



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Agenda Planning Commission

Dave Bromley
Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
LaNiece Davenport
Craig Kitterman (Alternate)
Jennifer George (Alternate)

Thursday, February 5, 2026

6:15 PM

Council Chambers and Online

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

https://us02web.zoom.us/webinar/register/WN_FYZj84t8ScqIE4YWe5TTpg

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/87169064047>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866

(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/87169064047>

Webinar ID: 871 6906 4047

Passcode: 068081

4:00 PM FIELD TRIP

1. [26-030](#) Map

Attachments: [020526.pdf](#)

5:15 PM EXECUTIVE SESSION

6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

Public Meeting Items

2. [SPX1209202](#)
[5-007090](#) Special Exception for Restoration in the
Sensitive Area Overlay with 30% or greater slopes
9677 S. Quail Hill Lane
[Community #30, Granite]

Attachments: [Staff Report](#)
[Exhibits A - E](#)
3. [SPX1217202](#)
[5-007095](#) Sequoia Cove Subdivision (Special Exception Requests)
1368 E Coppercreek Rd
[Community 16, Falcon Park]
4. [SUB1114202](#)
[5-007080](#) Sequoia Cove Subdivision (Preliminary Subdivision Review)
1368 E. Coppercreek Rd.
[Community 16, Falcon Park]

Attachments: [Staff Report.pdf](#)
[Exhibit A](#)
5. [SUB0821202](#)
[4--006814](#) 9272 Office Condominiums (Preliminary Review)
9272 S. 700 E.
[Community #4, Historic Sandy]

Attachments: [Staff Report](#)
[Exhibit A](#)
[Exhibit B](#)

Administrative Business

1. Minutes

[26-031](#) Minutes from January 15, 2026 Meeting

Attachments: [01.15.2026 PC Minutes \(DRAFT\).pdf](#)

2. Sandy City Development Report

[26-032](#) Development Report

Attachments: [02.01.2026 DEV REPORT.pdf](#)

3. Director's Report

Adjournment

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

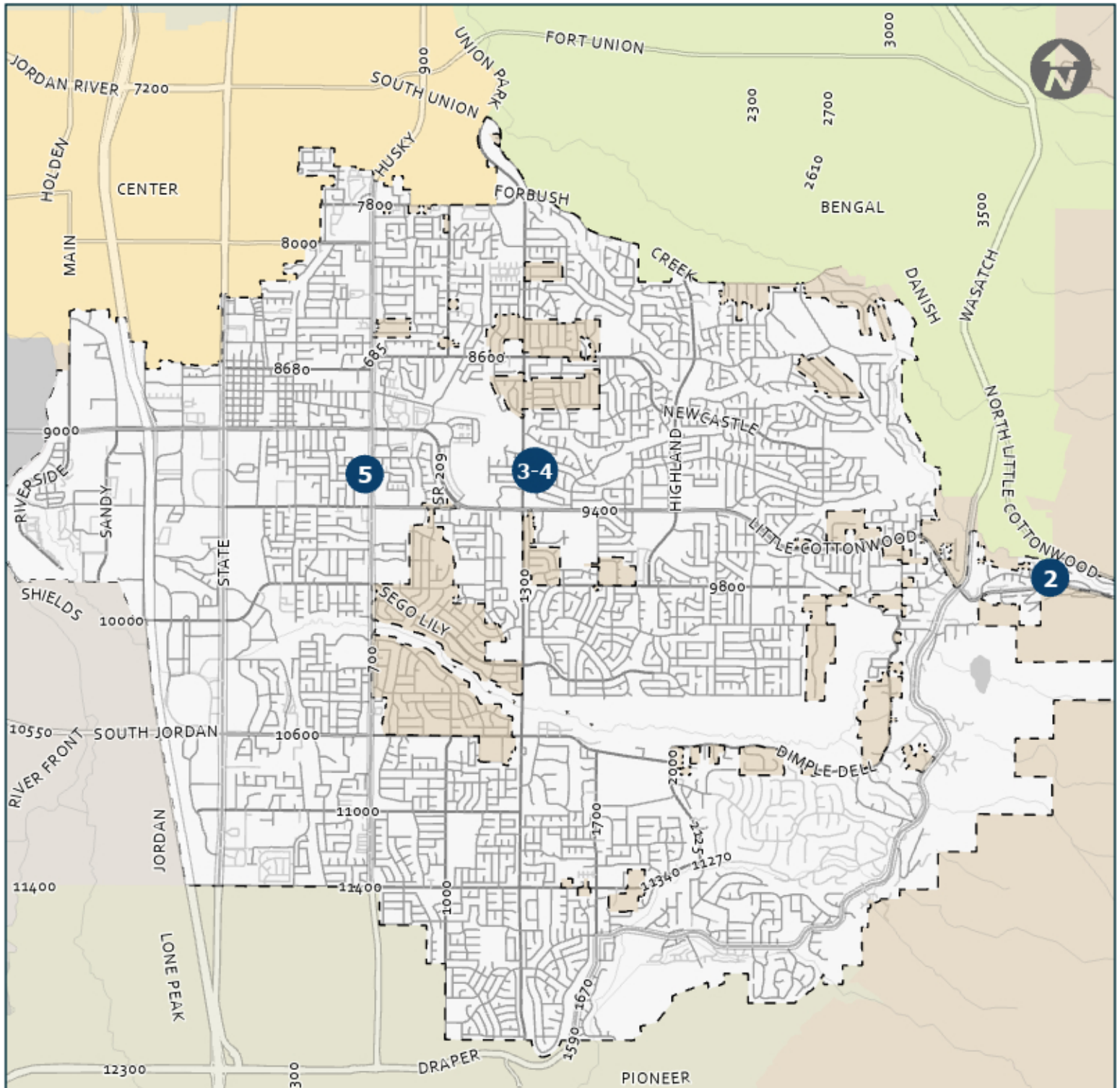
File #: 26-030, **Version:** 1

Date: 2/5/2026

Map

Planning Commission Field Trip

February 5, 2026



See Planning Commission agenda packet for specific addresses and details regarding the application.

1 Mile

Sandy City, UT
Community Development Department

Agenda Item Number



Locations to visit on your own



Locations to be visited on tour



Staff Report

File #:

SPX12092025-007090,

Version: 1

Date: 2/5/2026

Agenda Item Title:

Special Exception for Restoration in the
Sensitive Area Overlay with 30% or greater slopes
9677 S. Quail Hill Lane
[Community #30, Granite]

Presenter:

Melissa Anderson, Zoning Administrator

Description/Background:

The applicant and property owner, Wayne Neiderhauser of Quail Run Development, LLC, is requesting a Special Exception for the property located at 9677 S. Quail Hill Lane. The request is for a restoration plan to grade and landscape the hillside with 30% or greater slope in the Sensitive Area Overlay (SAO) zone

The subject property is a 0.35-acre legal lot in the *Monte Cristo at La Caille* Subdivision. The lot is in the R-1-15 residential district, and within the Sensitive Area Overlay (SAO) zone. As shown on the plat, portions of lots have been designated as “*Non-disturbance Areas*” that are determined to be protected hillside with 30% or greater slope. These areas are to remain in its natural condition (see Lot 109 in Exhibit “A”). This site is in a residential neighborhood with new single-family lots under development or with existing homes to the north, south, east and west. The vicinity map to the right illustrates this location.

In November of 2025, the city was alerted to an unauthorized alteration of the protected hillside area of this lot. Investigations confirmed areas of disturbance within the protected hillside area with 30% or greater slopes. After meeting with the developer on-site and providing direction on the next steps to restore the hillside, code enforcement staff issued an administrative citation for a code violation on November 12, 2025. The applicant has been working with the city staff to prepare grading and landscape plans to restore the hillside to its original condition. See Exhibits “B” and “C” for the applicant’s grading, landscape and irrigation plans. The applicant’s project description for restoring the site is included as Exhibit “D.”

Please refer to the staff report and exhibits for details on this application.

Recommended Action and/or Suggested Motion:

Staff recommend that the Planning Commission grant a Special Exception to allow restoration of 30% or greater slopes in the Sensitive Area Overlay, as described in the staff report, for the property located at 9677 S Quail Hill Lane, based on the following findings and conditions of

approval:

Findings:

1. The applicant removed native vegetation and altered a protected 30% or greater slope in the SAO without permits or approvals of the City.
2. City departments and divisions have preliminarily reviewed the proposed site, grading and restoration plan.
3. The City Engineer finds the protected slope areas could be closely restored to their native condition and be sufficiently stabilized with native vegetation.
4. The landscape plan needs to be revised so that the new scrub oak trees are placed in a natural pattern mimicking original conditions, and a method for tree protection is included to prevent the new scrub oak from being consumed by the wildlife in the area.
5. The City Engineer and Community Development Director recommend approval of the grading and landscape restoration plans, as proposed in Exhibits "B" and "C" (subject to the conditions listed below).

Conditions:

1. The applicant shall update and submit to city staff a revised Landscape and Irrigation Plan (Exhibit "C"). Staff approval of the final plan is required prior to issuance of a grading permit. The revised landscape and irrigation plan shall include:
 - a. A method for temporary protection of replacement trees to ensure the young trees can grow and establish themselves without being consumed by the wildlife in the area; and
 - b. New tree plantings placed in a natural vegetation pattern that is similar to original conditions, prior to the hillside disturbance.
2. The applicant shall restore the hillside in accordance with the final approved Grading, Landscape and Irrigation Plans and meet all conditions of approval.
3. The applicant shall implement and complete the approved Grading, Landscape and Irrigation Plans on or before October 31, 2026.
4. The applicant shall work with city staff and the Administrative Hearing Officer to close out the administrative citation per Section 21-15-7 of the Land Development Code.
5. A certificate of non-compliance shall remain on the property until the restoration is completed in accordance with the approved plans.



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN COMMUNITY
DEVELOPMENT DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

Staff Report Memorandum February 5, 2026

To: Planning Commission
From: Community Development Department
Subject: Special Exception for Restoration in the
Sensitive Area Overlay with 30% or greater slopes
9677 S. Quail Hill Lane
[Community #30, Granite]

SPX12092025-007090
R-1-15, SAO Zone
0.35 Acres

Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, and at public locations.

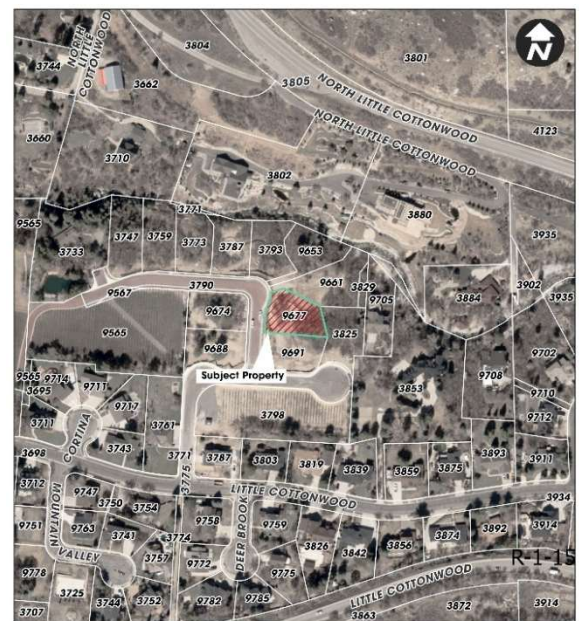
Request

The applicant and property owner, Wayne Neiderhauser of Quail Run Development, LLC, is requesting a Special Exception for the property located at 9677 S. Quail Hill Lane. The request is for a restoration plan to grade and landscape the hillside with 30% or greater slope in the Sensitive Area Overlay (SAO) zone.

Background

The subject property is a 0.35-acre legal lot in the *Monte Cristo at La Caille* Subdivision. The lot is in the R-1-15 residential district, and within the Sensitive Area Overlay (SAO) zone. As shown on the plat, portions of lots have been designated as “Non-disturbance Areas” that are determined to be protected hillside with 30% or greater slope. These areas are to remain in its natural condition (see Lot 109 in Exhibit “A”). This site is in a residential neighborhood with new single-family lots under development or with existing homes to the north, south, east and west. The vicinity map to the right illustrates this location.

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SPX12092025-007090
Special Exceptions
9677 S QUAIL HILL LN
Community Development Department
Sandy City, UT

Property Case History	
Case Number	Case Summary
ANEX-2-15-4083	Little Cottonwood Lane – Part B Annexation effective May 6, 2015
ANEX-11-20-5954	Monte Cristo Annexation, effective May 19, 2015
SUB04262021-006034 SPX10122021-006172	Monte Cristo at La Caille 13-Lot Subdivision, with special exceptions (Plat Recorded 2022)
COD11102025-008180	Code enforcement administrative citation issued for Sensitive Area Overlay Disturbance (Sec. 21-15-7) without city authorization (2025)

Public Notice and Outreach

A public notice was mailed out to all property owners within 500 feet of the subject property for the Planning Commission meeting. No comments have been received from the public regarding this proposal as of the publishing of this report.

Analysis

Below are aerial photos of the site over time from years 2022 to 2025, along with an image of the area of violation within the non-disturbance area of protected hillside and limited disturbance area as recorded on the plat (Lot 109 in Exhibit “A”).

Aerial Photos

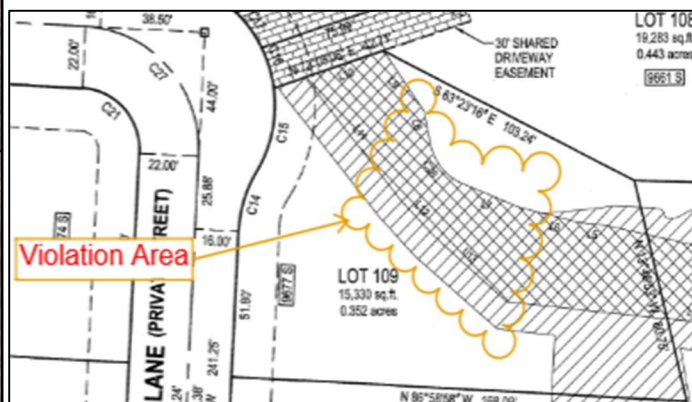
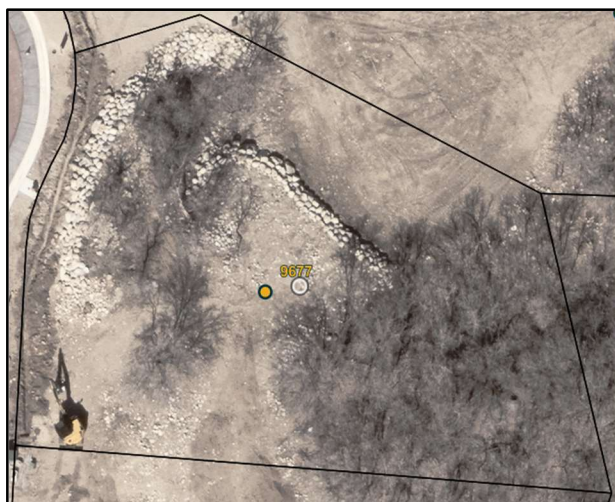
Year 2022



Year 2023



Year 2025



The Sandy Land Development Code requires Planning Commission approval for alteration of 30% or greater slopes. The Planning Commission may determine the specifics of how the slope is altered and if the plan will be approved. The applicable review criteria for the grading plan are under Land Development Code Section 21-15-04(B)(6):

(6) **Grading, Cuts and Fill**

- a. *Exposed unstable surfaces of a cut or fill shall not be steeper than one vertical to two horizontal.*
- b. *All permanent fill shall be stabilized and finished to reduce risk associated with settling, sliding or erosion.*
- c. *The top and bottom edges of slopes caused by an excavation or fill up to ten vertical feet shall be at a minimum of three horizontal feet from the property line or public right-of-way lines.*
- d. *The maximum vertical height of all cuts or fills shall be ten feet. Under exceptional circumstances, the Planning Commission may approve cuts or fills in excess of ten feet with a recommendation from the City Engineer. Cuts or fills shall be measured from natural grade to finished grade. The burden of demonstrating exceptional circumstances shall be on the developer of the property, but may include:*
 1. *Cutting or filling of areas designated as anomalies.*
 2. *Cutting to allow for required sight triangles.*
 3. *Areas previously modified, altered or disturbed.*
 4. *Cuts or fills as required by the City Engineer to mitigate any unsafe condition, such as slopes exceeding 50 percent.*
 5. *Unusual topographic features, such as bowls or rises that don't exceed slope limitations but may inhibit sound construction.*
 6. *Other conditions as approved by the Planning Commission.*
- e. *All structures, except retaining walls or soil stabilization improvements, shall have a setback from the crest of the fill or base of the cut of a minimum distance equal to the depth of the fill or the height of the cut, unless a structurally sound retaining wall is built for the cut or fill slope.*
- f. *No grading, cuts, fills, or terracing will be allowed on a continuous hillside of 30 percent or greater slope, crest (upslope or downslope) unless otherwise determined by the Planning Commission upon recommendation of the Director and City Engineer.*

Restoration Plans: To restore the site to original conditions prior to the unauthorized disturbance, the applicant has provided grading, landscape and irrigation plans, along with a project description narrative. These application materials are included as Exhibits “B” through “D” to this report.

Grading Plan: The applicant proposes to remove the retaining wall that is located within the "Slope Restoration Area" on the grading plan (Exhibits “B” sheet C-100). The terrain within this shaded restoration area will be re-graded to restore the topography back to its former undisturbed state to the extent possible and to match the adjacent undisturbed area. Assistant Public Works Director/City Engineer Britney Ward reviewed the proposed grading plan and has provided a letter of recommendation (see Exhibit “D”). Ms. Ward states that the objective is to restore the original protected slope, and she recommends the Planning Commission approve the grading plan as proposed by the applicant.

Landscape and Irrigation Plan: To prevent soil washout and to stabilize the hillside, the applicant proposes an erosion control blanket to be installed over the hillside prior to seeding the ground with a native seed mix. This ensures that seeds are not displaced to the bottom of the hill before they can germinate. The plan also proposes planting 10 Gambel Scrub Oak trees and installation of a temporary above-ground PVC irrigation system. The irrigation system is proposed to be in place until the new vegetation is fully established. See landscape and irrigation plan (Exhibits “C” sheet L-100).

Issues

Tree Protection: As proposed, the landscape plan does not include any method of tree protection. Young trees are prone to be consumed by wildlife unless there is a plan in place to allow them to get established, which is why temporary tree protection is required when installing new replacement trees. Therefore, a condition of approval is recommended to install protective measures for the newly planted scrub oak trees.

Tree Placement: As proposed, the scrub oak trees will be planted in an equally spaced, linear fashion. This formal pattern does not help recreate the natural environment that existed prior to the disturbance. Clumping and possibly increasing the density of new trees can help in restoring the hillside properly. Therefore, a condition of approval is recommended to require new trees to be installed in a more natural pattern, similar to the original conditions prior to the disturbance.

Code Enforcement

As previously mentioned, there is an active code enforcement case for this property (Case #COD11102025-008180). An administrative citation was issued on November 12, 2025, with an official service date of November 16, 2025. If this special exception is approved by the Planning Commission and restoration if the site is completed according to an approved plan, staff will work with the property owner and the Administrative Hearing Officer to officially close this citation in accordance with [Section 21-15-7](#) of the Land Development Code.

Recommendation

Staff recommend that the Planning Commission grant a Special Exception to allow restoration of 30% or greater slopes in the Sensitive Area Overlay, as described in this staff report, for the property located at 9677 S Quail Hill Lane, based on the following findings and conditions of approval:

Findings:

1. The applicant removed native vegetation and altered a protected 30% or greater slope in the SAO without permits or approvals of the City.
2. City departments and divisions have preliminarily reviewed the proposed site, grading and restoration plan.
3. The City Engineer finds the protected slope areas could be closely restored to their native condition and be sufficiently stabilized with native vegetation.
4. The landscape plan needs to be revised so that the new scrub oak trees are placed in a natural pattern mimicking original conditions, and a method for tree protection is included to prevent the new scrub oak from being consumed by the wildlife in the area.
5. The City Engineer and Community Development Director recommend approval of the grading and landscape restoration plans, as proposed in Exhibits “B” and “C” (subject to the conditions listed below).

Conditions:

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4. The applicant shall work with city staff and the Administrative Hearing Officer to close out the administrative citation per Section 21-15-7 of the Land Development Code.
5. A certificate of non-compliance shall remain on the property until the restoration is completed in accordance with the approved plans.

Planner:



Melissa Anderson
Zoning Administrator

Exhibits:

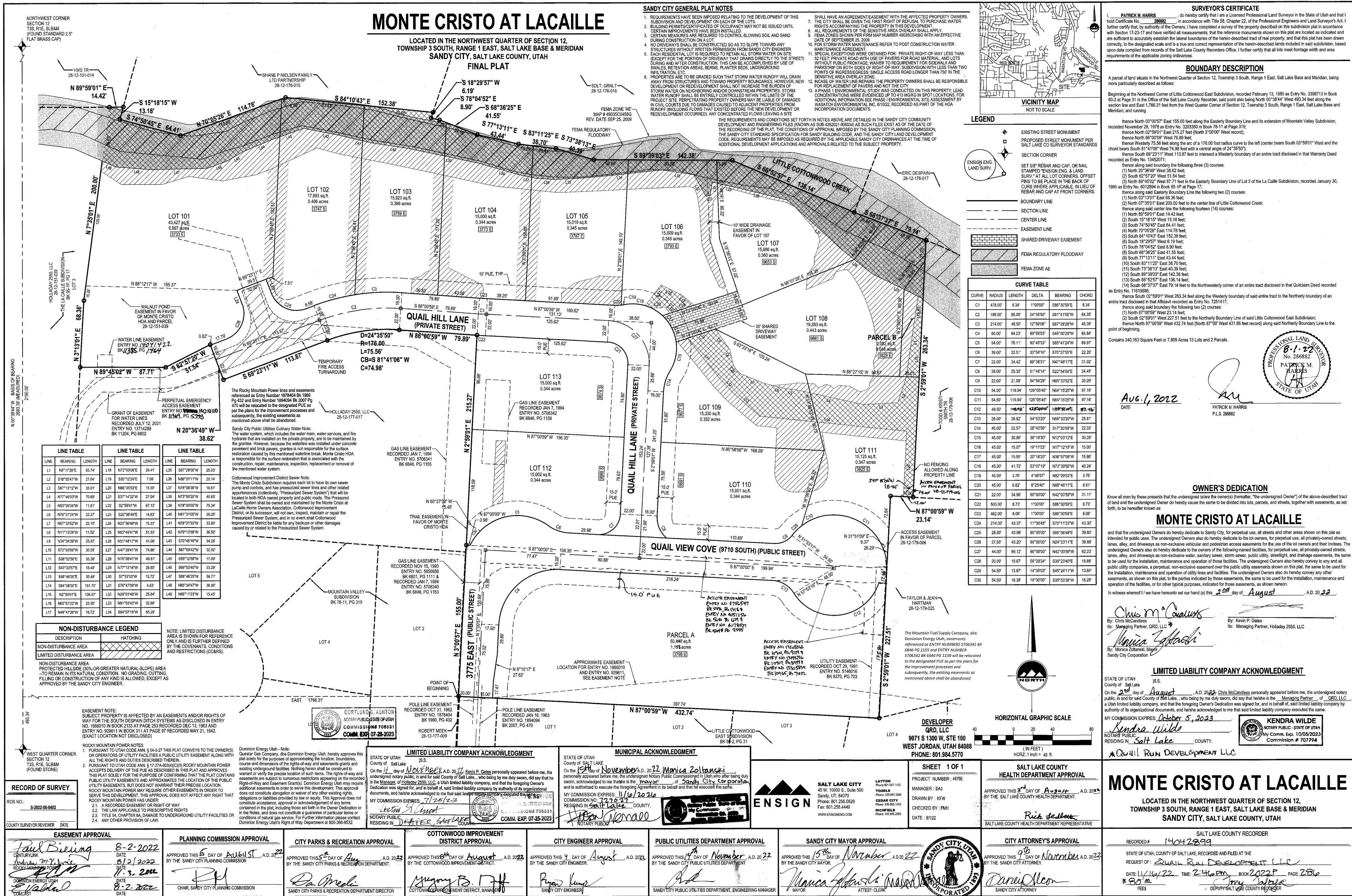
- A. Monte Cristo at La Caille Subdivision Plat
- B. Proposed Grading Plan (sheet C-100)
- C. Proposed Landscape and Irrigation Plan (sheet L-100)

D. Project Description Narrative

E. Findings and Recommendation by Assistant Public Works Director/City Engineer Britney Ward, P.E

File Name: S:\USERS\PLN\STAFFRPT\2025\SPX12092025-007090 - 9677 S QUAIL HILL LN-ENFORCEMENT\STAFF REPORT\SPX12092025-007090_STAFF REPORT.FINAL.DOCX

EXHIBIT "A"



811

Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

1 LANDSCAPE

1-01

NATIVE VEGETATION SEEDING MIX FROM GRANITE SEED 801.701.9418. SEE NOTES 1, 630 sf THIS SHEET.	
Streambank whealgrass	25%
Western wheatgrass	30%
Rocky Mountain beeplant	15%
Blanketflower	10%
Blue flax	10%
Utah serviceberry	5%
Fourwing saltbush	2%
Brittlebush	2%
Wyoming sagebrush	1%

RESTORATION SCOPE OF WORK:

1. REMOVING THE RETAINING WALL STRUCTURE WITHIN THE 30% SENSITIVE AREA SLOPE.
2. RESTORE THE TERRAIN WITHIN THE SHADED AREA TO ITS ORIGINAL NATURAL CONTOURS, ALIGNING IT AS CLOSELY AS FEASIBLE TO THE FORMER UNDISTURBED STATE.
3. REVEGETATE THE HILLSIDE WITH PLANT SPECIES MATCHING THOSE OF THE ADJACENT UNDISTURBED AREA.
4. INSTALL TEMPORARY IRRIGATION UNTIL THE NEW NATIVE GRASS SEEDLINGS ARE ESTABLISHED.
5. IMPLEMENTATION OF EROSION CONTROL MEASURES TO SAFEGUARD THE REGION UNTIL THE NATIVE VEGETATION FULLY REESTABLISHES ITSELF.

REVEGETATION NOTE:

Apply the above seed mix at a rate of 2.5 lbs./1000SF. Apply using one of the following methods:

1. Hydroseed (recommended)

2. Broadcasting with a handheld or push fertilizer spreader or similar, followed up by gently raking it into the soil (disregard raking if soil control blanket is being used). Add a thin layer of mulch over the top.

Recommendation: Prior to seeding with either of the above methods, install an erosion control blanket (straw or coconut fiber in either plastic or biodegradable netting) to the hillside to prevent washouts which would push seed to the bottom of the hill and leave the top bare.

Note: Granite Seed has a 5# minimum quantity.

Once planting is completed, continue ongoing monitoring and maintenance. This includes regular assessments of plant survival and supplemental watering during the first two growing seasons. Install temporary above-ground PVC irrigation system with pop-up rotor or rotary heads at the top of the slope.

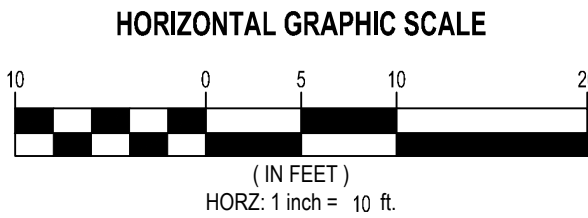
These efforts will help the plants establish deep root systems, eventually reducing the need for continued intervention. By implementing this plan, we can achieve a self-sustaining native ecosystem that stabilizes soils, improves water retention, and enhances habitat for pollinators, small mammals, and other local wildlife.



NON-DISTURBANCE LEGEND	
DESCRIPTION	HATCHING
NON-DISTURBANCE AREA	
LIMITED DISTURBANCE AREA	

NON-DISTURBANCE AREA
PROTECTED HILLSIDE (30%-OR-GREATER NATURAL-SLOPE) AREA
-TO REMAIN IN ITS NATURAL CONDITION. NO GRADING, CUTTING,
FILLING OR CONSTRUCTION OF ANY KIND IS ALLOWED, EXCEPT AS
APPROVED BY THE SANDY CITY ENGINEER.

NOTE: LIMITED DISTURBANCE
AREA IS SHOWN FOR REFERENCE
ONLY AND IS FURTHER DEFINED
BY THE COVENANTS, CONDITIONS
AND RESTRICTIONS (CC&RS).



SANDY
45 W 10000 S, Suite 500
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LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
CLIENT
CLIENT'S ADDRESS
CLIENT CITY STATE ZIP

CONTACT:
CLIENT CONTACT
PHONE: 801.000.0000

MONTE CRISTO
LOT 109
9677 SOUTH QUAIL HILL LANE
SANDY, UTAH

GRADING AND DRAINAGE
PLAN

PROJECT NUMBER
4978Q
PROJECT MANAGER
DJ

PRINT DATE
2026-01-21
DESIGNED BY

C-100

811

Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
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EN SIGN

THE STANDARD IN ENGINEERING

SANDY

45 W 10000 S, Suite 500
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FOR:
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REVEGETATION NOTE:

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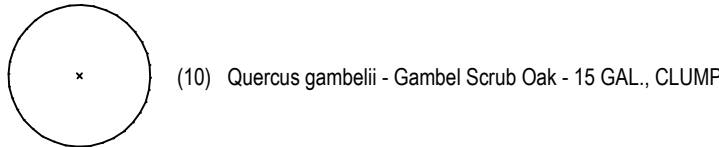
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2. Broadcasting with a handheld or push fertilizer spreader or similar, followed up by gently raking it into the soil (disregard raking if soil control blanket is being used). Add a thin layer of mulch over the top.

Recommendation: Prior to seeding with either of the above methods, install an erosion control blanket (straw or coconut fiber in either plastic or biodegradable netting) to the hillside to prevent washouts which would push seed to the bottom of the hill and leave the top bare.

Note: Granite Seed has a 5# minimum quantity.

Once planting is completed, continue ongoing monitoring and maintenance. This includes regular assessments of plant survival and supplemental watering during the first two growing seasons. Install temporary above-ground PVC irrigation system with pop-up rotor or rotary heads at the top of the slope.

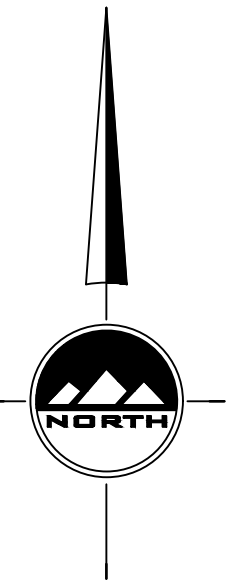
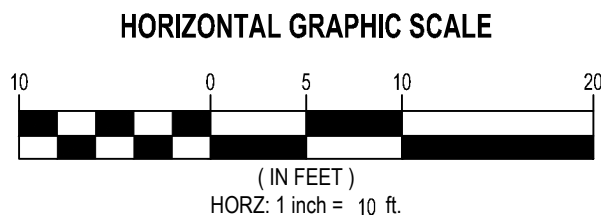
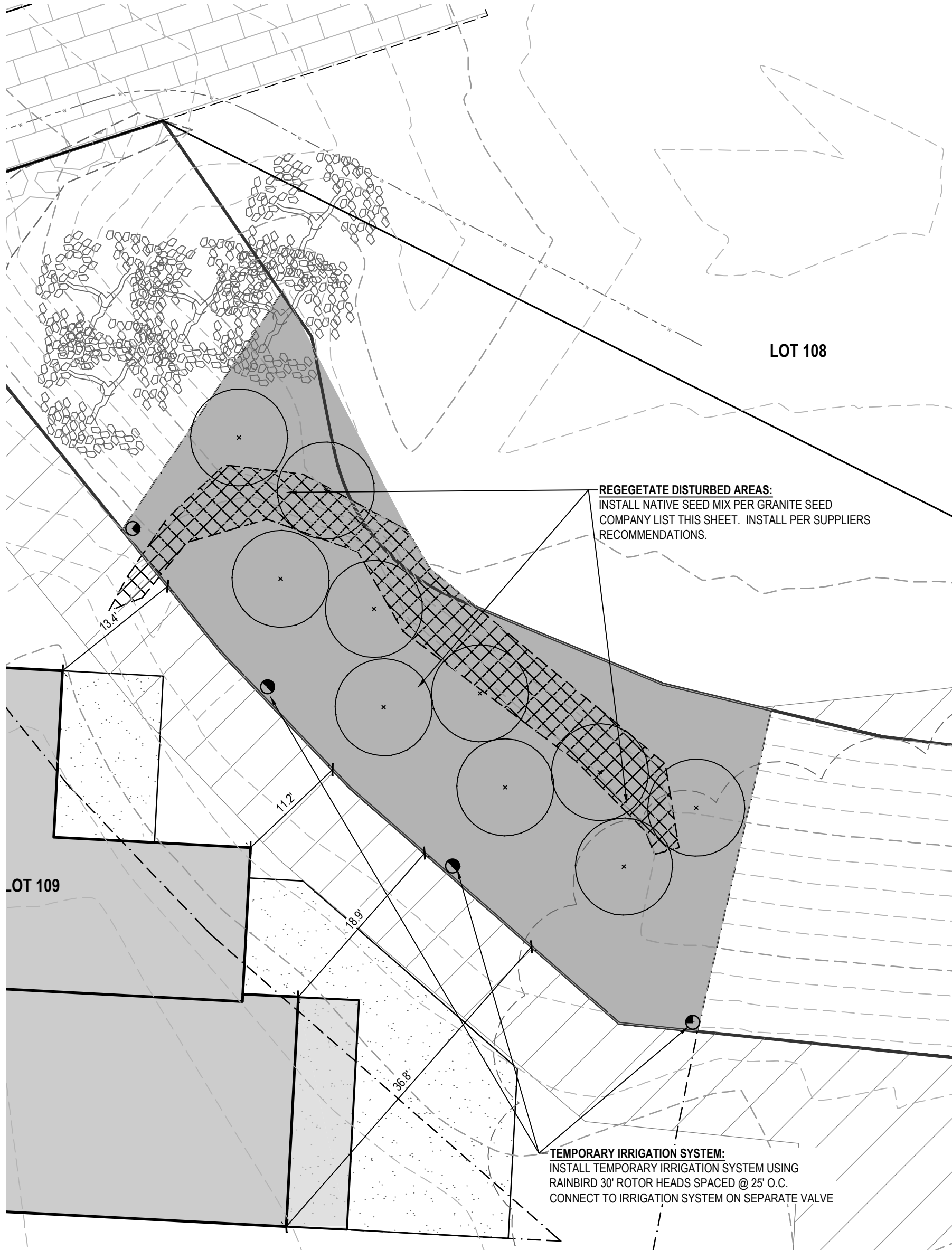
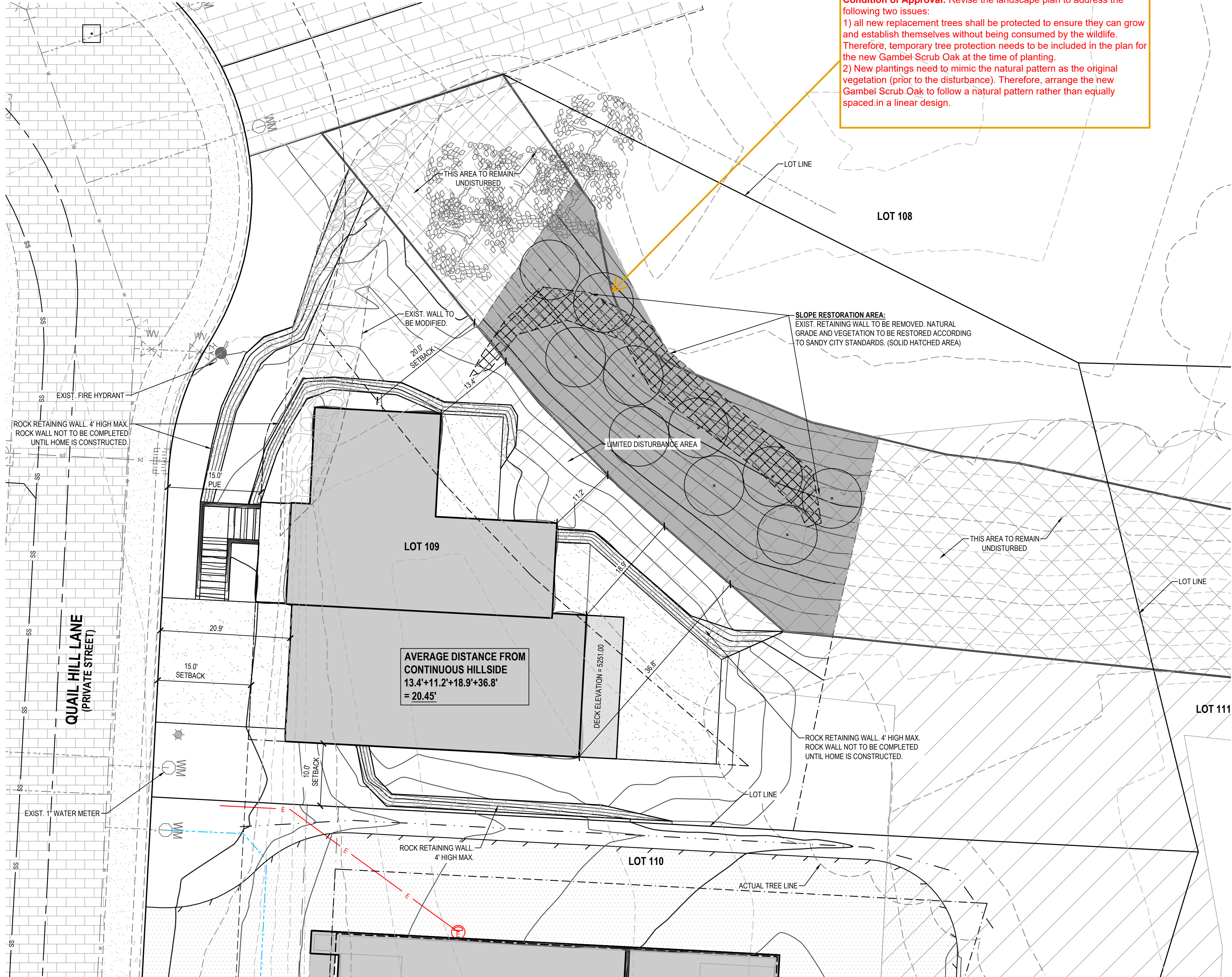
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(10) Quercus gambelii - Gambel Scrub Oak - 15 GAL., CLUMP



Condition of Approval: Revise the landscape plan to address the following two issues:
1) all new replacement trees shall be protected to ensure they can grow and establish themselves without being consumed by the wildlife. Therefore, temporary tree protection needs to be included in the plan for the new Gambel Scrub Oak at the time of planting.
2) New plantings need to mimic the natural pattern as the original vegetation (prior to the disturbance). Therefore, arrange the new Gambel Scrub Oak to follow a natural pattern rather than equally spaced in a linear design.



MONTE CRISTO
LOT 109
9677 SOUTH QUAIL HILL LANE
SANDY, UTAH

LANDSCAPE & IRRIGATION
PLAN

PROJECT NUMBER
4978Q

PRINT DATE
2025-12-15

PROJECT MANAGER
DJ

DESIGNED BY

L-100

EXHIBIT "D"

Project Narrative: Sensitive Area Remediation for Lot 109

Description of Violation The subject property has been cited for a violation of Sandy City Code 21-15-7 regarding "Sensitive Area Overlay Disturbance". The violation concerns unauthorized improvements and disturbance within the designated "Non-Disturbance Area Protected Hillside" and "Limited Disturbance Area". Specifically, the site currently contains an existing retaining wall and grade alterations within a zone defined as a protected hillside (30%-or-greater natural slope), which is required to remain in its natural condition.

Plan to Resolve the Issue To resolve this violation and bring the property into compliance with Sandy City standards, we propose a comprehensive restoration plan designed to return the affected area to a self-sustaining native ecosystem.

1. **Demolition and Grading Restoration** The existing retaining wall located within the "Slope Restoration Area" will be removed. Following demolition, the terrain within the shaded restoration area will be re-graded to restore the "original natural contours," aligning the topography as closely as feasible to its former undisturbed state and matching the adjacent undisturbed area.
2. **Soil Stabilization and Erosion Control** To prevent soil washout and stabilize the hillside during the re-establishment period, an erosion control blanket—consisting of straw or coconut fiber with plastic or biodegradable netting—will be installed over the hillside prior to seeding. This measure ensures that seeds are not displaced to the bottom of the hill before they can germinate.
3. **Native Revegetation Strategy** The disturbed area will be revegetated using a native seed mix sourced from Granite Seed (or equivalent), applied at a rate of 2.5 lbs./1000 SF. The seed mix is specifically selected to match the adjacent undisturbed ecosystem and includes:
 - Streambank wheatgrass (25%)
 - Western wheatgrass (30%)
 - Rocky Mountain beeplant (15%)
 - Blanketflower (10%)
 - Blue flax (10%)
 - Utah serviceberry (5%)
 - Fourwing saltbush (2%)
 - Brittlebush (2%)
 - Wyoming sagebrush (1%)

Seeding will be performed via hydroseeding (recommended) or broadcasting with a handheld/push spreader followed by gentle raking and mulching. Additionally, Gambel Scrub Oak (15 gal., clump) will be planted to further restore the natural tree line.

4. **Temporary Irrigation Plan** To ensure the successful establishment of the native vegetation, a temporary above-ground PVC irrigation system will be installed. This

EXHIBIT "D"

system will utilize Rainbird 30' rotor heads spaced at 25' on center, connected to a separate valve on the main irrigation system. This system will remain in place until new native grass seedlings are fully established.

- 5. Monitoring and Maintenance** The property owner will implement ongoing monitoring and maintenance, including regular assessments of plant survival and supplemental watering during the first two growing seasons. These efforts aim to establish deep root systems that will eventually eliminate the need for continued intervention, resulting in a self-sustaining landscape that stabilizes soils and improves water retention.

EXHIBIT "E"



SANDY CITY PUBLIC WORKS

RYAN KUMP, PE
PUBLIC WORKS DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE PACE
CHIEF ADMINISTRATIVE OFFICER

City Engineer Recommendation Letter

DATE: January 28, 2026
TO: Melissa Anderson, Zoning Administrator
FROM: Britney Ward, P.E., Assistant Public Works Director/City Engineer
SUBJECT: 9677 S Quail Hill Ln, SPX12092025-007090

Background:

In November of 2022, 9677 S Quail Hill Ln was platted as Lot 109 of the Monte Cristo at La Caille subdivision. Notably, the plat identifies and describes with metes and bounds areas deemed as "Non-Disturbance Areas," stating that the area is a protected hillside with 30% or greater slope and must remain in its natural condition. Further, it requires that no grading, cutting, filling, or construction of any kind is allowed unless approved by the City Engineer.

Sandy's Hillside Ordinance requires grading plans to be submitted to the City and approved before building permits are issued. Additionally, it requires that the hillsides remain substantially undisturbed, and any grading or vegetation removal be approved by the City. A grading plan for the property was not submitted to the City and the land was disturbed without City approval. The subject property is located within Sandy's Sensitive Area Overlay Zone.

Recent Development:

In November of 2025, the city was alerted to an unauthorized alteration of the protected hillside area of this lot. Investigations confirmed areas of disturbance within the protected hillside area with 30% or greater slopes.

After meeting with the developer on-site and providing direction on the next steps to restore the hillside, code enforcement staff issued an administrative citation for a code violation on November 12, 2025. Wayne Neidehauser, the owner of Lot 109 and applicant, has been working with the city staff to prepare grading and landscape plans to restore the hillside to its original condition. See attached exhibits for the applicant's grading, landscape, and irrigation restoration plans.

Restoration Plan:

The restoration plan involves the following:

- Restoring the terrain to its original contours, aligning it as closely as feasible to its former undisturbed state.

EXHIBIT "E"



SANDY CITY PUBLIC WORKS

RYAN KUMP, PE
PUBLIC WORKS DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE PACE
CHIEF ADMINISTRATIVE OFFICER

- Implementation of erosion control measures to safeguard the region until the native vegetation fully reestablishes itself.
- Revegetate the hillside with plant species matching those of the adjacent undisturbed area.
- Safeguarding the residual scrub oak and adjoining undisturbed areas.

The overarching objective is to restore the original protected slope without making any alterations to the existing plat.

Recommendation:

Having assessed the details of the restoration proposal, Sandy City Engineering recommends the Planning Commission's approve the restoration plan for 9677 S Quail Hill Ln.



Staff Report

File #:

SPX12172025-007095,

Version: 1

Date: 2/5/2026

Agenda Item Title:

Sequoia Cove Subdivision (Special Exception Requests)
1368 E Coppercreek Rd
[Community 16, Falcon Park]

Presenter:

Thomas Irvin, Senior Planner

Description/Background:

The applicant, Alec Moffitt with Sequoia Development, is representing the property owner Coppercreek Partners, LLC. They are requesting preliminary subdivision review and approval of two special exceptions to create a flag lot and relief from standard public road improvements for a property located at 1368 E. Coppercreek Rd. The proposal is to subdivide the overall property into five (5) single family residential lots that meet the requirements of the R-1-8 zoning district.

See the associated file, SUB11142025-007080, for full details and attachments associated with the request.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission approve a special exceptions to leave the existing four (4) foot sidewalk in place, and create one (1) flag lot for the Sequoia Cove Subdivision based on the following findings:

Findings:

1. This property has existing improvements with a four (4) foot sidewalk that is consistent with the existing neighborhood.
2. That the proposed subdivision is an infill development.
3. That the proposed configuration equitably balances the needs of the public and presents the most efficient use of the land with standard lot shapes.
4. That the City Engineer and Director have recommended approval.
5. That the proposed access width conforms with Fire Access requirements.



Staff Report

File #:
SUB11142025-007080,
Version: 1

Date: 2/5/2026

Agenda Item Title:

Sequoia Cove Subdivision (Preliminary Subdivision Review)
1368 E. Coppercreek Rd.
[Community 16, Falcon Park]

Presenter:

Thomas Irvin, Senior Planner

Description/Background:

The applicant, Alec Moffitt with Sequoia Development, is representing the property owner Coppercreek Partners, LLC. They are requesting preliminary subdivision review and approval of two special exceptions to create a flag lot and relief from standard public road improvements for a property located at 1368 E. Coppercreek Rd. The proposal is to subdivide the overall property into five (5) single family residential lots that meet the requirements of the R-1-8 zoning district.

For full details of this request, see the staff report and exhibits attached to this file.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission determine that preliminary subdivision review for the Sequoia Cove Subdivision located at 1368 E Coppercreek Road is substantially complete based on the following findings and subject to the following conditions:

Findings:

1. That the proposed configuration equitably balances the needs of the public and presents the most efficient use of the land.
2. That the proposed lot sizes and frontages conform to the requirements of the R-1-8 zone.
3. That the various City Departments and Divisions have preliminarily approved the proposed subdivision plat.

Conditions:

1. That the applicant complies with each department's comments and redlines throughout the final review process and that all issues be resolved before the subdivision can be recorded.
2. That the proposed lot sizes and frontages conform to the requirements of the R-1-8 zone.
3. That the applicant works with staff on a tree preservation plan to ensure that all healthy

File #:
SUB11142025-007080,
Version: 1

Date: 2/5/2026

mature trees in the parkstrips are preserved.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

Staff Report Memorandum

February 5, 2026

To: Planning Commission
From: Community Development Department
Subject: Sequoia Cove Subdivision (Preliminary Review & Special Exception Requests)
1368 E. Coppercreek Rd.
(Community #16, Falcon Park)

SUB11142025-007080
SPX12172025-007095
R-1-8 Zone
1.029 Acres, 5 New Lots

Public Meeting Notice:

This item has been noticed to property owners within 500 feet of the subject area, on public websites, and a sign posted on site.

