1651 E BADGER COVE	SUB09132023-006609				OS	Dustin Wiberg	8018287865	tirvin	Resubmit
Sandy Station Block 20 Subdivision	8982 S 250 E	SUB09282022-006410	09/15/2023	2.00		R-1-7.5(HS	Mark stephenson	8015148797	tirvin	Resubmit
Fox Hollow Plat Amendment	9476 S FOX CIR	SUB10142024-006868		1.00	0.22	R-1-8	Craig Lawrence	8015732516	tirvin	Resubmit
Kuwahara Wholesale	8575 STATE ST, 84070	SUB10162023-006638		1.00		SD(FM-HS	Alex Kuwahara	8016916592	tirvin	Resubmit
Classic Fun Center	9151 S MONROE ST	SUB10262024-006878		2.00	5.12	RC	David Henderson	8016084007	tirvin	Resubmit
On Hold										
Raddon Summit Subdivision	10250 MONROE ST, 84070	SUB08312022-006390		3.00		CBD-O	Raddon Summit Hotel,		dwheelwright	On Hold
Under Construction										
Little Cottonwood Estates (aka Alana Meado	3170 E LITTLE COTTONWOOD RD	SUB01042023-006461	06/15/2023	12.00		R-1-15	Skylar Tolbert		tirvin	Under Construction
Lot 4 Jason K Circle	182 E 9000 S	SUB04102024-006745	12/20/2024	2.00	0.85	R-1-8	Jill Kinder	8017184622	tirvin	Under Construction
Monte Cristo at LaCaille	9701 S 3775 E	SUB04262021-006034	11/29/2021	13.00		R-1-15	Chris McCandless	8015974575	mwilcox	Under Construction
Hagan Road Subdivision	11523 S HAGAN	SUB05072021-006045	06/02/2021			R-1-20A	Blair Johnson	8013011078	tirvin	Under Construction
Alta Park Subdivision	11190 S 1000 E	SUB05072024-006766	07/02/2024	4.00		R-1-8	Hayley Pratt, Castlewo	407-617-0698	tirvin	Under Construction
Park Lane Amended	1775 E 11400 S	SUB07082022-006359	09/21/2022	2.00	0.35	SD(R-2-A)	Laine Fluekiger	8015715541	tirvin	Under Construction
Alta Canyon 2 Subdivision	9855 S 3100 E	SUB07132023-006568	07/12/2024	4.00	1.79	R-1-15	Dana Conway	8018914880	tirvin	Under Construction
Longpath Subdivision	11510 S HAGAN RD	SUB08292022-006389	11/21/2022	1.00	0.56	R-1-20A	Kyle Simons	8013814687	tirvin	Under Construction
Brand Estates Subdivision	285 E 11000 S	SUB10112022-006417	08/31/2023	12.00	4.46	R-1-15	Kyle Denos	8017937660	tirvin	Under Construction
Sandy Oaks Subdivision Phase 5	8449 S 300 E	SUB11222022-006448	02/22/2023	2.00		R-1-7.5(HS	Greg Larsen	8016081600	tirvin	Under Construction
Complete										
Cyprus Credit Union Subdivision	8955 S 700 E	SUB01122022-006248	07/05/2023	2.00	0.78	BC	Cyprus Credit Union		dwheelwright	Complete
Somerset Villas	625 E 8100 S	SUB04042022-006297	07/27/2022	6.00		RM(12)	Cassandra		tirvin	Complete
Crescent View Peaks	137 E 11000 S	SUB04272021-006035	06/18/2021			R-1-40A	Kyle Simons	8013814687	tirvin	Complete
Windflower Townhomes	9349 S WINDFLOWER	SUB06142021-006075	06/14/2021	3.00		PUD(12)	Randy Moore		tirvin	Complete