Request

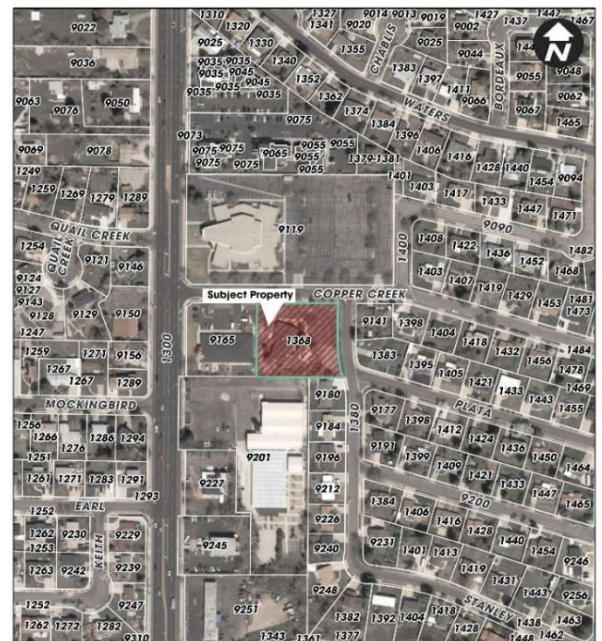
The applicant, Alec Moffitt with Sequoia Development, is representing the property owner Coppercreek Partners, LLC. They are requesting preliminary subdivision review and approval of two special exceptions to create a flag lot and relief from standard public road improvements for a property located at 1368 E. Coppercreek Rd. The proposal is to subdivide the overall property into five (5) single family residential lots that meet the requirements of the R-1-8 zoning district. (See Exhibit "A" for Application Materials).

Background

The property was recently rezoned to R-1-8. The zoning designations and existing land uses of surrounding properties are as follows:

- North: R-1-8 (Copper Creek Road, church building)
- East: R-1-8 (single family residential)
- South: CN (church building) & R-1-8 (single family residential)
- West: CN (day care facility)

The most recent use of the property was as a reception center, but the building has since been vacant for many years. Several requests to rezone the site for higher densities than the surrounding neighborhoods were submitted, but all were denied. The most recent request to rezone the property to R-1-8, which does match the adjoining residential zones, was approved in 2021.



SUB11142025-007080
Sequoia Cove Subdivision
1368 E Coppercreek Rd

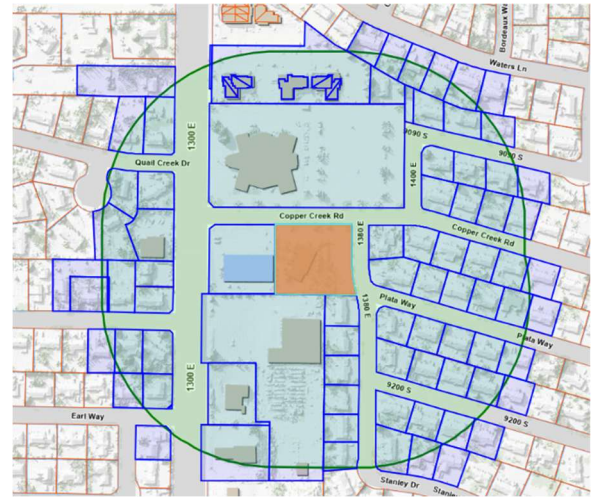
Community Development Department
Sandy City, UT

Property Case History	
Case Number	Case Summary
S72-35	Silvercrest Park 1 (2/18/1972) – 11.95 acres
ZONE-07-20-7877	Coppercreek Rezone – 1.02 acres (denied)
ZONE-01-21-5975	Coppercreek Rezone- 0.63 acres (denied)
REZ04192021-006030	Coppercreek Rezone- 0.55 acres (approved) CN to R-1-8

Public Notice and Outreach

Notices were mailed to property owners within 500 feet of the subject property and affected entities. The notice was posted to the Utah Public Notice website and the city website. A physical copy of the notice was posted at City Hall, and a public notice sign was placed on the subject property.

Staff held a virtual neighborhood meeting via Zoom on January 12, 2026. Four residents attended and asked questions about curb cuts/layouts, the potential for fencing along the south property line, and potential price points for new homes. No concerns were mentioned. Attendees expressed support for the development as it marks an improvement over the abandoned reception center.



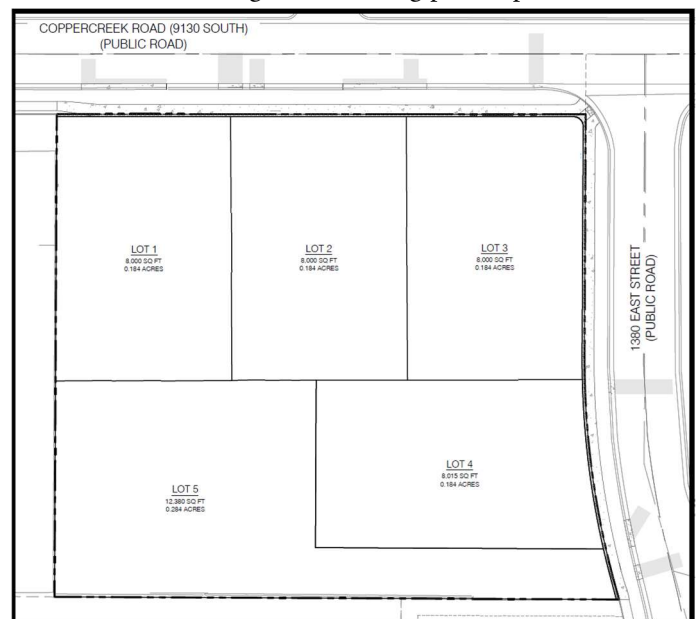
Analysis

The applicant is proposing the creation of a five-lot single-family residential subdivision on approximately one (1) acre of land. Four (4) of the five (5) lots will directly front onto public streets while an additional lot will be configured as a flag lot in the southwest corner of the property with a staff portion that will connect with 830 East.

Zoning Review

All design elements, setbacks, and building height regulations will be enforced through the building permit process. All lots conform with the lot size and frontage requirements of the underlying zoning district after taking the flag lot configuration into account.

The Silvercrest Park 1 subdivision plat was approved and developed in the early 1970's. The street improvements around this property were installed at that time and conformed to existing code which consists of five (5) foot parkstrips with four (4) foot sidewalks. Sandy City's current standard specifications require a minimum five (5) foot sidewalk width. The developer is proposing to dedicate an additional foot on either street frontage for the eventual widening of these sidewalks. The city Engineer has reviewed this proposal and finds it acceptable based on the precedent established in the neighborhood. This will require a special exception to allow for this deviation (see [section 21-21-10\(n\)](#)).



Special Exception, Flag Lot

Section 21-21-22 of the Sandy City Development Code allows flag or L-shaped lots to be used if approved as a special exception by the Planning Commission. The purpose of a flag lot is to encourage the efficient use of land, particularly for infill developments. The code lists several criteria to be used by the Planning Commission when determining whether or not to approve the use of flag lots. The criteria that likely require the most consideration from the Planning Commission are as follows (see [section 21-21-22](#)):

- 1) A flag or L-shaped lot shall be comprised of a staff portion contiguous with the flag portion thereof.
- 2) The staff portion of said lot shall be regulated as a private lane and shall front on and be contiguous to a dedicated public street or private street.
- 3) No building or construction, except for driveways, shall be allowed on the staff portion of said lot, unless the minimum width thereof is the same or greater than the minimum width for a lot as allowed in the underlying zone (excluding entrance features and streetlights).
- 4) The front side of the flag portion of said lots shall be deemed to be that side nearest to the dedicated public street or private street upon which the staff portion fronts, unless otherwise determined by staff on a case-by-case basis.
- 5) The staff portion of said lots shall be deemed to end, and the flag portion of said lots shall be deemed to commence at the extension of the front lot line.
- 6) The square footage located in the flag portion of said lot, which shall be exclusive of the square footage located in the staff portion of said lot, shall be the same or greater than the minimum square footage as required in the underlying zone.
- 7) The front, side and rear yard requirements of the flag portion of said lots shall be the same as is required in the underlying zone.
- 8) No more than two flag lots can be served by the staff portion.
- 9) The maximum number of flag lots in the subdivision shall be not more than 20 percent of the total number of lots within the subdivision, unless otherwise approved by the Planning Commission. The Planning Commission may allow more than 20 percent if the subdivision is an infill development and the lot configuration is the most efficient use of land.
- 10) The approved building envelope shall be illustrated upon the final plat.

Response to 1-3: The staff portion of the flag lots is 20 feet wide and 120 feet long, which meets this requirement.

Response to 4: The frontage of the flag lot will be considered 830 East, a dedicated public street.

Response to 6: The body portion of the flag lot consists of 9,747 square feet which meets this requirement.

Response to 7 and 10: Buildable areas will be shown on the plat and will reflect the requirements of the underlying zone.

Response to 8 and 9: The proposal is for the creation of a single flag lot which represents 20 percent of the total number of lots within the subdivision.

Staff Concerns

Staff is concerned about the disposition of the many mature trees within the parkstrips. City code requires that a full tree survey be conducted and reviewed by the City's Urban Forester and Director. The developer will need to provide a plan on how these trees and their root zones will be protected both during and after construction.

Staff Recommendations**Motion #1 Special Exceptions**

Staff recommends that the Planning Commission approve a special exceptions to leave the existing four (4) foot sidewalk in place, and create one (1) flag lot for the Sequoia Cove Subdivision based on the following findings:

Findings:

1. This property has existing improvements with a four (4) foot sidewalk that is consistent with the existing neighborhood.
2. That the proposed subdivision is an infill development.
3. That the proposed configuration equitably balances the needs of the public and presents the most efficient use of the land with standard lot shapes.
4. That the City Engineer and Director have recommended approval.
5. That the proposed access width conforms with Fire Access requirements.

Motion #2 Subdivision Review

Staff recommends that the Planning Commission determine that preliminary subdivision review for the Sequoia Cove Subdivision located at 1368 E Coppercreek Road is substantially complete based on the following findings and subject to the following conditions:

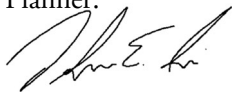
Findings:

1. That the proposed configuration equitably balances the needs of the public and presents the most efficient use of the land.
2. That the proposed lot sizes and frontages conform to the requirements of the R-1-8 zone.
3. That the various City Departments and Divisions have preliminarily approved the proposed subdivision plat.

Conditions:

1. That the applicant complies with each department's comments and redlines throughout the final review process and that all issues be resolved before the subdivision can be recorded.
2. That the proposed lot sizes and frontages conform to the requirements of the R-1-8 zone.
3. That the applicant works with staff on a tree preservation plan to ensure that all healthy mature trees in the parkstrips are preserved.

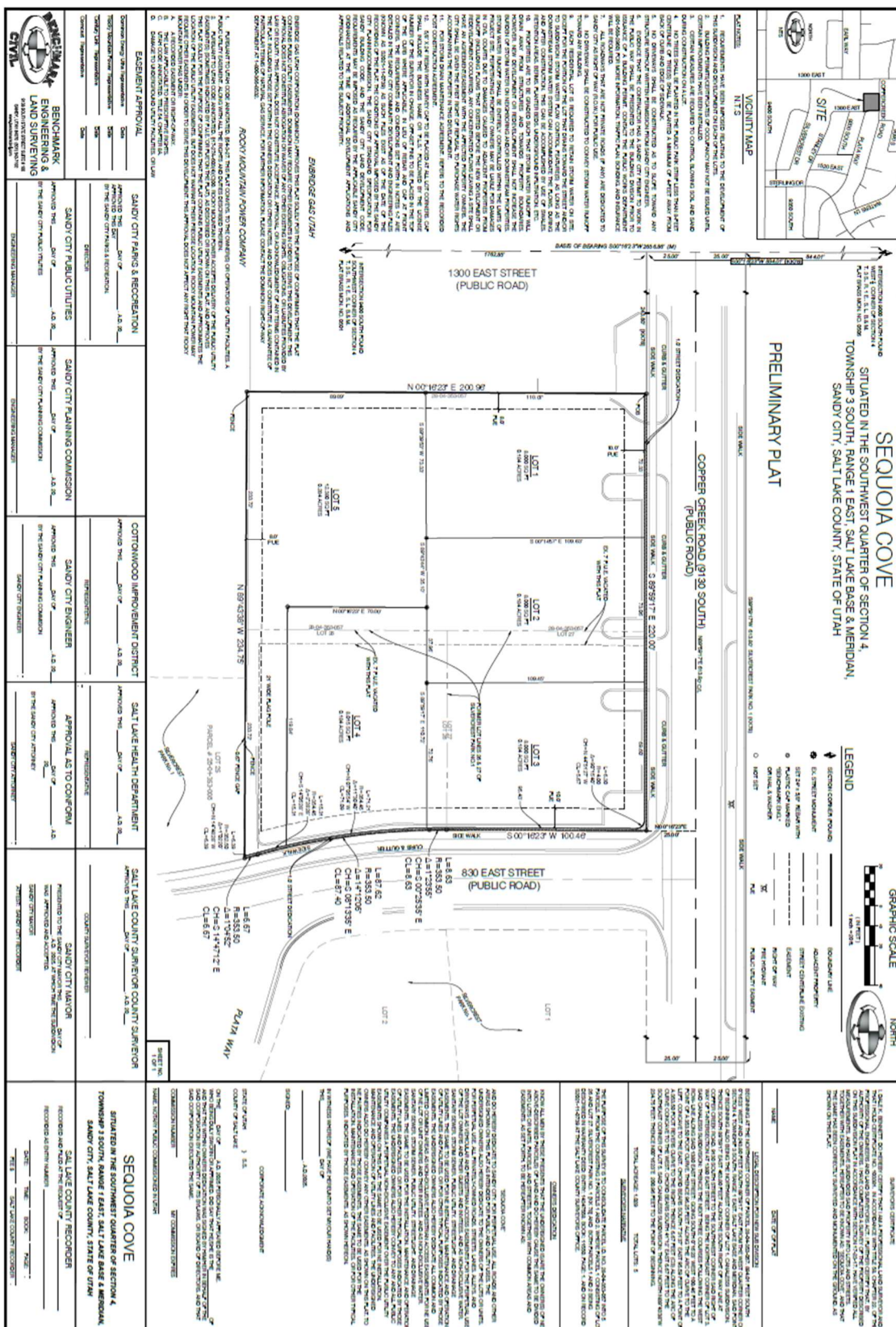
Planner:

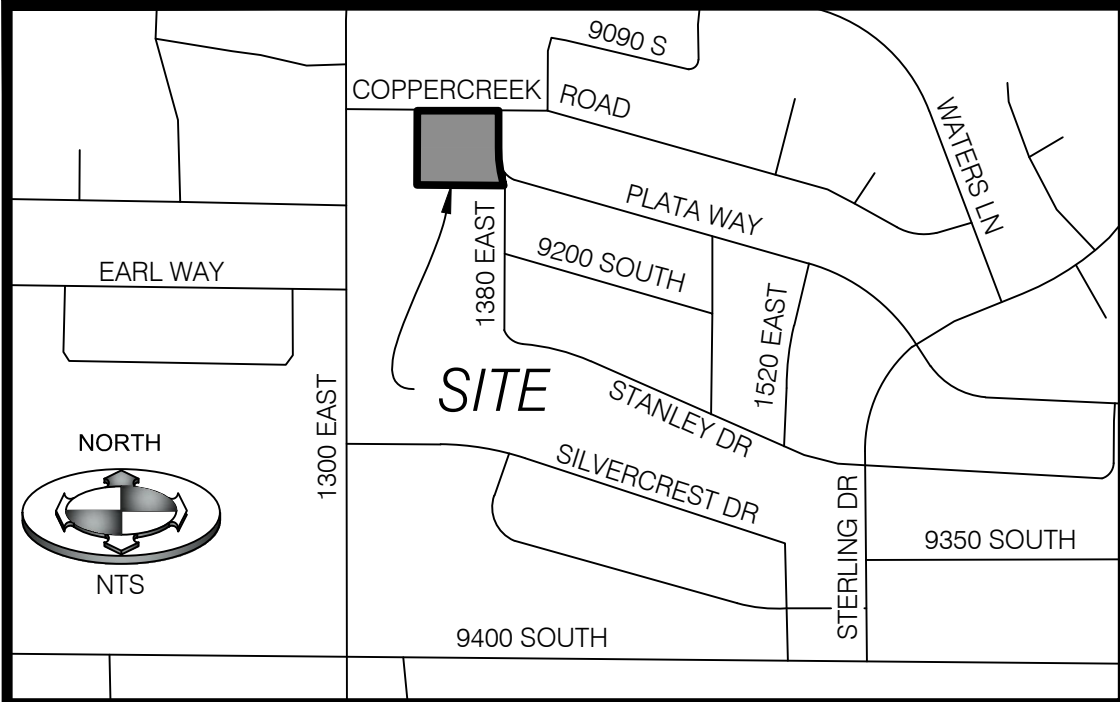


Thomas Irvin
Senior Planner

File Name: S:\Users\PLN\STAFFRPT\2025\SUB11142025-007080 – Sequoia Cove Subdivision\Planning Commission\Staff Report

Exhibit "A"
(See the attached file for full details)





VICINITY MAP
N.T.S

- PLAT NOTES:
1. REQUIREMENTS HAVE BEEN IMPOSED RELATING TO THE DEVELOPMENT OF THIS SUBDIVISION AND DEVELOPMENT ON EACH OF THE LOTS.
 2. BUILDING PERMITS/CERTIFICATES OF OCCUPANCY MAY NOT BE ISSUED UNTIL CERTAIN IMPROVEMENTS HAVE BEEN INSTALLED.
 3. CERTAIN MEASURES ARE REQUIRED TO CONTROL BLOWING SOIL AND SAND DURING CONSTRUCTION ON A LOT.
 4. NO TREES SHALL BE PLANTED IN THE PUBLIC PARK STRIP LESS THAN 8 FEET CENTERLINE OF TREE(S) SHALL BE PLANTED A MINIMUM OF 4 FEET AWAY FROM BACK OF CURB AND EDGE OF SIDEWALK.
 5. NO DRIVEWAYS SHALL BE CONSTRUCTED AS TO SLOPE TOWARD ANY STRUCTURE WITHOUT WRITTEN PERMISSION FROM SANDY CITY ENGINEER.
 6. EVIDENCE THAT THE CONTRACTOR HAS A SANDY CITY PERMIT TO WORK IN THE PUBLIC WAY SHALL BE PRESENTED TO THE BUILDING DIVISION PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT THE PUBLIC WORKS DEPARTMENT (801-568-2960) FOR MORE INFORMATION. TRAFFIC PLAN, BONDING, AND INSURANCE WILL BE REQUIRED.
 7. ALL ROADWAYS THAT ARE NOT PRIVATE ROADS (IF ANY) ARE DEDICATED TO SANDY CITY AS RIGHT OF WAY (R.O.W.) FOR PUBLIC USE.
 8. NO DRIVEWAY SHALL BE CONSTRUCTED TO CONVEY STORM WATER RUNOFF TOWARD ANY BUILDING.
 9. EACH RESIDENTIAL LOT IS REQUIRED TO RETAIN STORM WATER ON SITE, EXCEPT FOR THE PORTION OF THE LOT THAT DRAINS TOWARD THE STREET AND/OR TO SUBDIVISION STORM WATER FLOW CONTROL FEATURE(S) AS LONG AS THE DOWNSIDE STORM WATER SYSTEM CAN ACCOMMODATE THE FLOWS, DURING AND AFTER CONSTRUCTION. THIS CAN BE ACCOMPLISHED BY USE OF SWALES, RETENTION AREAS, BERMS, PLANTER BEDS, UNDERGROUND INFILTRATION, ETC.
 10. PROPERTIES ARE TO BE GRADED SUCH THAT STORM WATER RUNOFF WILL DRAIN AWAY FROM STRUCTURES AND TOWARDS PROPERTY BOUNDARIES. HOWEVER, NEW DEVELOPMENT OR REDEVELOPMENT SHALL NOT INCREASE THE BURDEN OF STORM WATER ON NEIGHBORING AND/OR DOWNSIDE PROPERTIES. STORM WATER RUNOFF SHALL BE ENTIRELY CONTROLLED WITHIN THE LIMITS OF PROJECT SITE. PERPETRATING PROPERTY OWNERS MAY BE LIABLE FOR DAMAGES IN CIVIL COURTS DUE TO DAMAGES CAUSED TO ADJACENT PROPERTIES FROM RUNOFF (INCLUDING FLOWS THAT EXISTED BEFORE THE NEW DEVELOPMENT OR REDEVELOPMENT OCCURRED). ANY CONCENTRATED FLOWS LEAVING A SITE SHALL HAVE AN AGREEMENT/EASEMENT WITH THE AFFECTED PROPERTY OWNERS. THE CITY SHALL BE GIVEN THE FIRST RIGHT OF REFUSAL TO PURCHASE WATER RIGHTS ACCOMPANYING THE PROPERTY IN THIS DEVELOPMENT.
 11. FOR STORM DRAIN MAINTENANCE AGREEMENT, REFERS TO THE RECORDED POST CONSTRUCTION AGREEMENT.
 12. 5/8" X 24" REBAR WITH SURVEY CAP TO BE PLACED AT ALL LOT CORNERS. CAP SHALL INCLUDE THE BUSINESS NAME OR "P.L.S." FOLLOWED BY THE LICENSE NUMBER OF THE SURVEYOR IN CHARGE. OFF-SET PINS TO BE PLACED IN THE TOP OF THE CURB WHERE APPLICABLE, IN LIEU OF REBAR AND CAP AT FRONT CORNERS. THE REQUIREMENTS AND CONDITIONS SET FORTH IN NOTES 1-7 ARE DETAILED IN THE SANDY CITY COMMUNITY DEVELOPMENT AND ENGINEERING FILES (KNOWN AS S2021-11-0739) AS SUCH FILES EXIST AS OF THE DATE OF THE RECORDING OF THE PLAT. THE CONDITIONS OF APPROVAL IMPOSED BY THE SANDY CITY PLANNING COMMISSION, THE SANDY CITY STANDARD SPECIFICATION FOR SANDY BUILDING CODE, AND THE SANDY CITY LAND DEVELOPMENT CODE. REQUIREMENTS MAY BE IMPOSED AS REQUIRED BY THE APPLICABLE SANDY CITY ORDINANCES AT THE TIME OF ADDITIONAL DEVELOPMENT APPLICATIONS AND APPROVALS RELATED TO THE SUBJECT PROPERTY.

ENBRIDGE GAS UTAH CORPORATION (DOMINION) APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS, OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL, OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION OR OTHER NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION, PLEASE CONTACT THE DOMINION RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

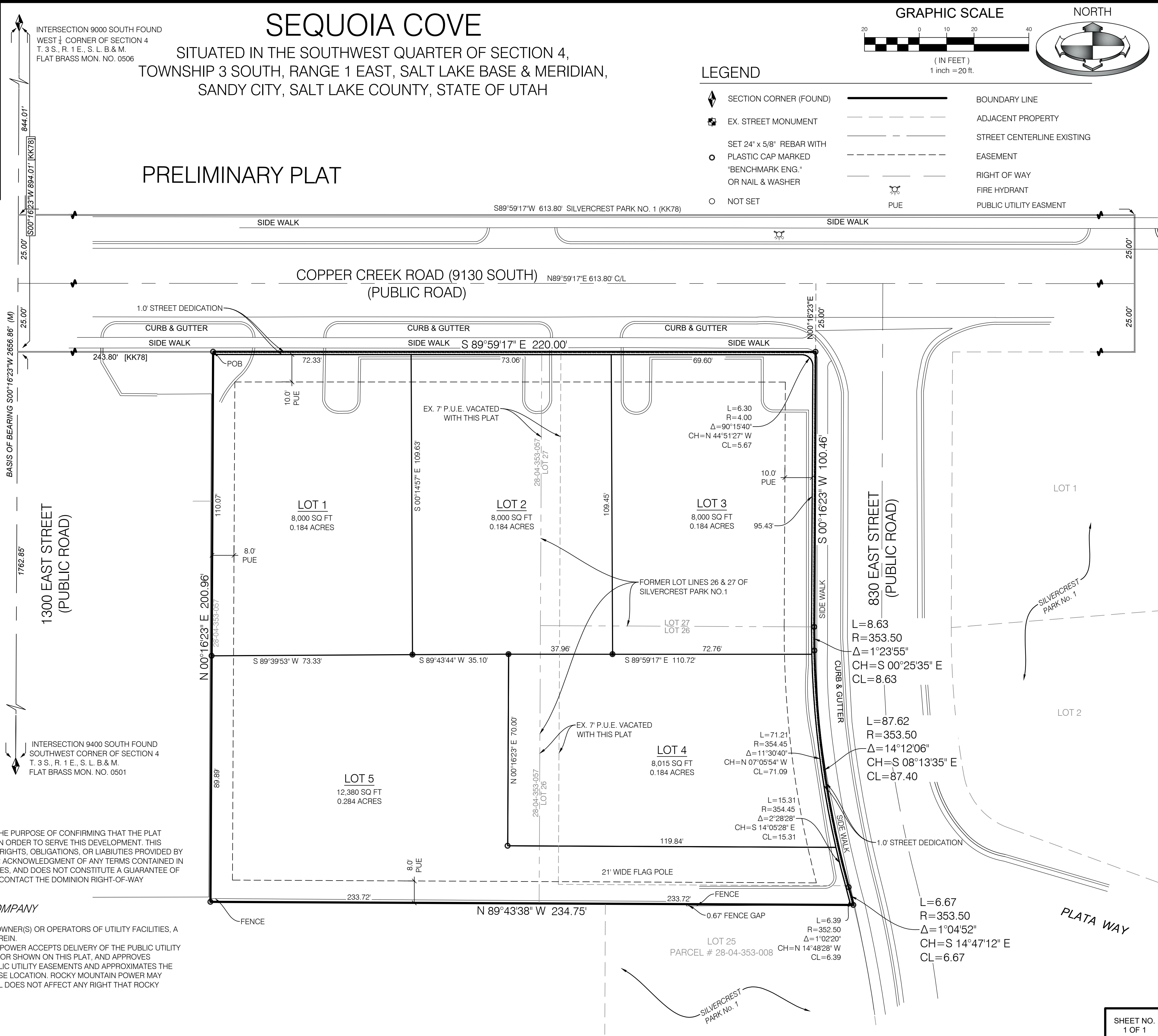
ROCKY MOUNTAIN POWER COMPANY

1. PURSUANT TO UTAH CODE ANNOTATED, §54-3-27, THIS PLAT CONVEYS, TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES, A PUBLIC UTILITY EASEMENT, ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANNOTATED, §17-27A-603(4)(C) AND §17-27A-603(4)(D), ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUBLIC UTILITY EASEMENT(S) (SOMETIMES INDICATED BY P.U.E. OR PUE ON THE PLAT), AS DESCRIBED OR SHOWN ON THIS PLAT, AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
 - A. A RECORDED EASEMENT OR RIGHT-OF-WAY,
 - B. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS,
 - C. UTAH CODE ANNOTATED, TITLE 54, CHAPTER 8A,
 - D. DAMAGE TO UNDERGROUND UTILITY FACILITIES, OR LAW

SEQUOIA COVE

SITUATED IN THE SOUTHWEST QUARTER OF SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN,
SANDY CITY, SALT LAKE COUNTY, STATE OF UTAH

PRELIMINARY PLAT



SURVEYOR'S CERTIFICATE

I, DALE K. BENNETT, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD CERTIFICATE NO. 103381, IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT. I FURTHER CERTIFY THAT, BY AUTHORITY OF THE OWNERS, I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS SUBDIVISION PLAT IN ACCORDANCE WITH SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS "SEQUOIA COVE", AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND, AS SHOWN ON THIS PLAT.

NAME	DATE OF PLAT
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LEGAL DESCRIPTION FOR NEW SUB DIVISION

BEGINNING AT THE NORTHWEST CORNER OF PARCEL 28-04-353-057, 894.01 FEET SOUTH 0°16'23" WEST AND 243.80 FEET SOUTH 89°59'17" EAST FROM THE WEST QUARTER CORNER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SAID POINT OF BEGINNING ALSO BEING THE NORTHWEST CORNER OF LOT 1, CANALESSI SUBDIVISION, THENCE SOUTH 89°59'17" EAST 463.80 FEET ALONG THE SOUTH RIGHT OF WAY LINE AT COPPER CREEK ROAD, 9130 SOUTH STREET TO THE SOUTHWEST CORNER SAID RIGHT OF WAY OF T-INTERSECTION AT 1380 EAST STREET, BEING THE NORTHEAST CORNER OF LOT 3, SAID CANALESSI SUBDIVISION; THENCE THE NEXT THREE COURSES FOLLOWING THE WEST ROW- LINE ALONG SAID 1380 EAST STREET; GOING SOUTH 0°16'23" WEST 100.46 FEET TO A POINT OF A 353.50 FOOT CURVE, THENCE 96.25 FEET ALONG THE ARC OF CURVE TO THE LEFT, CONCAVE TO THE EAST, CHORD BEARS SOUTH 7°31'37" EAST 95.59 FEET TO A POINT OF A 353.50 FOOT REVERS CURVE TO THE RIGHT; THENCE 6.67 FEET (C3) ALONG THE ARC OF CURVE CONCAVE TO THE WEST, CHORD BEARS SOUTH 41°12" EAST 6.67 FEET TO THE SOUTHEAST CORNER OF LOT 5, SAID CANALESSI SUBDIVISION; THENCE NORTH N89°43'38"W 234.75 FEET; THENCE N00°16'23"E 200.96 FEET TO THE POINT OF BEGINNING.

TOTAL ACREAGE: 1.029 TOTAL LOTS: 5

SURVEYOR'S NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO CONSOLIDATE PARCEL I.D. NO. 28-04-353-057 INTO 5 PARCELS, FROM THE CONSISTING 2 PARCELS 1 AND 2, WHERE PARCEL 1 CONSISTING OF LOT 26 AND LOT 27, SILVERCREST PARK NO. 1 [KK 78] AND BOTH PARCELS 1 AND 2 BEING DESCRIBED IN WARRANTY DEED ENTRY: 14347558, BOOK: 11550, PAGE: 1, AND ON RECORD S2021-11-0739 AT THE SALT LAKE COUNTY SURVEYORS OFFICE.

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED IS/ARE THE OWNER(S) OF NE ABOVE-DESCRIBED PARCEL(S) OF LAND AND DO HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS OR UNITS, PARCELS, AND STREETS, TOGETHER WITH COMMON AREAS AND EASEMENTS, AS SET FORTH, TO BE HEREAFTER KNOWN AS:

"SEQUOIA COVE"

AND DO HEREBY DEDICATE TO SANDY CITY, FOR PERPETUAL USE, ALL ROADS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC AND UTILITY USES. THE UNDERSIGNED OWNERS ALSO HEREBY DEDICATE TO THE OWNERS OF THE LOTS OR UNITS, FOR PERPETUAL USE, ALL PRIVATELY-OWNED ROADS, STREETS, LANES, ALLEYS, AND DRIVEWAYS AS VEHICULAR AND PEDESTRIAN ACCESS EASEMENTS FOR THE PERPETUAL USE OF THE LOT OWNERS AND THEIR GUESTS AND INVITEES, AND AS NON-EXCLUSIVE WATER, SANITARY SEWER, STORM SEWER, PUBLIC UTILITY, STREETLIGHT, AND DRAINAGE EASEMENTS, THE SAME TO BE USED FOR NE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES, OR FOR OTHER TYPICAL PURPOSES INDICATED BY THOSE EASEMENTS. THE UNDERSIGNED OWNERS ALSO HEREBY DEDICATE ALL COMMON AND LIMITED COMMON AREAS AS NON-EXCLUSIVE PEDESTRIAN ACCESS EASEMENTS FOR NE USE OF NE LOT OR UNIT OWNERS AND THEIR INVITEES, AND AS NON-EXCLUSIVE WATER, SANITARY SEWER, STORM SEWER, PUBLIC UTILITY, STREETLIGHT, AND DRAINAGE EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES, OR FOR OTHER TYPICAL PURPOSES INDICATED BY THOSE EASEMENTS. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR NE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO DO HEREBY CONVEY ANY OTHER EASEMENTS, AS SHOWN ON THIS PLAT, TO NE PARTIES INDICATED BY THOSE EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF THE FACILITIES, OR FOR OTHER TYPICAL PURPOSES, INDICATED BY THOSE EASEMENTS, AS SHOWN HEREON.

IN WITNESS WHEREOF I/WE HAVE HEREUNTO SET MY/OUR HAND(S) THIS _____ DAY OF _____, A.D. 2025.

SIGNED: _____

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH } S.S.
COUNTY OF SALT LAKE

ON THE _____ DAY OF _____, A.D. 2025 PERSONALLY APPEARED BEFORE ME, WHO BEING DULY SWORN OR AFFIRMED, DID SAY THAT HE/SHE IS THE _____ OF _____ AND THAT THE WITHIN OWNER'S DEDICATION WAS SIGNED BY HIM/HER IN BEHALF OF THE SAID CORPORATION BY AUTHORITY OF ITS BYLAWS, OR BOARD OF DIRECTORS, AND THAT SAID CORPORATION EXECUTED THE SAME.

COMMISSION NUMBER _____ MY COMMISSION EXPIRES _____

NAME, NOTARY PUBLIC COMMISSIONED IN UTAH

EASEMENT APPROVAL

Dominion Energy Utha Representative	Date
Rocky Mountain Power Representative	Date
Century Link Representative	Date
Comcast Representative	Date

SANDY CITY PARKS & RECREATION

APPROVED THIS _____ DAY OF _____, A.D. 20____

APPROVED THIS DAY BY THE SANDY CITY PARKS & RECREATION.

DIRECTOR

COTTONWOOD IMPROVEMENT DISTRICT

APPROVED THIS _____ DAY OF _____, A.D. 20____

REPRESENTATIVE

SALT LAKE HEALTH DEPARTMENT

APPROVED THIS _____ DAY OF _____, A.D. 20____

REPRESENTATIVE

SALT LAKE COUNTY SURVEYOR COUNTY SURVEYOR

APPROVED THIS _____ DAY OF _____, A.D. 20____

COUNTY SURVEYOR REVIEWER

BENCHMARK CIVIL

BENCHMARK ENGINEERING & LAND SURVEYING

9138 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

SANDY CITY PUBLIC UTILITIES

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SANDY CITY PUBLIC UTILITIES

ENGINEERING MANAGER

SANDY CITY PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SANDY CITY PLANNING COMMISSION

ENGINEERING MANAGER

SANDY CITY ENGINEER

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SANDY CITY PLANNING COMMISSION

SANDY CITY ENGINEER

APPROVAL AS TO CONFORM

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY THE SANDY CITY ATTORNEY

SANDY CITY ATTORNEY

SANDY CITY MAYOR

PRESENTED TO THE SANDY CITY MAYOR THIS _____ DAY OF _____, A.D. 2025, AT WHICH TIME THE SUBDIVISION WAS APPROVED AND ACCEPTED.

SANDY CITY MAYOR

ATTEST: SANDY CITY RECORDER

SEQUOIA COVE

SITUATED IN THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, SANDY CITY, SALT LAKE COUNTY, STATE OF UTAH

SAL LAKE COUNTY RECORDER

RECORDED AND FILED AT THE REQUEST OF _____

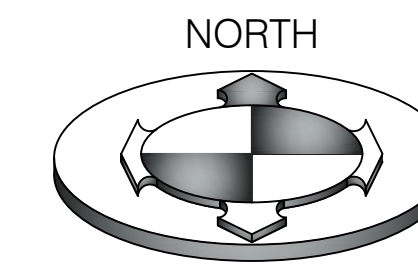
RECORDED AS ENTRY NUMBER _____

DATE: _____ TIME: _____ BOOK: _____ PAGE: _____

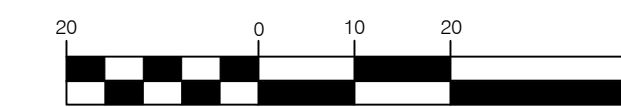
FEE \$ _____ SALT LAKE COUNTY RECORDER

SEQUOIA COVE

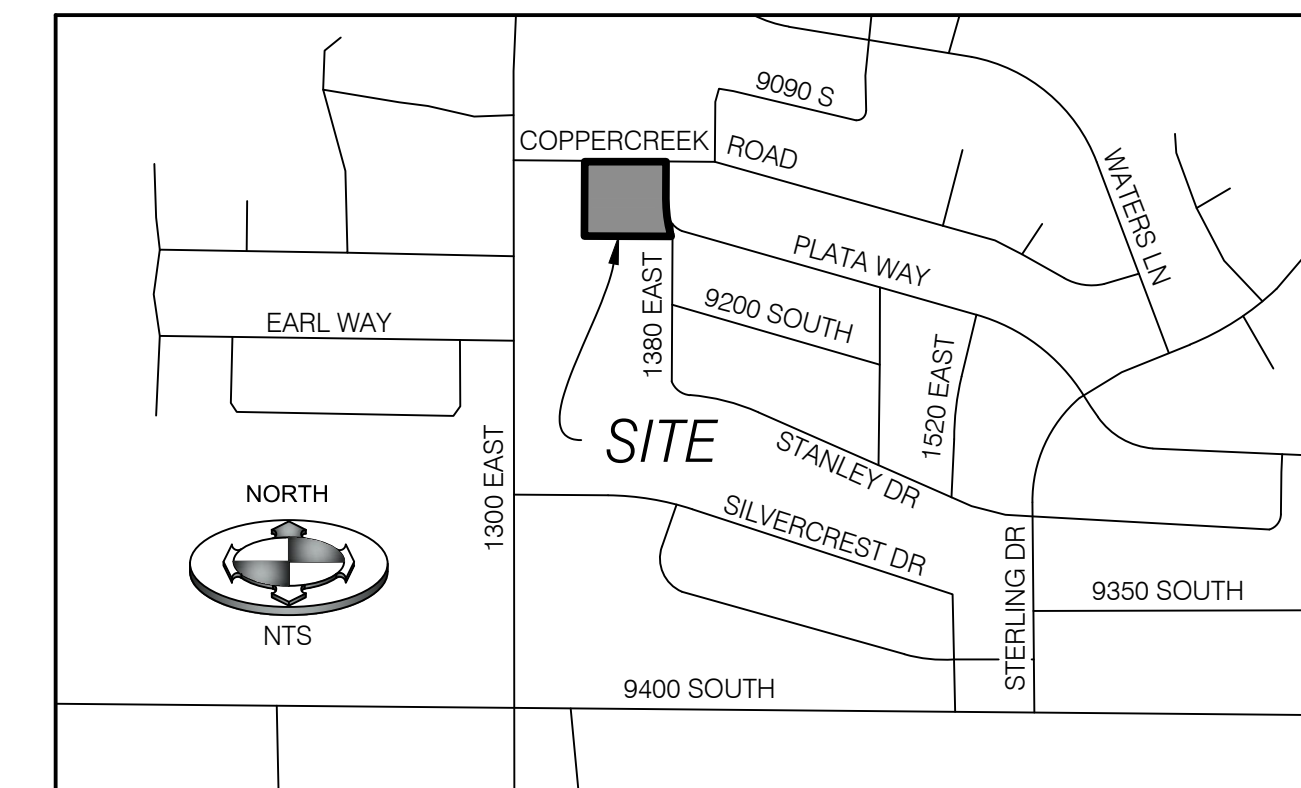
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 04,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH



GRAPHIC SCALE



(IN FEET)
1 inch = 20ft.




VICINITY MAP
N.T.S

SEQUOIA DEVELOPMENT, INC.
KEVIN LUBLOW
801-944-4469
kevin@sequoiadevelopment.com

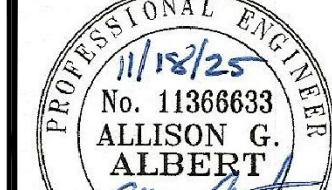
DRAWING INDEX

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CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES

PRELIMINARY CIVIL PLANS
NOT FOR CONSTRUCTION



BENCHMARK
CIVIL



PROFESSIONAL ENGINEER
No. 1136633
Allison G. Albert
STATE OF UTAH
NOT FOR CONSTRUCTION

BENCHMARK
ENGINEERING & LAND SURVEYING

9138 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

SEQUOIA COVE

1368 EAST COPPERCREEK RD
SANDY CITY, UTAH

No.	DATE	DESCRIPTION

DRAFT EGB	DESIGN GJB	CHECK AGA
DATE: 11/18/2025	DATE: 11/18/2025	DATE: 11/18/2025

PROJECT NO. **2509166**

COVER

1 OF 11

LINETYPES:	
NEW	EXISTING

CONSTRUCTION NOTES

RESPONSIBLE DISTRICTS OR AGENCIES AND APPLICABLE STANDARDS
 CITY OR COUNTY: SANDY CITY
 WATER UTILITY COMPANY: SANDY CITY PUBLIC UTILITIES (SCPU)
 SEWER: COTTONWOOD IMPROVEMENT DISTRICT (CID)
 STORM DRAIN/GROUNDWATER: SANDY CITY PUBLIC UTILITIES (SCPU)
 ELECTRICAL: ROCKY MOUNTAIN POWER (RMP)
 TELEPHONE: CENTURY LINK
 NATURAL GAS: ENBRIDGE GAS

APPLICABLE STANDARDS: APWA 2025 STANDARDS



NOTE:

IN THE EVENT THAT THE CONSTRUCTION NOTES CONFLICT WITH RESPONSIBLE DISTRICT OR AGENCY STANDARDS, NOTES AND SPECIFICATIONS, THE DISTRICT OR AGENCY STANDARD NOTES AND SPECIFICATIONS GOVERN.

CAUTION NOTICE TO CONTRACTORS

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO THE NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

SYMBOLS:	
NEW	EXISTING

ABBREVIATIONS

BC	BAR & CAP	PVT	POINT OF TANGENCY
BOW	BOTTOM OF VISIBLE WALL	PUE	PUBLIC UTILITY EASEMENT
COR	SECTION CORNER	R	RADIUS OF CURVE
CB	CATCH BASIN	RR	RAILROAD
CF	CUBIC FEET	ROW	RIGHT-OF-WAY
D	DELTA ANGLE	RW	RIGHT-OF-WAY
EG	EXISTING GROUND	SCD	SEWER CLEANOUT
EOA	EDGE OF ASPHALT	SSMH	SEWER MANHOLE
EOC	EDGE OF CONCRETE	SD	STORM DRAIN
EX/EG	EXISTING	SF	SQUARE FEET
FF	FINISH FLOOR ELEVATION	TBC	TOP BACK OF CURB
FG	FINISHED GRADE	TMH	TELEPHONE MANHOLE
FL	FIRE HYDRANT	TOA	TOP OF ASPHALT PAVEMENT
FL	FLOW LINE	TOCP	TOP OF CONCRETE PAVEMENT
GB	GRADE BREAK	TOF	TOP OF FOOTING
GW	GUY WIRE	TOE	TOE OF SLOPE
HP	HIGH POINT	TOG	TOP OF GRATE
HW	HEAD WALL	TOP	TOP OF SLOPE
I.E.	INVERT ELEVATION	TOW	TOP OF WALL
LP	UP OF CURB AND GUTTER	TR	TELEPHONE RISER
L	LENGTH OF CURVE	UGP	UNDERGROUND POWER
LF	LINEAR FEET	VPC	VERTICAL POINT OF CURVATURE
LP	LOW POINT	VPI	VERTICAL POINT OF INTERSECTION
M-M	MONUMENT TO MONUMENT	VPT	VERTICAL POINT OF TANGENCY
MH	MANHOLE	WM	WATER METER
MON.	SURVEY MONUMENT	WW	WATER VALVE
OP	OVERHEAD POWER		
PVC	POINT OF CURVATURE		
PVI	POINT OF INTERSECTION		
PP	POWER POLE		

- GENERAL**
- ALL MATERIALS AND CONSTRUCTION IN THE PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH RESPONSIBLE DISTRICT OR AGENCY.
 - CONTRACTOR AND APPLICABLE SUBCONTRACTORS SHALL ATTEND ALL PRE-CONSTRUCTION CONFERENCES AND PERIODIC PROGRESS MEETINGS. PRIOR TO ANY WORK BEING PERFORMED, THE CONTRACTOR SHALL CONTACT RESPONSIBLE DISTRICT OR AGENCY FOR A PRE-CONSTRUCTION CONFERENCE. CONTRACTOR SHALL ALSO NOTIFY THE APPROPRIATE PROJECT CONTACTS (48 HOURS IN ADVANCE OF S&D MEETING).
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC SAFETY AND OSHA STANDARDS.
 - THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, THE GEOLOGY REPORTS AND THE SITE CONDITIONS PRIOR TO CONTRACTOR SHALL INSPECT THE SITE OF WORK PRIOR TO BEGINNING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.
- CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.
- SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS RELATIVE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.
- THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.
- ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) MANUAL OF STANDARD SPECIFICATIONS 2017 EDITION AND THE MANUAL OF STANDARD PLANS 2017 EDITION, S&D STANDARD SPECIFICATIONS AND PLANS SHALL BE SUBSIDIARY TO MORE STRINGENT REQUIREMENTS BY APPLICABLE LOCAL JURISDICTION.
 - THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. IT SHALL BE EXPECTED THAT THE PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS REQUIRED FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.
- THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN REGULAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR REGULAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH SPECIAL RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHT-OF-WAY EASEMENTS AND/OR PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHT-OF-WAY OR EASEMENTS FROM THE CITY AND/OR UDOT. CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMUNICATING THE WORK, OR AS REQUIRED BY S&D PERMITS.
 - CONCRETE PLACEMENTS SHALL BE CONTINUOUS BETWEEN CONSTRUCTION JOINTS. CONSTRUCTION JOINTS SHALL BE PLACED FOR SLAB-ON-GRADE SUCH THAT THE MAXIMUM DISTANCE BETWEEN JOINTS IS 20 FEET IN EITHER DIRECTION FOR LIGHT DUTY TRAFFIC AND 12 FEET IN EITHER DIRECTION FOR HEAVY DUTY TRAFFIC.
 - IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEERS INTERPRETATION THEREOF SHALL BE CONCLUSIVE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
 - ALL WORK OUTSIDE THE SCOPE OF THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RESPONSIBLE DESIGN. THESE PLANS DO NOT REPLACE ANY STRUCTURAL, ARCHITECTURAL, OR MECHANICAL PLANS. SHOULD A DISCREPANCY EXIST BETWEEN THESE PLANS AND ANOTHER PLAN SET, THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT BOTH PARTIES TO DETERMINE WHAT SHOULD BE CONSTRUCTED.
 - ALL STAIRS AND RAILINGS ARE DESIGNED BY OTHERS AND SHALL COMPLY WITH THE ADA STANDARDS FOR ACCESSIBLE DESIGN. S&D STANDARD SPECIFICATIONS AND PLANS SHALL BE SUBSIDIARY TO MORE STRINGENT REQUIREMENTS BY APPLICABLE LOCAL JURISDICTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
 - IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE OR REPAIRS. WHEN EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR OUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTORS EXPENSE. AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
 - THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT, PIPING AND CONDUITS, STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LUMINAIRES, POINTS OF CONNECTION TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.
 - PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATION REDESIGNS AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- UTILITIES**
- CONTRACTOR TO SPACE UTILITIES TO PROVIDE MINIMUM DISTANCES AS REQUIRED BY LOCAL, COUNTY, STATE, AND INDIVIDUAL UTILITY CODES.
 - ALL UTILITIES INSTALLED IN ACCORDANCE WITH THE RESPONSIBLE DISTRICTS OR AGENCIES STANDARDS AND SPECIFICATIONS.
 - COORDINATE ALL SERVICE LATERAL AND BUILDING CONNECTIONS WITH CORRESPONDING ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWING FOR LOCATION AND ELEVATION. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED.
 - ALL STORM DRAIN MANHOLES AND CATCH BASINS ARE TO BE PRECAST CONCRETE FROM APPROVED LOCAL MANUFACTURER UNLESS OTHERWISE NOTED, AND COMPLY WITH CITY/COUNTY STANDARD.
 - ALL STORM WATER CONVEYANCE PIPING TO BE RCP - CLASS 3 OR ADS HOPE PIPE OR EQUAL UNLESS OTHERWISE NOTED.
 - ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.
 - ALL GAS LINES TO BE HOPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.
 - ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO - FUSION TECHNOLOGY.
 - ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER.
 - NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK.
 - THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE AND SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES.
 - PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E. SEWER, WATER, FUEL, ELECTRICAL LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING, AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.
 - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDINGS TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS.
 - ACTUAL CONNECTIONS TO EXISTING WATER LINES WILL NOT BE PERMITTED PRIOR TO THE COMPLETION OF STERILIZATION AND TESTING OF NEW WATER MAINS. ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF THE CITY/COUNTY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.
 - ALL UNDERGROUND UTILITIES SHALL BE IN PLACE, TESTED, AND APPROVED BY AUTHORITIES HAVING JURISDICTION PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK, AND STREET PAVING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY COMPANIES FOR THE INSTALLATION OF ALL NEW AND THE REMOVAL, RELOCATION, AND/OR BURIAL OF EXISTING DRY UTILITIES INCLUDING BUT NOT LIMITED TO POWER, GAS, AND COMMUNICATION LINES. IF THERE IS A CONFLICT WITH AN EXISTING DRY UTILITY THE CONTRACTOR SHALL COORDINATE THE REMOVAL OR RELOCATION OF THE EXISTING UTILITY WITH THE RESPONSIBLE DISTRICT OR AGENCY. ALL WORK FOR DRY UTILITIES SHALL BE COORDINATED WITH AND COMPLETED TO THE STANDARDS AND REQUIREMENTS OF THE RESPONSIBLE DISTRICT OR AGENCY.

- SEWER**
- ALL SEWER LINE TO BE FLUSHED, PRESSURE TESTED TO 5 PSI VIDEO INSPECTED AND OTHERWISE TESTED IN ACCORDANCE WITH DISTRICT STANDARDS PRIOR TO PLACING IN SERVICE.
 - ALL SEWER PIPES ARE TO BE SDR-35 PVC PIPE.
 - SEWER MANHOLES, LATERALS AND CLEANOUTS TO BE INSTALLED PER RESPONSIBLE DISTRICT OR AGENCY STANDARDS. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN. THE CLEANOUT RISER FOR EACH SERVICE SHALL BE INSTALLED BY THE CONTRACTOR.
 - SEWER CLEANOUTS MUST BE INSTALLED AT A MINIMUM OF EVERY 50 L.F. FOR 4 INCH Ø LATERALS AND EVERY 100 L.F. FOR 6 INCH Ø LATERALS, OR PER THE RESPONSIBLE DISTRICT OR AGENCY STANDARDS, WHICHEVER IS MORE FREQUENT.
 - A SEWER CLEANOUT MUST BE INSTALLED 5 L.F. TO 10 L.F. FROM ANY PROPOSED STRUCTURE, OR PER THE RESPONSIBLE DISTRICT OR AGENCY STANDARDS.
 - ALL SEWER LATERAL BENDS AND ANGLES TO BE INSTALLED AS SWEEPING BENDS WITH SEWER CLEANOUTS.
 - DURING CONSTRUCTION OF THE SEWERLINE, WHYES NEED TO BE INSTALLED FOR THE LATERALS, LATERALS ARE 4" AND NEED TO COME IN AT THE TOP OF THE PIPE WITH A WYE. (SEE RESPONSIBLE DISTRICT OR AGENCY STANDARDS)
 - IT IS THE INTENT ON THESE PLANS THAT ALL SEWER PIPES SHALL SLOPE TO AN EXISTING SEWER CONNECTION VIA GRAVITY FLOW. CONTRACTOR TO START AT THE LOW END OF GRAVITY UTILITY LINES AND VERIFY THAT ALL INVERT ELEVATIONS PROVE SLOPE TO EXISTING CONNECTION VIA GRAVITY. SLOPES MUST MEET OR EXCEED THE SEWER DISTRICTS MINIMUM STANDARDS. NOTIFY ENGINEER IF THERE ARE DISCREPANCIES THAT WOULD CAUSE THE SEWER UTILITY NOT TO DRAIN VIA GRAVITY ON THE SITE.
 - WATER
 - WATERLINES TO BE PVC C-900. WATER LINES SHALL BE A MINIMUM OF 10" HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR TEN FEET HORIZONTAL SEPARATION FROM SEWERLINE.
 - ALL WATERLINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1-1/2" MINIMUM UNLESS OTHERWISE NOTED.
 - WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE, CORP. STOP LATERAL, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUT-OFF VALVE IN BOX NEAR BUILDING EDGE.
 - ALL WATERLINES SHALL BE 48" BELOW FINISH GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS. ALL WATER LINES SHALL BE LOOPEO AROUND GRASSY LINES OR HOPEO PER RESPONSIBLE DISTRICT OR AGENCY INSPECTOR.
 - CONTRACTOR TO NOTIFY RESPONSIBLE DISTRICT OR AGENCY FOR CHLORINE TEST PRIOR TO FLUSHING LINES. CHLORINE LEFT IN PIPE 24 HRS. MINIMUM WITH 25 PSI RESIDUAL. ALL TURNING OF MAINLINE VALVES, CHLORINATION, FLUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH RESPONSIBLE DISTRICT OR AGENCY. ALL TESTS TO BE IN ACCORDANCE WITH RESPONSIBLE DISTRICT OR AGENCY.
 - BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4 INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE, 8" LINE VALVE, AND HYDRANT COMPLETE TO MEET RESPONSIBLE DISTRICT OR AGENCY STANDARDS, UNLESS OTHERWISE NOTED ON PLANS.
- EXISTING UTILITIES**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES SHOWN OR NOT SHOWN. THE INFORMATION SHOWN ON THE PLANS WITH REGARDS TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATION AND/OR RECORD INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF ALL UTILITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE FACILITIES SHOWN AND ANY OTHER FACILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. PRIOR TO CONSTRUCTION OR FABRICATION, IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO VERIFY ALL EXISTING UTILITIES SHOWN AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO: SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER IN WRITING FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES SO, THAT THE EXACT LOCATION, ELEVATION, MATERIAL, ETC. CAN BE VERIFIED AND DOCUMENTED, THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION BE MADE PRIOR TO CONSTRUCTION.
 - PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO HAVE EACH UTILITY COMPANY STATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FLUSH OR NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTORS SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
 - ALL MANHOLE RIMS, LAMPHOLES, VALVE BOX COVERS, MONUMENT BOXES AND CATCH BASIN GRATES ARE TO BE ADJUSTED TO FIT THE FINISHED GRADE AFTER PAVING, UNLESS OTHERWISE NOTED. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT ALL PIPES, WALLS, ETC. ARE ADEQUATELY BRACED DURING CONSTRUCTION.
- CLEARING AND GRADING**
- CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH APWA 2017 STANDARD DRAWINGS AND STANDARD SPECIFICATIONS AND THE RECOMMENDED EARTHWORK SPECIFICATION FOUND IN THE PROFESSIONALLY PREPARED REPORT OF GEOTECHNICAL INVESTIGATION.
 - THE CONTRACTOR SHALL REMOVE ALL VEGETATION AND DELETERIOUS MATERIALS FROM THE SITE UNLESS NOTED OTHERWISE. ALL EXISTING WELLS AND SEPTIC TANKS SHALL BE REMOVED AND/OR ABANDONED PER THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE COST TO PERFORM THIS WORK SHALL BE INCLUDED IN THE LUMP SUM CLEARING COST.
 - SUBSOIL INVESTIGATIONS MUST BE CONDUCTED AT THE SITE OF THE WORK. ALL FOOTING, FOUNDATION OR STRUCTURAL WALL CONSTRUCTION MUST ADHERE TO THE RECOMMENDATIONS DETAILED BY THE PROFESSIONAL REPORT OF THESE INVESTIGATIONS, CREATED BY A LICENSED GEOTECHNICAL ENGINEER.
 - SOIL INVESTIGATIONS MUST BE CONDUCTED BY A LICENSED GEOTECHNICAL ENGINEER FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION OF DATA. SUCH PROJECTION OR EXTRAPOLATION FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, SOIL STABILITY AND THE PRESSENCE, LEVEL AND EXTENT OF UNDERGROUND WATER TO BE CONSIDERED DURING CONSTRUCTION OPERATIONS.
 - ALL PROPOSED ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO FINISHED SURFACE. THE CONTRACTOR IS RESPONSIBLE TO DEDUCT THE THICKNESS OF THE PAVEMENT STRUCTURAL SECTION FOR TOP OF SUB GRADE ELEVATIONS.
 - IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.
 - UNSUITABLE MATERIAL, SUCH AS TOP SOIL, WEATHERED BED ROCK, ETC., SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER (AND/OR ENGINEERING GEOLOGIST, WHERE EMPLOYED) FROM ALL AREAS TO RECEIVE COMPACTED FILL OR DRAINAGE STRUCTURES.
 - NO TREES SHALL BE REMOVED OR DAMAGED WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM PROPERTY OWNER.
 - THE EXISTING TOPOGRAPHY ON THESE PLANS IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED BY BENCHMARK ENGINEERING AND LAND SURVEYING ON 10/16/2025 AND MAY HAVE BEEN MODIFIED SINCE THIS SURVEY WAS PERFORMED.
 - FILLS IN EXCESS OF 4 FEET IN THICKNESS AND BENEATH ALL FOUNDATIONS OR PAVEMENT SECTIONS SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM D-1557 COMPACTION CRITERIA. ALL OTHER STRUCTURAL FILLS LESS THAN 4 FEET IN THICKNESS SHOULD BE COMPACTED TO AT LEAST 90 PERCENT OF THE ABOVE CRITERIA. REFERENCE THE GEOTECHNICAL REPORT.
 - CONTRACTOR TESTING WILL BE ACCOMPLISHED BY THE CONTRACTOR, OR THE CONTRACTOR WILL HAVE SUCH TESTING ACCOMPLISHED BY A SEPARATE CONTRACTOR. TEST RESULTS WILL BE SUBMITTED FOR REVIEW WITHIN 24 HOURS AFTER TEST.
 - CONTRACTOR TO SUBMIT PROCTOR AND/OR MARSHALL TEST DATA 24 HOURS PRIOR TO COMPACTION TESTS.
 - STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON PLANS.
 - CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL. ALL SLOPES IN ADJOINING STREETS, DRAINAGE CHANNELS, OR OTHER FACILITIES SHALL BE GRADED NO STEEPER THAN 2 TO 1 FOR CUT AND FILL.
 - GRADES WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 10 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVED AREAS AND ALONG ALL CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE TO THE PLAN, CURBS AND PAVEMENT AREAS WHICH ARE NOT INSTALLED PER PLAN MUST BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.

- SITE WORK SHALL MEET OR EXCEED OWNERS SITE SPECIFICATIONS.
- ALL SITE CONCRETE OR CONCRETE ELEMENT NOT SPECIFICALLY SHOWN AND DETAILED ON STRUCTURAL DRAWINGS TO HAVE A MINIMUM OF 28 DAY COMPRESSION STRENGTH OF 4000 PSI.
- APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT.
- ALL DESIGN SLOPES AND TIE-IN SLOPES SHALL CONFORM TO THE FOLLOWING LIMITATIONS. CONTRACTOR SHALL NOTIFY CIVIL ENGINEER FOR REDESIGN IF ANY AREAS EXCEED THE FOLLOWING SLOPES PRIOR TO FORMING, POURING OR PAVING ANY HARDSCAPE.
 - LANDSCAPING SHALL SLOPE AT A MINIMUM OF 2% AND MAXIMUM OF 3% IN ANY DIRECTION
 - ASPHALT SHALL SLOPE AT A MINIMUM OF 1.5% AND MAXIMUM OF 5% IN ANY DIRECTION. SEE 68.6
 - CONCRETE FLOWWORK SHALL SLOPE AT A MINIMUM OF 1% AND MAXIMUM OF 5% IN ANY DIRECTION. SEE 68.6
 - CURB AND GUTTER SHALL SLOPE AT A MINIMUM OF 0.5% AND MAXIMUM OF 5% IN THE LONGITUDINAL DIRECTION
 - ROADWAY CROSS SLOPES SHALL BE BETWEEN 2% AND 4% OR WITHIN THE RESPONSIBLE DISTRICT OR AGENCYS LIMITS
 - FINISHED GRADE SHALL SLOPE AWAY FROM ALL BUILDINGS FOR A MINIMUM OF 10 FEET WITH THE FOLLOWING SLOPES: LANDSCAPING AT A MINIMUM OF 2% AND IMPERMEABLE PAVEMENT AT A MINIMUM OF 4%.
 - ALL ADA COMPONENTS SHALL MEET CURRENT ADA AND APWA SLOPE REQUIREMENTS
- DEWATERING**
 - THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAINED DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATION TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND PUMPING EQUIPMENT AND MACHINERY IN GOOD CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEM SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATE GROUNDWATER LEVEL.
 - THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED.
 - SUMPS SHALL BE NO DEEPER THAN 5 FEET AND SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.
 - THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS," DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATO LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATION SOILS. PREVENT DISTURBANCE OF COMPACTED BACKFILL AND PREVENT FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES AND SEWERS. IF A UPDES UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT IS REQUIRED FOR DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.
 - ONE HUNDRED PERCENT STANDBY PUMPING CAPACITY SHALL BE AVAILABLE ON SITE AT ALL TIMES AND SHALL BE CONNECTED TO THE DEWATERING SYSTEM PIPING AS TO PERMIT IMMEDIATE USE. IN ADDITION STANDBY EQUIPMENT AND APPLIANCES FOR ALL ORDINARY EMERGENCIES, AND COMPETENT WORKMEN FOR OPERATION AND MAINTENANCE OF ALL DEWATERING EQUIPMENT SHALL BE ON SITE AT ALL TIMES. STANDBY EQUIPMENT SHALL INCLUDE EMERGENCY POWER GENERATION AND AUTOMATIC SWITCH OVER TO THE EMERGENCY GENERATOR WHEN NORMAL POWER FAILS. DEWATERING SYSTEMS SHALL NOT BE SHUT DOWN BETWEEN SHIFTS, ON HOLIDAYS, ON WEEKENDS, OR DURING WORK STOPPAGES.
- SITE SAFETY AND MAINTENANCE**
 - THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
 - THE CONTRACTOR AGREES THAT:
 - THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
 - THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNWASD MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
 - THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
 - THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.
 - THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.
 - UNLESS OTHERWISE NOTED, ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTORS EXPENSE.
 - THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.
 - ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITE. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
 - FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENGINEERING PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN, IF PLAN IS REQUIRED. CONTRACTOR SHALL PROVIDE PLAN AND RECEIVED PROPER APPROVALS PRIOR TO WORK IN EASEMENTS. CONTRACTOR SHALL OBTAIN APPROVAL OF THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID AND/OR RIGHT-OF-WAY. ALL CONSTRUCTION WORK IN UDOT RIGHT-OF-WAY SHALL BE SUBJECT TO INSPECTION BY THE STATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT INSPECTIONS TAKE PLACE WHERE AND WHEN REQUIRED AND TO INSURE THAT ALL WORK IS COMPLETED TO UDOT STANDARDS.
 - SURFACE IMPROVEMENTS:**
 - SUBGRADE PREPARATION: SUBGRADE SHALL BE COMPACTED TO A 95% RELATIVE COMPACTION TO A MINIMUM DEPTH OF 6" FOR ALL ON-SITE DEVELOPMENT. ALL OFF-SITE IMPROVEMENTS ARE TO BE DONE PER APWA STANDARDS.
 - AGGREGATE SUB-BASE: AGGREGATE SUB-BASE SHALL BE GRANULAR BACKFILL BORROW. AGGREGATE SUB-BASE MATERIAL SHALL BE CLEAN AND FREE FROM VEGETABLE MATTER AND OTHER DELETERIOUS SUBSTANCE. AGGREGATE SHALL COMPLY WITH THE GUIDELINE REQUIREMENTS FOR PAVEMENTS FOUND IN THE PROFESSIONALLY PREPARED OF THE SOILS INVESTIGATIONS COMPLETED ON THIS SITE.
 - AGGREGATE BASE: AGGREGATE BASE SHALL BE GRADE 3/4 UNTREATED BASE COURSE, AND COMPLY PREPARED REPORT OF THE SOILS INVESTIGATION PREPARED ON THIS SITE.
 - ALL SIDEWALKS AND CROSSINGS TO MEET CURRENT ADA STANDARDS/ APWA STANDARDS.
 - PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THE GENERAL NOTES, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTORS UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK.
 - INSTALLATION OF STREET LIGHTS SHALL BE IN ACCORDANCE WITH CITY STANDARDS.
 - PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUT BY THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, CITY, AND POWER COMPANY TO HAVE THE ELECTRICAL SYSTEM AND ALL STREET LIGHTS ENERGIZED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPPING INTO FUTURE STRIPPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.

SANDY CITY PUBLIC UTILITIES GENERAL NOTES

GENERAL NOTES:

1. INSTALL SURVEY RIVETS, OFFSET FROM EACH LOT'S PROPERTY CORNERS, IN CURB OR SIDEWALK.
2. BUILDER/OWNER SHALL SECURE AN EXCAVATION PERMIT FROM SANDY CITY PUBLIC WORKS DEPARTMENT PRIOR TO DOING ANY WORK IN THE SANDY CITY RIGHT OF WAY. TRAFFIC PLAN, BONDING, AND INSURANCE WILL BE REQUIRED.
3. NOTIFY SANDY CITY PUBLIC WORKS INSPECTION DEPARTMENT, 801-568-2999, 48 HOURS PRIOR TO BEGINNING CONSTSRUCTION OF ANY ROADWAYS OR PUBLIC IMPROVEMENTS, INCLUDING SEWER FACILITIES. ALL INSPECTION MUST BE DONE PRIOR TO, OR CONCURRENT WITH, CONSTRUCTION. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE UNCOVERING AND/OR REMOVAL OF ALL CONSTRUCTION DONE WITHOUT NOTIFICATION, AT THE DISCRETION OF THE CITY ENGINEER.
4. ALL PUBLIC IMPROVEMENTS IN THE STATE RIGHT-OF-WAY SHALL BE CONSTRUCTED AS REQUIRED BY UTAH DEPARTMENT OF TRANSPORTATION REGION TWO.
5. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD AND THE CITY ENGINEER.
6. UTILITY BOXES ARE TO BE PLACED AT LEAST 5' BEHIND THE ROW AND NEAR SIDE PROPERTY LINES.
7. INSTALL SURVEY MONUMENTS ACCORDING TO THE RECORDED PLAT PER SALT LAKE COUNTY SPECIFICATIONS.

EROSION CONTROL NOTES:

1. THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS, FOR DUST SUPPRESSION, IS ABSOLUTELY PROHIBITED.
2. DUST, MUD, AND EROSION SHALL BE ADEQUATELY CONTROLLED BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES.

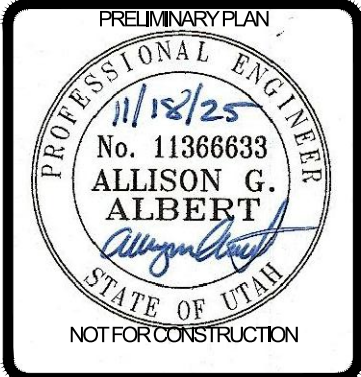
STORM WATER NOTES:

1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
4. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE CONSULTING ENGINEER FOR ALL BEDDING, BACKFILL, PIPE AND STRUCTURES (INLET BOXES, COMBO BOXES, AND JUNCTION BOXES). SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
5. CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
6. ALL MATERIALS AND WORK DONE IN UDOT RIGHT-OF-WAY SHALL CONFORM TO UDOT STANDARDS AND SPECIFICATIONS.
7. NON-SHRINK GROUT SHALL BE USED WHEREVER GROUT IS REQUIRED FOR THE STORM DRAIN FACILITIES.
8. CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE AND GROUT AT CONNECTION OF PIPE TO BOX TO A SMOOTH FINISH. ADDITIONALLY, ALL JAGGED OR SHARP EDGES AT PIPE CONNECTIONS ARE TO BE REMOVED AND GROUTED SMOOTH.
9. GROUT BETWEEN GRADE RINGS. FOR EACH INLET BOX THAT IS LOCATED NEXT TO A CURB, THE CURB AND GUTTER CONTRACTOR IS RESPONSIBLE TO REMOVE ALL PROTRUDING, JAGGED OR SHARP CONCRETE EDGES AND TO GROUT BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX. GROUT TO CREATE A SMOOTH, BEVELED TRANSITION AT ALL EDGES IN CLEAN OUT AND INLET BOXES. GROUT AROUND ALL EDGES OF THE RESTRICTIVE ORIFICE PLATE.
10. REMOVE SNAP TIES, NAILS, REBAR AND OTHER PROTRUSIONS FROM THE BOX OR PIPE INSIDE SURFACE, AS WELL AS ALL FORM WORK, PLASTIC AND CARDBOARD.
11. SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL INLET BOXES, COMBO BOXES, JUNCTION BOXES AND PIPE. THE BOXES AND PIPES ARE TO BE MAINTAINED IN A CLEAN CONDITION UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
12. CLEAN OFF ALL MANHOLE LIDS AND INLET GRATES OF ASPHALT, CONCRETE, TAR OR OTHER ADHESIVES TO ALLOW ACCESS.
13. WHERE A SUMP IS REQUIRED, THE SANDY CITY PUBLIC UTILITIES INSPECTOR SHALL BE CONTACTED PRIOR TO CONSTRUCTION TO PROVIDE AN OPPORTUNITY TO CHECK THE VOLUME OF GRAVEL AND GRAVEL GRADATION.
14. SIGNS MUST BE POSTED NEAR EACH INLET BOX LOCATED IN A DRINKING WATER RECHARGE ZONE WITH THE FOLLOWING WORDS "WARNING THIS IS A DRINKING WATER AQUIFER RECHARGE AREA. DISPOSAL OF ANY WASTE MATERIALS IN THE STORM WATER IS STRICTLY PROHIBITED."
15. ALL INLET, COMBO, AND JUNCTION BOXES SHALL BE PLACED ON 12-INCH (MIN.) COMPACTED STABILIZATION MATERIAL.
16. A VIDEO OF ALL PIPES MUST BE COMPLETED BEFORE THE 80% OR 90% BOND RELEASE AND AGAIN BEFORE FINAL BOND RELEASE.
17. A REPRESENTATIVE OF THE MANUFACTURER OR SUPPLIER SHALL BE ON-SITE DURING INSTALLATION OF OIL/WATER SEPARATORS AND UNDERGROUND DETENTION/RETENTION SYSTEMS. THE MANUFACTURER OR SUPPLIER SHALL PROVIDE A LETTER STATING THAT THE SYSTEM WAS INSTALLED PER MANUFACTURERS SPECIFICATIONS. IF IT IS UNKNOWN WHETHER A REPRESENTATIVE IS REQUIRED TO BE PRESENT DURING INSTALLATION, CONTACT THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
18. A LETTER FROM THE CONSULTANT ENGINEER IS REQUIRED TO BE SUBMITTED TO SANDY CITY PUBLIC UTILITIES DEPARTMENT, PRIOR TO 90% BOND RELEASE, VERIFYING THAT THE VOLUME FOR RETENTION/DETENTION PONDS WAS INSTALLED PER THE APPROVED PLANS.

WATER NOTES:

1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
4. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE CONSULTING ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, METERS, BOXES, VAULTS, VALVES, FIRE HYDRANTS, BLOWOFFS, VAULTS, ETC. RELATING TO THE WATER SYSTEM. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
5. CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
6. LOCATE WATER LINE 4-FEET OFF LIP OF GUTTER ON THE NORTH AND/OR EAST SIDE OF ROADWAY.
7. A MINIMUM OF 48-INCHES AND A MAXIMUM OF 60-INCHES OF COVER FROM THE TOP OF THE PIPE TO THE FINISH GRADE IS REQUIRED.
8. FOR DUCTILE IRON PIPE, USE THICKNESS CLASS 52 OR BETTER
9. FOR POLYVINYL CHLORIDE (PVC) PIPE, USE CLASS DR-14 OR BETTER. 10 GAUGE WIRE SHALL BE PLACED ON TOP OF THE PIPE (PER SANDY CITY SPECIFICATIONS) FOR FUTURE RELOCATION. NO DEFLECTION IN PIPE JOINTS WILL BE ALLOWED ON PVC PIPES
10. ALL MECHANICAL JOINTS MUST BE RESTRAINED USING MEGA LUGS OR APPROVED EQUAL.
11. USE 6-INCH COMPRESSION TYPE HYDRANT BY MUELLER CENTURION OR CLOW MEDALLION. EXISTING HYDRANTS REQUIRED FOR FIRE PROTECTION THAT DO NOT MEET CURRENT STANDARDS SHALL BE UPGRADED TO MEET CURRENT SANDY CITY STANDARDS AND SPECIFICATIONS
12. WHEN THE DISTANCE FROM THE WATER MAIN TO THE FIRE HYDRANT IS GREATER THAN 6-FEET AN ADDITIONAL AUXILLARY VALVE SHALL BE FLANGED TO THE FIRE HYDRANT.
13. ALL DEAD ENDS SHALL BE PLUGGED WITH A 2-INCH WASHOUT OR END WITH A FIRE HYDRANT.
14. ALL DUCTILE IRON WATER LINES, FITTING, AND VALVES SHALL BE POLY-BAGGED IN ACCORDANCE WITH SANDY CITY STANDARDS AND SPECIFICATIONS.
15. ALL WATER LINES SHALL BE BEDDED WITH SAND (6-INCHES MINIMUM BELOW AND 12-INCHES MINIMUM ON EACH SIDE AND ON TOP OF THE PIPE).
16. WATER METERS SHALL NOT BE INSTALLED IN DRIVEWAY

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SEQUOIA COVE

1368 EAST COPPERCREEK RD

SANDY CITY, UTAH

PROJECT NO. 2509166

SANDY GENERAL NOTES

CGN.02
3 OF 11

BENCHMARK

ENGINEERING & LAND SURVEYING

9138 SOUTH STATE STREET SUITE #100

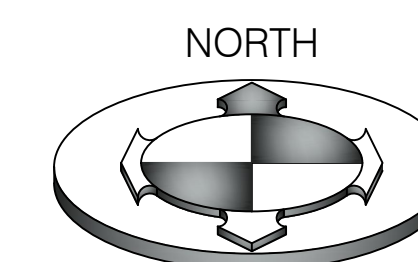
SANDY, UTAH 84070 (801) 542-7192

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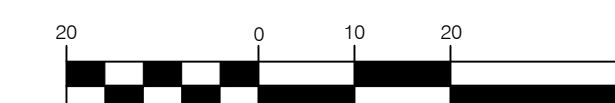
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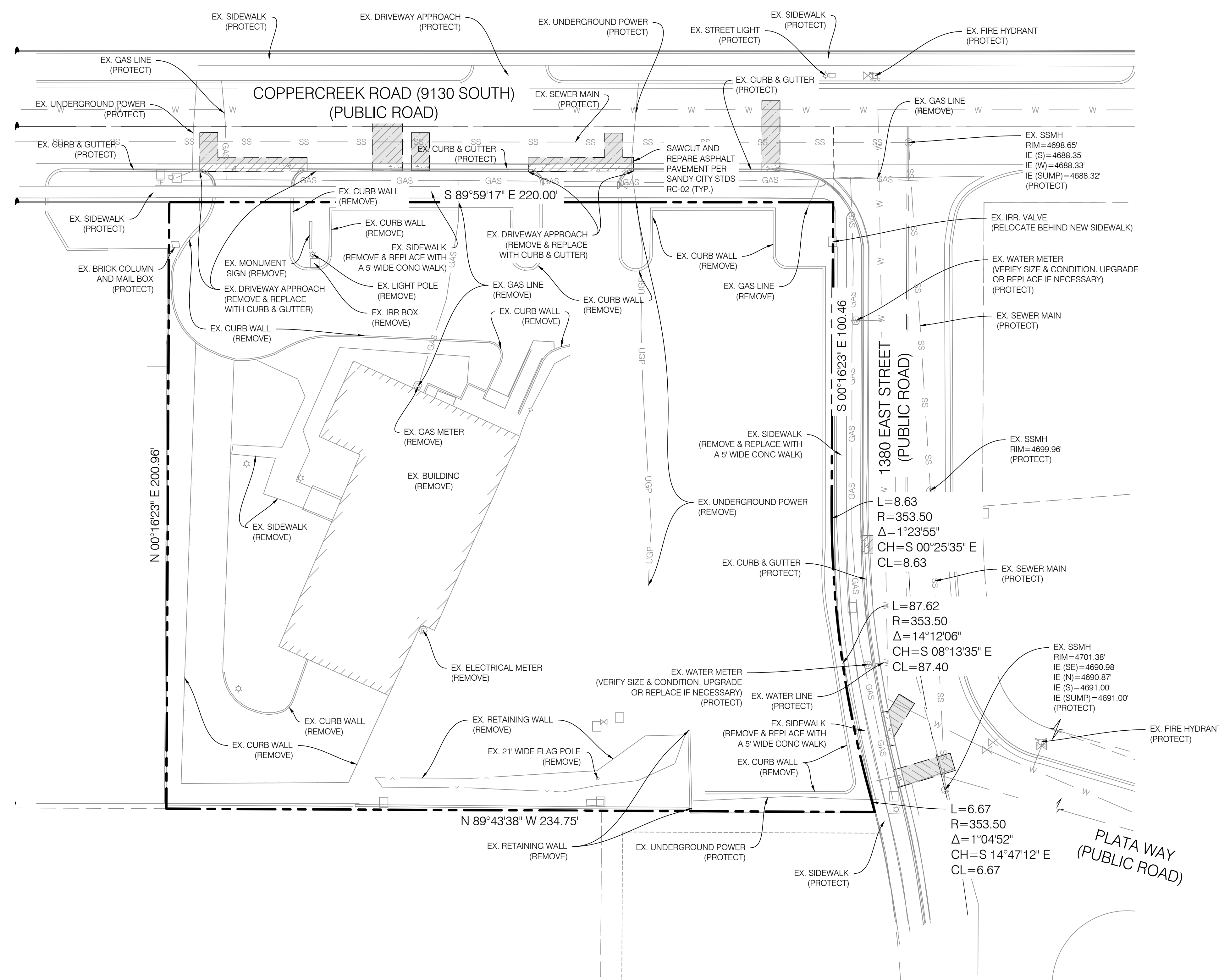


GRAPHIC SCALE

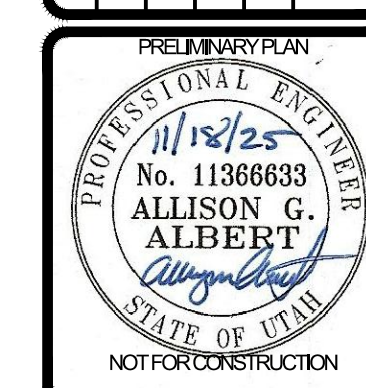


(IN FEET)
1 inch = 20ft

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS TO
EXISTING GRADE ARE APPROXIMATE. CONTRACTOR TO FIELD
VERIFY LOCATION, EXTENT OF SAWCUTTING, AND TIE-IN
SLOPES TO EXISTING GRADE PRIOR TO CONSTRUCTION. IT IS
THE INTENT ON THESE PLANS THAT ALL PAVEMENT SHALL TIE
INTO EXISTING GRADE PER SLOPES LISTED ON CGN.01 NOTE 70.
SEE NOTES 66, 70, 82, & 83 ON CGN.01 FOR FURTHER DETAIL.



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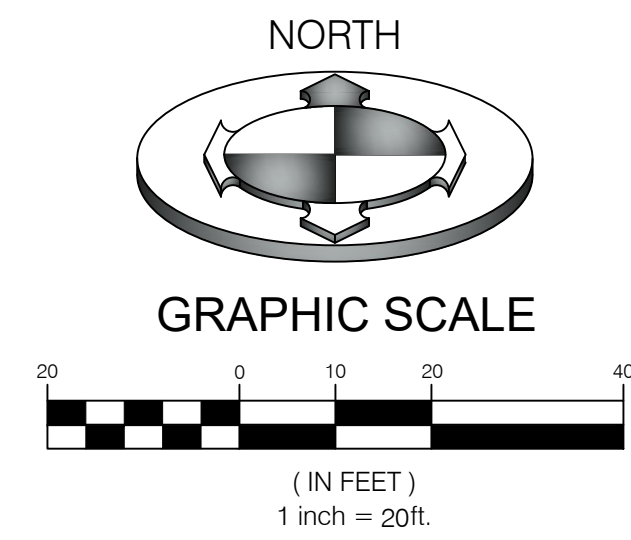
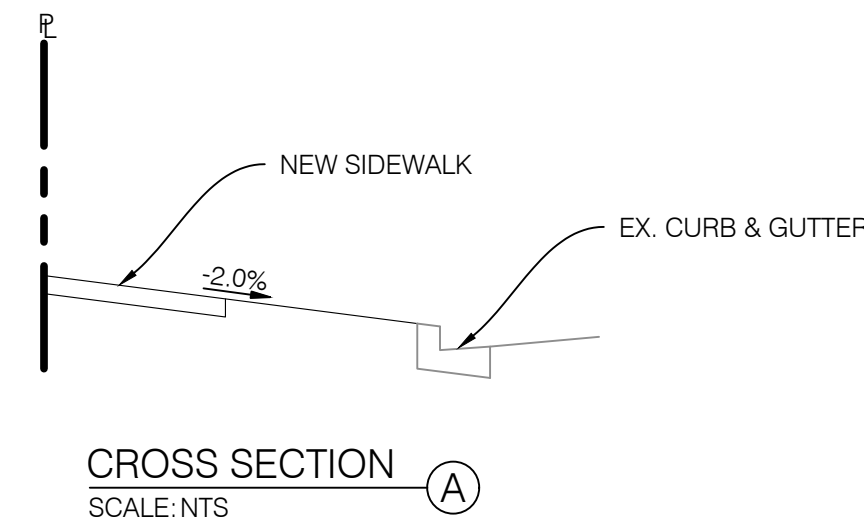
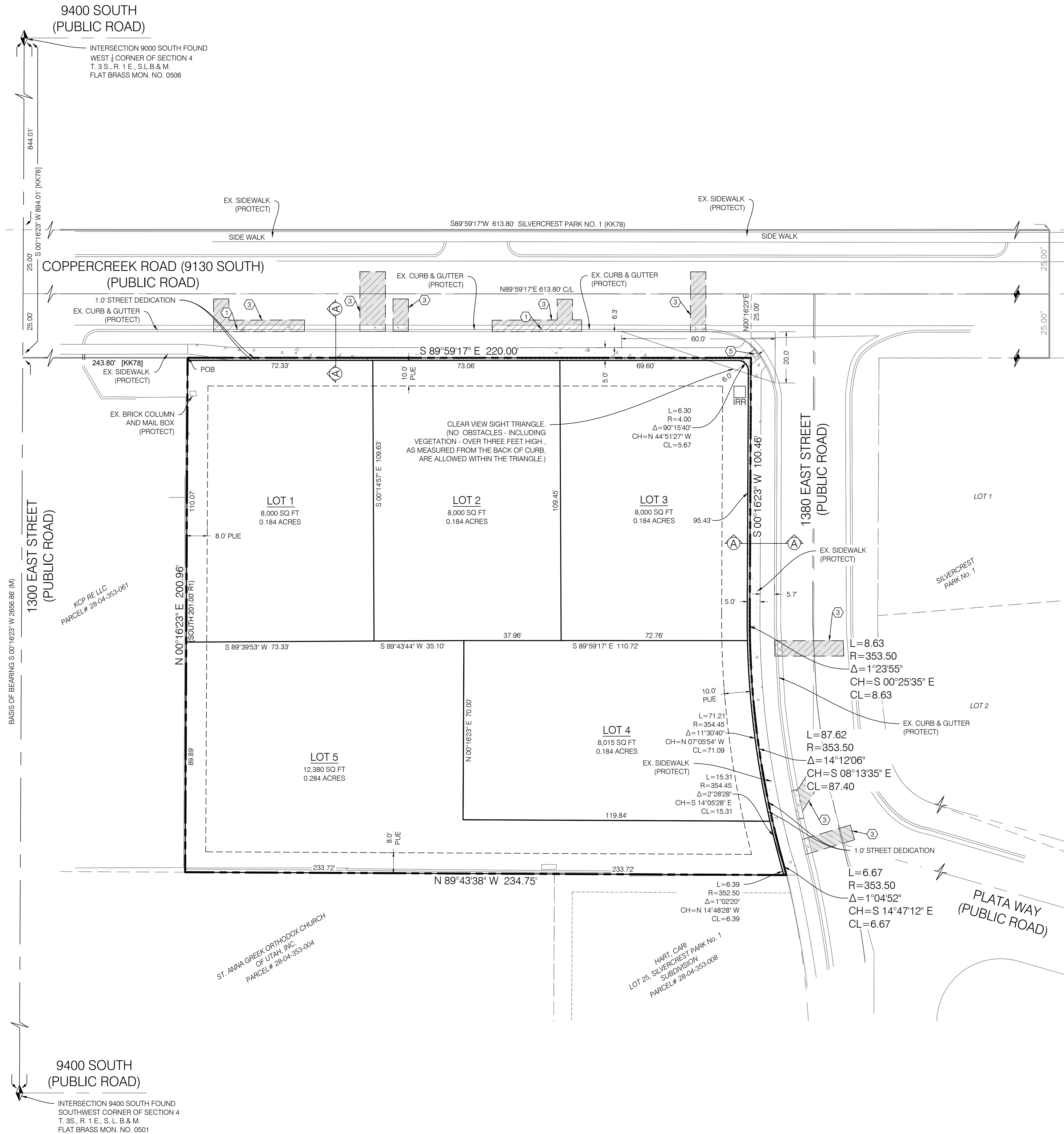
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SEQUOIA COVE

1368 EAST COPPERCREEK RD
SANDY CITY, UTAH

PROJECT NO. 2509166
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 PLAN
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 4 OF 11





CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
①	CONCRETE 30" STANDARD CURB AND GUTTER PER SANDY CITY #CG-01	1/CDT.01
②	SIDEWALK PER SANDY CITY #SW-03	3/CDT.01
③	SAWCUT PER SANDY CITY SPECS & STD #RC-02	5/CDT.01
④	FLARED DRIVE APPROACH PER SANDY CITY #DA-01 & #DA-02	2/CDT.01
⑤	ADA CORNER RAMP PER SANDY CITY #SW-02	4/CDT.01

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS TO
EXISTING GRADE ARE APPROXIMATE. CONTRACTOR TO FIELD
VERIFY LOCATION, EXTENT OF SAWCUTTING, AND TIE-IN
SLOPES TO EXISTING GRADE PRIOR TO CONSTRUCTION. IT IS
THE INTENT ON THESE PLANS THAT ALL PAVEMENT SHALL TIE
INTO EXISTING GRADE PER SLOPES LISTED ON CGN.01 NOTE 70.
SEE NOTES 66, 70, 82, & 83 ON CGN.01 FOR FURTHER DETAIL.


NOTE:
ALL WORK WITHIN PUBLIC ROADS TO BE DONE IN STRICT
ACCORDANCE WITH SANDY CITY STANDARDS AND
SPECIFICATIONS

NOTE:
REMOVE EXISTING CURB CUT/ DRIVE APPROACH AND
REPLACE WITH 30" CONCRETE STANDARD ("HIGH-BACK") CURB
AND GUTTER, PER SANDY CITY STANDARD DETAIL CG-01.


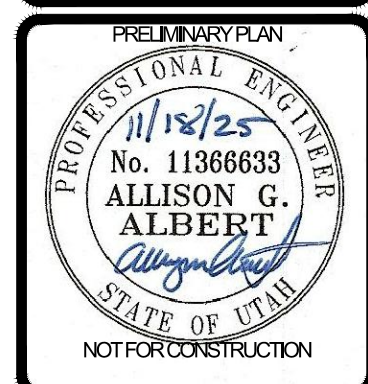
NOTE: 4
NEW DRIVE APPROACHES TO BE DESIGNED AND INSTALLED
AT THE TIME OF THE BUILDING PERMIT APPLICATION.

PUBLIC WORKS GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL OBTAIN A PERMIT TO WORK IN THE PUBLIC WAY (ROAD CUT PERMIT) FROM THE PUBLIC WORKS DEPARTMENT. CONTACT MONICA PETERSEN (801-568-2960, MPETERSEN@SANDY.UTAH.GOV) FOR REQUIREMENTS. TRAFFIC PLAN, BONDING, AND INSURANCE WILL BE REQUIRED. [SD 21-216]
2. NOTICE TO SAY CITY PUBLIC WORKS INSPECTION DEPARTMENT, 801-568-2999, 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF ANY ROADWAYS OR PUBLIC IMPROVEMENTS, INCLUDING SEWER FACILITIES. ALL INSPECTIONS MUST BE DONE PRIOR TO OR CONCURRENT WITH CONSTRUCTION. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE UNCOVERING AND/OR REMOVAL OF ALL ITEMS INSTALLED WITHOUT NOTIFICATION, AT THE DISCRETION OF THE CITY ENGINEER. [SD 21-216]
3. ALL PUBLIC IMPROVEMENTS, WHICH ARE TO BE OWNED AND MAINTAINED BY SANDY CITY, AND ALL PUBLICLY- AND PRIVATELY-OWNED AND MAINTAINED ROADS SHALL BE CONSTRUCTED ACCORDING TO THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION). THE SPECIFICATIONS CAN BE FOUND IN .PDF FORMAT ON LINE AT WWW.SANDY.UTAH.GOV/SEARCH/for+STANDARD+SPECIFICATIONS/. [SD 21-216]
4. PROVIDE A PROCTOR TEST, FOR ROADBASE MATERIAL, THAT IS TO BE PLACED IN THE PUBLIC RIGHT-OF-WAY, TO THE SANDY CITY PUBLIC WORKS INSPECTOR, WHEN DELIVERED OR PLACED ON SITE.
5. FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT, FOR IMPROVEMENTS THAT WILL BE OWNED AND MAINTAINED BY SANDY CITY. HOWEVER, SANDY CITY STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN IN ALL GEOTECHNICAL REPORT RECOMMENDATIONS ARE MORE STRINGENT.
6. DUST, MUD, AND EROSION SHALL BE ADEQUATELY CONTROLLED, BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS, AT ALL TIMES. HOWEVER, THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS, FOR DUST SUPPRESSION, IS ABSOLUTELY PROHIBITED.
7. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.
8. BUILDER/OWNER SHALL REPLACE ANY EXISTING SIDEWALK OR CURB & GUTTER, ALONG THE FRONTAGE OF THIS PROJECT, THAT IS FOUND TO BE LIFTED, CHIPPED, CRACKED, SPALLED, OR NOT PROPERLY DRAINING, AS DIRECTED BY THE SANDY CITY INSPECTOR.
9. PRIOR TO RELEASE OF THE IMPROVEMENT COMPLETION ASSURANCE (BOND), THE DEVELOPER SHALL SUBMIT A .PDF COPY OF THE CONSTRUCTION DRAWING TO THE ENGINEER OR ARCHITECT OF RECORD AND TO SANDY CITY PUBLIC WORKS DEPARTMENT. AN AS-BUILT FIELD SURVEY IS NOT REQUIRED. THE AS-BUILT DRAWING MAY BE SUBMITTED BY E-MAIL, AT DPOLSEN@SANDY.UTAH.GOV, OR ON A USB FLASH DRIVE.

OWNER	DZB	No.	DATE	DESCRIPTION
CHECKED BY	AGA			
FIELD NO.	SC			
DATE	11/18/2025			
DWG. FILE	2509166 SITE			
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SCALE MEASURES HUNDRED FEET
 ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS



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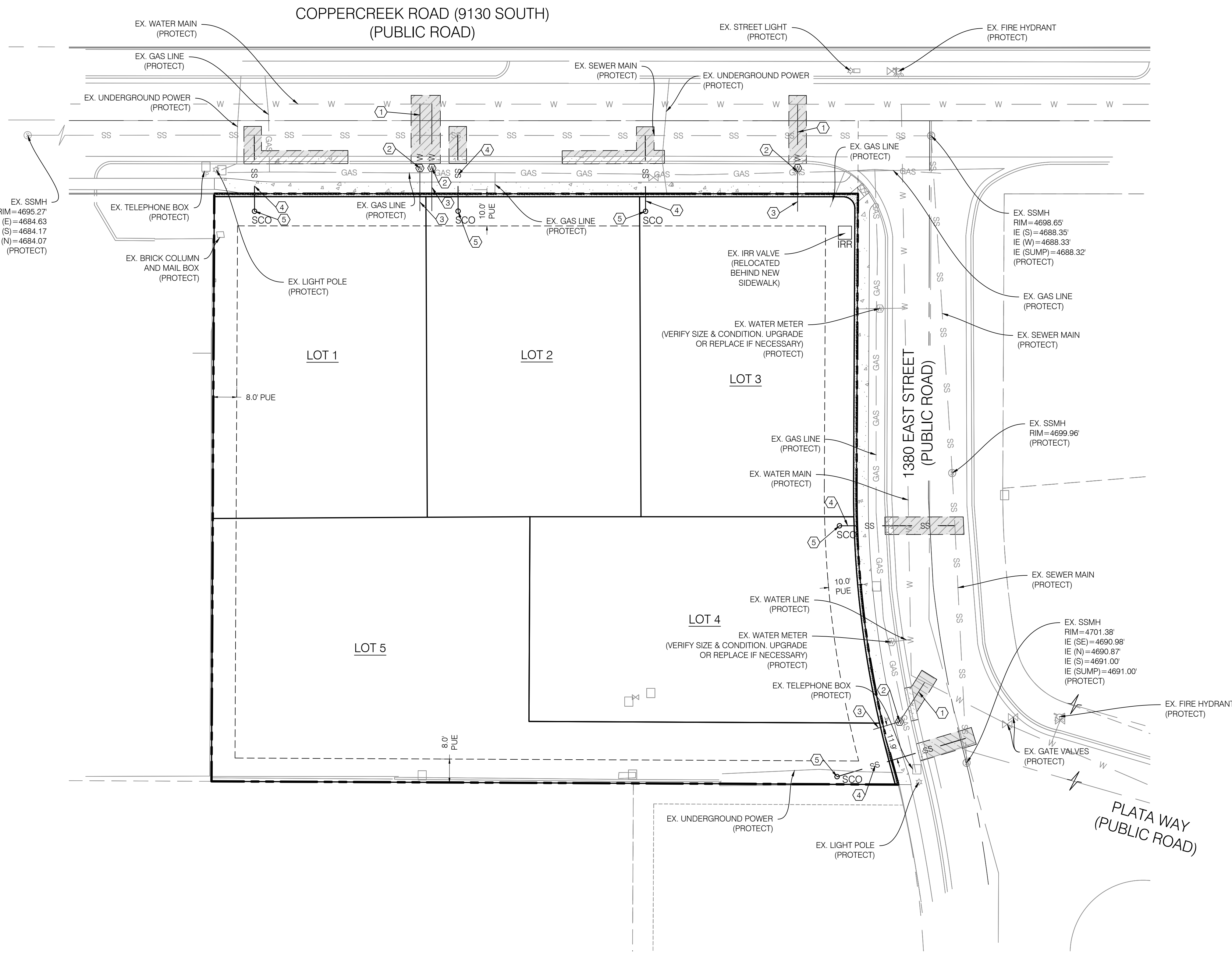
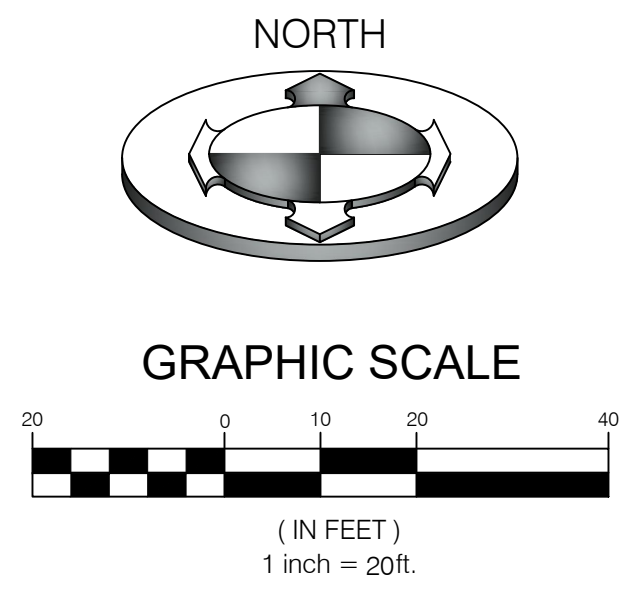
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PROJECT NO.	2509166
SITE PLAN	
CSP.01 5 OF 11	





CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
①	3/4\"	
②	3/4\"	6/CDT.01
③	3/4\"	
④	4\"	2/CDT.02
⑤	SEWER CLEAN OUT PER CID #D4A	1/CDT.02

NOTE:
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION. NOTIFY ENGINEER FOR REDESIGN IF CONNECTION POINT IS HIGHER THAN SHOWN OR IF ANY UTILITY CONFLICTS OCCUR. GRAVITY CONNECTIONS MUST BE DONE PRIOR TO BUILDING FOOTINGS AND ROUGH PLUMBING ARE CONSTRUCTED.

EXISTING UTILITIES NOTE:
EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF ENGINEERS KNOWLEDGE, HOWEVER IT IS THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES IN FIELD. POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. NOTIFY ENGINEER IF DISCREPANCIES OR CONFLICTS EXIST PRIOR TO CONTINUING ANY CONSTRUCTION.

NOTE:
WATER METERS SHALL NOT BE INSTALLED IN DRIVEWAYS.

NOTE:
UTILITY BOXES ARE TO BE PLACED AT LEAST 5' BEHIND THE ROW AND NEAR SIDE PROPERTY LINES.

WATER NOTES:

1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
4. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE CONSULTING ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, METERS, BOXES, VAULTS, VALVES, FIRE HYDRANTS, BLOWOFFS, VAULTS, ETC. RELATING TO THE WATER SYSTEM. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
5. CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
6. LOCATE WATER LINE 4-FEET OFF LIP OF GUTTER ON THE NORTH AND/OR EAST SIDE OF ROADWAY.
7. A MINIMUM OF 48-INCHES AND A MAXIMUM OF 60-INCHES OF COVER FROM THE TOP OF THE PIPE TO THE FINISH GRADE IS REQUIRED.
8. FOR DUCTILE IRON PIPE, USE THICKNESS CLASS 52 OR BETTER
9. FOR POLYVINYL CHLORIDE (PVC) PIPE, USE CLASS DR-14 OR BETTER. 10 GAUGE WIRE SHALL BE PLACED ON TOP OF THE PIPE (PER SANDY CITY SPECIFICATIONS) FOR FUTURE RELOCATION. NO DEFLECTION IN PIPE JOINTS WILL BE ALLOWED ON PVC PIPES
10. ALL MECHANICAL JOINTS MUST BE RESTRAINED USING MEGA LUGS OR APPROVED EQUAL.
11. USE 6-INCH COMPRESSION TYPE HYDRANT BY MUELLER CENTURION OR CLOW MEDALLION. EXISTING HYDRANTS REQUIRED FOR FIRE PROTECTION THAT DO NOT MEET CURRENT STANDARDS SHALL BE UPGRADED TO MEET CURRENT SANDY CITY STANDARDS AND SPECIFICATIONS
12. WHEN THE DISTANCE FROM THE WATER MAIN TO THE FIRE HYDRANT IS GREATER THAN 6-FEET AN ADDITIONAL AUXILIARY VALVE SHALL BE FLANGED TO THE FIRE HYDRANT.
13. ALL DEAD ENDS SHALL BE PLUGGED WITH A 2-INCH WASHOUT OR END WITH A FIRE HYDRANT.
14. ALL DUCTILE IRON WATER LINES, FITTING, AND VALVES SHALL BE POLY-BAGGED IN ACCORDANCE WITH SANDY CITY STANDARDS AND SPECIFICATIONS
15. ALL WATER LINES SHALL BE BEDDED WITH SAND (6-INCHES MINIMUM BELOW AND 12-INCHES MINIMUM ON EACH SIDE AND ON TOP OF THE PIPE).
16. WATER METERS SHALL NOT BE INSTALLED IN DRIVEWAY

PROJECT NO.		2509166	
UTILITY		PLAN	
CUP.01		6 OF 11	

PROFESSIONAL ENGINEER
No. 11366833
ALLISON G. ALBERT
STATE OF UTAH
NOT FOR CONSTRUCTION

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ENGINEERING & LAND SURVEYING
9138 SOUTH STATE STREET SUITE #100
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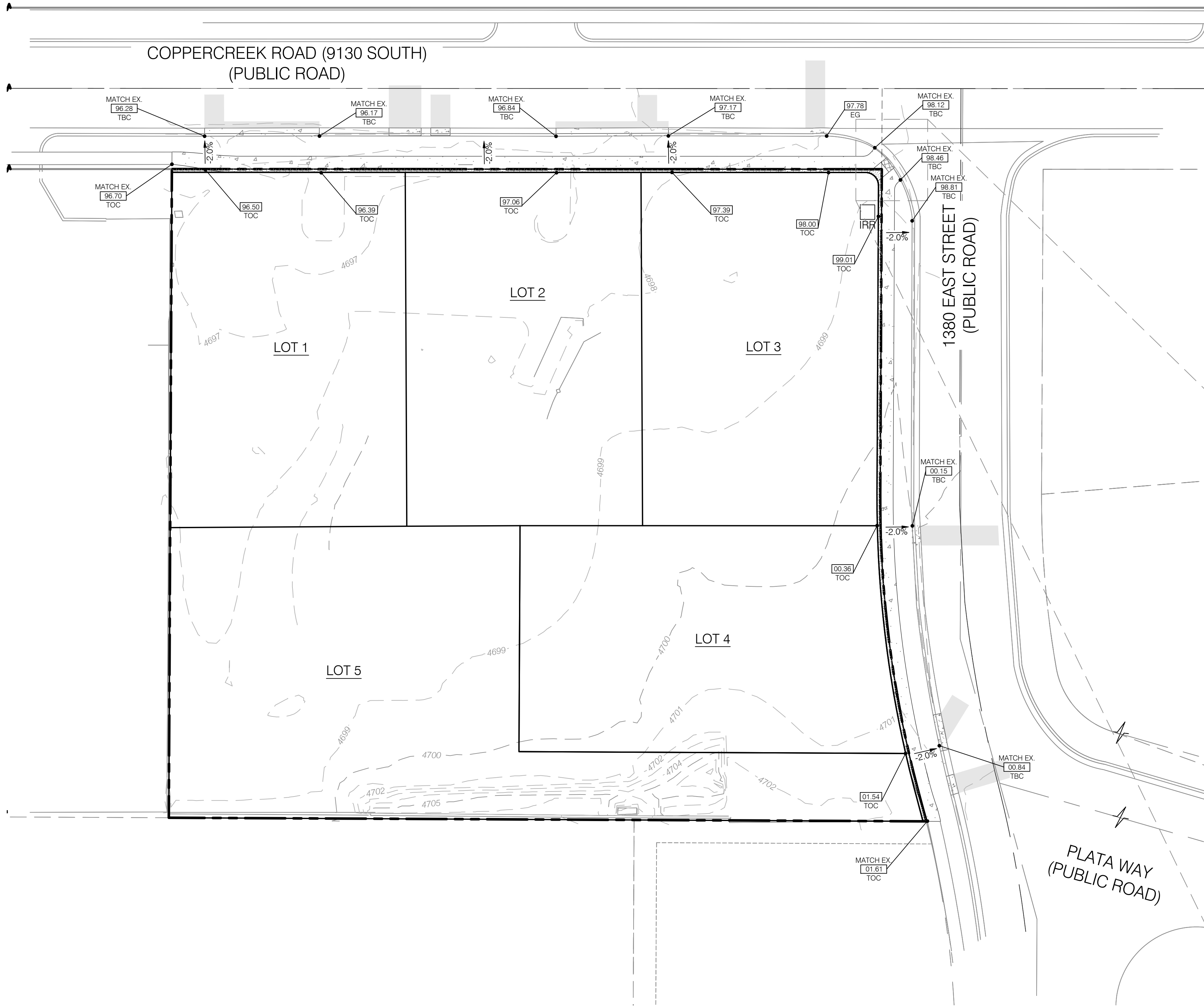
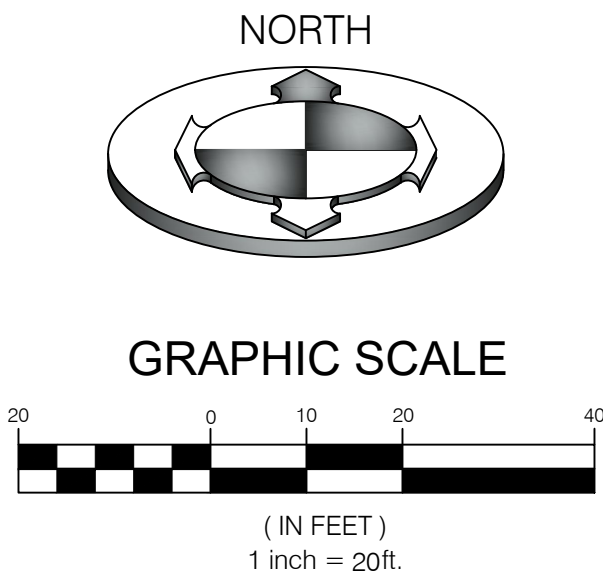


GRADING AND DRAINAGE KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
①	GRADE SITE TO ELEVATIONS SHOWN ON PLAN	

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS TO EXISTING GRADE ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION, EXTENT OF SAWCUTTING, AND TIE-IN SLOPES TO EXISTING GRADE PRIOR TO CONSTRUCTION. IT IS THE INTENT ON THESE PLANS THAT ALL PAVEMENT SHALL TIE INTO EXISTING GRADE PER SLOPES LISTED ON CGN.01 NOTE 70. SEE NOTES 66, 70, 82, & 83 ON CGN.01 FOR FURTHER DETAIL.

NOTE:
EACH RESIDENTIAL LOT IS REQUIRED TO RETAIN STORM WATER ON SITE, EXCEPT FOR THE PORTION OF THE LOT THAT DRAINS TOWARD THE STREET AND/OR TO SUBDIVISION STORM WATER FLOW CONTROL FEATURE(S) AS LONG AS THE DOWNSTREAM STORM WATER SYSTEM CAN ACCOMMODATE THE FLOWS. DURING AND AFTER CONSTRUCTION, THIS CAN BE ACCOMPLISHED BY USE OF SWALES, RETENTION AREAS, BERMS, PLANTER BEDS, UNDERGROUND INFILTRATION, ETC.

SURVEY CONTROL NOTE:
THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.



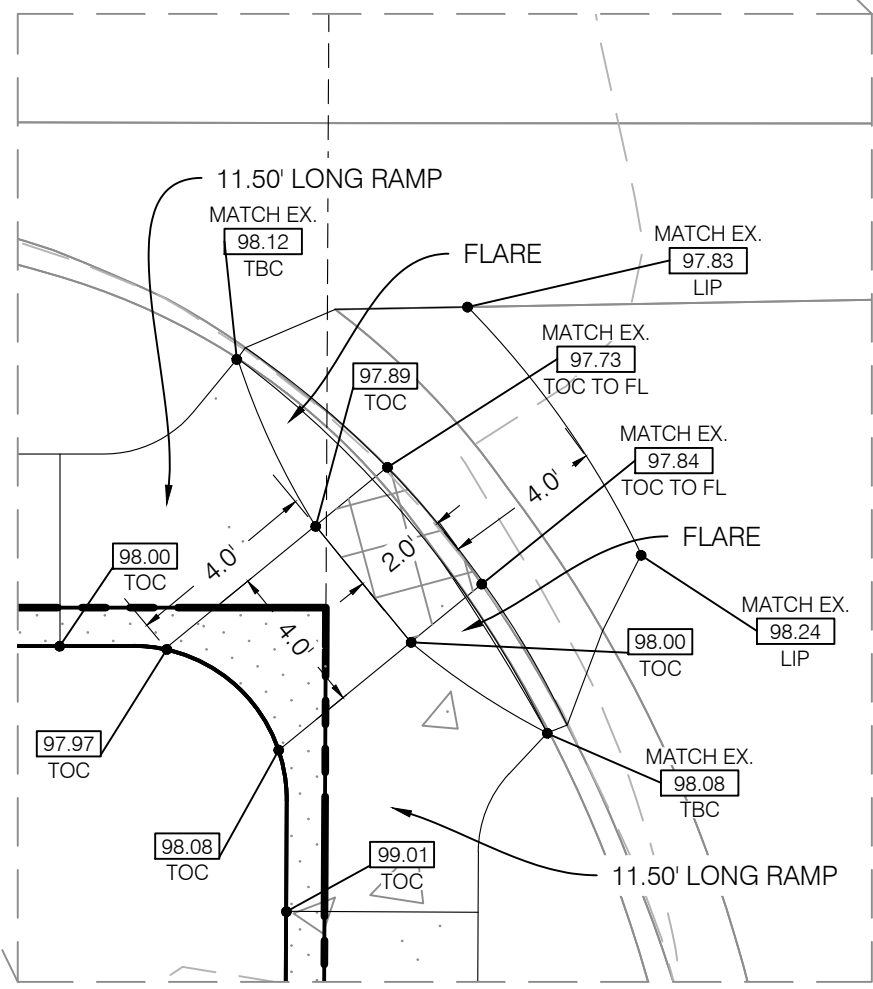
STORM WATER NOTES:

1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
4. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE CONSULTING ENGINEER FOR ALL BEDDING, BACKFILL, PIPE AND STRUCTURES (INLET BOXES, COMBO BOXES, AND JUNCTION BOXES). SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
5. CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
6. ALL MATERIALS AND WORK DONE IN UDOT RIGHT-OF-WAY SHALL CONFORM TO UDOT STANDARDS AND SPECIFICATIONS.
7. NON-SHRINK GROUT SHALL BE USED WHEREVER GROUT IS REQUIRED FOR THE STORM DRAIN FACILITIES.
8. CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE AND GROUT AT CONNECTION OF PIPE TO BOX TO A SMOOTH FINISH. ADDITIONALLY, ALL JAGGED OR SHARP EDGES AT PIPE CONNECTIONS ARE TO BE REMOVED AND GROUTED SMOOTH.
9. GROUT BETWEEN GRADE RINGS. FOR EACH INLET BOX THAT IS LOCATED NEXT TO A CURB, THE CURB AND GUTTER CONTRACTOR IS RESPONSIBLE TO REMOVE ALL PROTRUDING, JAGGED OR SHARP CONCRETE EDGES AND TO GROUT BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX. GROUT TO CREATE A SMOOTH, BEVELED TRANSITION AT ALL EDGES IN CLEAN OUT AND INLET BOXES. GROUT AROUND ALL EDGES OF THE RESTRICTIVE ORIFICE PLATE.
10. REMOVE SNAP TIES, NAILS, REBAR AND OTHER PROTRUSIONS FROM THE BOX OR PIPE INSIDE SURFACE, AS WELL AS ALL FORM WORK, PLASTIC AND CARDBOARD.
11. SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL INLET BOXES, COMBO BOXES, JUNCTION BOXES AND PIPE. THE BOXES AND PIPES ARE TO BE MAINTAINED IN A CLEAN CONDITION UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
12. CLEAN OFF ALL MANHOLE LIDS AND INLET GRATES OF ASPHALT, CONCRETE, TAR OR OTHER ADHESIVES TO ALLOW ACCESS.
13. WHERE A SUMP IS REQUIRED, THE SANDY CITY PUBLIC UTILITIES INSPECTOR SHALL BE CONTACTED PRIOR TO CONSTRUCTION TO PROVIDE AN OPPORTUNITY TO CHECK THE VOLUME OF GRAVEL AND GRAVEL GRADATION.
14. SIGNS MUST BE POSTED NEAR EACH INLET BOX LOCATED IN A DRINKING WATER RECHARGE ZONE WITH THE FOLLOWING WORDS "WARNING THIS IS A DRINKING WATER AQUIFER RECHARGE AREA. DISPOSAL OF ANY WASTE MATERIALS IN THE STORM WATER IS STRICTLY PROHIBITED."
15. ALL INLET, COMBO, AND JUNCTION BOXES SHALL BE PLACED ON 12-INCH (MIN.) COMPACTED STABILIZATION MATERIAL.
16. A VIDEO OF ALL PIPES MUST BE COMPLETED BEFORE THE 80% OR 90% BOND RELEASE AND AGAIN BEFORE FINAL BOND RELEASE.
17. A REPRESENTATIVE OF THE MANUFACTURER OR SUPPLIER SHALL BE ON-SITE DURING INSTALLATION OF OIL/WATER SEPARATORS AND UNDERGROUND DETENTION/RETENTION SYSTEMS. THE MANUFACTURER OR SUPPLIER SHALL PROVIDE A LETTER STATING THAT THE SYSTEM WAS INSTALLED PER MANUFACTURER'S SPECIFICATIONS. IF IT IS UNKNOWN WHETHER A REPRESENTATIVE IS REQUIRED TO BE PRESENT DURING INSTALLATION, CONTACT THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
18. A LETTER FROM THE CONSULTANT ENGINEER IS REQUIRED TO BE SUBMITTED TO SANDY CITY PUBLIC UTILITIES DEPARTMENT, PRIOR TO 90% BOND RELEASE, VERIFYING THAT THE VOLUME FOR RETENTION/DETENTION PONDS WAS INSTALLED PER THE APPROVED PLANS.

EXISTING UTILITIES NOTE:
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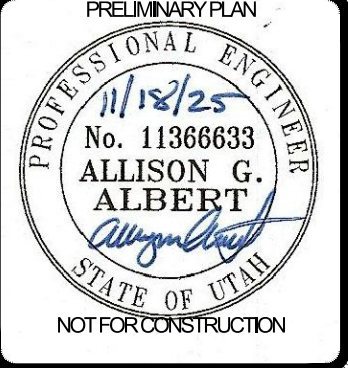
BENCHMARK:
WEST QUARTER CORNER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN (FOUND 2.5" FLAT BRASS MONUMENT WITH RING AND LID)
NAVD88 - RTK BM=4687.80



ADA RAMP DETAIL
SCALE: 1 inch = 5ft.



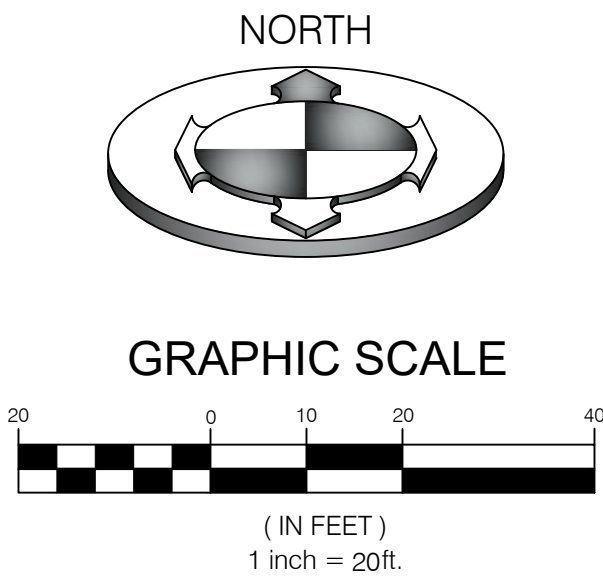
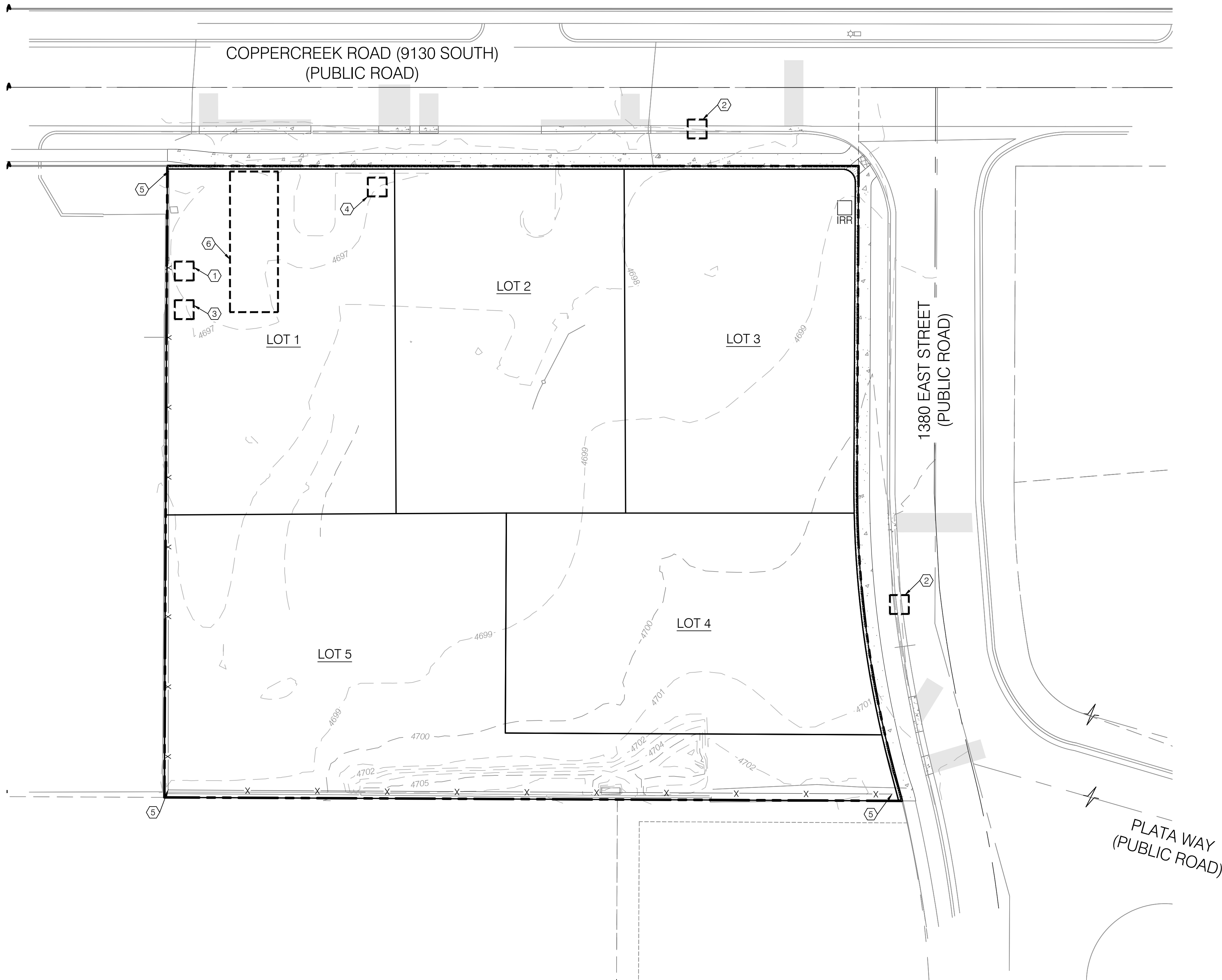
DESCRIPTION		DATE	
DRAWN BY	DZB	CHECKED BY	AGA
DESIGNED BY	SC	DATE	11/18/2025
PROJECT NO.	2509166	DATE	11/18/2025
PROJECT NAME	2509166 SITE	DATE	11/18/2025
SCALE	1" = 20'	DATE	11/18/2025
SCALE MEASURES	1" ON FULL SIZE SHEET = 20'	DATE	11/18/2025
ADJUST	ADJUST ACCORDING TO REDUCED SIZE SHEETS	DATE	11/18/2025



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PROJECT NO.	2509166
GRADING & DRAINAGE PLAN	
CGD.01 7 OF 11	

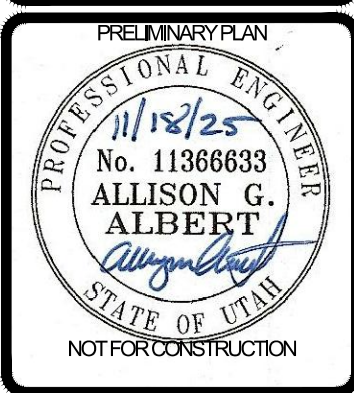


SWPPP KEY NOTES REFERENCE		
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.		
NO	DESCRIPTION	DETAIL
①	CONCRETE WASTE MANAGEMENT	1/CEP.02
②	INLET PROTECTION WATTLE	2/CEP.02
③	MATERIALS STORAGE	3/CEP.02
④	PORTABLE TOILETS	4/CEP.02
⑤	SILT FENCE	6/CEP.02
⑥	TEMPORARY CONSTRUCTION ENTRANCE	7/CEP.02

NOTE:
CONTRACTOR SHALL INSTALL EROSION CONTROLS (SILT FENCES, STRAW BALES, ETC) AS REQUIRED BY REGULATORY AGENCIES. SAID CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH AGENCY STANDARDS AND FOLLOWING BEST MANAGEMENT PRACTICES FOR ACTUAL PLACEMENT ON SITE. STRAW BALES SHOWN ON THESE DRAWINGS ARE INTENDED AS A MINIMUM REQUIREMENT. ADDITIONAL CONTROLS REQUESTED BY AGENCY INSPECTORS SHALL BE REQUIRED. DUST CONTROL SHALL BE PROVIDED AT ALL TIMES, AT THE CONTRACTOR'S EXPENSE, TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.



DESCRIPTION		NO	DATE
DRAWN BY	DZB		
CHECKED BY	AGA		
DESIGNED BY	SC		
DATE	11/18/2025		
DWG FILE	2509166 SITE		
SCALE: MEASURES SHOWN ON FULL SIZE SHEETS ADJUST ACCORDANCE FOR REDUCED SIZE SHEETS			



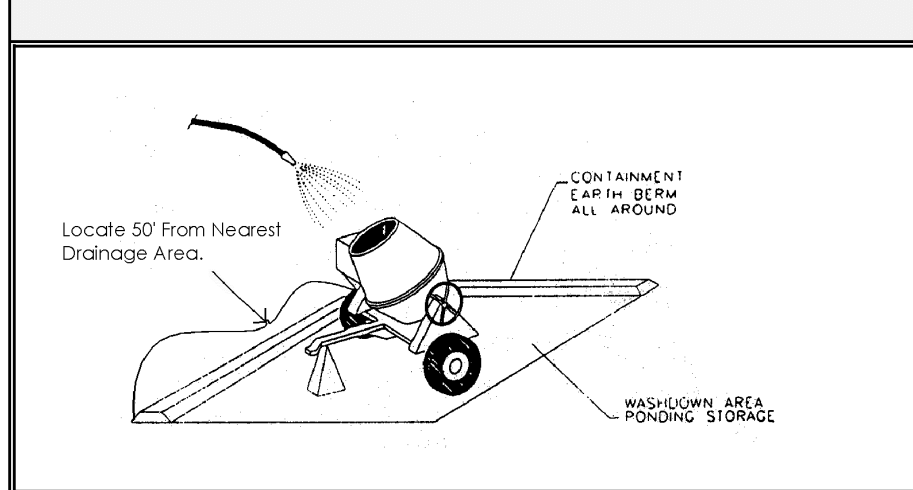
BENCHMARK
ENGINEERING &
LAND SURVEYING
9138 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

BENCHMARK CIVIL

SEQUOIA COVE
1368 EAST COPPERCREEK RD
SANDY CITY, UTAH

PROJECT NO. 2509166
EROSION CONTROL PLAN
CEP.01
8 OF 11

BMP: Concrete Waste Management



DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATIONS:
This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement on-site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier Information Sheet.)
- Train employees and subcontractors in proper concrete waste management.

LIMITATIONS:

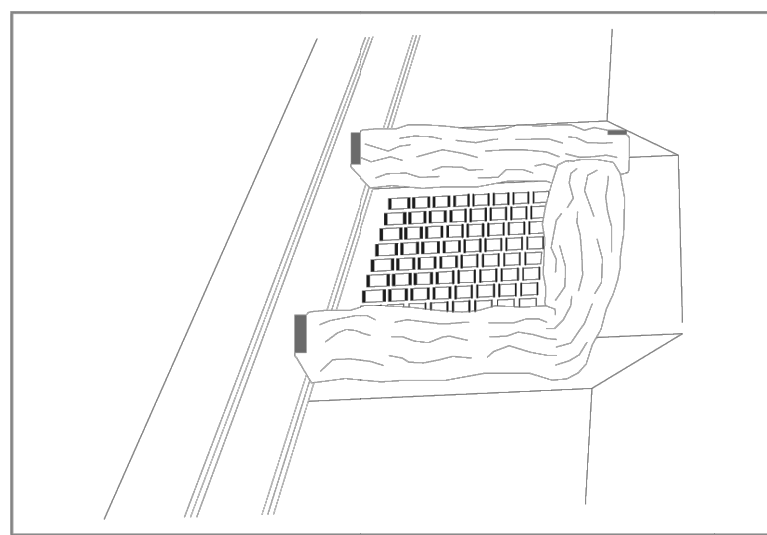
- Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

BMP: Inlet Protection – Wattle

IP-W
CONSTRUCTION



DESCRIPTION:
Sediment barrier erected around storm drain inlet.

APPLICATION:
Construct at storm drainage inlets located down-gradient of areas to be disturbed by construction.

INSTALLATION/APPLICATION CRITERIA:

- ◆ Provide up-gradient sediment controls, such as silt fence during construction of inlet
- ◆ When construction of curb and gutter and roadways is complete, install gravel filled wattles around perimeter of inlet

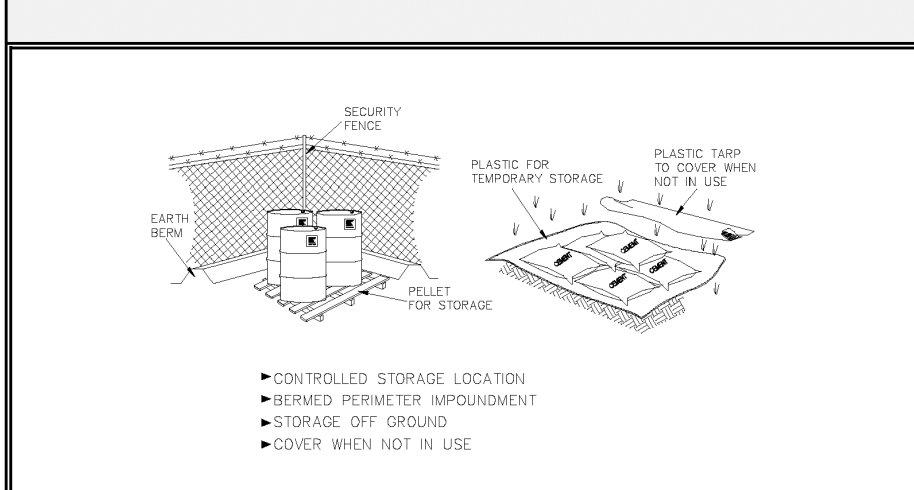
LIMITATIONS:

- ◆ Recommended maximum contributing drainage area of one acre
- ◆ Requires shallow slopes adjacent to inlet

MAINTENANCE:

- ◆ Inspect inlet protection following storm event and at a minimum of once every 14 days.
- ◆ Remove accumulated sediment when it reaches 4 inches in depth.
- ◆ Look for bypassing or undercutting and repair or realign as needed.

BMP: Materials Storage



DESCRIPTION:
Controlled storage of on-site materials.

APPLICATION:

- Storage of hazardous, toxic, and all chemical substances.
- Any construction site with outside storage of materials.

INSTALLATION/APPLICATION CRITERIA:

- Designate a secured area with limited access as the storage location. Ensure no waterways or drainage paths are nearby.
- Construct compacted earthen berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills.
- Ensure all on-site personnel utilize designated storage area. Do not store excessive amounts of material that will not be utilized on site.
- For active use of materials away from the storage area ensure materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use.

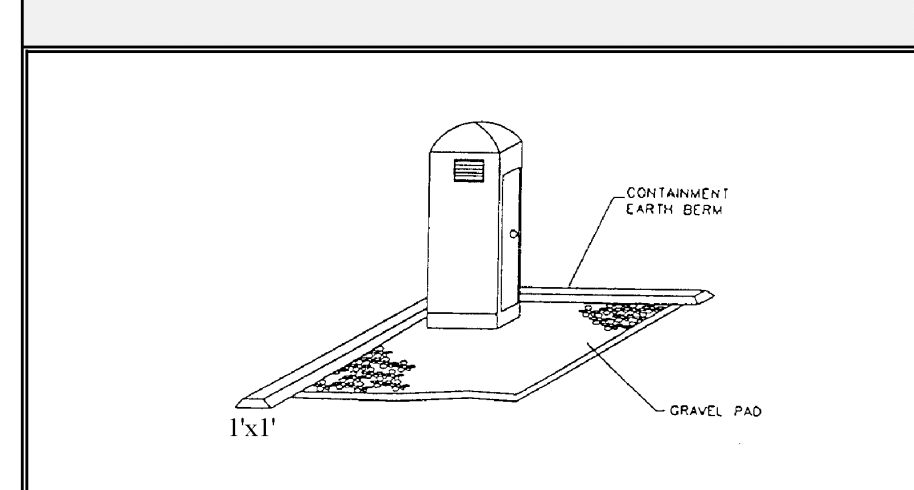
LIMITATIONS:

- Does not prevent contamination due to mishandling of products.
- Spill Prevention and Response Plan still required.
- Only effective if materials are actively stored in controlled location.

MAINTENANCE:

- Inspect daily and repair any damage to perimeter impoundment or security fencing.
- Check materials are being correctly stored (i.e. standing upright, in labeled containers, lightly capped) and that no materials are being stored away from the designated location.

BMP: Portable Toilets



DESCRIPTION:
Temporary on-site sanitary facilities for construction personnel.

APPLICATION:
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

INSTALLATION/APPLICATION CRITERIA:

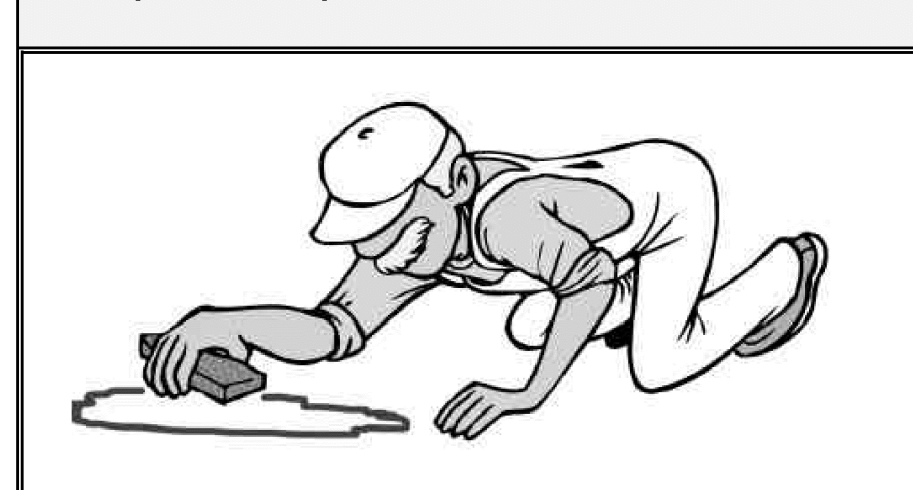
- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- Construct earth berm perimeter (See Earth Berm Barrier Information Sheet), control for spill/protection leak.

LIMITATIONS:
No limitations.

MAINTENANCE:

- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

BMP: Spill Clean-Up



DESCRIPTION:
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

APPLICATION:
All sites

GENERAL:

- Store controlled materials within a storage area.
- Educate personnel on prevention and clean-up techniques.
- Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

METHODS:

- Clean-up spills/leaks immediately and remediate cause.
- Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
- Use rags or absorbent material for clean-up. Excavate contaminated soils.
- Dispose of clean-up material and soil as hazardous waste.
- Document all spills with date, location, substance, volume, actions taken and other pertinent data.
- Contact local Fire Department and State Division of Environmental Response and Remediation (Phone #536-4100) for any spill of reportable quantity.

CONCRETE WASTE MANAGEMENT ①

SCALE: NTS

INLET PROTECTION WATTLE ②

SCALE: NTS

MATERIALS STORAGE ③

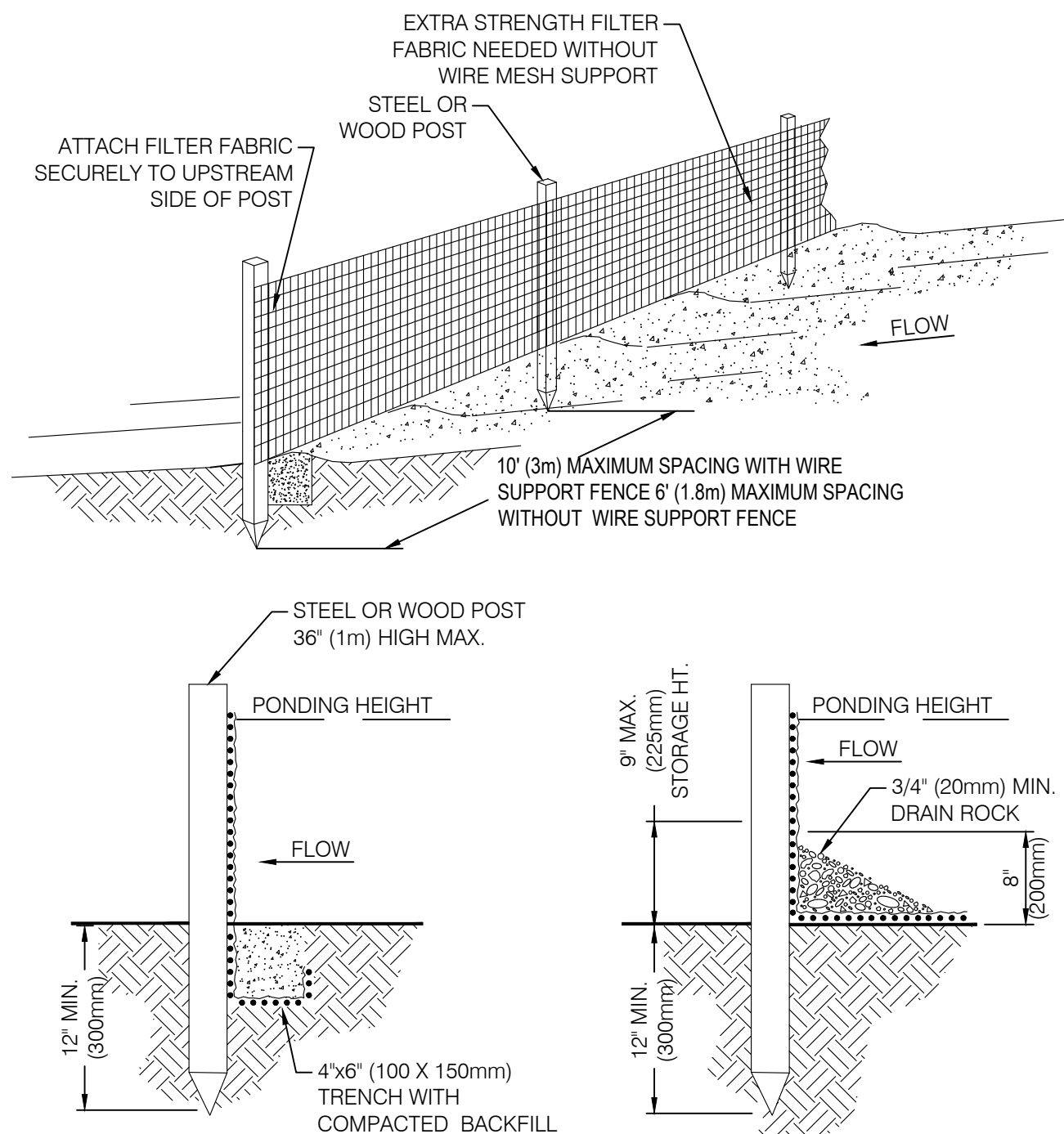
SCALE: NTS

PORTABLE TOILETS ④

SCALE: NTS

SPILL CLEAN UP ⑤

SCALE: NTS



TRENCH DETAIL

INSTALLATION WITHOUT TRENCHING

NOTES:

1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

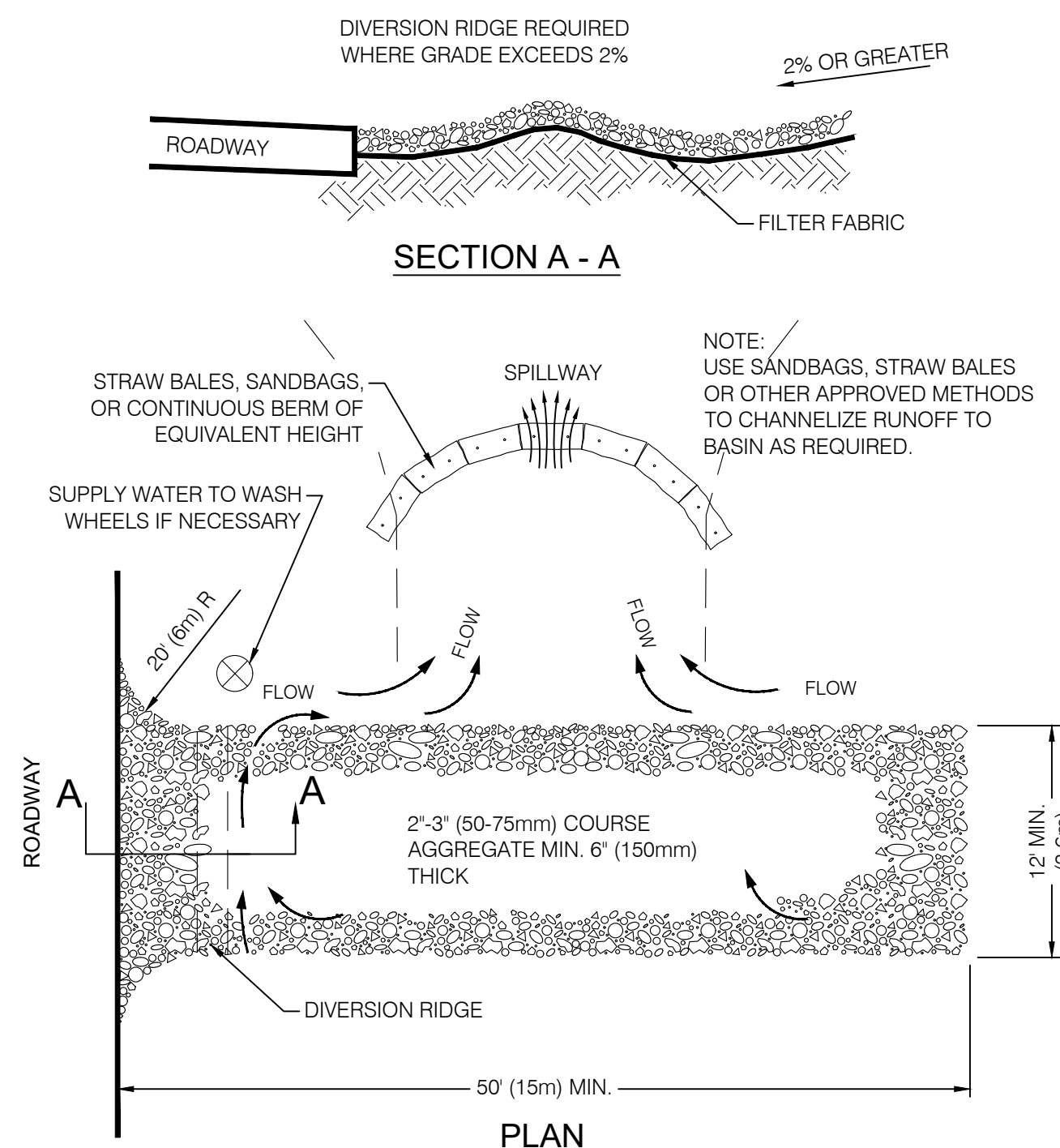
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9' (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.

3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

REF. FROM
1994 JOHN McCULLAH

SILT FENCE ⑥

SCALE: NTS



NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.

2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.

3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT ⑦

SCALE: NTS



"SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.)

NOTES:

- 1) THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.

- 2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-TO-TERMINATION (NOT) IS FILED FOR THE PERMIT.

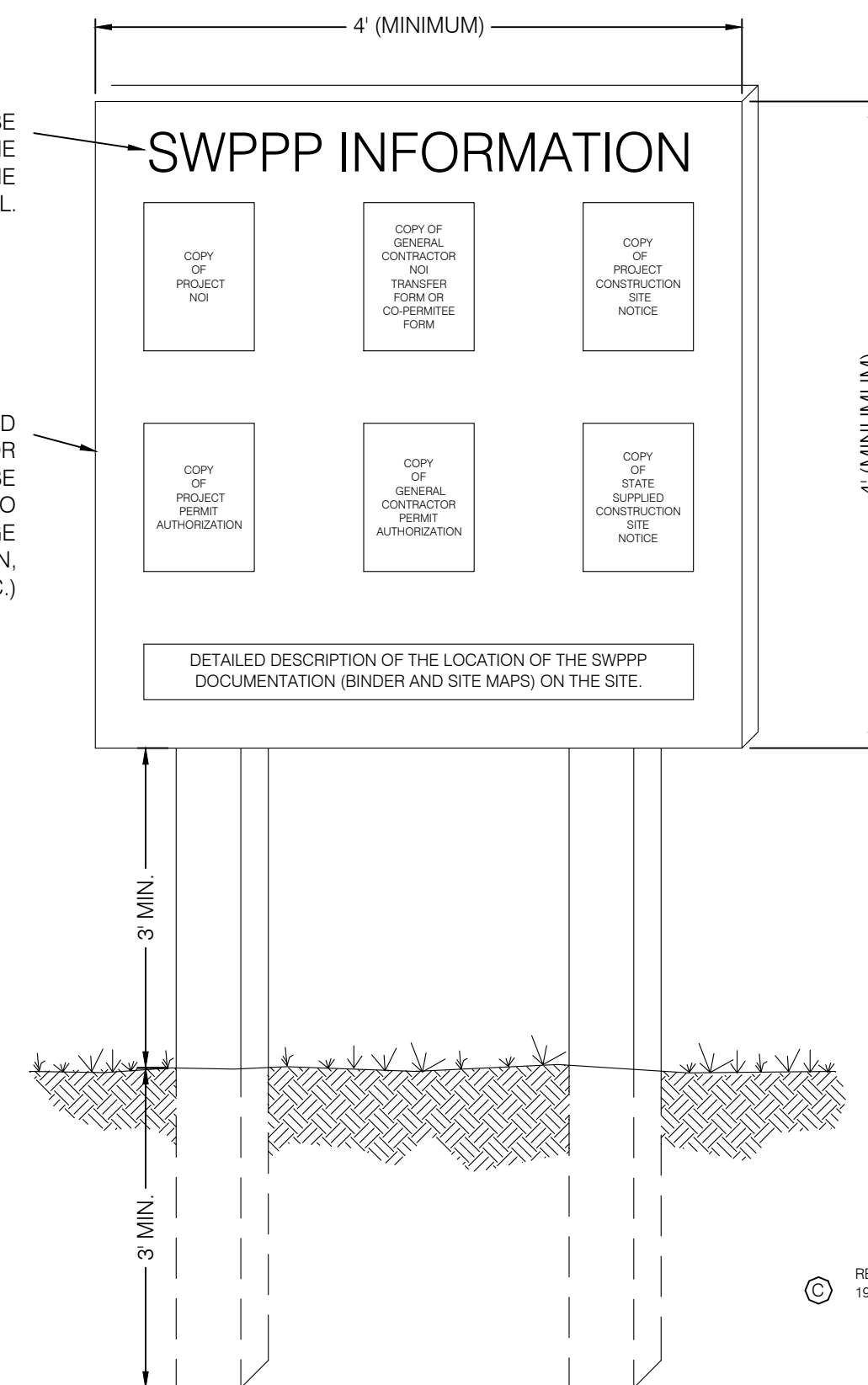
- 3) CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.

- 4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.

- 5) CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY IF THE SWPPP INFORMATION SIGN.

SWPPP INFORMATION SIGN ⑧

SCALE: NTS



REF. FROM
1994 JOHN McCULLAH

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

SCALE: MEASURES INCH ON FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS

CHECKED BY: AGA
DATE: 11/18/2025
DRAWN BY: 2509166 SITE

PROFESSIONAL ENGINEER
No. 11366633
ALLISON G. ALBERT
STATE OF UTAH
NOT FOR CONSTRUCTION

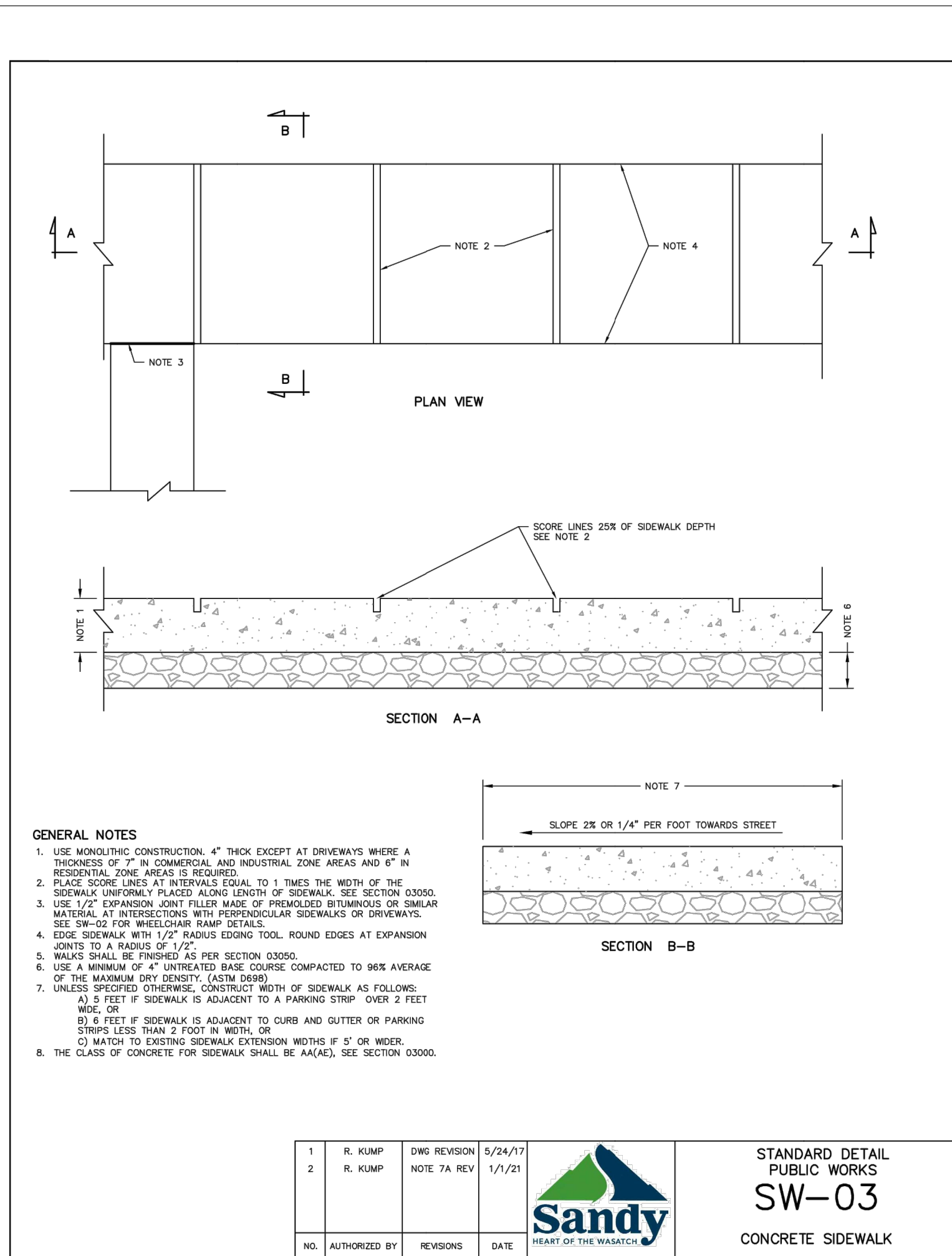
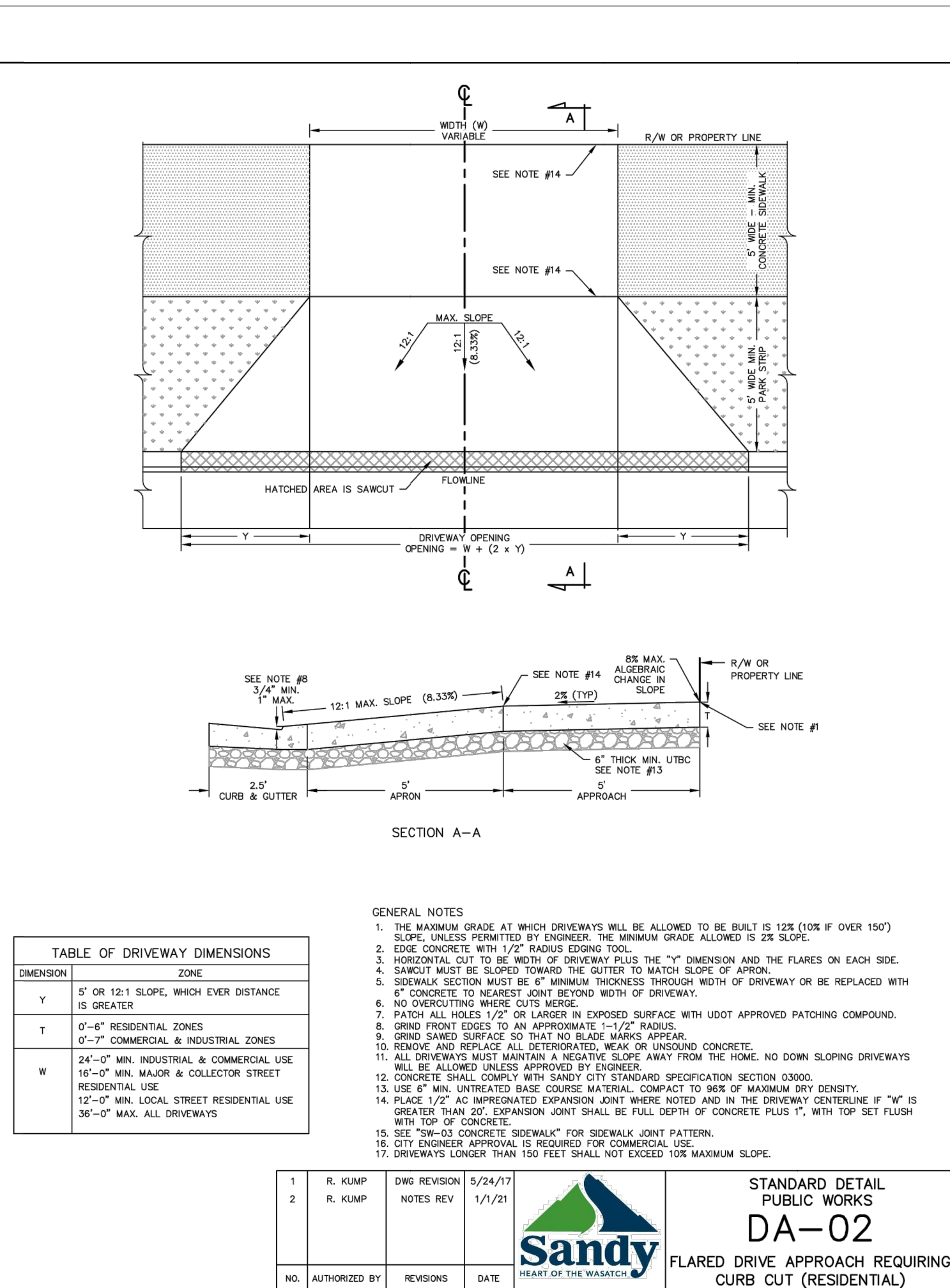
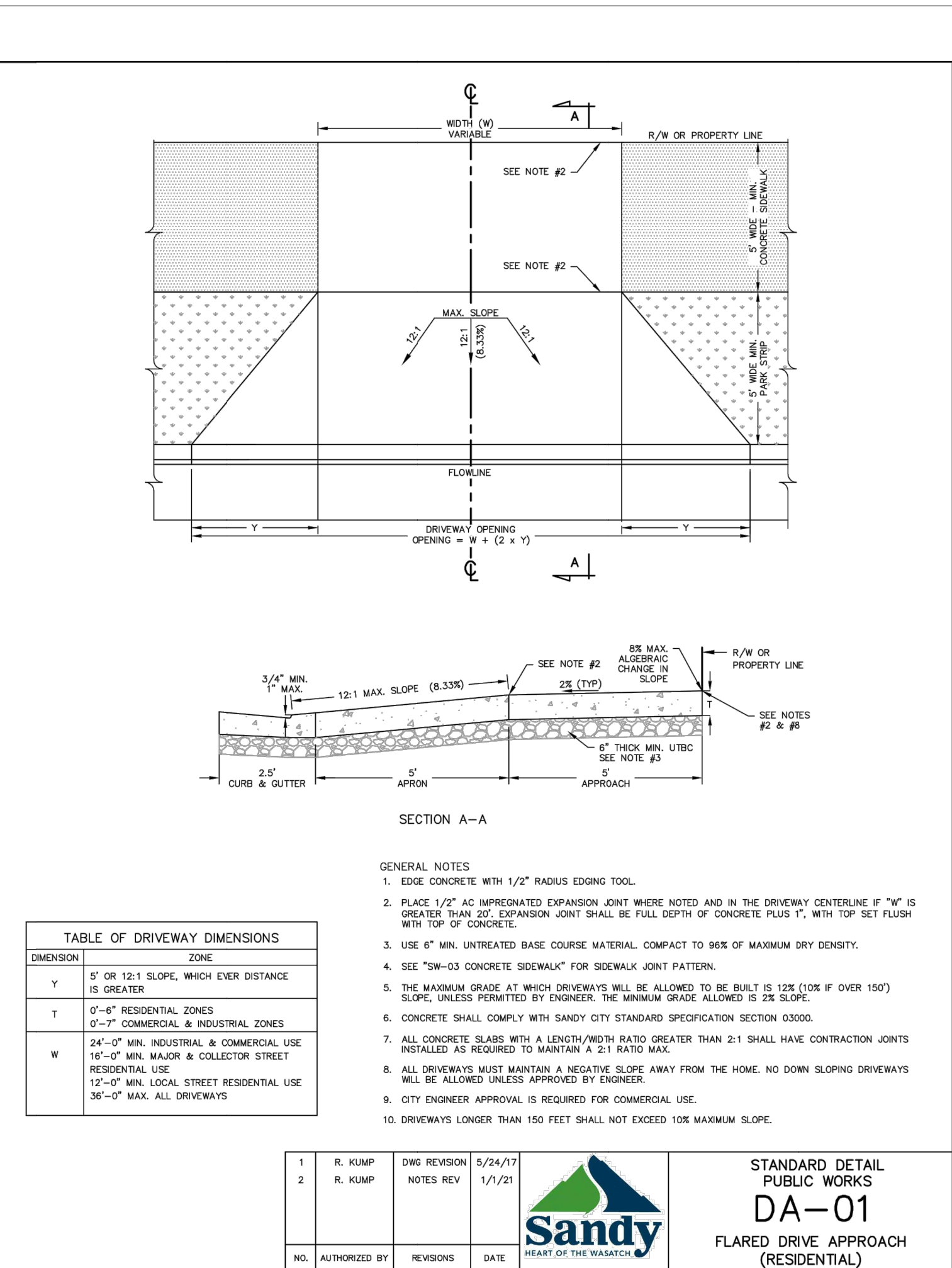
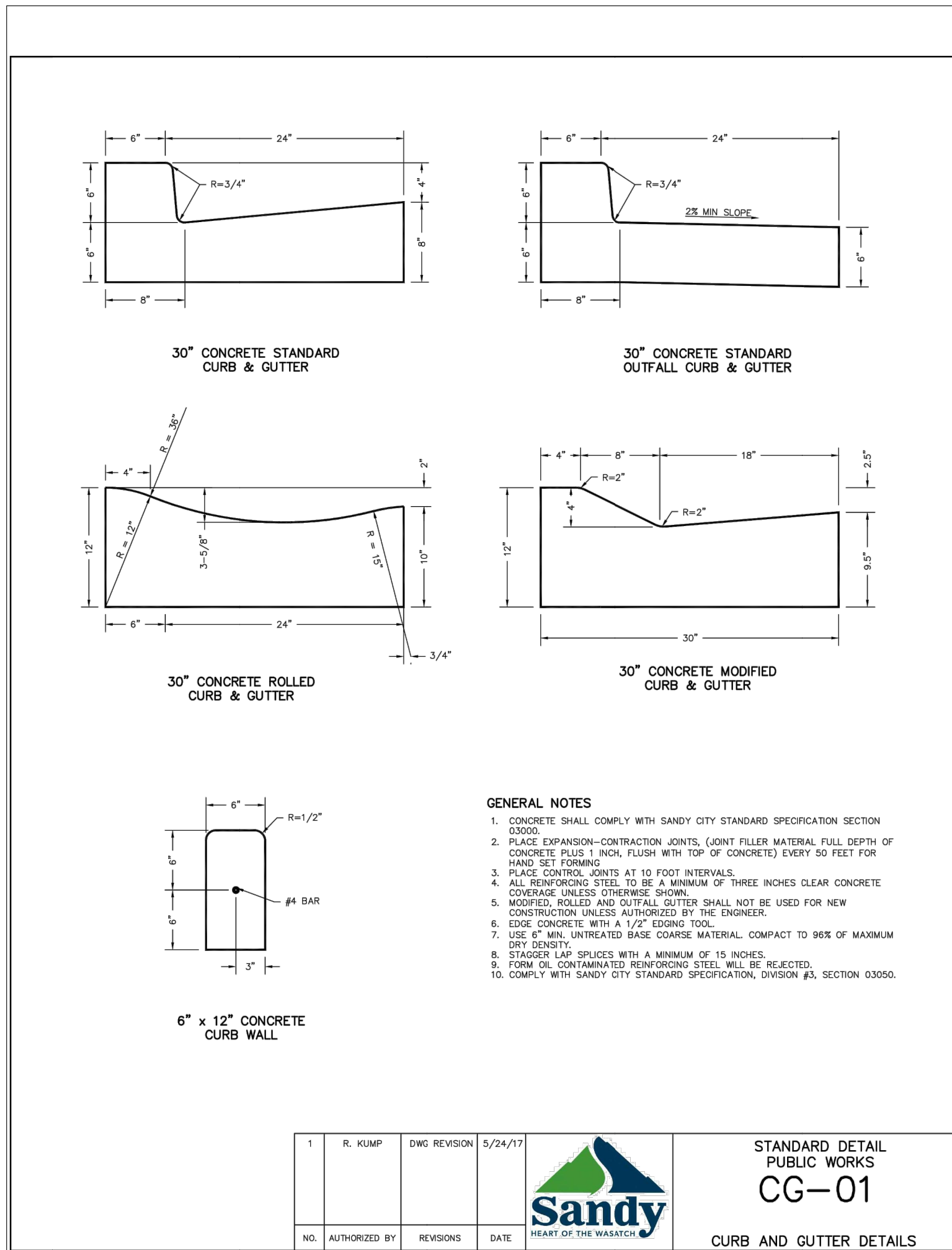
BENCHMARK
ENGINEERING &
LAND SURVEYING
9138 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

SEQUOIA COVE
1368 EAST COPPERCREEK RD
SANDY CITY, UTAH

PROJECT NO.: 2509166

EROSION CONTROL DETAILS

SEP.02
9 OF 11



30" STANDARD CURB & GUTTER

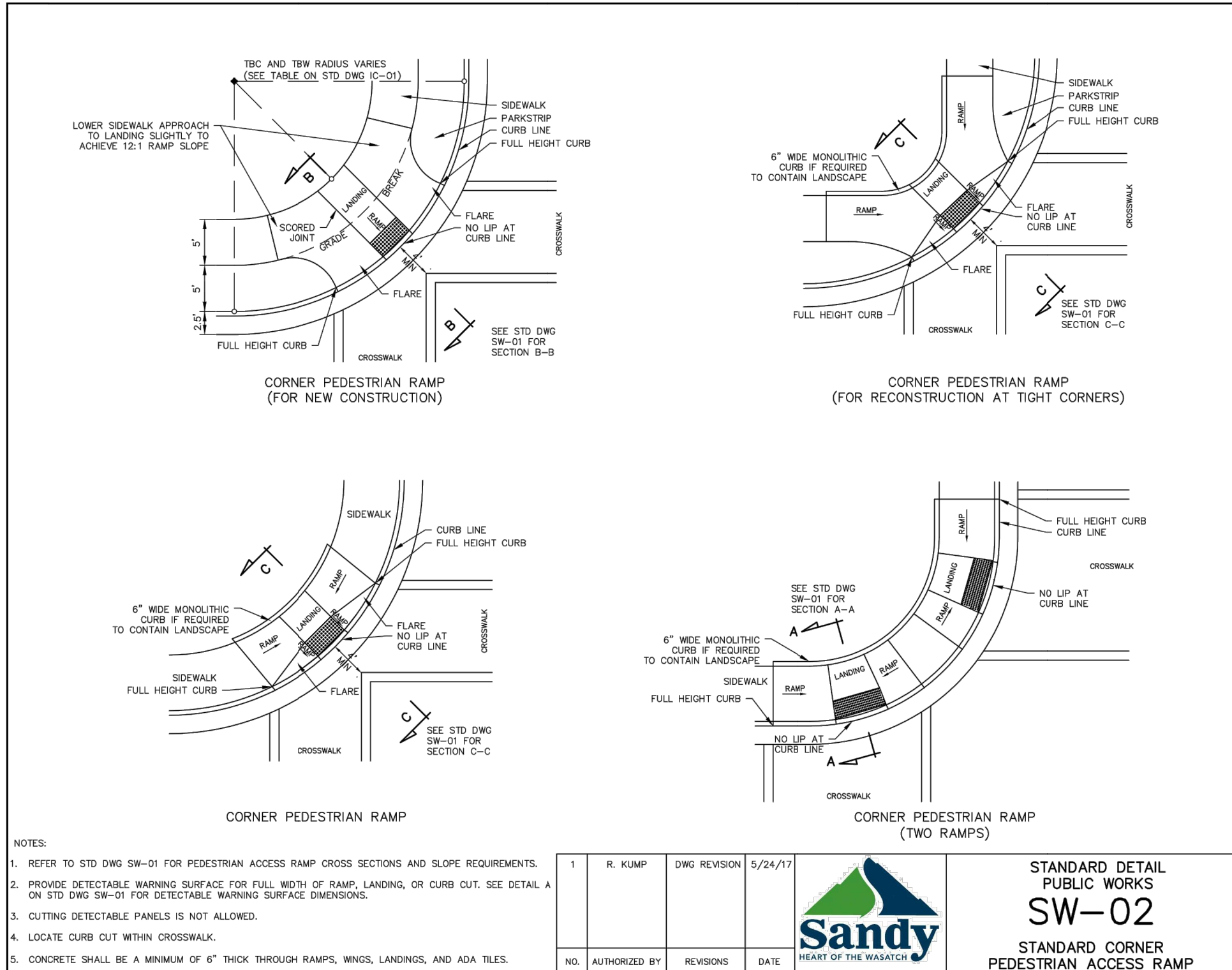
SCALE: NTS

FLARED DRIVE APPROACH

SCALE: NTS

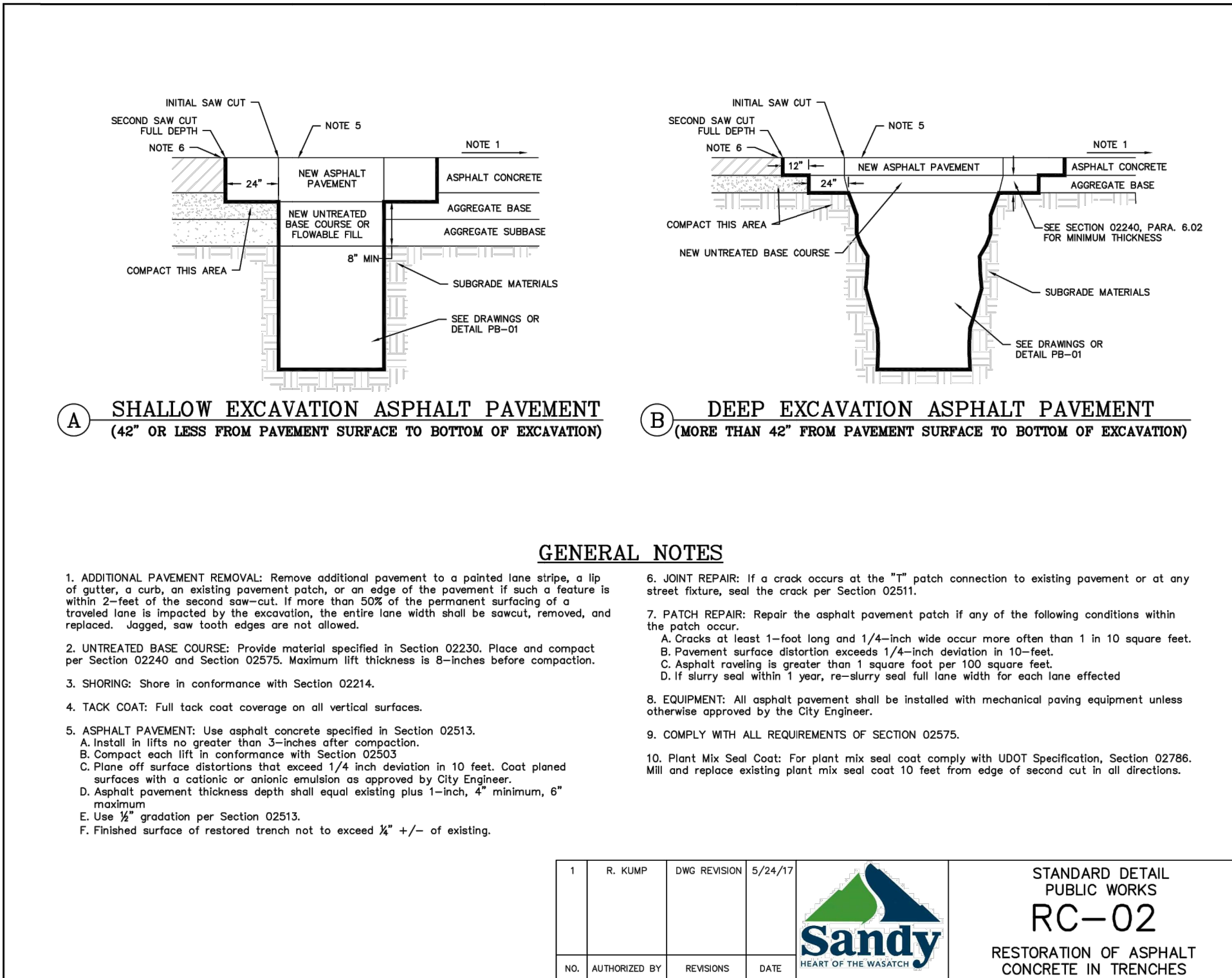
CONCRETE SIDEWALK

SCALE: NTS



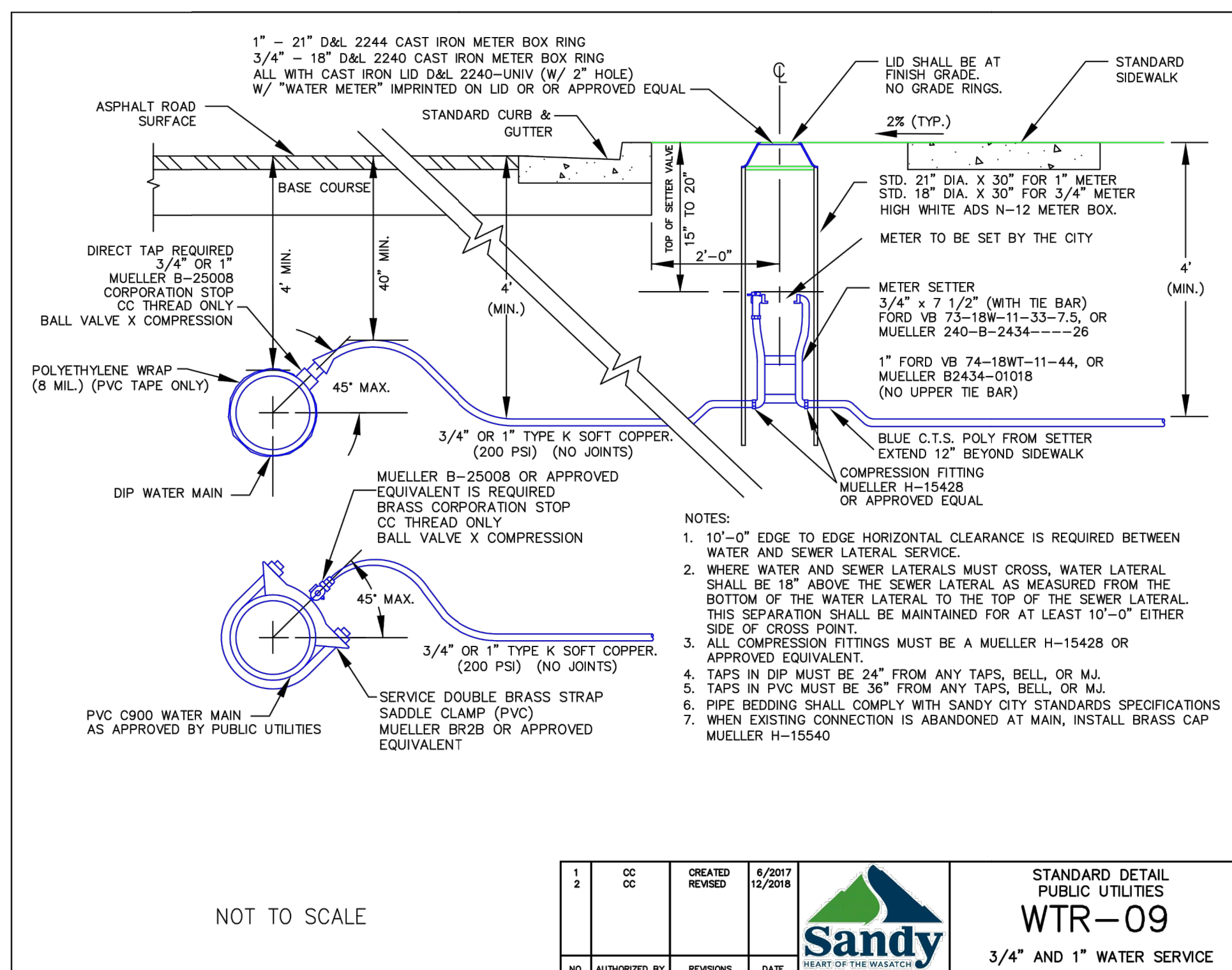
CORNER ADA RAMP

SCALE: NTS



ASPHALT SAWCT & REPAIR

SCALE: NTS



3/4" WATER METER

SCALE: NTS

39

SCALE MEASURES HIGH ON FULL SIZE SHEETS
ADJUST ACCORDING FOR REDUCED SIZE SHEETS

DRIVEWAY: DZB
CHECKED BY: AGA
REVIEWED BY: SC
DATE: 11/18/2025
DRAWN BY: 2509166 SITE
SCALE: 1" = 10'

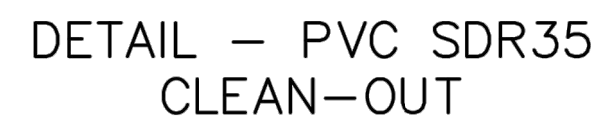
PRELIMINARY PLAN
PROFESSIONAL ENGINEER
No. 11368633
ALLISON G. ALBERT
STATE OF UTAH
NOT FOR CONSTRUCTION

BENCHMARK
ENGINEERING &
LAND SURVEYING
9138 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 542-1912
www.benchmarkcivil.com

SEQUOIA COVE
1368 EAST COPPERCREEK RD
SANDY CITY, UTAH

PROJECT NO.: 2509166

DETAIL
SHEET
CDT.01
10 OF 11



SEWER CLEANOUT

SCALE: NTS

1

1. "INSERTA-TEE" MAY BE USED FOR CONNECTION OF NEW SERVICE LINE TO EXISTING MAIN EXCEPT IN CASE WHERE A 6" SERVICE LINE IS TO BE CONNECTED TO AN 8" MAIN. A FACTORY TEE MUST BE USED IN ALL OTHER CASES.
2. IF SPECIAL CIRCUMSTANCES SUGGEST DEVIATING FROM THIS DETAIL, THE DISTRICT INSPECTOR OR ENGINEER MUST APPROVE CHANGES.
3. SLICE UNDER HAUNCHES OF PIPE TO FILL VOIDS. MECHANICALLY COMPACT GRAVEL.



SEWER SERVICE LATERAL (2)
SCALE: NTS



Staff Report

File #:

SUB08212024--006814,

Version: 1

Date: 2/5/2026

Agenda Item Title:

9272 Office Condominiums (Preliminary Review)

9272 S. 700 E.

[Community #4, Historic Sandy]

Presenter:

Thomas Irvin, Senior Planner

Description/Background:

The applicant, Brook Hintze with Alta Commercial, is representing the property owner Emporch, LLC. They are requesting preliminary subdivision review to create a commercial condominium from an existing office building located at 9272 S. 700 E. The request consists of subdividing interior spaces into twenty-two separately owned units along with associated common space.

For full details of the request, please see the attached staff report and materials.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission determine that preliminary review for the 9272 Office Condominiums located at 9272 S 700 E is substantially complete based on the following findings and subject to the following condition:

Findings:

1. That a Capitol Reserve Study has been provided that sufficiently ensures for the funding of the ongoing maintenance of the building and site improvements.
2. That the Chief Building Official has inspected the site and found it to be in compliance with the life safety provisions of the International Building Code and the International Fire Code.
3. That the various City Departments and Divisions have preliminarily approved the proposed condominium conversion subdivision plat.

Conditions:

1. That any previous conditions of approval from previous Site Plan applications on the subject property remain in full effect and fully enforceable.
2. That prior to recording the final condominium plat, all requirements of that pertain to condominium conversion be satisfied.

File #:
SUB08212024--006814,
Version: 1

Date: 2/5/2026

-
3. That all units comply with all requirements of the International Building Code regarding condominium conversions.
 4. That prior to plat recordation, that Staff review and approve the declaration of condominium, project bylaws, and the condominium plat. That these documents include all information required according to State Statute.
 5. That any required utility easements for this site be dedicated with the plat in accordance with the department review requirements.
 6. That the applicant complies with each department's comments and redlines throughout the final review process and that all issues be resolved before the condominium subdivision plat can be recorded.



JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

Staff Report Memorandum

February 5, 2026

To: Planning Commission
From: Community Development Department
Subject: 9272 Office Condominiums (Preliminary Review)
9272 S. 700 E.
(Community #4, Historic Sandy)

SUB08212024-006814
CC Zone
22 Condominium Units
52,368 Sq. Ft. Building

Public Meeting Notice:

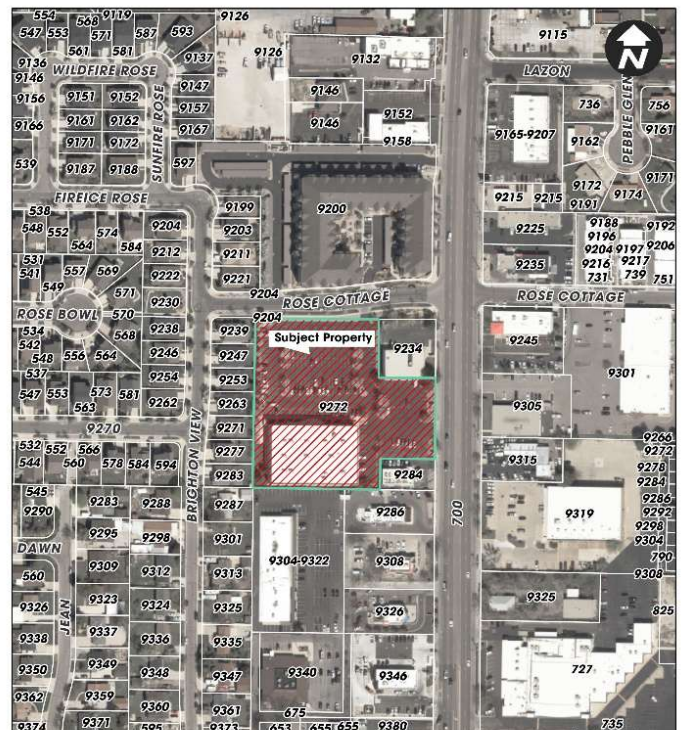
This item has been noticed to property owners within 500 feet of the subject area, on public websites, and a sign posted on site.

Request

The applicant, Brook Hintze with Alta Commercial, is representing the property owner Emporch, LLC. They are requesting preliminary subdivision review to create a commercial condominium from an existing office building located at 9272 S. 700 E. The request consists of subdividing interior spaces into twenty-two separately owned units along with associated common space. (See Exhibit "A" for Application Materials).

Background

This two-story commercial office building has become known as the Ranlife Building. It was originally built as a fitness center and was later converted into office use. It is zoned CC (Community Commercial District), consistent with the properties to the south and with those to the east across 700 East. To the west, the adjoining properties are zoned R-2-10 and are developed with single family residential lots under an overlay zone. To the north, across Rose Cottage Way, is The Cottages at 7th, a senior apartment community which is zoned mixed use (MU).



SUB08212024-006814
Condo Plat Only
9272 S 700 E

Community Development Department
Sandy City, UT

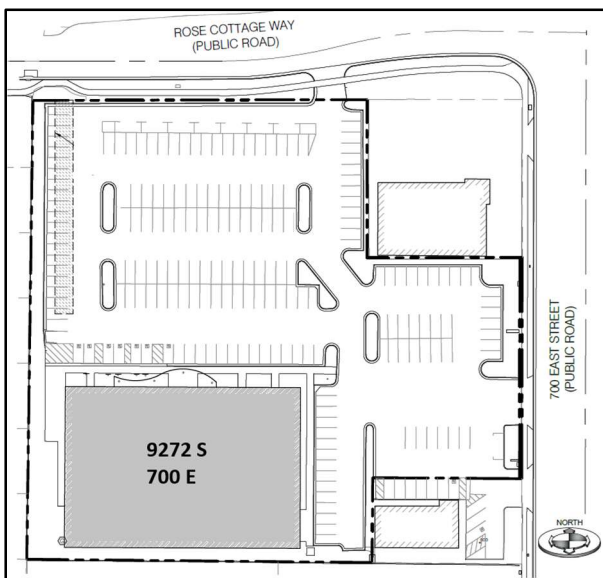
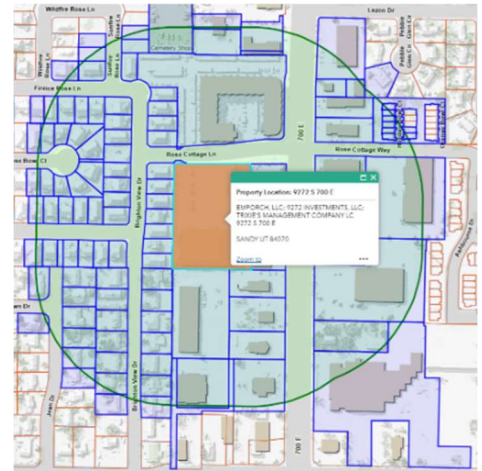
Property Case History	
Case Number	Case Summary
SPR#00-22	Lifestyle 2000 Health Club (later became a Gold's Gym)
SPR-09-13-2999	Conversion to Office Use (Ranlife) – Modified site plan and parking reduction request (12%)

Public Notice and Outreach

Notices were mailed to property owners within 500 feet of the subject property and affected entities. The notice was posted to the Utah Public Notice website and the city website. A physical copy of the notice was posted at City Hall, and a public notice sign was placed on the subject property. No neighborhood meeting was necessary.

Analysis

The applicant is proposing to divide the interior spaces of the existing building into 22 individually owned units. Shared common areas will be provided to ensure that each unit has direct egress without requiring passage through any other private space. The shared utility systems necessary for the proper operation of the facility are also shown as commonly owned spaces. The parking lot and site improvements will also be jointly owned for the use of all owners and their customers.



Sandy City's ordinance allows for the conversion of existing occupied commercial buildings into privately owned condominium spaces by complying with various conditions intended to ensure the structure meets life/safety requirements and provides for the needs of future owners.

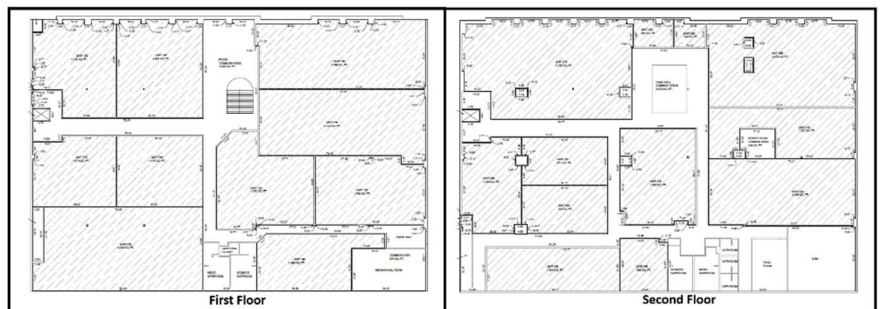
Report of Property Condition and Reserve Study.

State law requires that a reserve study be conducted and money be set aside for future capital improvements needed to maintain the overall building. In order to determine the amount of funding needed, a report of the condition of the existing building is needed that estimates the future needs of the building based upon its current condition.

The applicant has provided both the property report and reserve study. These have been reviewed by staff and found to adequately address the future needs of the property. (see Exhibit "B")

Report of the Building Official

Prior to approving an existing building to be subdivided into individual units, the Chief Building Official is required to inspect the project in order to determine compliance with the life safety provisions of the International Building Code and the International Fire



Code. This inspection has been completed, and the Building Official finds the structure to adequately meet basic life/safety requirements. (see Exhibit “C”)

Staff Recommendations

Staff recommends that the Planning Commission determine that preliminary review for the 9272 Office Condominiums located at 9272 S 700 E is substantially complete based on the following findings and subject to the following condition:

Findings:

1. That a Capitol Reserve Study has been provided that sufficiently ensures for the funding of the ongoing maintenance of the building and site improvements.
2. That the Chief Building Official has inspected the site and found it to be in compliance with the life safety provisions of the International Building Code and the International Fire Code.
3. That the various City Departments and Divisions have preliminarily approved the proposed condominium conversion subdivision plat.

Conditions:

1. That any previous conditions of approval from previous Site Plan applications on the subject property remain in full effect and fully enforceable.
2. That prior to recording the final condominium plat, all requirements of that pertain to condominium conversion be satisfied.
3. That all units comply with all requirements of the International Building Code regarding condominium conversions.
4. That prior to plat recordation, that Staff review and approve the declaration of condominium, project bylaws, and the condominium plat. That these documents include all information required according to State Statute.
5. That any required utility easements for this site be dedicated with the plat in accordance with the department review requirements.
6. That the applicant complies with each department’s comments and redlines throughout the final review process and that all issues be resolved before the condominium subdivision plat can be recorded.

Planner:



Thomas Irvin
Senior Planner

File Name: S:\Users\PLN\STAFFRPT\2024\SUB08212024-006814 – 9272 Office Condominiums\Planning Commission\Staff Report

Exhibit “A”
(See the attached file for full details)

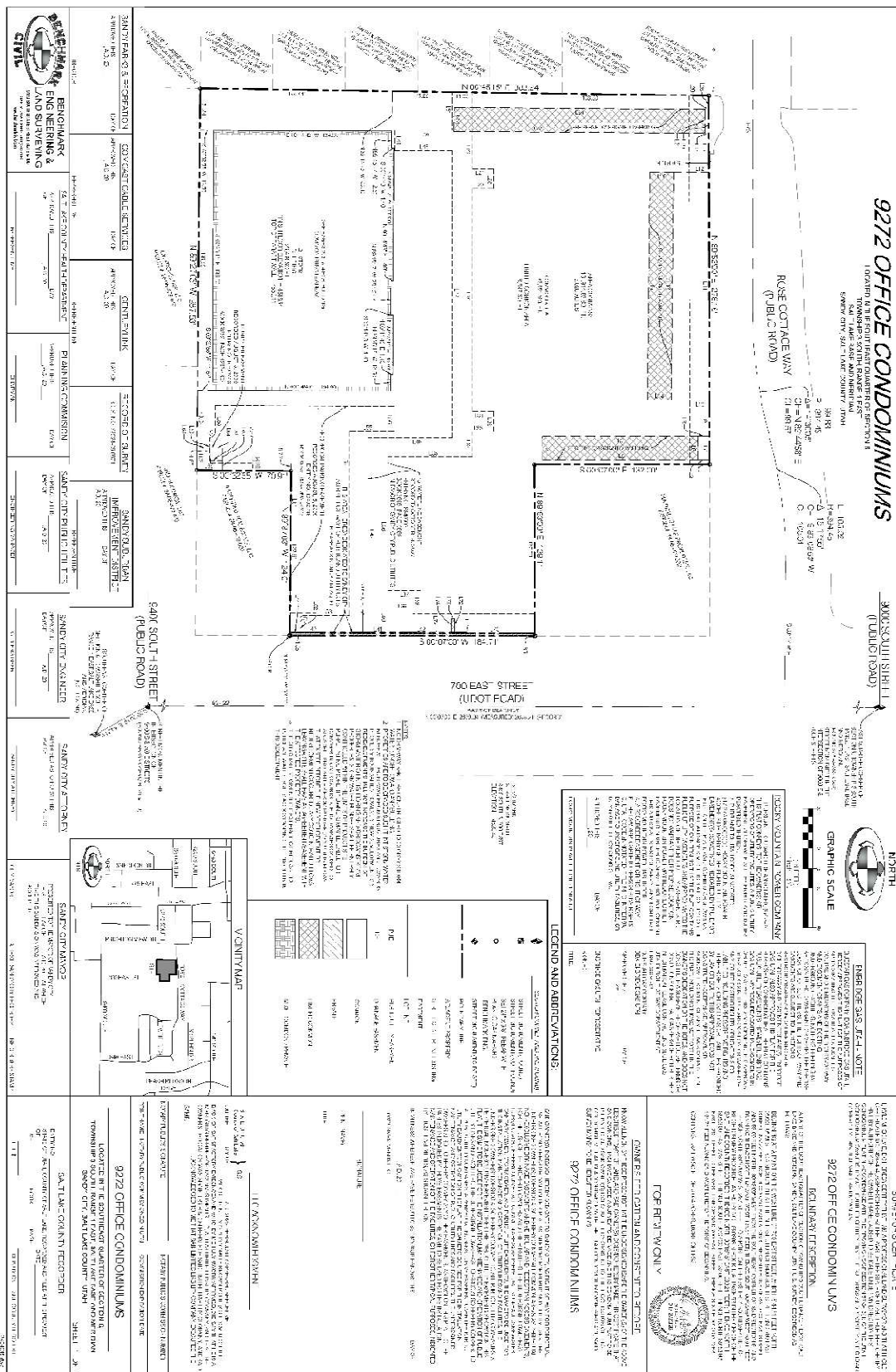
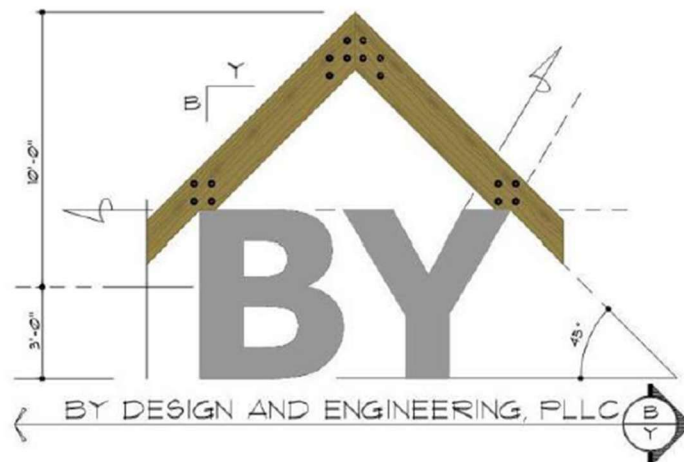


Exhibit “B”
(See the attached file for full details)



394 West 990 North
American Fork, UT 84003
(801) 654-2297

Property Report

For

Alta Commercial Development LLC

Brooke Hintze

Property Report

9272 S 700 E, Sandy, UT 84070



Date: November 11, 2024

IMPORTANT

BY Design & Engineering, PLLC has authorized this copy only if the seal is in **red or black** ink and the signature is in **colored** ink.

24046
REB

Exhibit “C”



RE: 9272 S 700 E Office Condos

Date July7, 2025

To whom it may concern:

I visited and inspected the above-mentioned property as requested by the owners. There were no code violations at the time of inspection. We have been in discussions with owners and contractors to aid the subdividing of this building into office condominiums. The owners are in the process of designing the building to meet all egress and accessibility requirements required to subdivide the building.

Regards

Willie Chidester

Willie Chidester

Assistant Chief Building Official

10000 S. Centennial Pkwy. | Sandy, UT 84070
o: 801.568.6094
C: 801.381.0056
wchidester@sandy.utah.gov

9272 OFFICE CONDOMINIUMS

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 6,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH

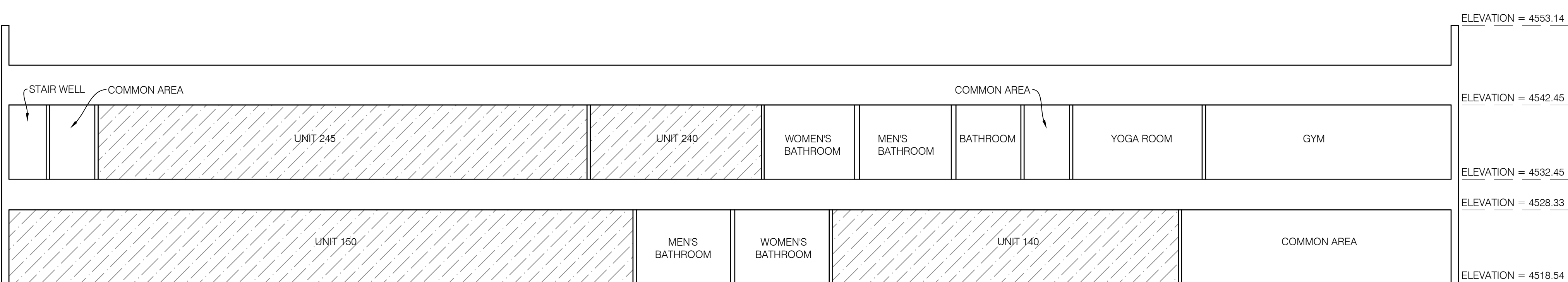
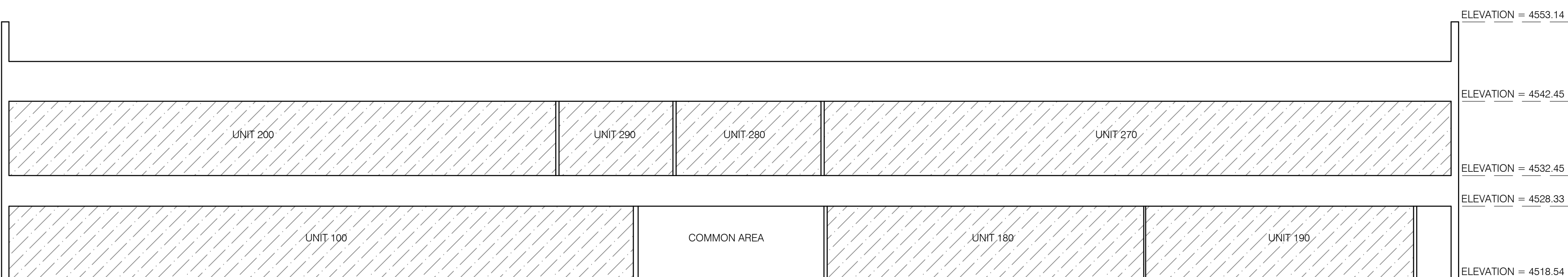
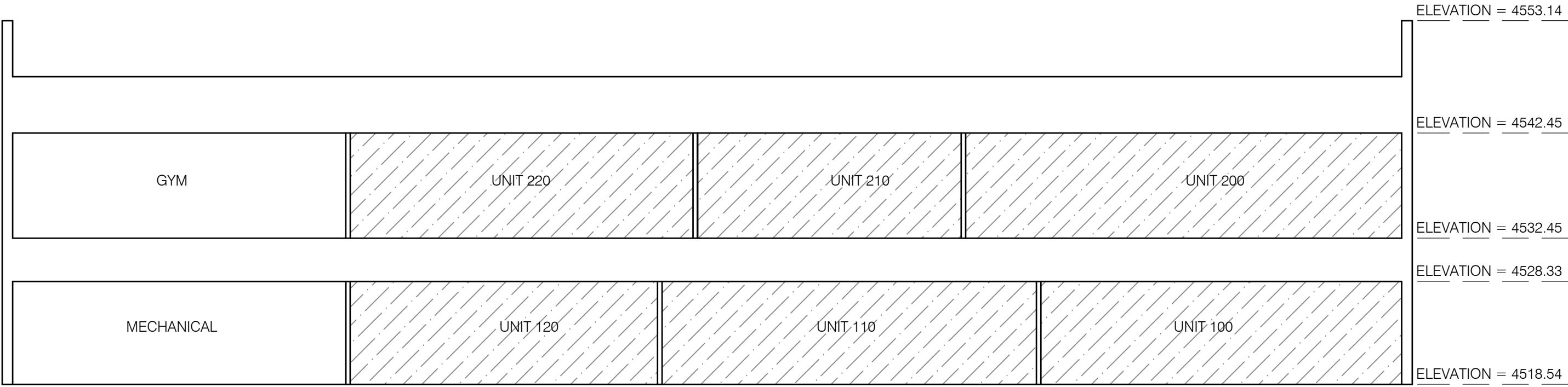
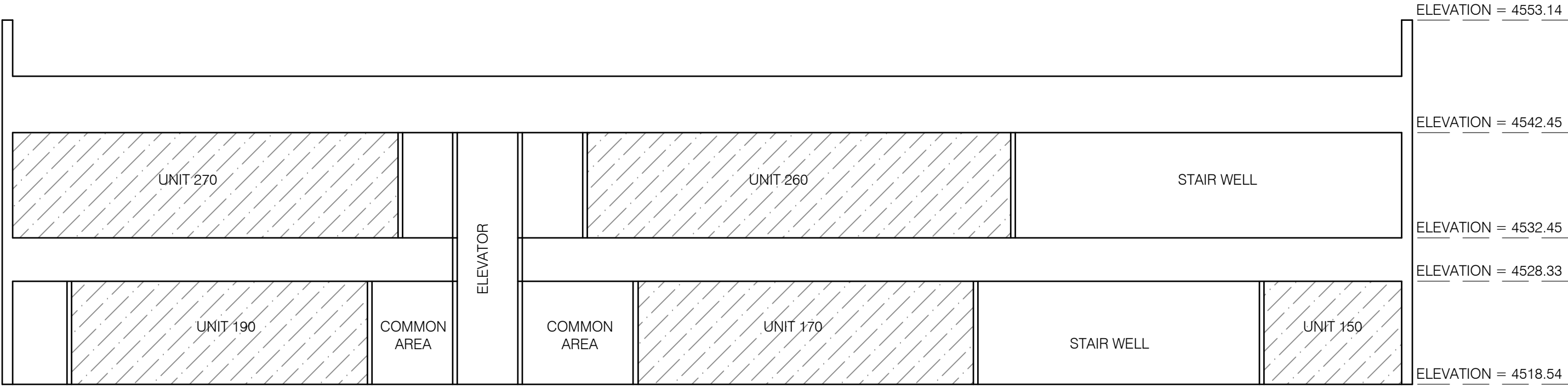
CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	5.62'	3.93'	81°57'27"	S 34°24'09" E	5.15'
C2	4.51'	3.40'	75°57'14"	N 42°12'25" W	4.19'

PARCEL LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S 89°53'00" W	3.32'
L2	N 00°07'00" W	8.90'
L3	N 00°03'50" W	116.89'
L4	N 89°56'10" E	18.00'
L5	S 00°03'50" E	116.89'
L6	S 89°56'10" W	18.00'
L7	S 89°53'00" W	18.00'
L8	N 00°07'00" W	8.88'
L9	S 89°53'00" W	27.26'
L10	S 00°07'00" E	28.77'
L11	N 89°53'00" E	171.79'
L12	N 00°07'00" W	26.72'
L13	N 89°25'59" W	171.80'
L14	N 00°34'01" E	18.00'
L15	S 89°25'59" E	171.80'
L16	S 00°34'01" W	18.00'
L17	S 89°53'00" W	29.26'
L18	N 00°07'00" W	3.14'
L19	N 89°53'00" E	18.00'
L20	N 00°07'00" W	2.97'

PARCEL LINE TABLE		
LINE #	BEARING	DISTANCE
L21	N 89°34'04" W	18.00'
L22	N 00°25'56" E	188.94'
L23	S 89°34'04" E	18.00'
L24	S 00°25'56" W	188.94'
L25	N 89°53'00" E	10.53'
L26	N 90°00'00" E	57.45'
L27	N 00°00'00" E	16.21'
L28	S 89°47'50" E	15.00'
L29	N 00°00'00" E	16.16'
L30	N 90°00'00" W	168.25'
L31	S 00°00'00" E	16.18'
L32	N 90°00'00" W	15.00'
L33	N 00°00'00" E	16.18'
L34	N 90°00'00" W	19.42'
L35	N 00°00'00" E	63.73'
L36	N 90°00'00" W	100.47'
L37	S 00°00'00" E	24.95'
L38	N 90°00'00" W	15.00'
L39	N 00°00'00" E	24.95'
L40	N 90°00'00" W	17.22'

PARCEL LINE TABLE		
LINE #	BEARING	DISTANCE
L41	N 00°07'00" E	15.00'
L42	N 00°07'00" E	50.36'
L43	N 00°07'00" E	51.02'
L44	S 00°07'00" W	7.82'
L45	N 90°00'00" W	147.66'
L46	N 00°00'00" E	63.73'
L47	N 90°00'00" W	216.33'
L48	S 00°00'00" E	43.64'
L49	N 90°00'00" W	15.00'
L50	N 00°00'00" E	43.64'
L51	N 90°00'00" W	28.98'
L52	S 89°33'19" W	10.28'
L53	N 00°00'00" E	34.34'
L54	N 90°00'00" W	139.27'
L55	N 00°03'18" W	33.42'
L56	S 89°44'32" W	19.05'
L57	S 00°14'46" W	134.72'
L58	N 89°46'13" E	21.46'
L59	N 88°48'41" E	19.23'
L60	N 00°30'58" E	60.82'

PARCEL LINE TABLE		
LINE #	BEARING	DISTANCE
L61	S 89°37'03" E	127.86'
L62	N 89°27'05" W	17.15'
L63	S 00°32'55" W	9.50'
L64	S 00°00'00" E	10.00'
L65	N 90°00'00" W	10.00'
L66	N 00°00'00" E	10.00'
L67	N 90°00'00" E	10.00'
L68	S 00°32'55" W	19.59'
L69	N 00°32'55" E	51.32'
L70	N 00°07'00" E	60.49'
L71	S 89°53'00" E	0.63'
L72	N 90°00'00" E	10.39'
L73	N 00°00'00" E	2.48'
L74	N 90°00'00" W	10.39'
L75	S 00°00'00" E	2.48'





BENCHMARK

ENGINEERING &
LAND SURVEYING

9130 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

COMMON

PRIVATE

LIMITED COMMON

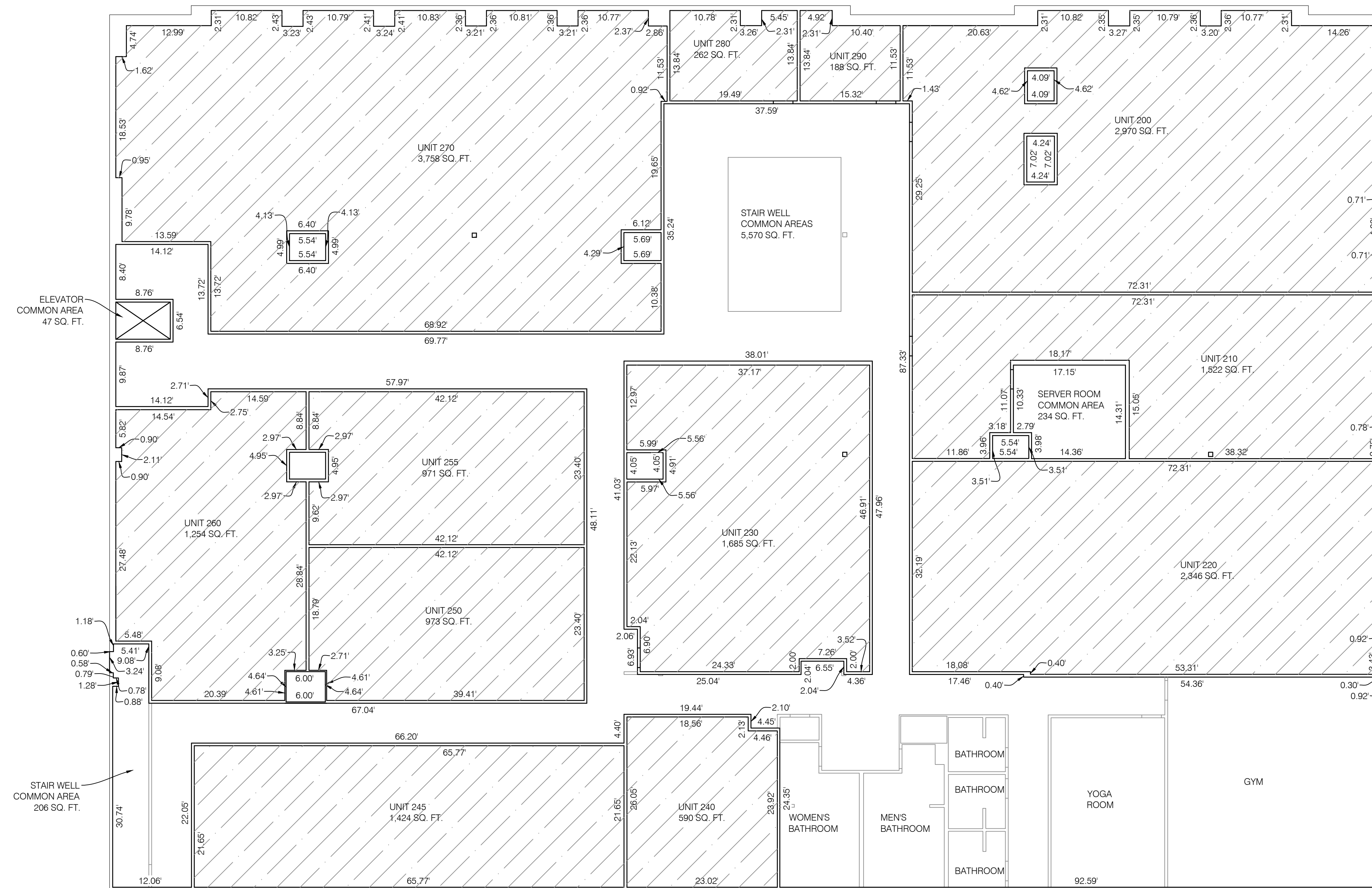
9272 OFFICE CONDOMINIUMS

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 6,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH

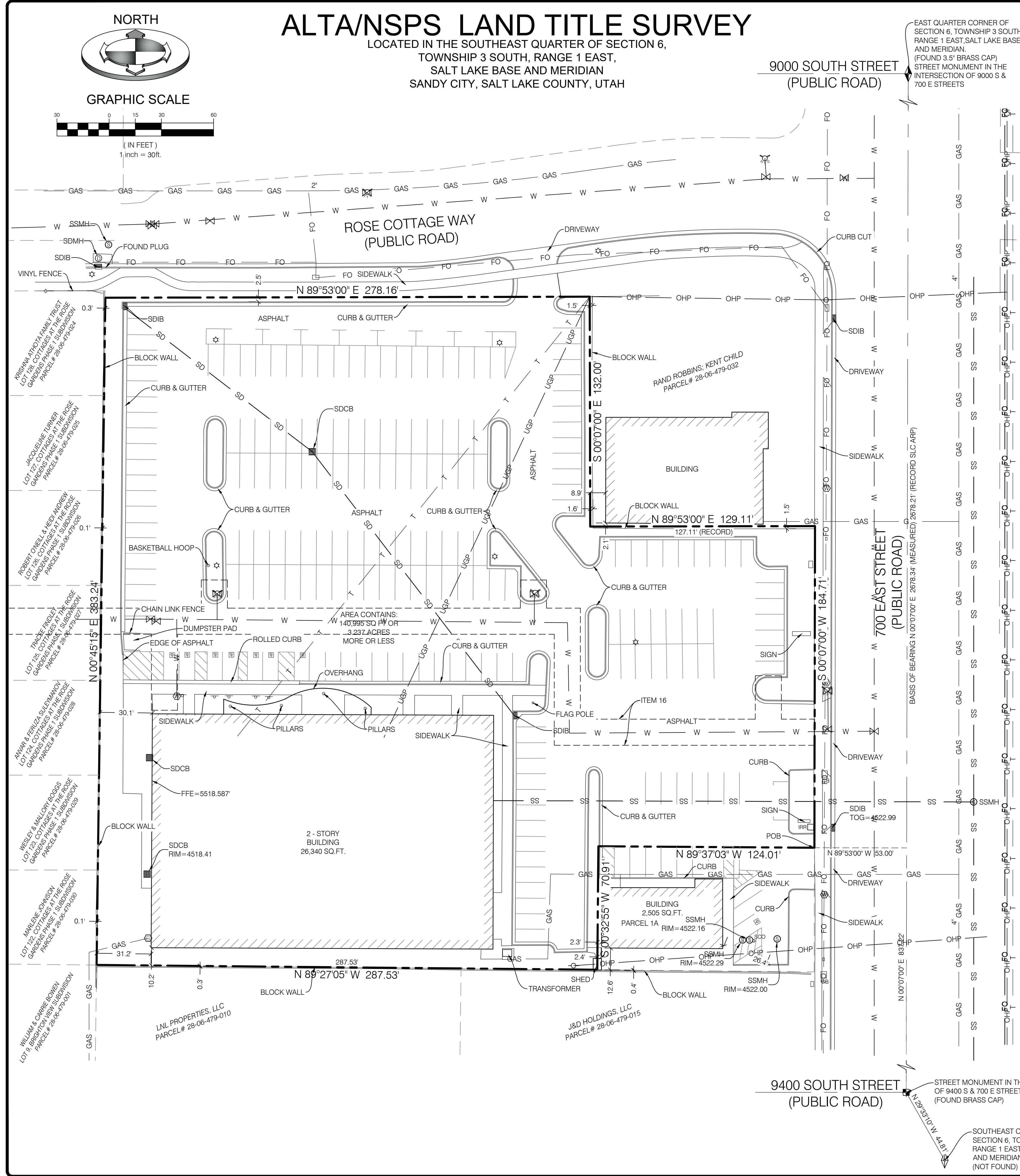


9272 OFFICE CONDOMINIUMS

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 6,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH



SECOND FLOOR
SCALE: 1" = 20'



SURVEYOR'S CERTIFICATE

TO:
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
TITLE GUARANTEE SETTLEMENT SERVICES
BACK DEVELOPMENT LLC, A LIMITED LIABILITY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 4, 8, 11 AND 13 OF TABLE 'A' THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 7, 2024.

LEGAL DESCRIPTION PER TITLE REPORT

A PART OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SANDY, SALT LAKE COUNTY, UTAH, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF 700 EAST STREET, WHICH IS 44.81 FEET NORTH 29°33'10" WEST TO A MONUMENT AT THE INTERSECTION OF 9400 SOUTH STREET AND 700 EAST STREET, 837.22 FEET NORTH 00°07'00" EAST ALONG THE CENTERLINE OF SAID 700 EAST STREET AND 53.00 FEET NORTH 89°53'00" WEST FROM THE SOUTHEAST CORNER OF SAID SECTION 6, AND RUNNING THENCE NORTH 89°37'03" WEST 124.01 FEET; THENCE SOUTH 00°32'55" WEST 70.91 FEET; THENCE NORTH 89°27'05" WEST 287.53 FEET ALONG THE NORTH LINE OF BRIGHTON VIEW SUBDIVISION, SANDY CITY, SALT LAKE COUNTY, UTAH; THENCE NORTH 00°45'15" EAST 383.24 FEET; THENCE NORTH 89°53'00" EAST 278.16 FEET; THENCE SOUTH 00°07'00" EAST 132.00 FEET; THENCE NORTH 89°53'00" EAST 127.11 FEET TO THE WEST LINE OF SAID 700 EAST STREET; THENCE SOUTH 00°07'00" WEST 184.71 FEET ALONG SAID WEST LINE TO THE POINT OF BEGINNING.

PARCEL 1A:
TOGETHER WITH A NON-EXCLUSIVE, PERPETUAL EASEMENT FOR INGRESS AND EGRESS UPON, OVER AND ACROSS: BEGINNING AT A POINT ON THE WEST LINE OF 700 EAST STREET WHICH IS NORTH 29°33'10" WEST 44.81 FEET AND NORTH 00°07'00" EAST 837.22 FEET AND NORTH 89°53'00" WEST 53.00 FEET FROM THE SOUTHEAST CORNER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 89°37'03" WEST 124.01 FEET; THENCE SOUTH 00°32'55" WEST 70.91 FEET TO A POINT ON THE NORTH LINE OF PROPERTY CONVEYED TO JAMES GARETH BURKETTE AND DIANE OLLIE BURKETTE, TRUSTEES OF THE BURKETTE FAMILY REVOCABLE TRUST BY WARRANTY DEED RECORDED SEPTEMBER 27, 2005 AS ENTRY NO. 9503737 IN BOOK 9194 AT PAGE 1256 OF OFFICIAL RECORDS; THENCE SOUTH 89°27'05" EAST ALONG SAID NORTH LINE 124.55 FEET, TO THE WEST LINE OF 700 EAST STREET; THENCE NORTH 00°07'00" EAST 71.27 FEET, ALONG SAID WEST LINE, TO THE POINT OF BEGINNING.

EXCLUDING THOSE AREAS WHERE BUILDINGS AND LANDSCAPING ARE, AS CREATED IN THAT CERTAIN DECLARATION OF RECIPROCAL EASEMENTS RECORDED AUGUST 5, 2008 AS ENTRY NO. 10492746 IN BOOK 9632, PAGE 4295.

SITUATED IN SALT LAKE COUNTY, STATE OF UTAH.

TAX SERIAL NO. 28-06-479-031

NARRATIVE OF SURVEY

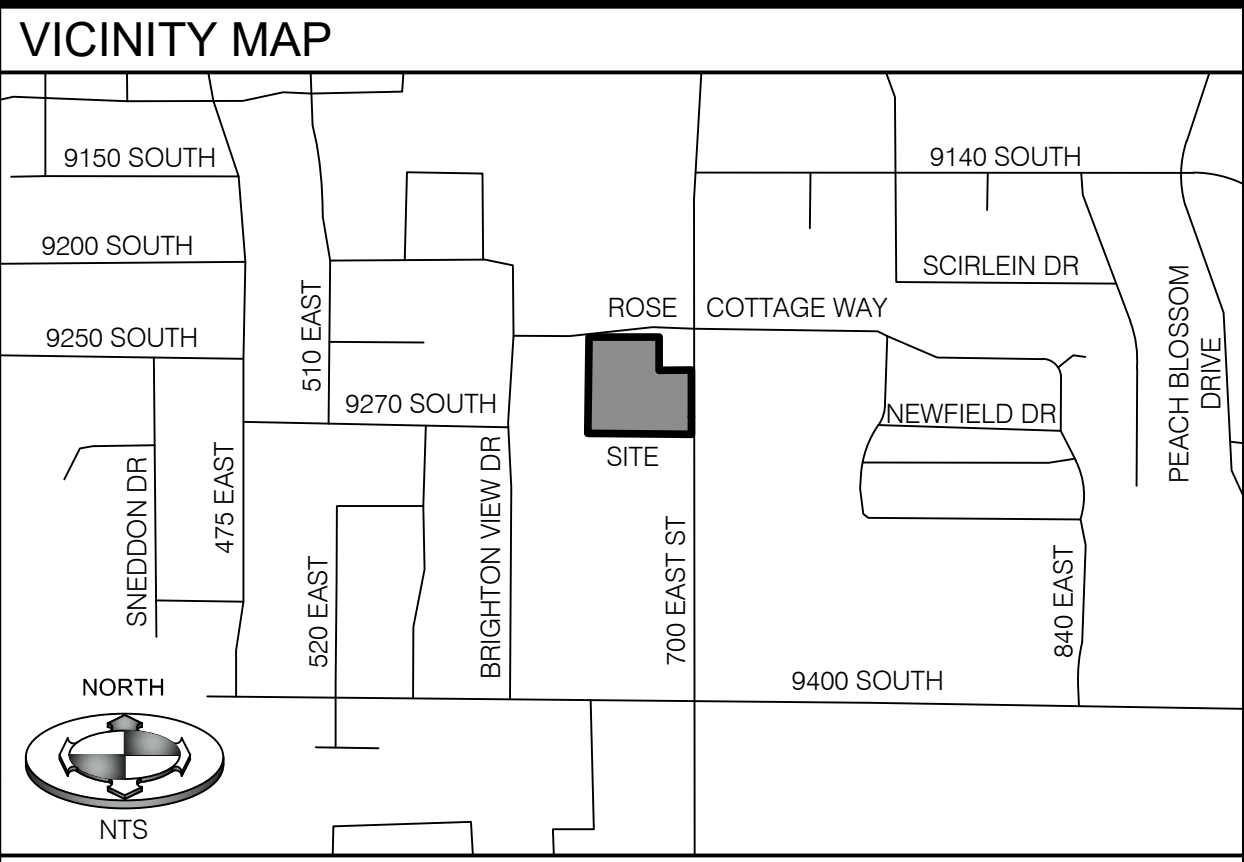
SCOPE
BENCHMARK ENGINEERING & LAND SURVEYING, LLC WAS RETAINED BY BROOK HINTZE TO PERFORM AN ALTA/NSPS SURVEY OF SUBJECT PROPERTY AS SHOWN HEREON.

BASIS OF BEARING
THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 00°07'00" EAST, AS SHOWN HEREON.

BENCHMARK STREET MONUMENT
9400 SOUTH & 700 EAST
ELEVATION = 4523.43

LEGEND AND ABBREVIATIONS

SECTION CORNER (FOUND)	SEWER CLEANOUT
SECTION CORNER (NOT FOUND)	SANITARY SEWER MANHOLE & PIPE
STREET MON. (FOUND)	STORM DRAIN MANHOLE & PIPE
PROPERTY CORNER (PLAT NOTED)	CULINARY PIPE LINE
FOUND PL. MARKER (PLAT NOTED)	WATER VALVE & WATER METER
ADJACENT PL. or LOT LINES	FIRE HYDRANT
EXISTING RIGHT-OF-WAY LINE	POWER POLE & OVERHEAD POWER
CENTERLINE OF ROAD	UNDERGROUND POWER
EASEMENT LINE	GAS LINE
CURB & GUTTER	TELEPHONE LINE
EDGE OF EXISTING ASPHALT	FIBER OPTIC
FENCE, CHAIN	COMMUNICATION LINE
FENCE, VINYL	COMM
INDEX CONTOUR LINE	COMM
INTERMEDIATE CONTOUR LINE	COMM
SDMH STORM DRAIN MANHOLE	CABLE BOX
SD STORM DRAIN	LIGHT POLE
CB CATCH BASIN	SIGN
TOG TOP OF GRATE	GAS METER
POB POINT OF BEGINNING	IRRIGATION BOX
	CATCH BASIN
	STORM DRAIN INLET BOX



- ### REFERENCE DOCUMENTS
- R1) COMMITMENT FOR TITLE INSURANCE ISSUED BY TITLE GUARANTEE SETTLEMENT SERVICES, ORDER NO.47788-KT, EFFECTIVE DATE MARCH 14, 2023.
 - R2) BENCHMARK ENGINEERING & LAND SURVEYING, RECORD OF SURVEY S2023-04-0361, AS RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY SURVEYOR.
 - R3) PETERSON ENGINEERING, P.C. CONSULTING ENGINEERS & LAND SURVEYORS, RECORD OF SURVEY S2007-09-0784, AS RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY SURVEYOR.
 - R4) THE COTTAGES AT THE ROSE GARDENS PHASE 1 SUBDIVISION, RECORDED MARCH 1, 2007 IN BOOK 2007 AT PAGE 76, AT THE OFFICE OF THE SALT LAKE COUNTY RECORDER.
 - R5) THE ROSE GARDENS SUBDIVISION, RECORDED APRIL 28, 2001 IN BOOK 2011P AT PAGE 50, AT THE OFFICE OF THE SALT LAKE COUNTY RECORDER.

TITLE EXCEPTIONS

THIS SURVEY IS BASED UPON THE COMMITMENT FOR TITLE INSURANCE ISSUED BY TITLE GUARANTEE SETTLEMENT SERVICES, ORDER NO.47788-KT, EFFECTIVE DATE MARCH 14, 2023.

NOTES PERTAINING TO EXCEPTIONS TO COVERAGE, SCHEDULE B-2 OF REFERENCED COMMITMENT:

ITEMS 1-11 NOT ADDRESSED IN THIS SURVEY

ITEM 12 EASEMENTS AND RIGHTS OF WAY OF RECORD OR ENFORCEABLE IN LAW AND EQUITY FOR ANY EXISTING ROADS, STREETS, ALLEYS, DITCHES, RESERVOIRS, UTILITIES, CANALS, PIPE LINES, POWER, TELEPHONE, SEWER, GAS OR WATER LINES NOW EXISTING OVER, UNDER OR ACROSS SUBJECT PROPERTY.
(SURVEY FINDINGS: AFFECTS SUBJECT PROPERTY, NO DOCUMENTS PROVIDED, EXISTING FEATURES FOUND AS SHOWN)

ITEM 13 NOT ADDRESSED IN THIS SURVEY

ITEM 14 SUBJECT TO A GRANT OF EASEMENT AND/OR RIGHT-OF-WAY, IN FAVOR OF UTAH POWER & LIGHT COMPANY, UPON THE TERMS AND CONDITIONS THEREIN PROVIDED, RECORDED OCTOBER 23, 1912, AS ENTRY NO. 301265, IN BOOK 9-L, PAGE 106, OF OFFICIAL RECORDS.
(SURVEY FINDINGS: DOCUMENT NOT PROVIDED)

ITEM 15 NOT ADDRESS IN THIS SURVEY

ITEM 16 SUBJECT TO A GRANT OF EASEMENT AND/OR RIGHT-OF-WAY, IN FAVOR OF SANDY CITY UPON THE TERMS AND CONDITIONS THEREIN PROVIDED, RECORDED OCTOBER 14, 2003, AS ENTRY NO. 8849603, IN BOOK 8895, PAGE 3869, IN THE OFFICIAL RECORDS.
(SURVEY FINDINGS: AFFECTS SUBJECT PROPERTY, AS SHOWN)

ITEM 17 EASEMENTS AND/OR RIGHT-OF-WAYS AS DISCLOSED BY MESNE INSTRUMENTS OF RECORD, INCLUDING BUT NOT LIMITED TO THAT CERTAIN DECLARATION OF RECIPROCAL EASEMENTS, RECORDED AUGUST 5, 2008, AS ENTRY NO. 10492746, IN BOOK 9632, PAGE 4295, IN THE OFFICIAL RECORDS
(SURVEY FINDINGS: AFFECTS ALL OF SUBJECT PROPERTY, BLANKET IN NATURE)

ITEM 18 SUBJECT TO A PARKING AGREEMENT, UPON THE TERMS AND CONDITIONS THEREIN PROVIDED, RECORDED AUGUST 6, 2008, AS ENTRY NO. 10493777, IN BOOK 9632, PAGE 7659, IN THE OFFICIAL RECORDS
(SURVEY FINDINGS: AFFECTS ALL OF PARCEL 1A, BLANKET IN NATURE)

ITEMS 19-20 NOT ADDRESSED IN THIS SURVEY

- ### GENERAL NOTES
- SURVEYOR'S OBSERVATIONS REGARDING POSSIBLE ENCROACHMENTS.
A - BLOCK WALL ON THE WEST PROPERTY LINE IS ON THE PROPERTY LINE.
 - ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN AND BLUESTAKE MARKINGS FOUND AT THE SITE MAY NOT DEPICT UNDERGROUND FEATURES ACCURATELY. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED
 - NO OBSERVED EVIDENCE OF ANY CEMETERIES AND/OR BURIAL GROUNDS CONTAINED WITHIN PROPERTY.
 - THE SUBJECT PROPERTY HAS DIRECT ACCESS TO 700 EAST STREET AND ROSE COTTAGE LANE.
 - NO GAPS, GORES OR STRIPS ALONG COMMON BOUNDARY LINES WERE FOUND.
 - NO POSTED ADDRESS WAS OBSERVED DURING SURVEY.
 - THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN THAT TITLE COMMITMENT ISSUED BY TITLE GUARANTEE SETTLEMENT SERVICES, ORDER NO. 47788-KT, EFFECTIVE DATE MARCH 14, 2023.

BENCHMARK ENGINEERING & LAND SURVEYING
9138 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

PROJECT NO. 2404049

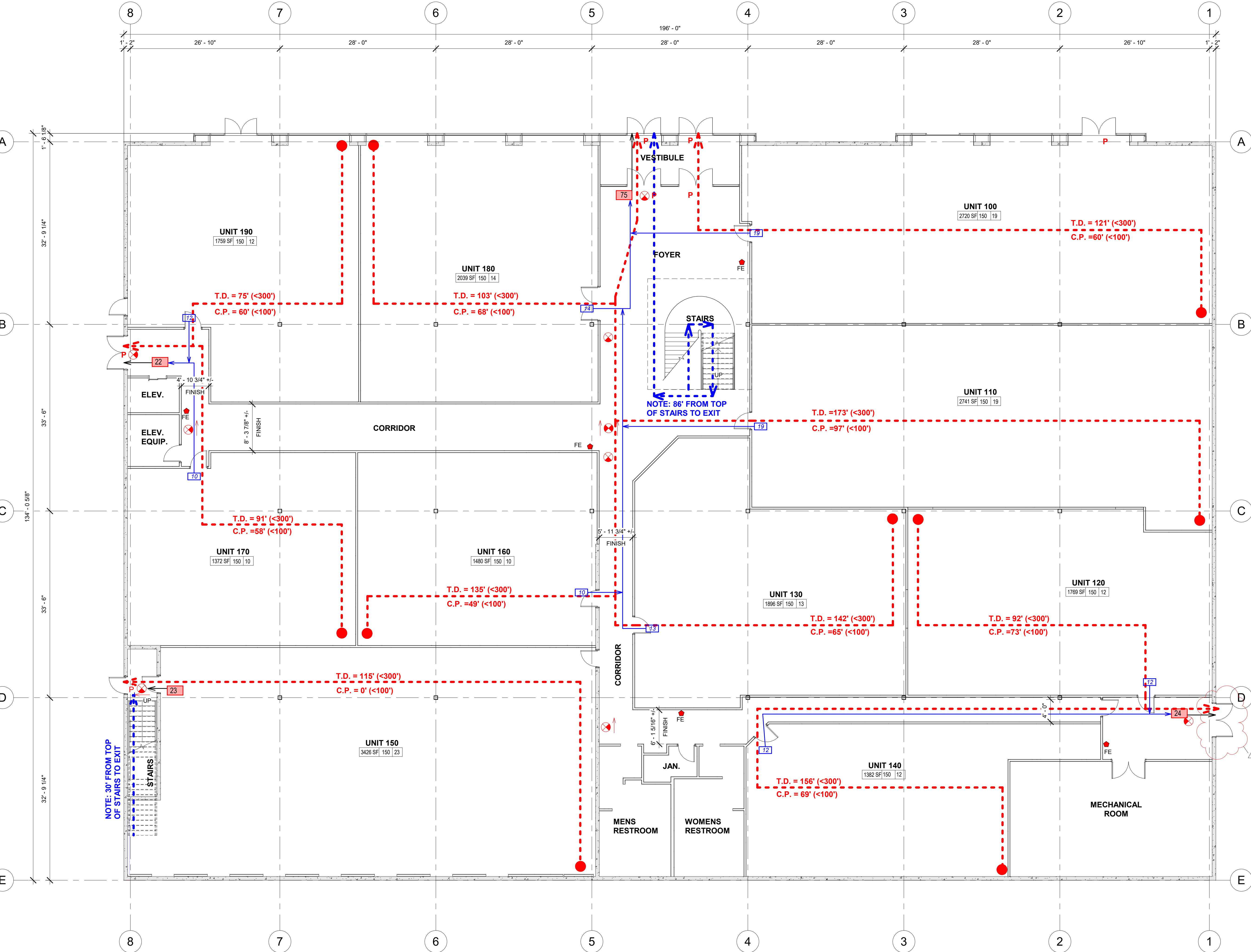
ALTA/NSPS LAND TITLE SURVEY

SVA.01
1 OF 1

Ranlife building

TEREST IN GENERAL COMMON ELEMEN		new load factor	new GSF
Location	new net area		
Suite 100	2,749	1.38292	3,802
Suite 110	2,722	1.38292	3,764
Suite 120	1,759	1.38292	2,433
Suite 130	1,872	1.38292	2,589
Suite 140	1,716	1.38292	2,373
Suite 150	3,225	1.34400	4,334
Suite 160	1,474	1.34400	1,981
Suite 170	1,374	1.34400	1,847
Suite 180	2,035	1.34400	2,735
Suite 190	1,729	1.34400	2,324
Suite 200	2,970	1.38292	4,107
Suite 210	1,522	1.38292	2,105
Suite 220	2,346	1.38292	3,244
Suite 230	1,685	1.38292	2,330
Suite 240	590	1.38292	816
Suite 250	973	1.38292	1,346
Suite 260	1,254	1.38292	1,734
Suite 270	3,785	1.38292	5,234
Suite 280	262	1.34400	352
Suite 290	188	1.34400	253
Suite 245	1,424	1.38292	1,969
Suite 255	971	1.38292	1,343

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NOTE:
THE LOCATIONS OF WALLS SHOWN ON THIS PLAN ARE
BASED ON THE "9272 COMMONS CONDOMINIUMS"
PLAT "FOR REVIEW" PREPARED BY BENCHMARK
ENGINEERING AND DATED 4/21/2025. SOME WALLS AS
SHOWN ON SAID PLAT HAVE BEEN RELOCATED ON
THIS PLAN AT OWNER'S REQUEST AND/OR TO COMPLY
WITH THE EGRESS PROVISIONS OF THE 2021 IBC.

OCCUPANCY & EXITING LEGEND

ROOM NAME
SF | ### | ##
OF OCCUPANTS
SQUARE FOOTAGE PER
OCCUPANT
SQUARE FOOTAGE OF ROOM

T.D. = TRAVEL DISTANCE
C.P. = COMMON PATH DISTANCE

FE FIRE EXTINGUISHER IN RECESSED CABINET

P PANIC HARDWARE (OR "NO LATCH OR LOCK")

EXIT SIGN - NEW
READABLE SIDE
EXIT DIRECTION INDICATED

**OCCUPANCY LOAD EXITING SUITE AND/OR
CUMULATIVE OCCUPANTS LOAD ALONG
PATH**

**CUMULATIVE OCCUPANT LOAD AT EXIT OR
EXIT ACCESS STAIRWAY**

elm
architecture

675 Simpson Ave
Salt Lake City, UT 84106
(801) 450-8683

P.O. Box 17004
Holladay, UT 84117
elm@elmgrouppinc.co



CONSULTANT INFORMATION

PROJECT NAME:

**EXITING PLAN FOR
9272 COMMONS CONDOMINIUMS**

9272 South 700 East
Sandy, UT 84070

NO.	DATE	DESCRIPTION
1	10/2/24	Plan Review Comments

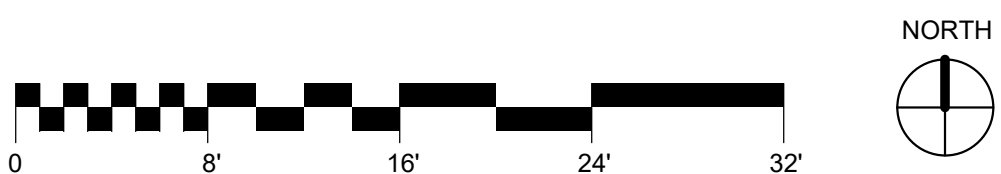
NO.	DATE	DESCRIPTION
1	09/30/25	EXITING PLAN

PROJECT #: 25-09
DRAWN BY: ZAM
CHECKED BY: ELM
DESIGNED BY:

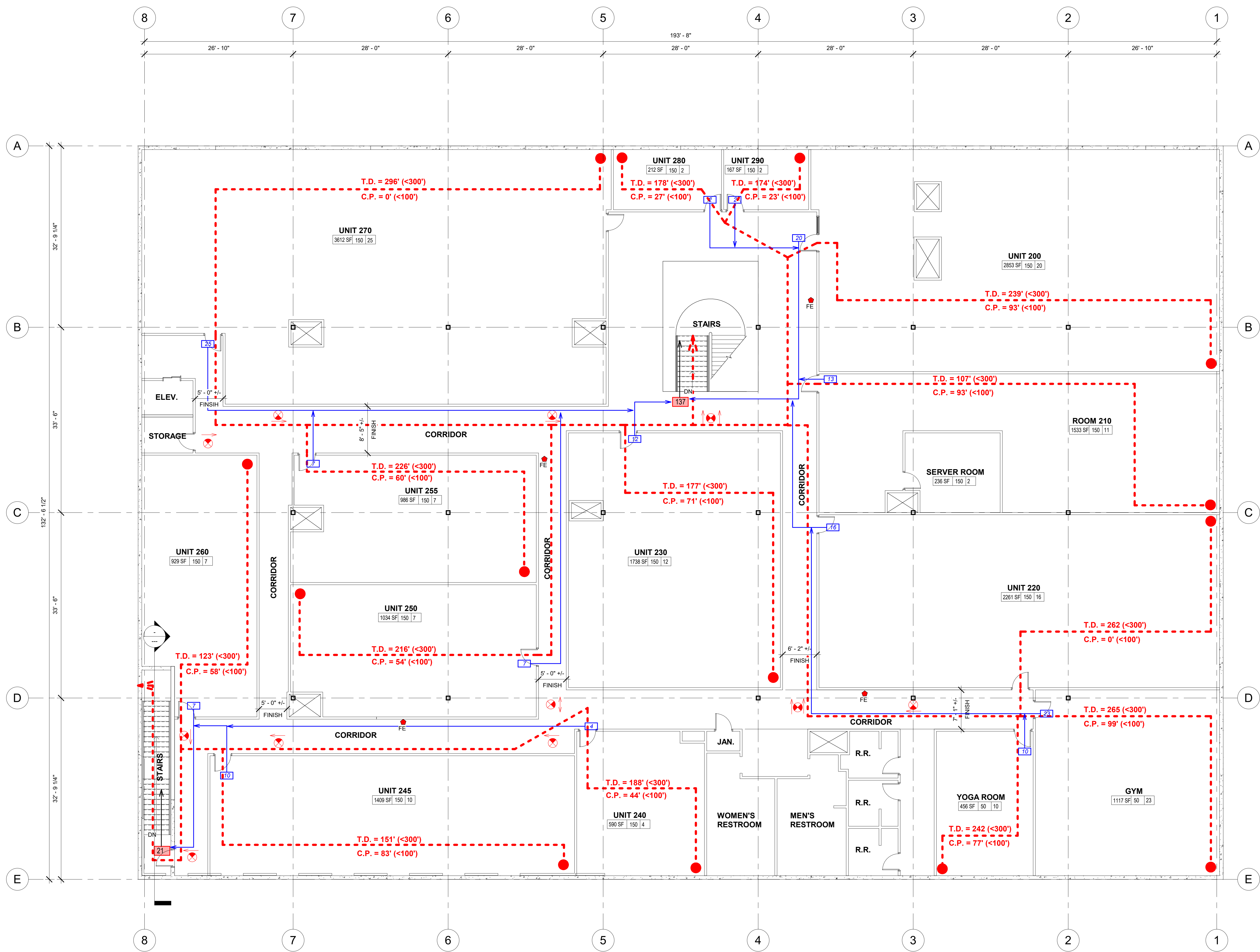
SHEET TITLE:
**EXITING PLAN
LEVEL 1**

SHEET NUMBER:
GI-003

A1 EXITING PLAN - LEVEL 1
1/8" = 1'-0"



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OCCUPANCY & EXITING LEGEND

ROOM NAME
SF | ### | ##
OF OCCUPANTS
SQUARE FOOTAGE PER
OCCUPANT
SQUARE FOOTAGE OF ROOM

T.D. = TRAVEL DISTANCE
C.P. = COMMON PATH DISTANCE

FE FIRE EXTINGUISHER IN RECESSED CABINET

P PANIC HARDWARE (OR "NO LATCH OR LOCK")

READABLE SIDE
EXIT SIGN - NEW
EXIT DIRECTION INDICATED

135 OCCUPANCY LOAD EXITING SUITE AND/OR
CUMULATIVE OCCUPANTS LOAD ALONG
PATH

135 CUMULATIVE OCCUPANT LOAD AT EXIT OR
EXIT ACCESS STAIRWAY

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architecture

675 Simpson Ave
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P.O. Box 17004
Holladay, UT 84117
elm@elmgrouppinc.co

PROFESSIONAL STAMP
EDWARD L. MCDONALD
No. 5288157-0001
09/30/25
LICENSED ARCHITECT

CONSULTANT INFORMATION

PROJECT NAME:
**EXITING PLAN FOR
9272 COMMONS CONDOMINIUMS**
9272 South 700 East
Sandy, UT 84070

REVISIONS:
NO. DATE DESCRIPTION

ISSUED:
NO. DATE DESCRIPTION
1 09/30/25 EXITING PLAN

PROJECT #:
DRAWN BY:
CHECKED BY:
DESIGNED BY:

25-09
ZAM
ELM

SHEET TITLE:
**EXITING PLAN
LEVEL 2**

SHEET NUMBER:
GI-004



EXHIBIT

ROSE COTTAGE WAY
(PUBLIC ROAD)

700 EAST STREET
(PUBLIC ROAD)

RAND ROBBINS KENT CHILD
PARCEL# 28-06-479-002

15' WATERLINE EASEMENT
RECORDED OCTOBER 14, 2003
ENTRY NO. 8849603
BOOK 8895, PAGE 3869
IN FAVOR OF SANDY CITY PUBLIC UTILITIES
TO BE VACATED

KRISHNA KHOTIA FAMILY TRUST
LOT 128, COTTAGES AT THE ROSE
GARDENS PHASE 1 SUBDIVISION
PARCEL# 28-06-479-024

JACQUELINE TURNER
LOT 127, COTTAGES AT THE ROSE
GARDENS PHASE 1 SUBDIVISION
PARCEL# 28-06-479-025

ROBERT O'NEILL & HEDI ANDREY
LOT 126, COTTAGES AT THE ROSE
GARDENS PHASE 1 SUBDIVISION
PARCEL# 28-06-479-026

TRACE RINDLEY
LOT 125, COTTAGES AT THE ROSE
GARDENS PHASE 1 SUBDIVISION
PARCEL# 28-06-479-027

ANWAR & FERUZA SULEIMANOV
LOT 124, COTTAGES AT THE ROSE
GARDENS PHASE 1 SUBDIVISION
PARCEL# 28-06-479-028

WESLEY & MALORY BOGOS
LOT 123, COTTAGES AT THE ROSE
GARDENS PHASE 1 SUBDIVISION
PARCEL# 28-06-479-029

MARLENE JOHNSON
LOT 122, COTTAGES AT THE ROSE
GARDENS PHASE 1 SUBDIVISION
PARCEL# 28-06-479-030

WILLIAM & CARRIE BOWEN
LOT 9, BRIGHTON VIEW SUBDIVISION
PARCEL# 28-06-479-001

LNL PROPERTIES, LLC
PARCEL# 28-06-479-010

J&D HOLDINGS, LLC
PARCEL# 28-06-479-015

SCALE: 1" = 50'

DRAWN:

KO

CHECKED:

DKB

APPROVED:

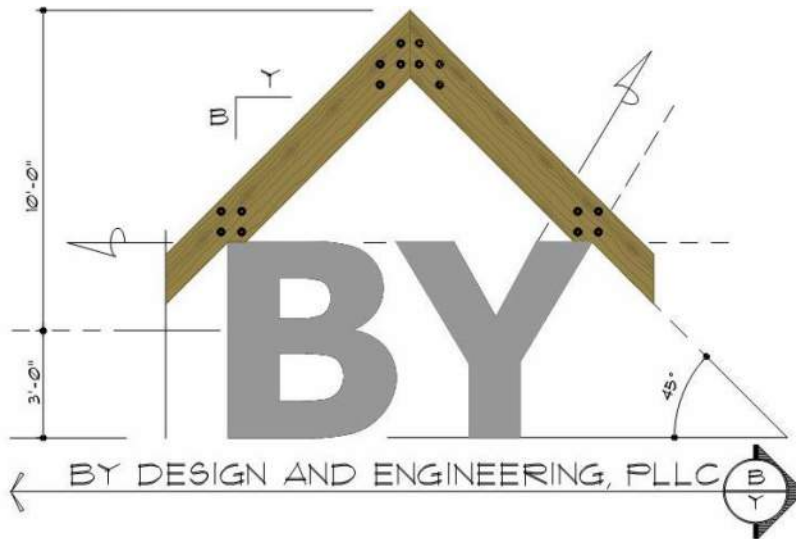
DKB

EMPORCH, LLC
9272 SOUTH 700 EAST
SANDY CITY, UTAH

EXHIBIT

DWG. NO. 2404049cp.dwg

PROJECT. NO. 2404049



394 West 990 North
American Fork, UT 84003
(801) 654-2297

Property Report

For

Alta Commercial Development LLC
Brooke Hintze

Property Report

9272 S 700 E, Sandy, UT 84070



Date: November 11, 2024

IMPORTANT

BY Design & Engineering, PLLC has authorized this copy only if the seal is in red or black ink and the signature is in colored ink.

24046
REB

PROJECT INFORMATION

Client Name: **Alta Commercial Development LLC
Brooke Hintze**

Project Name: **Property Report**

Project Location: **9272 S 700 E, Sandy, UT 84070**

Site Location

Latitude

40.582934°

Longitude

-111.873211°

Soil Properties

Unified Soil Classification

CL - CLAY

Bearing Capacity

1500 PSF (IBC TABLE 1804.2)

Snow Load

Ground Snow Load

33 PSF

Roof Snow Load

21 PSF

Wind Design

Basic Wind Speed

103 VMPH

Converted Wind Speed

80 VMPH (IBC 1609.3.1)

Seismic Design

Base Shear

18.65%

Design Category

D

- See Figures 1 through 6

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EXECUTIVE SUMMARY

The existing building is in good operational condition and is currently used by tenants. These and other future tenants will continue to enjoy the building as it operates presently.

AUTHORIZATION

We were authorized to make a site observation and write this report on September 23, 2024, by:

Brooke Hintze

Alta Commercial Development

746 E Winchester Street, Suite G20

Murray, Utah 84107

(801) 860-1515

Brook@altacommercial.com

We made our site observation the following Thursday, September 25, 2024. Please see Figure 1.

PURPOSE AND SCOPE OF INVESTIGATION

We have been asked to do the site observation and provide a property report addressing items required by Sandy City. The intent of the change, thus requiring this report, is to change from a one-tenant owner to ownership that will sublease portions of the structure as coworking areas.

FIELD INVESTIGATION FINDINGS (OVERALL CONDITION)

1. The building was built in 2000, according to the [Salt Lake County Assessor](#).
2. The structural elements, which include the roof deck, open web roof trusses, open web floor trusses, and columns, are in good condition, as is expected for a building of this age. The foundation could not be observed as it is buried beneath the existing structure. However, the condition of the foundation system is not expected to be damaged or in need of repairs. See Figures 7 through 11.
3. The roofing membrane is in good condition, with only minor water ponding areas. The seams appear sealed and flashing around mechanical unit curbs and vents, are in good condition. The roof drains remove the water as needed; see Figures 26 through 30.
4. Mechanical systems such as HVAC units and duct work appear to be in good condition from an exterior view. These units have gas lines running to each unit on the roof, so we assume the units provide both heating and cooling. We suggest an HVAC technician investigate the current status of all units and ductwork for conditions that need attention, as this is beyond the scope of our expertise; see Figures 8, 9, 11, 14, 17, 24, 25 & 28.
5. Electrical systems, including conduits that could be viewed, appear to be in good condition from an exterior view. We suggest a licensed electrician investigate the current status of all

conduits, switches, lights, power outlets and breaker boxes for conditions that need attention, as this is beyond the scope of our expertise. Our only observation that brings anything into question is the condition of the power transformer outside the building. It shows weathering and rust damage on the exterior; only the power supply company with access can determine the existing condition if any repairs or maintenance is needed; see Figures 9, 15, 16 & 23.

6. Plumbing systems, including roof drainage piping that could be viewed, appear to be in good condition from an exterior view. We could not find any excessive problems with water supply fixtures. The toilets and other drains are working as expected. We suggest a licensed plumber investigate the current status of all fixtures, toilets, and other water sources to be examined for leaks or conditions that need attention, as this is beyond the scope of our expertise; see Figures 10, 13, 15 & 27.
7. Networking systems are provided by cables pulling through the roof and floor framing systems. Much of this wiring is not contained in any conduit but hung by zip ties or across the ceiling tiles. We suggest that an IT professional investigate the current status of all wiring and connection boxes for conditions that need attention, as this is beyond the scope of our expertise. See Figure 15.
8. We understand there is a single 6" diameter sewer lateral that runs to the north of the building. The information was obtained by Brooke Hintze on October 2, 2024, from Sandy Suburban Improvement District.
9. Water is supplied via a 2" diameter pipe. This information was obtained by Brooke Hintze on October 2, 2024, from Sandy City Public Utilities.
10. There are no private streets involved in this project. There is only direct access to the property from the north off of Rose Cottage Lane and from the East off of 700 East; see Figure 1.
11. The parking lot shows extensive cracking that has been addressed using a crack sealing material, and a slurry seal-type coating has been applied in the past. The sidewalks, curbs, and approaches on the premises are in good working order, as are those around the property's perimeter, see Figures 1 & 35.
12. The exterior of much of the building is tilt-up concrete panels, which show almost no conditional deficiencies. The north is mainly glass, showing little if any, condition issues. We did, however, find where windows have been cut into the concrete panels on the south side, and there is some chipping of the concrete at the window saw cuts. There are also penetrations through the east parapet that need repairs; see Figures 20, 21 & 31.
13. We expect the structure to continue supporting the current loadings as required by ASCE 7-16 and the 2021 version of the International Building Code. The building has been designed to conform to the 2000 version of the International Building Code for egress and other architectural requirements. We expect the continued operation of the building to continue to conform with those requirements. Suppose any other modifications are made to the building at

any future time. In that case, we expect they will be done following the current version of the International Building Code in effect at the time of construction.

CONCLUSIONS

The existing building is in good operational condition and is currently used by tenants. These and other future tenants will continue to enjoy that building as it operates presently but under new ownership and modified coworking-type lease agreements.

RECOMMENDATIONS

We see possible repairs or maintenance in the next 5 years.

1. Parking lot crack sealing and resurfacing.
2. Patching of the exterior concrete panels at the south windows to prevent water intrusion into the panels and rusting the reinforcement.
3. Concrete patching of the holes in the east parapet where a previous sign appears to have been mounted to prevent water intrusion into the panels and rusting the reinforcement
4. We recommend removing unused satellite dishes and CMU blocks from the roof.

LIMITATIONS

BY Design and Engineering PLLC observations at the site were limited to visual observations of the structure's interior and exterior. Only those items readily visible and accessible at the time of the evaluation were viewed, and any items causing visual obstruction, including, but not limited to, furniture, furnishings, floor or wall coverings, foliage, soil, appliances, insulation, etc., were not moved. No interior building finishes were disturbed during site visits. In addition, no structural information in the form of structural drawings was available. We have commented on the general condition of systems contained herein but would defer to specialized professionals. Plumbing, electrical, mechanical, and IT systems are outside our expertise.

Material testing and physical samples were not taken, and our observations may not indicate all problems found within the structure or observed. The basis of our opinions will be the apparent performance of that portion of the building, which was readily visible at the time of the evaluation. Disassembly or removal of any portion of the structure is beyond the scope of this evaluation. We make no representation regarding the condition of this property other than as contained in this written report. There is no warranty or guarantee, neither expressed nor implied, regarding the future performance, life, insurability, merchantability, workmanship, or need for repair of any item assessed.

FIGURES AND PHOTOGRAPHS



FIGURE 1 - PROJECT LOCATION

Report—Engineering Properties

Absence of an entry indicates that the data were not estimated. The asterisk "*" denotes the representative texture; other possible textures follow the dash. The criteria for determining the hydrologic soil group for individual soil components is found in the National Engineering Handbook, Chapter 7 issued May 2007 (<http://directives.sc.egov.usda.gov/>) OpenNonWebContent.aspx?content=17757.wba). Three values are provided to identify the expected Low (L), Representative Value (R), and High (H).

Engineering Properties—Salt Lake Area, Utah														
Map unit symbol and soil name	Pct. of map unit	Hydrologic group	Depth	USDA texture	Classification		Pct Fragments		Percentage passing sieve number—				Liquid limit	Plasticity index
					Unified	AASHTO	>10 inches	3-10 inches	4	10	40	200		
			<i>In</i>				L-R-H	L-R-H	L-R-H	L-R-H	L-R-H	L-R-H	L-R-H	
PeA—Parleys silt loam, 0 to 3 percent slopes														
Parleys	90 C		0-7	Silt loam	CL	A-6	0-0-0	0-0-0	95-98-100	90-95-100	80-88-95	65-78-90	25-30-35	10-13-15
			7-17	Silty clay loam	CL	A-6, A-7	0-0-0	0-0-0	95-98-100	90-95-100	85-93-100	75-85-95	35-40-45	15-18-20
			17-29	Silty clay loam, silt loam	CL	A-6, A-7	0-0-0	0-0-0	95-98-100	90-95-100	80-90-100	65-80-95	35-40-45	15-18-20
			29-36	Loam, silty clay loam	CL	A-6	0-0-0	0-0-0	90-95-100	85-93-100	75-88-100	50-73-95	30-35-40	10-15-20
			36-46	Loam, silty clay loam	CL	A-6	0-0-0	0-0-0	90-95-100	85-93-100	75-88-100	50-73-95	30-35-40	10-15-20
			46-60	Silty clay loam	CL	A-6, A-7	0-0-0	0-0-0	85-93-100	80-90-100	70-85-100	65-80-95	35-40-45	15-18-20

Data Source Information

Soil Survey Area: Salt Lake Area, Utah
Survey Area Data: Version 16, Sep 8, 2023

FIGURE 2 - SOIL PROPERTIES

Utah Ground Snow Load Map

Commons Condominiums



Latitude: 40.583

Longitude: -111.873

Elevation: 4,510 ft

Ground Snow Load:

33 psf / 1.57 kPa

FIGURE 3 - GROUND SNOW LOAD FOR DESIGN

Roof Snow Load from Ground Snow Load Conversion

Snow Input

Risk Category

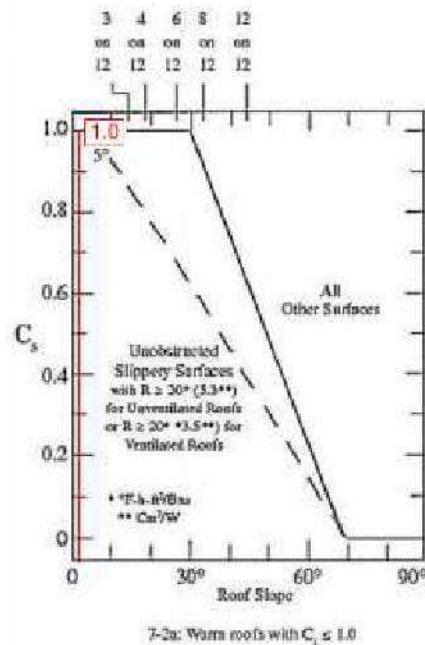
RC := II

Roof Slope

rise := 0.25 over run := 12

Ground Snow Load

$P_g := 33 \cdot \text{psf}$



Slope_Angle = 1.193 degrees

Table 7.3-1 Exposure Factor, C_e

Surface Roughness Category	Exposure of Roof ^a		
	Fully Exposed	Partially Exposed	Sheltered
B (see Section 26.7)	0.9	1.0	1.2
C (see Section 26.7)	0.9	1.0	1.1
D (see Section 26.7)	0.8	0.9	1.0
Above the tree line in windswept mountainous areas	0.7	0.8	NA
In Alaska, in areas where trees do not exist within a 2-mi (3-km) radius of the site	0.7	0.8	NA

Table 7.3-2 Thermal Factor, C_t

Thermal Condition ^a	C_t
All structures except as indicated below	1.0
Structures kept just above freezing and others with cold, ventilated roofs in which the thermal resistance (R-value) between the ventilated space and the heated space exceeds $25^\circ\text{F} \times h \times \text{ft}^2/\text{Btu}$ ($4.4 \text{ K} \times \text{m}^2/\text{W}$)	1.1
Unheated and open air structures	1.2
Freezer building	1.3
Continuously heated greenhouses ^b with a roof having a thermal resistance (R-value) less than $2.0^\circ\text{F} \times h \times \text{ft}^2/\text{Btu}$ ($0.4 \text{ K} \times \text{m}^2/\text{W}$)	0.85

$C_e := 0.9$

Exposure Factor ASCE 7, Chapter 7, Table 7.3-1.

$C_t := 1.0$

Thermal Factor, ASCE 7, Chapter 7, Table 7.3-2.

$I_s = 1$

Importance Factors by Risk Category of Buildings and Other Structures for Snow, Ice, and Earthquake Loads, ASCE 7, Chapter 1, Table 1.5-2

$C_s := 0.77$

ASCE 7, chapter 7, Figure 7-2a

$P_f := 0.7 C_e \cdot C_t \cdot I_s \cdot P_g$

$P_f = 21 \cdot \text{psf}$

ASCE 7, Chapter 7, Equation 7.3-1 for flat roofs

$P_s := C_s \cdot P_f$

$P_s = 16 \cdot \text{psf}$

ASCE 7, Chapter 7, Equation 7.4-1 for sloped roofs

FIGURE 4 - ROOF SNOW LOAD CALCULATION

REPORT SUMMARY



Wind

Wind Speed	103 Vmph
10-year MRI	73 Vmph
25-year MRI	79 Vmph
50-year MRI	84 Vmph
100-year MRI	89 Vmph

Seismic

S_S	1.399
S_1	0.499
F_a	N/A
F_v	N/A
S_{MS}	N/A
S_{MT}	N/A
S_{DS}	N/A
S_{D1}	N/A
T_L	8
PGA	0.627
PGA_M	0.69
F_{PGA}	1.1
I_e	1
C_v	N/A
NO SEISMIC SPECTRUM	Design and MCE_R spectrum data not available for this location
Note	Ground motion hazard analysis may be required. See ASCE/SEI 7-16 Section 11.4.8.

FIGURE 5 - WIND AND SEISMIC DESIGN PARAMETERS

LATERAL DESIGN INPUT VARIABLES & SEISMIC BASE SHEAR CALCULATION

$I_E := 1.0$	building importance factor, ASCE 7, Table 11.5-1
$R := 6.5$	lateral force resisting system coefficient, ASCE 7, Table 12.2-1
$C_t := 0.02$	period parameters, ASCE 7 Table 12.8-2
$n := 0.75$	period parameters, ASCE 7 Table 12.8-2
$h := 26 \text{ ft}$	$T := C_t \cdot h^n \quad T = 0.23 \quad \text{ASCE 7, eq'n 12.8-7A}$

$$S_{DS} := 1.119 \text{ g} \quad S_1 := 0.499 \text{ g}$$

$$C_S := \frac{S_{DS}}{\frac{R}{I_E}} \quad C_{S_{\min}} := 0.044 \cdot S_{DS} \cdot I_E \quad C_{S_{EF}} := \frac{0.5 \cdot S_1}{\frac{R}{I_E}}$$

$$C_S = 0.1722 \quad C_{S_{\min}} = 0.0492 \quad C_{S_{EF}} = 0.0384$$

$$C_S = 17.215\% \quad \text{Design Base Shear}$$

FIGURE 6 - SEISMIC DESIGN BASE SHEAR



FIGURE 7 - ROOF FRAMING

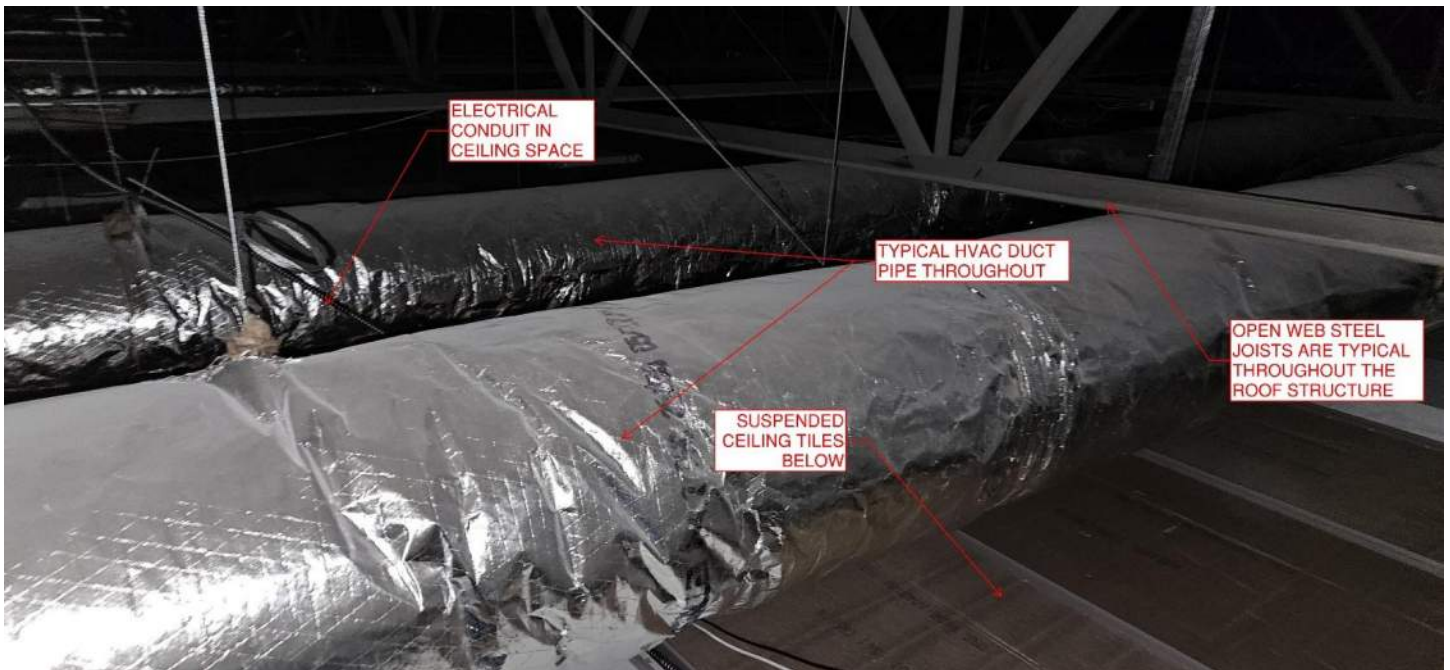


FIGURE 8 - UPPER FLOOR CEILING SPACE

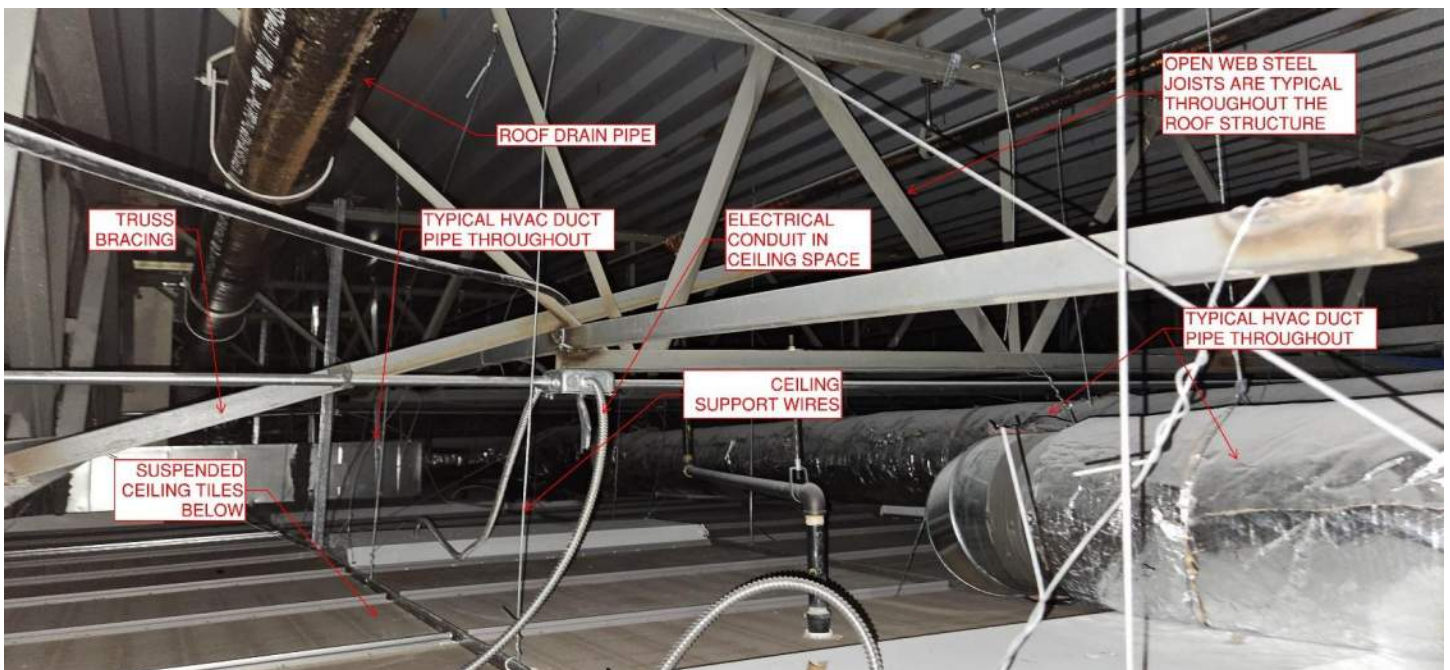


FIGURE 9 - UPPER FLOOR CEILING SPACE

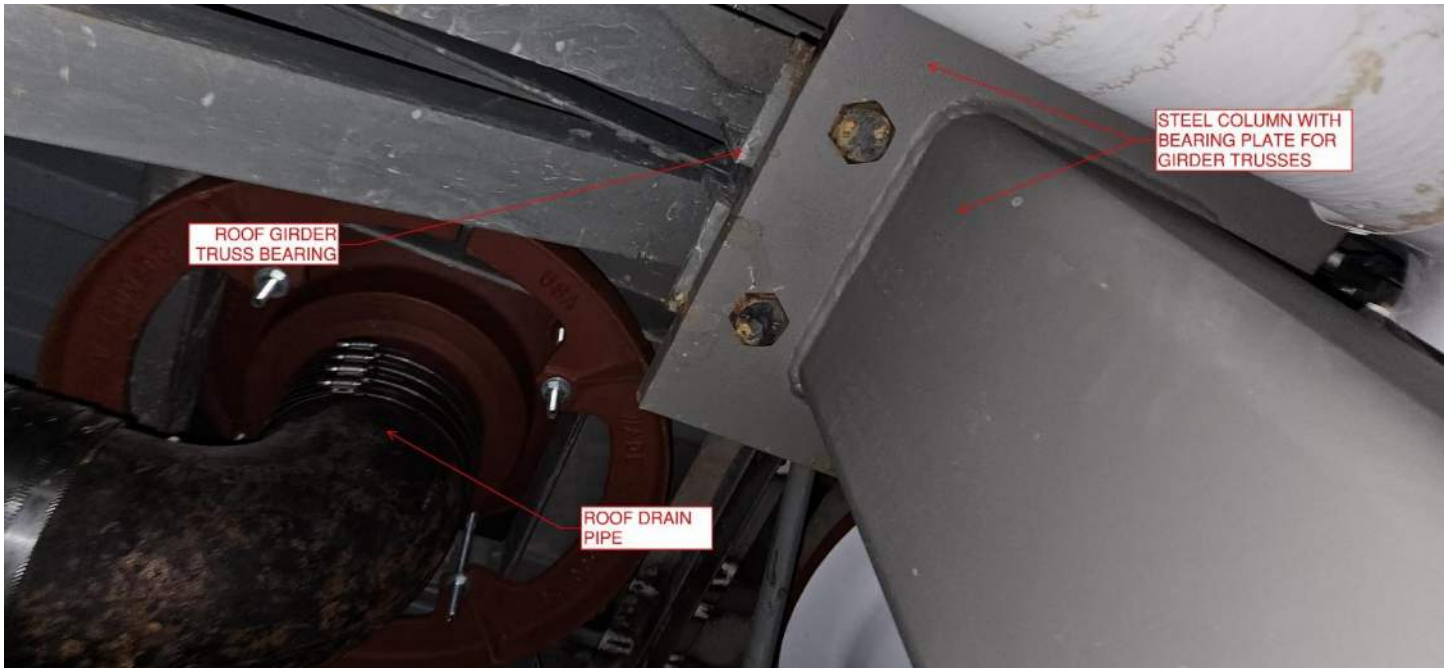


FIGURE 10 - GIRDER TO COLUMN CONNECTION

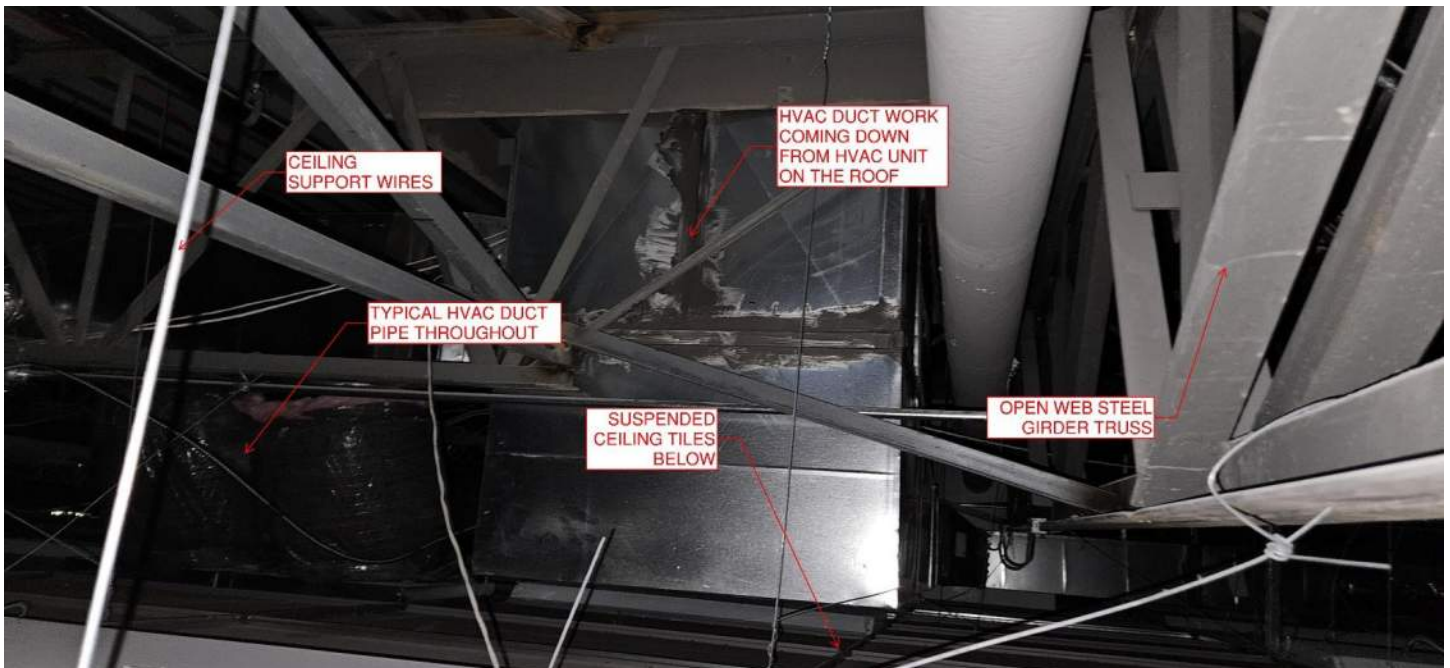


FIGURE 11 - HVAC DUCTWORK BELOW MECHANICAL UNIT ABOVE



FIGURE 12 - TYPICAL STAIR CORRIDOR DOWN TO THE MAIN LEVEL

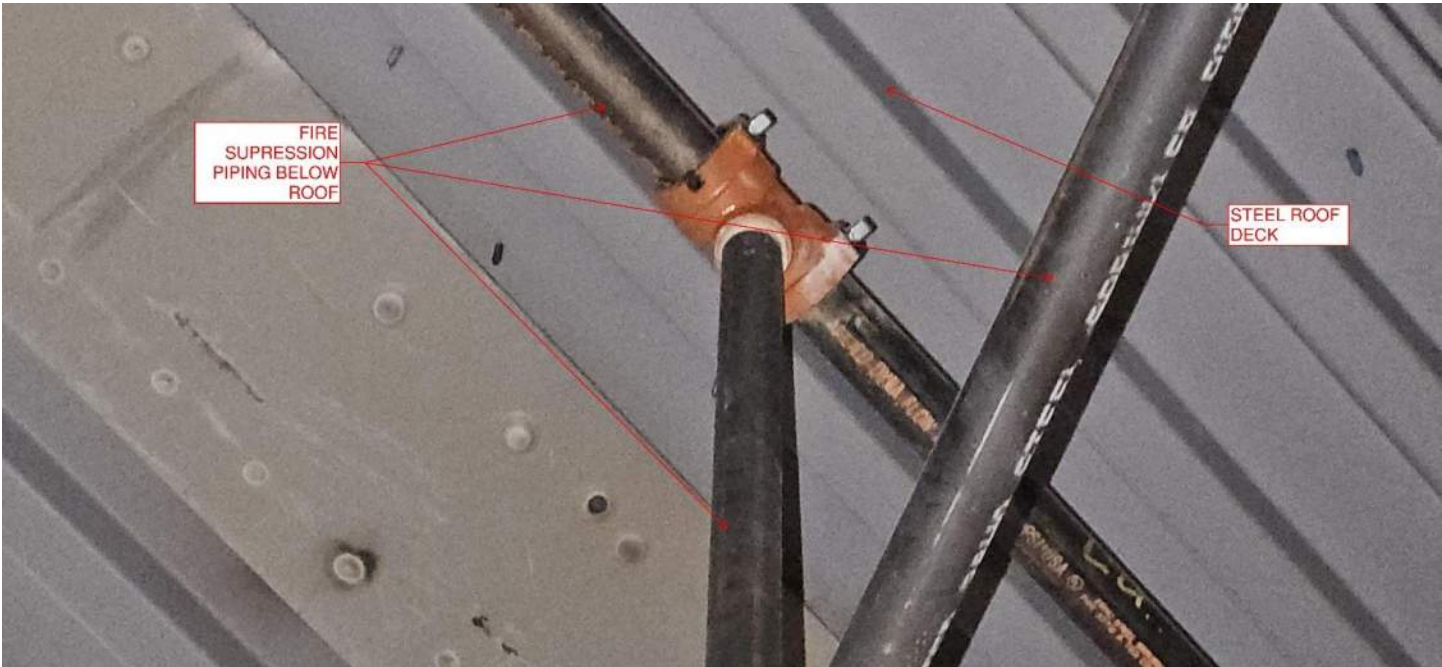


FIGURE 13 - FIRE SUPPRESSION PIPING

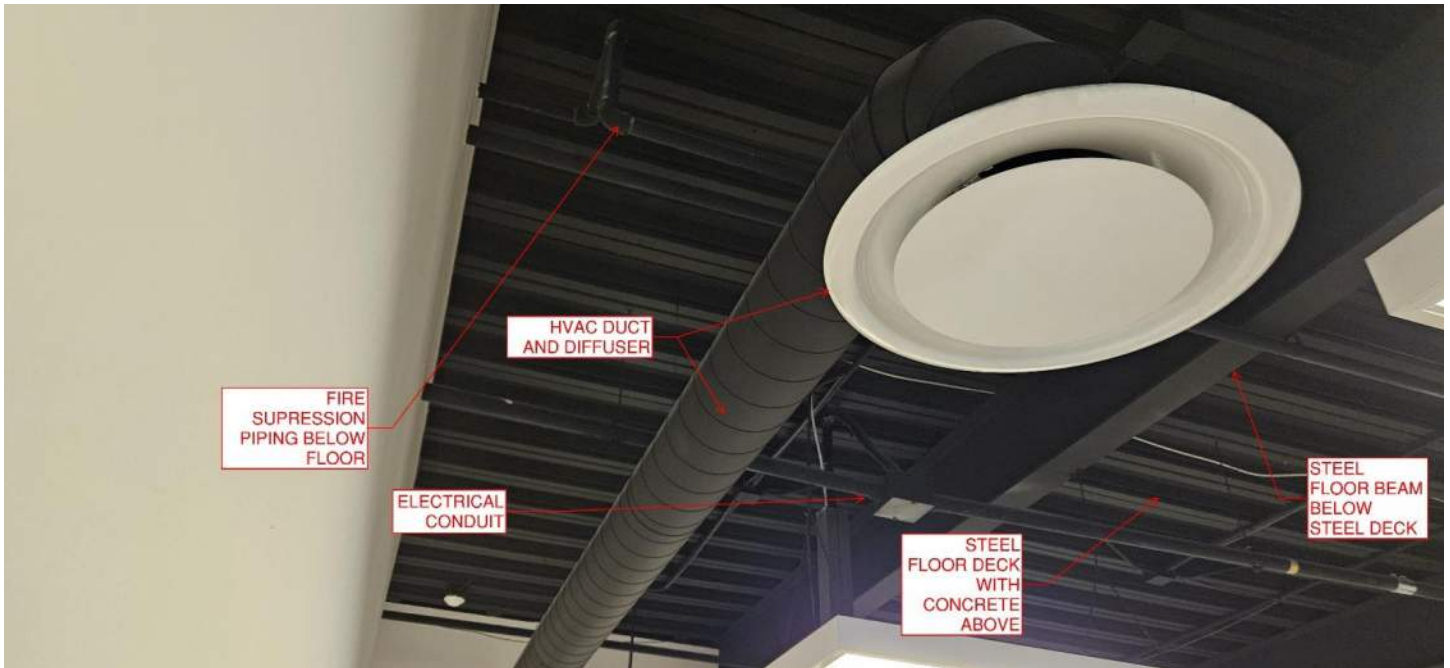


FIGURE 14 - CEILING SPACE ABOVE THE MAIN LEVEL

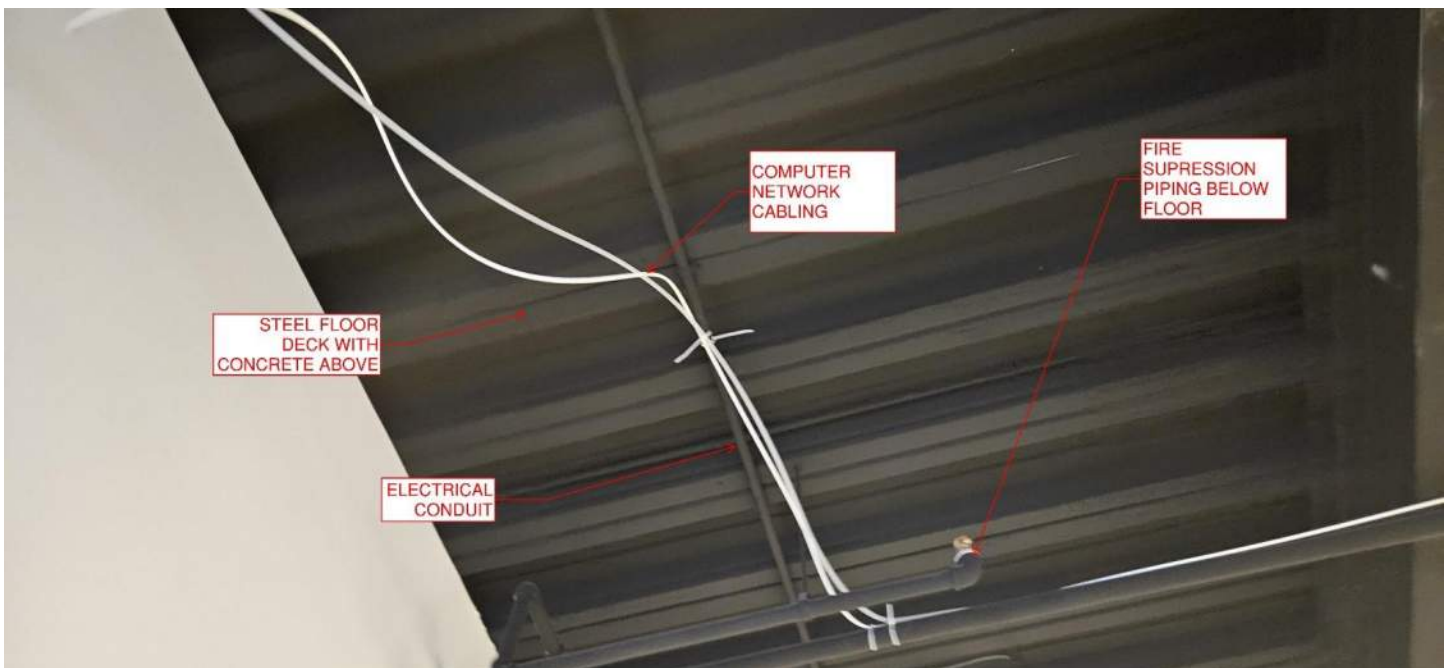


FIGURE 15 - CABLING AND FIRE SUPPRESSION PIPING

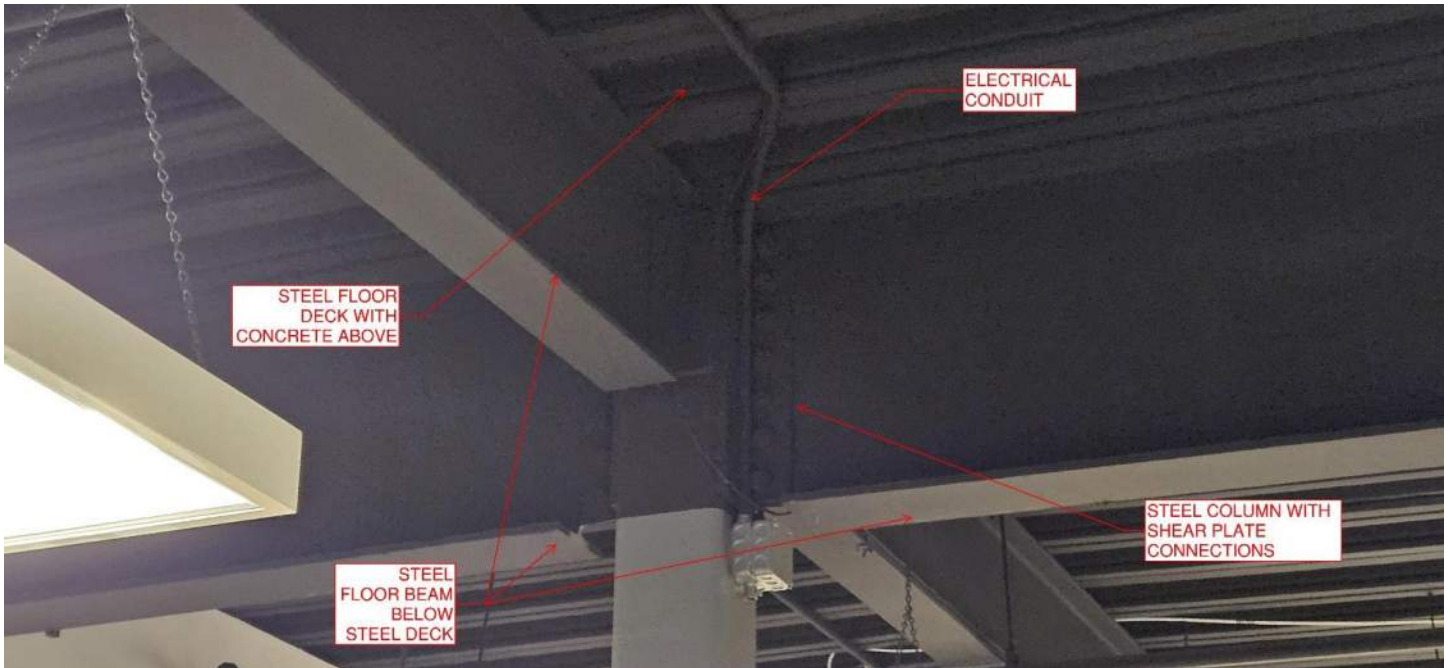


FIGURE 16 - UPPER FLOOR FRAMING OF BEAMS TO COLUMN

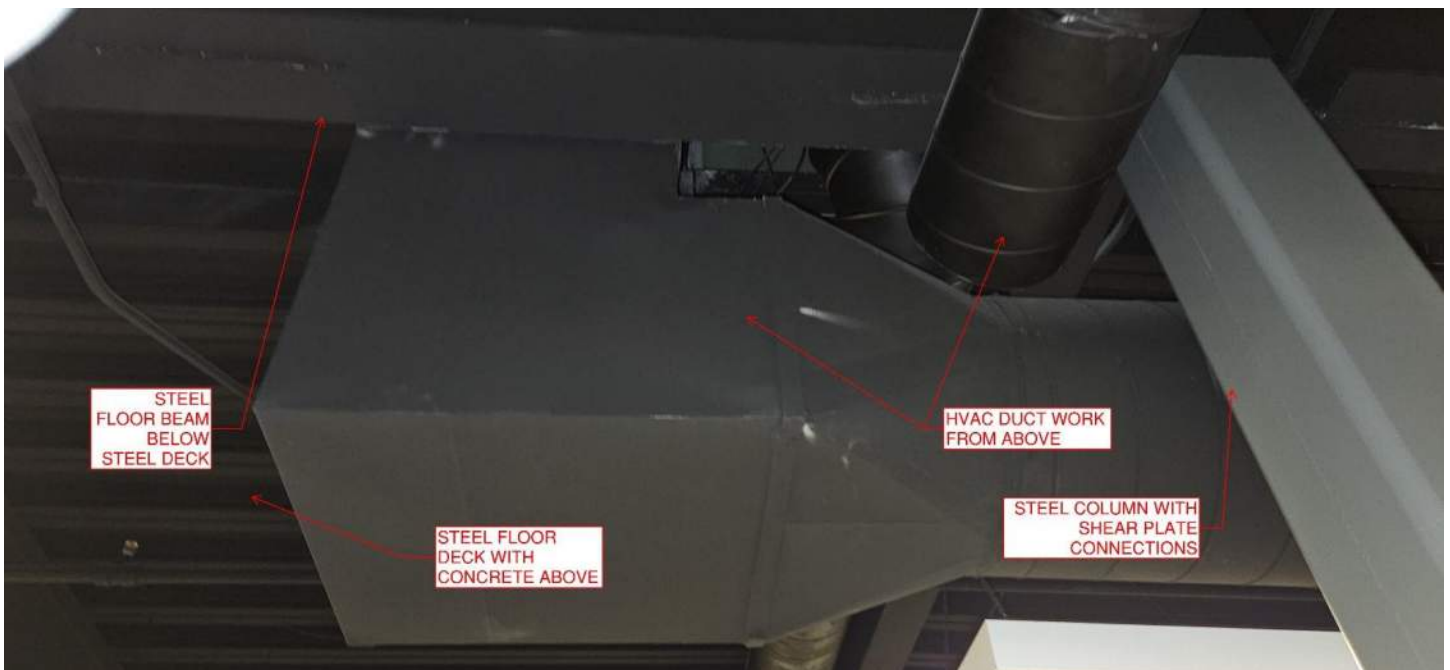


FIGURE 17 - HVAC DUCTWORK FROM ABOVE



FIGURE 18 - CEILING SPACE ABOVE THE MAIN LEVEL



FIGURE 19 - NATURAL GAS SUPPLY METER



FIGURE 20 - CHIPPING AT SOUTH WINDOW SAWCUTS



FIGURE 21 - WALL PENETRATION AT IN THE SOUTH WALL

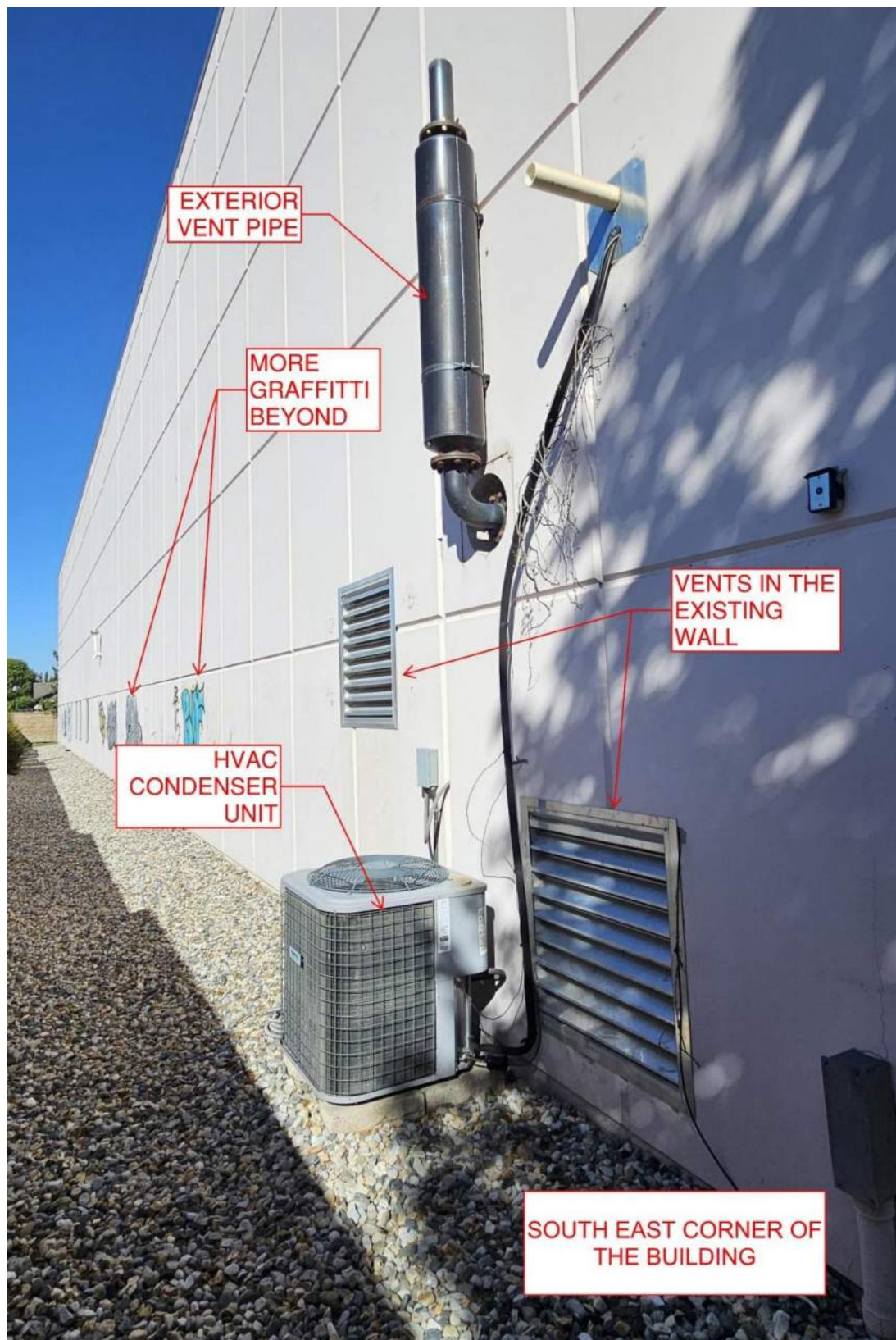






FIGURE 22 - MECHANICAL GROUND UNIT



FIGURE 23 - ELECTRICAL SERVICE PANELS



FIGURE 24 - HVAC ROOFTOP UNIT

LENNOX DALLAS, TEXAS		ASSEMBLED IN THE USA			
M/N: KGB092S4BM2G		CAT#: BV586			
S/N: 5621H04683					
HEATING DATA / CHAUFFAGE					
INPUT (BTUH MAX/MIN) 0-2000	CONSUMPTION (BTUH MAX/MIN)	180,000 / 117,000			
OUTPUT (BTUH MAX)	CONSUMPTION (BTUH MAX)	172,000 / 117,000			
MANFOLD PRESSURE (IN. W.C.) 0-2000	PRESSION TUBULURE ALIMENT (PO. C.E.)	3.7 / 1.6			
MANFOLD PRESSURE (IN. W.C.) 0-2000	PRESSION TUBULURE ALIMENT (PO. C.E.)	3.4 / 1.6			
GAS SUPPLY PRESS. (IN. W.C. MAX/MIN)	PRESSION ENTREE GAZ (PO. C.E. MAX/MIN)	10.5 / 4.7			
MAX. OUTLET AIR TEMP.	TEMP. MAX. AIR DE SORTIE	185°F			
TEMPERATURE RISE (MAX/MIN)	ELEVATION DE TEMPERATURE (MAX/MIN)	30-60°F			
UNIT TESTED AT MAX.	UNITE TESTEE A				
STATIC PRESS. (IN. W.C.)	PRESSION STATIQUE MAX (PO. C.E.)	1.6			
MFG. RECOMMENDED ORIFICE SIZE	ORIFICE RECOMMANDE PAR FABRICANT	0.0646 IN			
FOR ALTITUDES ABOVE (FT.)	POUR ALTITUDES SUPERIEURES A (PIEDS)	2,000			
SEE INSTALLATION INSTRUCTIONS	VOIR INSTRUCTIONS D'INSTALLATION				
COOLING DATA/CLIMATISATION					
FACTORY CHARGE/CHARGE SORTIE D'USINE		CONTAINS / CONTIENT R134A			
STAGE 1 4 LBS 0 OZ	STAGE 3	MIN DESIGN PRESS / PRESS. NOM. MIN			
STAGE 2 3 LBS 8 OZ	STAGE 4	LOW/BASSE 236 PSIG			
		HIGH/Haute 446 PSIG			
COOLING BTUH: 86,000		EER: 12.7		EER: 11 THERMAL EFF: 80%	
ELECTRICAL RATING / CIRCUIT ELECTRIQUE					
RATED		CHARACTERISTIC		VOLTS 480 HERTZ 60 PHASE 3	
OPTIONAL 115V CKT. RATED		EN OPTION 115V CKT. RATED		115 VOLTS 1 PHASE	
SCCR - INFINITY		MIN. CKT. AMPACITY / AMPERAGE MINIMUM		MAX. FUSE OR CKT. BKR FUSEL/DISJ MAX (HACH PER NEG)	
USE 75 °C (167 °F) CONDUCTORS AT 75 °C (167 °F)		480		115	
AMPACITY MINIMUM		VOLTS CKT. VOLT CKT.		480	
OPERATION LIMITS		VOLTS: MIN 414 MAX 506		115	
<input type="checkbox"/> W/O POWER EXHAUST/SANS EVACUATEUR MOTORISE		20		26	
<input type="checkbox"/> W/POWER EXHAUST/AVEC EVACUATEUR MOTORISE		22		26	
MOTOR RATINGS/CHARACT. MOTEURS *		QTY	RLA	HP	PH FLA LRA
COMPRESSOR (1)	COMPRESSEUR (1)			8	3 59
COMPRESSOR (2)	COMPRESSEUR (2)		4	3	31
COMPRESSOR (3)	COMPRESSEUR (3)			3	
COMPRESSOR (4)	COMPRESSEUR (4)			3	
EVAPORATOR	EVAPORATEUR			2	3 3.4
OUTDOOR FAN	CONDENSEUR	2		0.33	1 1.3
COMBUSTION AIR BLOWER	VENT. AIR COMB. (480)	1		1	0.33
OPT EXHAUST	VENT. EVAC. OPT.	1		0.33	1 1.3
MIN AMBIENT TEMP. IN WHICH UNIT MAY BE OPERATED TEMPERATURE AMBIANTE MIN A LAQUELLE L'UNITE PEUT FONCTIONNER <input type="checkbox"/> -40°F WITHOUT VESTIBULE HEATER / -40°C SANS RECHAUFFEUR D'ENCEINTE <input type="checkbox"/> -60°F WITH VESTIBULE HEATER KIT / -50 °C AVEC RECHAUFFEUR - D'ENCEINTE TC24330 1" MIN CLEARANCE TO COMBUSTIBLE CONSTRUCTION, EXCEPT FRONT: 36" SERVICE CLEARANCE: SEE INSTALLATION INSTRUCTION. OPERATING CLEARANCE: TOP - UNOBSTRUCTED. FOR INSTALLATION ON COMBUSTIBLE FLOORING AND CLASS A, CLASS B OR CLASS C ROOFING MATERIALS WITH BOTTOM DISCHARGE WHEN INSTALLED ON BASE NO. 1 TIGURB or CIGURB. FOR INSTALLATION ON NONCOMBUSTIBLE FLOOR ONLY WITH BOTTOM DISCHARGE, WITHOUT MOUNTING FRAME. UNIT EQUIPPED FOR NATURAL GAS. A CONVERSION KIT SUPPLIED BY THE MFR. SHALL BE USED TO CONVERT THIS UNIT TO LIPIPROPANE:72M95 DEGAGEMENT MIN PAR RAPPORT AUX MATERIAUX COMBUSTIBLES: 1". SAUF A L'AVANT: 36" VOIR INSTRUCTIONS D'INSTALLATION POUR LE DEGAGEMENT DE SERVICE DEGAGEMENT EN FONCTIONNEMENT DESSUS SANS OBSTRUCTION POUR INSTALLATION SUR UNE BASE INFLAMMABLE OU SUR UN TOIT DE CLASSE A, B OU C AVEC SORTIE D'AIR PAR LE BAS AVEC UN CADRE DE MONTAGE TIGURB or CIGURB. POUR INSTALLATION SUR UNE BASE NON INFLAMMABLE AVEC SORTIE D'AIR PAR LE BAS, SANS CADRE DE MONTAGE APPAREIL MONOBLOC UNITE LIVREE POUR UTILISATION AVEC DU GAZ NATUREL. UTILISER UNE TRousse DE CONVERSION PAR LE FABRICANT POUR UTILISER AVEC DU GPL/PROPANE: 72M95 * - BRANCH CIRCUIT RATINGS WHERE APPLICABLE FOR OUTSIDE INSTALLATION ONLY. NOT FOR RESIDENTIAL USE. ASHRAE 90.1 Compliant 2016 ANS Z21.47/CSA-2.3-2016 CENTRAL FURN.  Verified Intertek 32005 2108177.21 (1P) BV586  					

**HVAC UNIT STICKER OTHER UNITS ARE
SIMILAR**

FIGURE 25 - SAMPLE HVAC UNIT LABEL

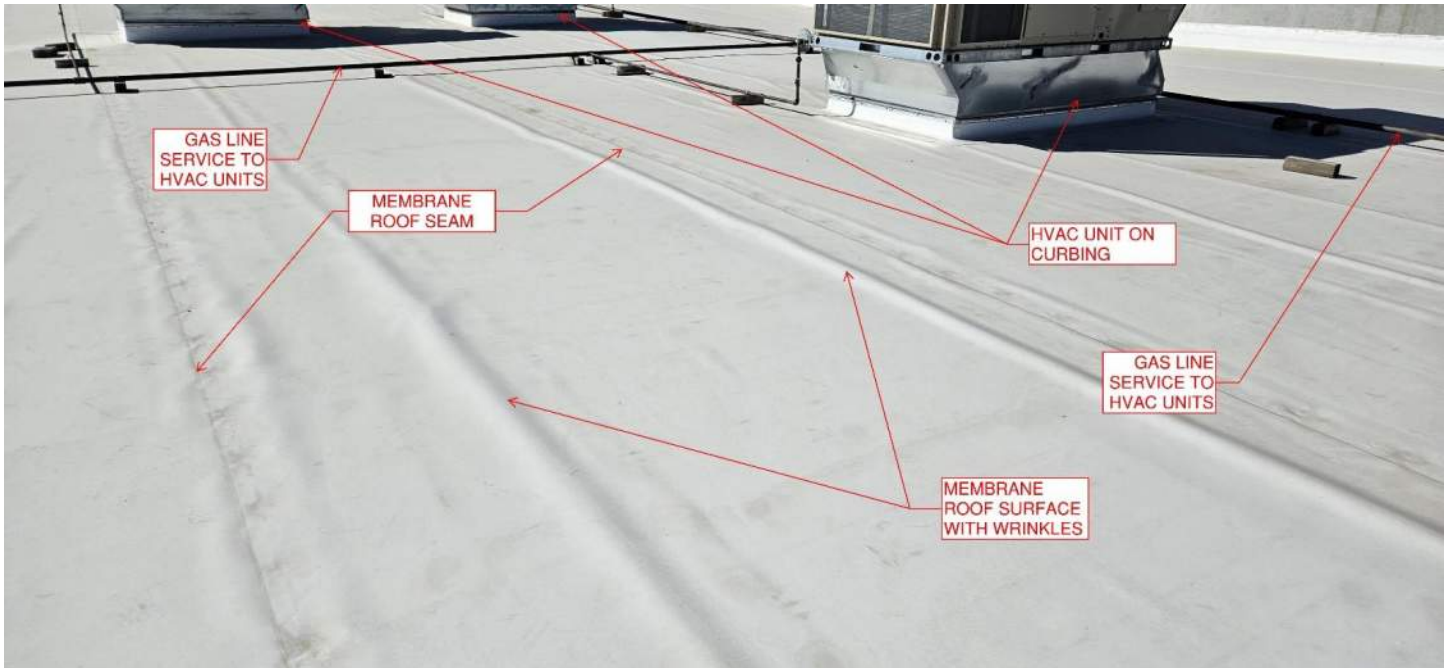


FIGURE 26 - MEMBRANE ROOF

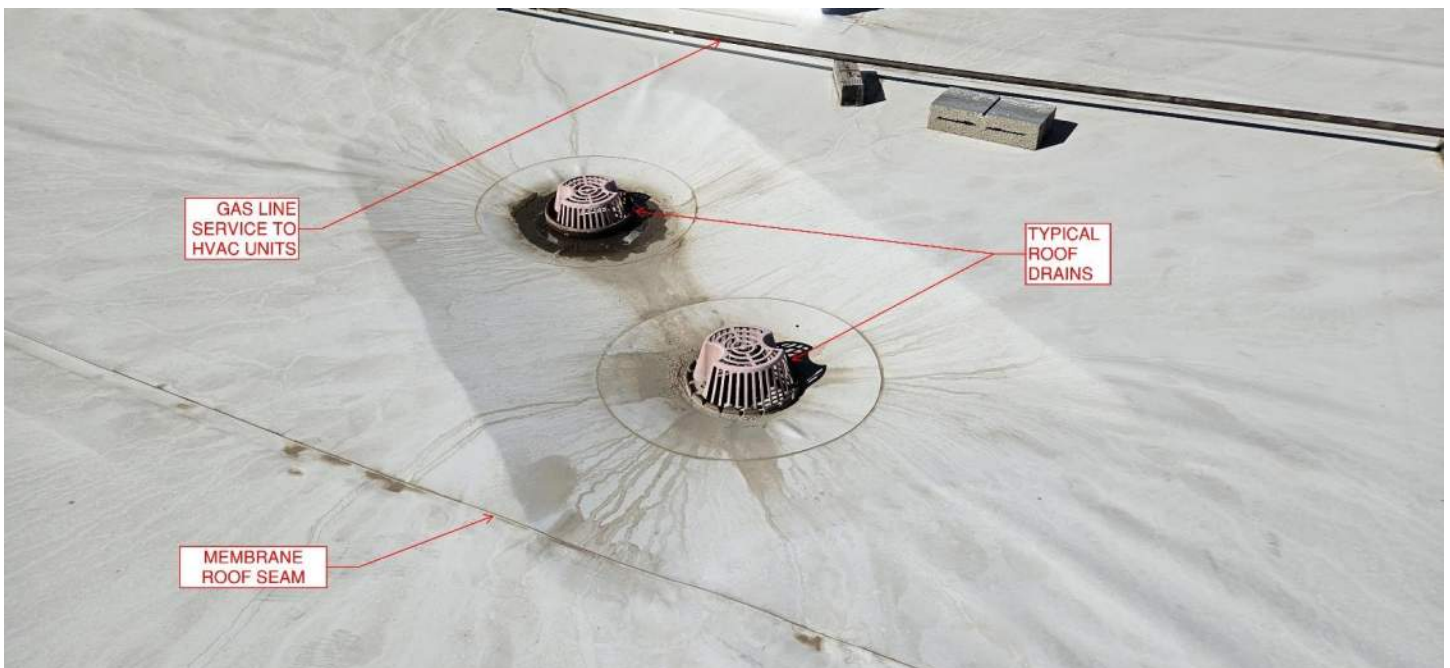


FIGURE 27 - ROOF DRAINS IN THE MEMBRANE ROOF



FIGURE 28 - MULTIPLE ROOFTOP HVAC UNITS

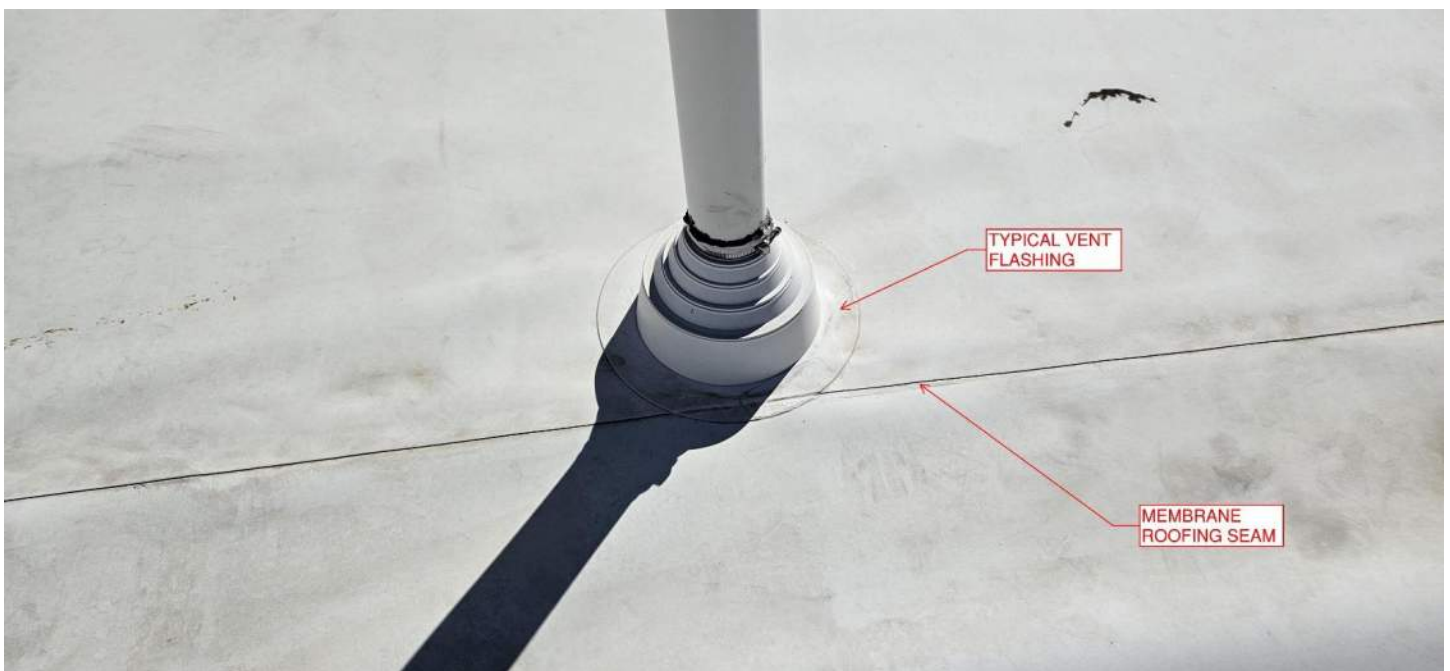


FIGURE 29 - TYPICAL VENT FLASHING

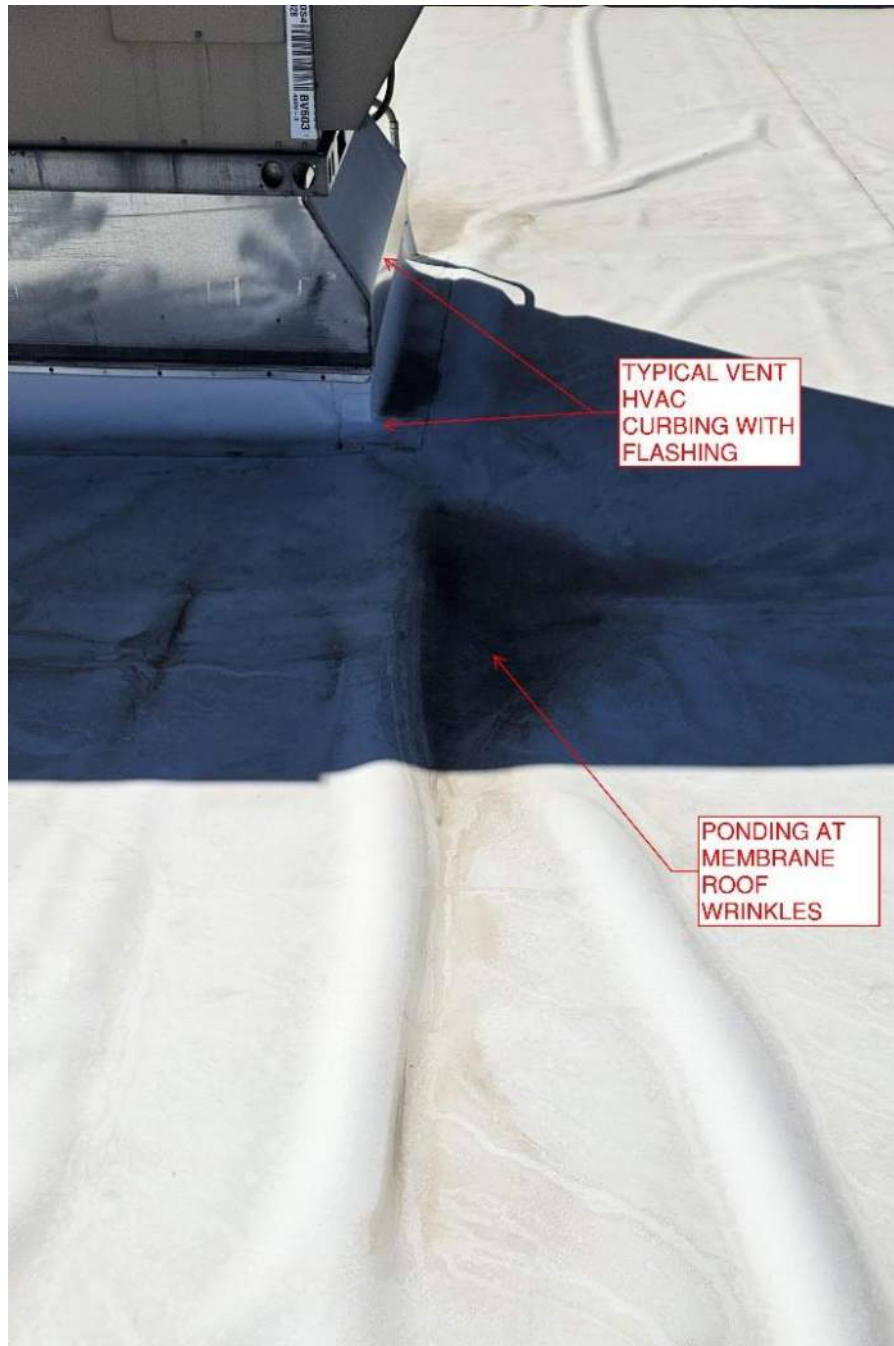


FIGURE 30 - MINOR PONDING ON THE MEMBRANE ROOF

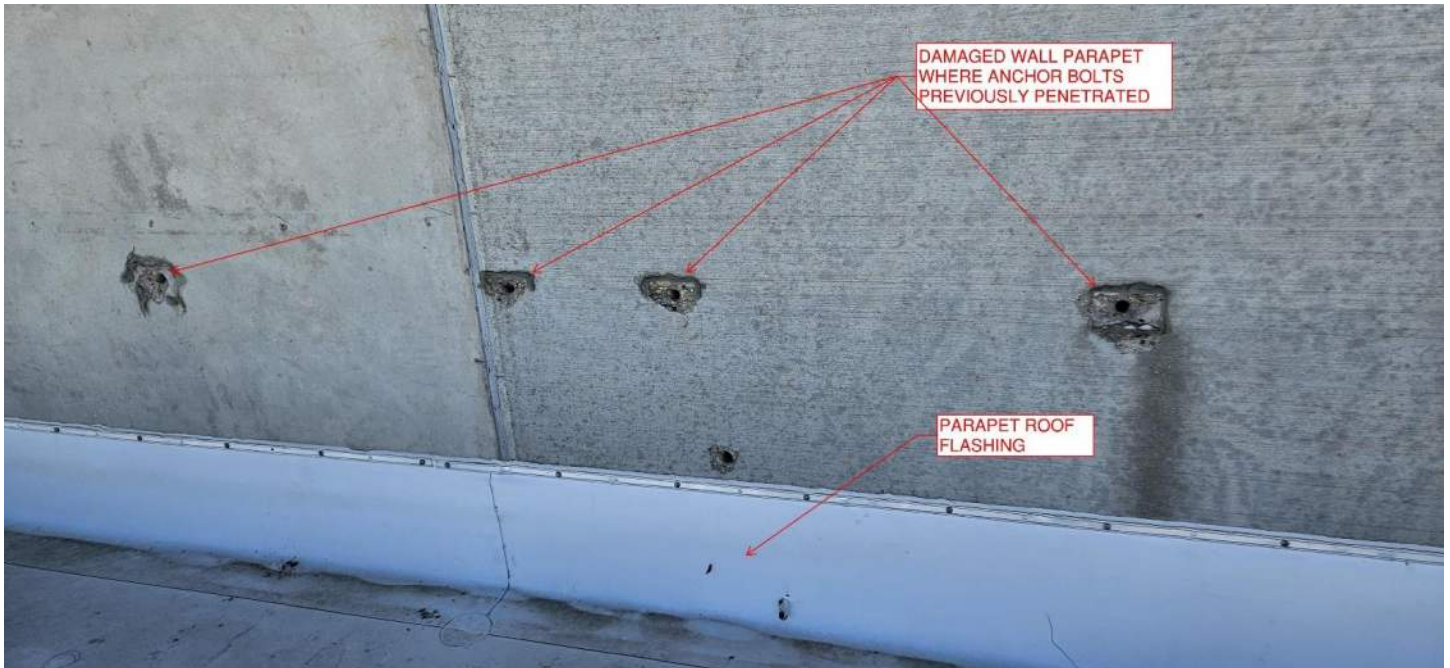


FIGURE 31 - WALL PENETRATIONS AT THE EAST PARAPET



FIGURE 32 - CAPPED ROOF VENT WITH TYPICAL FLASHING



FIGURE 33 - UNUSED SATELLITE DISHES



FIGURE 34 - UNUSED SATELLITE CMU PLATFORM AND DISH

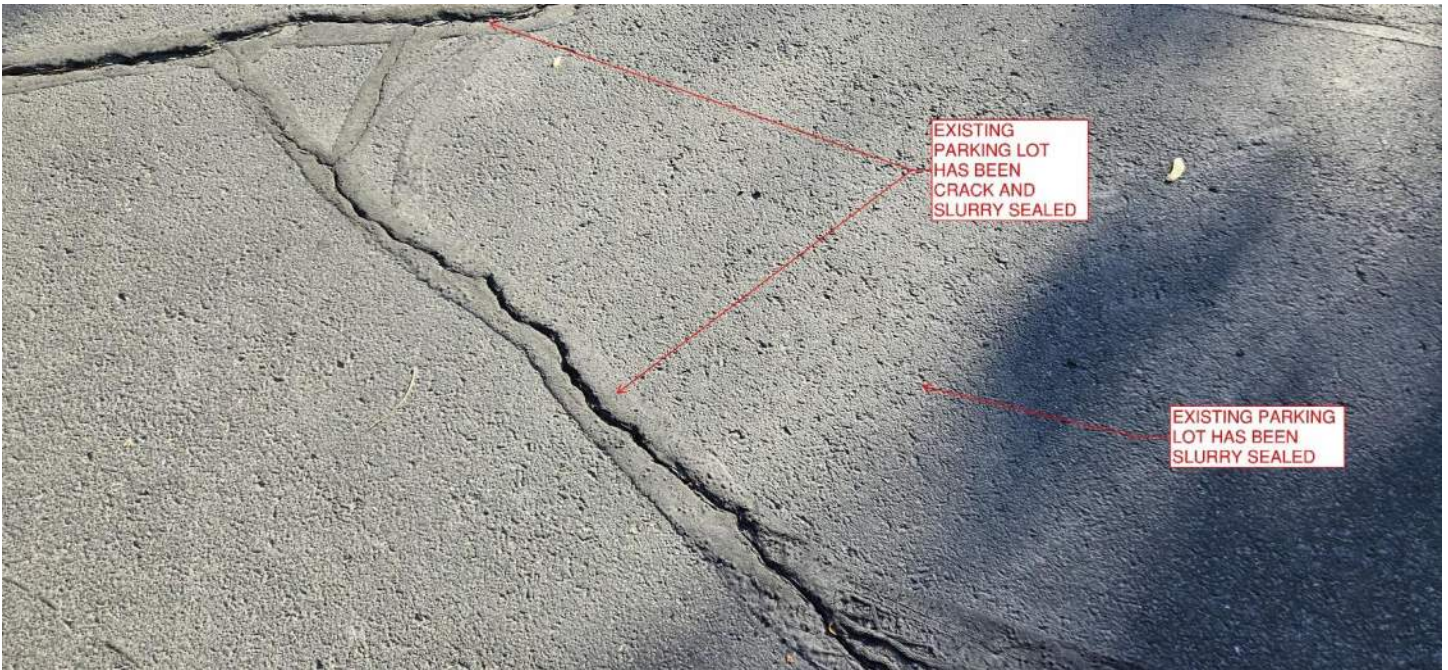


FIGURE 35 - EXISTING PARKING LOT CONDITION

RESERVE ANALYSIS REPORT

9272 Office Condominiums

Sandy, Utah

Report Period: Jan 01, 2025 - Dec 31, 2025

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Introduction

A Reserve Study is anticipating and preparing for major common area repair and replacement expenses. We do this by making projections about the future as well as research and analysis.

A Reserve Study consists of the physical Analysis and the Financial Analysis. The Physical Analysis contains the information about the current condition and repair or replacement cost of the major common area components the association is obligated to maintain. The Physical Analysis information has been assembled by the building owner. The Financial Analysis contains an evaluation of the association's Reserve balance (measured by Percent Funded) and a recommended Funding Plan to offset the anticipated Reserve expenses.

The primary responsibility of the Board of Directors is to maintain, protect, and enhance the assets of the association. As the **physical assets** age and deteriorate, it is important to accumulate **financial assets**, keeping the two "in balance". The Reserve Study is the document that helps keep the physical and financial assets of the association in balance.

This Reserve Study is a budget-planning document. The primary information provided in this document is a list of the major Reserve components, a finding of the current status (strength) of your Reserve Fund, and a recommended Funding Plan.

The basic objective of the Reserve Study is to provide a plan to collect funds at a **stable** rate to offset the predicted **irregular** Reserve expenses. Setting a stable Reserve contribution rate will ensure that each owner pays their "fair share" of the ongoing, gradual deterioration of the common areas.

Methodology

The Board of Directors duty is to point the association responsibly in the direction of proper Reserve planning. A Reserve balance, and the interest rate earned on the Reserve funds has been chosen for this study. The Reserve Component List is provided. With this information and an assumed inflation rate we are able to project the array of future major expenses facing the association.

What assets are covered by reserves?

Reserve expenses are the larger, infrequent expenses that require significant advance planning while operating expenses are those ongoing daily, weekly, or monthly expenses that occur throughout the year. Smaller unexpected repair expenses are typically handled as maintenance expenses, while the larger ones may be covered by insurance or require special assessments.

To determine which expenses should be funded through Reserves four important items must be considered:

- 1- It must be a common area maintenance responsibility
- 2- The component must have a limited life
- 3- The limited life must be predictable (not a "surprise" which cannot be accurately anticipated)
- 4- The component must be above a minimum threshold cost.

This limits Reserve Components to major, predictable expenses. This study has not Reserved for building foundations and major infrastructure elements since they do not have limited life expectancies.

Light bulbs or other small items are usually not listed as Reserve Components since their individual costs are insignificant. Also, not included are unpredictable expenses such as damage due to fire, flood, or earthquake since these typically cannot be considered “reasonably predictable”.

The Financial Analysis

We have used the Reserve Component List to compute the association’s current Percent Funded and an appropriate Reserve Contribution rate. These two pieces of information are considered the Financial Analysis.

The Reserve cash balance can measure reserves, but the true measure is whether the funds are adequate for the needs of the association. Reserve Fund size is therefore measured by Percent Funded. Percent Funded is the actual (or projected) Reserve Balance, divided by the association’s calculated Fully Funded Balance (FFB), expressed as a percentage. The Fully Funded Balance is the sum of the value of the deterioration fraction of each individual Reserve components, not the total replacement value of those components.

Special assessments and deferred maintenance are common when the Percent Funded is weak (below 30%). While the 100% point is ideal, a Reserve Fund above the 70% level should be considered “strong” because cash flow problems are rare. Measuring your Reserves by Percent Funded tells how well prepared the association is for upcoming Reserve expenses. An association with a strong Reserve Fund should experience smooth sailing financially, while an association with a weak Reserve Fund should expect cash flow problems. New buyers should be very aware of this important disclosure!

How much to contribute?

There are four Funding Principles that need to be balanced in developing the Reserve Funding Plan. First and foremost, the objective is to design a plan that provides for sufficient cash to perform the Reserve projects on time. A stable contribution rate is desirable because it indicates the association is being run on a stable financial platform, not being driven by the winds of change from year to year.

For fairness, it is important to evenly distribute the contributions over the years so each owner pays their fair share of the deterioration in direct proportion to the amount of time they are owners. And finally, any Funding Plan must be based on fiscally responsible principles. The Funding Plan was created by a process where different solutions were tested until one was found that most successfully met all four of these principles and achieved the Funding Goal.

Funding Goal

There are different Funding Goals to strive for, ranging from conservative to risky. Establishing a goal of simply having sufficient cash for all future years is called **Baseline Funding**. The drawback is that there is little or no “margin for error”, and expenses that are higher than budgeted or projects that occur earlier than planned will often cause special assessments.

Full Funding is when the association has the goal of becoming Fully Funded (Reserve Cash equals the FFB). Such an objective means the association is following the simple and responsible principle that you replace what you use up.

Believing this to be the responsible choice, the Funding Plan will direct the association to Full Funding. Members of Fully Funded associations enjoy low exposure to the risk of special assessments or deferred maintenance.

Strong interest earnings will minimize owner Reserve contributions. Board members enjoy peace of mind that the association’s physical and financial assets are in balance, and therefore a degree of insulation from claims of fiscal irresponsibility.

Threshold Funding option is different in that the association selects a target other than 0% or 100%. This objective may be between 0% and 100% Funded, higher than 100% Funded, or a particular Reserve cash balance. Associations choosing Threshold Funding select this option to customize their risk exposure.

Projected Expenses

While this Reserve Study looks forward 30 years, we have no expectation that all these expenses will all take place as anticipated. This Reserve Study needs to be updated annually because we expect the timing of these expenses to shift and the size of these expenses to change. We do feel more certain of the timing and cost of near-term expenses than expenses many years away. Please be aware of your near-term expenses, which we are able to project more accurately than the more distant projections.

Reserve Fund Status

The starting point for our financial analysis is the Reserve Fund balance, projected to be \$65,000 as-of the start of the Fiscal Year on 4/1/2025. This is based on the projections provided to our firm. As of your Fiscal Year Start, your Fully Funded Balance is computed to be \$178,700. This figure represents the deteriorated value of your common area components.

Glossary of Terms:

Annual Fully Funded Requirement: This is a theoretical value represented in the Percent Funded Analysis report per component. It's also considered the annual accrued depreciation. In other words it's the ideal amount required to Fully Fund the replacement on an annual basis. The amount is calculated based on the useful life and replacement cost and makes no adjustment to eliminate any current reserve deficits.

Annual Reserve Contributions: The total assessments, fees, or dues are apportioned between annual operating costs (paying for trash, water, utilities, maintenance, insurance, management fees) and the money you are setting aside every year to pay for anticipated expenditures. This value should not include interest earned as that is already calculated into the reserve funding plans. Our Reserve Analysis Report compares the annual reserve contributions vs. the anticipated expenditures over the duration of the reserve funding plan.

Component: Components are all the different common parts of the property (that typically an HOA would be responsible for). They are everything from the roof to asphalt or concrete to decking and balconies to landscaping, lighting, and painting. All of these things need to be repaired or replaced eventually. Our Reserve Analysis Report provides estimates of those current replacement costs to help determine how much money will be required in the bank to pay for them eventually.

Fully Funded Reserve Balance: The Fully Funded Reserve Balance is the total accrued depreciation. In other words it's the amount of life "used up" for each one of your components translated into a dollar value. This is calculated by multiplying the fractional age of each component by its current estimated replacement cost, then adding them all together, otherwise known as straight-line depreciation. Its purpose is to help you measure the strength of your reserve fund.

Reserve Balance: This is how much money you have in the bank set aside for reserves at a given point in time, like at the start of each fiscal year called 'Starting Reserve Balance' or at the end of the fiscal year called 'Ending Reserve Balance.' It can also be the reserve accumulated to date, like in the Percent Funding Analysis report where each component has an 'Accumulated Reserve Balance' value.

Reserves are the money set aside for anticipated common area expenses. The reserve account (also called cash reserves or reserve funds) is funded by dues collected from owners (like HOA fees).

Just like an emergency fund or a rainy-day fund to cover personal expenses if the car breaks down or the kitchen sink leaks, HOAs with commonly owned space like condominiums must set aside a healthy percentage of funds every year to plan for the future.

Without it, paying for big expenses becomes difficult. It may require a special assessment to raise the funds to pay for a repair, putting an oversized financial burden on owners. Or a capital improvement loan may be required. The Reserve Analysis report will help figure out a sufficient amount of money to put away in reserves each year to pay for those eventual expenses. Usually a 70% funded reserve balance or above is considered strong.

Remaining Useful Life (RUL): Remaining useful life is how many remaining years of use a component should have left before it has to be replaced. For example, if the useful life of your roof is 20 years and it is five years old, the remaining useful life would be 15 years.

Replacement Contingency %: The replacement contingency percentage is a budgeting option that gives you the flexibility to determine the amount or percentage to fund replacements. This gives you more control to establish the funds available to make the necessary repairs on a cycled basis. For example, the retaining walls may be estimated to be replaced over 25 years, but the budget may call to phase the replacement in stages of 20% every five years. It may be determined to only account for that percentage of the replacement cost in your budget.

Source: These are the source(s) utilized to obtain component repair or replacement cost estimates and can be reviewed on the Component Inventory report.

Useful Life (UL): Useful life is how many years a component is expected to be in use from the time it's new (or refurbished) ; to the time it has to be replaced. For example, the roof – depending on what kind it is – might have a useful life of 20 years. After 20 years, you'd expect to replace it.

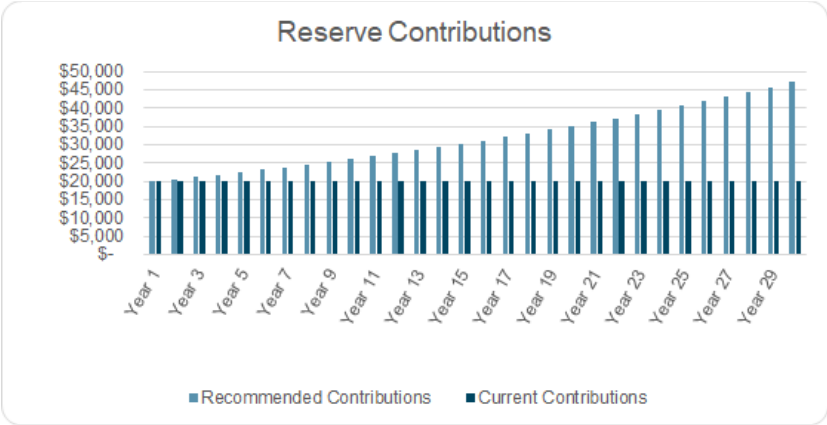
Executive Summary

Property Description	Financial Summary
Property Name: 9272 Office Condominiums	Starting Reserve Balance: \$65,000
	Annual Contribution: \$20,000
	Required Reserve Balance \$178,700
Location: Sandy, UT	Percent Funded: 36%
Project Type: Office	Current Annual Reserve Deposit: \$20,000

Assumed Inflation, Interest & Rate of Annual Reserve Contribution Increase

Funding and anticipated expenditures have been computed with a time value of money approach with the following rates:

Inflation:	Interest:	Annual Reserve Contribution Increase:
3.00 %	2.00 %	Varies
Applied to the anticipated expenditures	Applied to the average annual reserve balance	See individual funding models

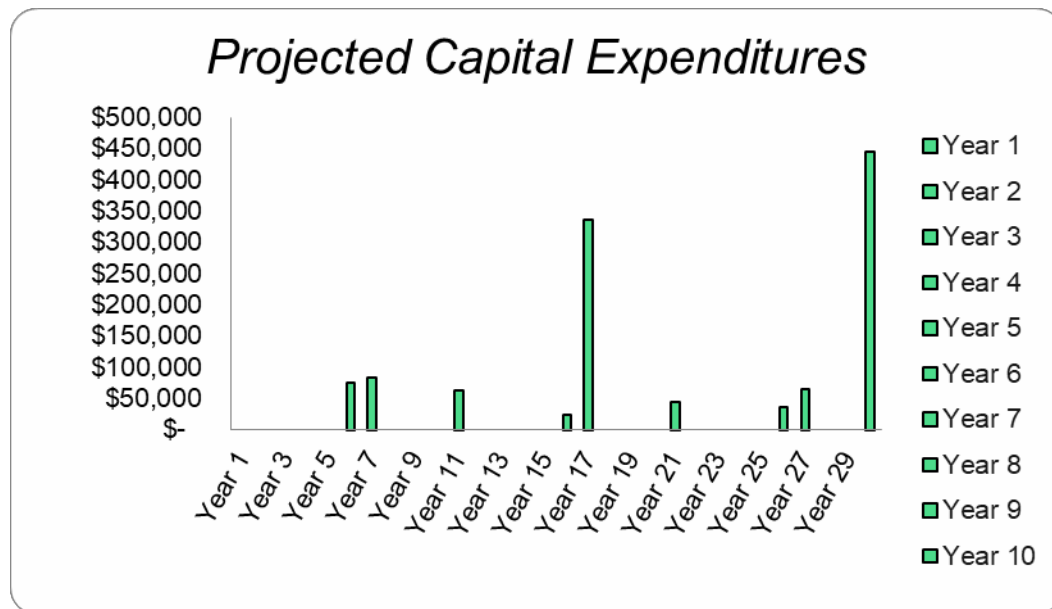


Component Inventory

Current Replacement Cost: \$695,000

Component	Project Number	UL	RUL	Unit Price	Quantity	Current Replacement Cost	Anticipated Expenditures	Source
HVAC Rooftop		20	16	\$15,000	14	\$210,000	\$336,988	
Membrane Roof		30	29	\$189,000	1	\$189,000	\$445,391	
Seal Parking Lot		15	10	\$17,000	1	\$17,000	\$22,847	
Concrete Sidewalks		50	26	\$30,000	1	\$30,000	\$64,698	
Elevator Upgrade		30	6	\$70,000	1	\$70,000	\$83,584	
Generator Replacement		25	5	\$65,000	1	\$65,000	\$75,353	
Common Areas Paint		20	20	\$25,000	1	\$25,000	\$28,982	
Bathroom Upgrades		35	35	\$70,000	1	\$70,000	\$196,970	
Common Areas Carpet		15	15	\$15,000	1	\$15,000	\$23,370	
Trash Dumpster Gate		24	10	\$4,000	1	\$4,000	\$5,376	
Totals						\$695,000	\$1,299,788	

Measure key : SF = Square Feet , EA = Each , SY = Square Yard(s) , LF = Linear Feet , ALW = Allowance , BLD = Building(s) , CY = Cubic Yard(s) , LT = Lot , PLC = Place(s) , SQ = Square(s) , TN = Ton(s) , LS = Lump Sum



Component Future Cost

Component	Useful Life (yrs)	Rem. Useful Life (yrs)	Current Cost	Future Cost
HVAC Rooftop commercial pac	20	16	\$210,000	\$336,988
Rubber membrane roof	30	29	\$189,000	\$445,391
Seal Parking Lot	15	10	\$17,000	\$22,847
Concrete Sidewalks	50	26	\$30,000	\$64,698
Elevator Upgrade	30	6	\$70,000	\$83,584
Generator Replacement	25	5	\$65,000	\$75,353
Common Areas Paint	20	20	\$25,000	\$45,153
Bathroom Upgrades	35	35	\$70,000	\$196,970
Common Areas Carpet	15	15	\$15,000	\$23,370
Trash Dumpster Enclosure Gat	24	10	\$4,000	\$5,376
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0

[illegible]

30-YEAR RESERVE EXPENSE/CONTRIBUTION TABLE											
	Starting	Reserve	Interest	Projected	Ending	Percent					
Year	Reserve Balance	Imended Contrib	Earned	Expenses	Reserve Balance	rget 100%	Balar	Funded Level	Goal	Current Contributions	
Year 1	\$ 65,000	\$ 20,000	\$ 1,700	\$ -	\$ 86,700	\$ 178,700		36%	75%	\$ 20,000	
Year 2	\$ 86,700	\$ 20,600	\$ 2,146	\$ -	\$ 109,446	\$ 212,781		41%	75%	\$ 20,000	
Year 3	\$ 109,446	\$ 21,218	\$ 2,613	\$ -	\$ 133,277	\$ 248,746		44%	75%	\$ 20,000	
Year 4	\$ 133,277	\$ 21,855	\$ 3,103	\$ -	\$ 158,234	\$ 286,677		46%	75%	\$ 20,000	
Year 5	\$ 158,234	\$ 22,510	\$ 3,615	\$ -	\$ 184,360	\$ 326,660		48%	75%	\$ 20,000	
Year 6	\$ 184,360	\$ 23,185	\$ 2,644	\$ 75,353	\$ 134,836	\$ 368,784		50%	75%	\$ 20,000	
Year 7	\$ 134,836	\$ 23,881	\$ 1,503	\$ 83,584	\$ 76,636	\$ 335,529		40%	75%	\$ 20,000	
Year 8	\$ 76,636	\$ 24,597	\$ 2,025	\$ -	\$ 103,258	\$ 293,796		26%	75%	\$ 20,000	
Year 9	\$ 103,258	\$ 25,335	\$ 2,572	\$ -	\$ 131,166	\$ 337,932		31%	75%	\$ 20,000	
Year 10	\$ 131,166	\$ 26,095	\$ 3,145	\$ -	\$ 160,406	\$ 384,451		34%	75%	\$ 20,000	
Year 11	\$ 160,406	\$ 26,878	\$ 3,181	\$ 28,222	\$ 162,244	\$ 433,458		37%	75%	\$ 20,000	
Year 12	\$ 162,244	\$ 27,685	\$ 3,799	\$ -	\$ 193,727	\$ 455,990		36%	75%	\$ 20,000	
Year 13	\$ 193,727	\$ 28,515	\$ 4,445	\$ -	\$ 226,687	\$ 509,424		38%	75%	\$ 20,000	
Year 14	\$ 226,687	\$ 29,371	\$ 5,121	\$ -	\$ 261,179	\$ 565,655		40%	75%	\$ 20,000	
Year 15	\$ 261,179	\$ 30,252	\$ 5,829	\$ -	\$ 297,259	\$ 624,800		42%	75%	\$ 20,000	
Year 16	\$ 297,259	\$ 31,159	\$ 6,101	\$ 23,370	\$ 311,150	\$ 686,986		43%	75%	\$ 20,000	
Year 17	\$ 311,150	\$ 32,094	\$ 125	\$ 336,988	\$ 6,381	\$ 728,269		43%	75%	\$ 20,000	
Year 18	\$ 6,381	\$ 33,057	\$ 789	\$ -	\$ 40,226	\$ 449,106		1%	75%	\$ 20,000	
Year 19	\$ 40,226	\$ 34,049	\$ 1,486	\$ -	\$ 75,761	\$ 510,049		8%	75%	\$ 20,000	
Year 20	\$ 75,761	\$ 35,070	\$ 2,217	\$ -	\$ 113,047	\$ 574,244		13%	75%	\$ 20,000	
Year 21	\$ 113,047	\$ 36,122	\$ 2,080	\$ 45,153	\$ 106,097	\$ 641,832		18%	75%	\$ 20,000	
Year 22	\$ 106,097	\$ 37,206	\$ 2,866	\$ -	\$ 146,169	\$ 666,451		16%	75%	\$ 20,000	
Year 23	\$ 146,169	\$ 38,322	\$ 3,690	\$ -	\$ 188,181	\$ 739,871		20%	75%	\$ 20,000	
Year 24	\$ 188,181	\$ 39,472	\$ 4,553	\$ -	\$ 232,206	\$ 817,098		23%	75%	\$ 20,000	
Year 25	\$ 232,206	\$ 40,656	\$ 5,457	\$ -	\$ 278,319	\$ 898,292		26%	75%	\$ 20,000	
Year 26	\$ 278,319	\$ 41,876	\$ 5,692	\$ 35,594	\$ 290,292	\$ 983,622		28%	75%	\$ 20,000	
Year 27	\$ 290,292	\$ 43,132	\$ 5,375	\$ 64,698	\$ 274,101	\$ 1,036,602		28%	75%	\$ 20,000	
Year 28	\$ 274,101	\$ 44,426	\$ 6,371	\$ -	\$ 324,897	\$ 1,062,998		26%	75%	\$ 20,000	
Year 29	\$ 324,897	\$ 45,759	\$ 7,413	\$ -	\$ 378,069	\$ 1,158,683		28%	75%	\$ 20,000	
Year 30	\$ 378,069	\$ 47,131	\$ (404)	\$ 445,391	\$ (20,595)	\$ 1,259,152		30%	75%	\$ 20,000	

Percent Funded Level





Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #: 26-031, **Version:** 1

Date: 2/5/2026

Minutes from January 15, 2026 Meeting



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Minutes

Planning Commission

Dave Bromley
Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
LaNiece Davenport
Craig Kitterman (Alternate)
Jennifer George (Alternate)

Thursday, January 15, 2026

6:15 PM

Council Chambers and Online

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

https://us02web.zoom.us/webinar/register/WN_W4zVNH3BSjuQRHiwuuCDaQ

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/j/89153255803>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866
(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/j/89153255803>

Webinar ID: 829 3613 1453

Passcode: 240049

4:30 PM FIELD TRIP

1. [26-008](#) Map

Attachments: [011526.pdf](#)

5:15 PM EXECUTIVE SESSION

Meeting went into Recess

Meeting Reconvened

6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

Present 6 - Commissioner David Hart
Commissioner Daniel Schoenfeld
Commissioner Steven Wrigley
Commissioner Craig Kitterman
Commissioner Jennifer George
Commissioner LaNiece Davenport

Absent 3 - Commissioner Dave Bromley
Commissioner Cameron Duncan
Commissioner Ron Mortimer

Public Hearings

DRAFT

2. [ANX1118202](#) Summerhays Annexation (R-1-40A)
[5-007083\(PC](#) 2935 E. Dimple Dell Road
[\)](#) [Community #29]

Attachments: [Vicinity Map](#)
[Signed Resolution](#)
[Notices Posted](#)
[Legal Description](#)
[Preliminary Plat](#)
[Staff Report](#)

Mike Wilcox introduced this item to the Planning Commission.

Sylvia Grace Acosta, attorney representing Summerhays family, presented this item to the Planning Commission.

Brian McCuiston, further presented this item to the Planning Commission.

David Hart asked the applicant if they understand the four findings in the staff report.

Sylvia Grace Acosta said yes.

Daniel Schoenfeld opened this item for public comment.

Michael Childs, attorney representing the Oaksen family, said his client has an issue with the title.

Steven van Maren, Draper resident, shared a concern about widening of Dimple Dell Road.

Daniel Schoenfeld closed this item to public comment.

Brian McCuiston said the concerns regarding the title and widening of Dimple Dell Road are not part of the annexation.

A motion was made by David Hart, seconded by Steven Wrigley, that the Planning Commission send a positive recommendation to the City Council that the Summerhays Annexation be approved and zoned R-1-40A based on the four findings detailed in the staff report. The motion carried by the following roll call vote:

Yes: 6 - David Hart
Daniel Schoenfeld
Steven Wrigley
Craig Kitterman
Jennifer George
LaNiece Davenport

Absent: 3 - Dave Bromley
Cameron Duncan
Ron Mortimer

Nonvoting: 0

Public Meeting Items

DRAFT

3. [SPR0313202](#) Architectural Components HQ Site Plan (Site Plan Review)
[5-006926](#) 9352 S 670 W
[Community 2, Civic Center]

Attachments: [Staff Report](#)
[Exhibit A](#)
[Exhibit C](#)

Mike Wilcox introduced this item to the Planning Commission.

Michelle Shaffer & Josh Naylor, 9252 S 670 W, presented this item to the Planning Commission.

Daniel Schoenfeld asked if they've read through the staff report.

Michelle Shaffer said yes.

David Hart asked how many employees they have.

Josh Naylor said no more than 25.

David Hart said their request to reduce the parking will only leave a couple of open stalls for visitors and expressed concern about adding to the off street parking.

Michelle Shaffer said they will not be adding to the off street parking.

LaNiece Davenport asked if the reason for the parking reduction is so they don't have to reduce the square footage of the building.

Josh Naylor replied that the reciprocal access on the north and south is what cramped the parking.

Thomas Irvin further presented this item to the Planning Commission.

Steven Wrigley asked if there's additional parking near the trash can area.

Thomas Irvin said that area could not be used for a parking stall. It would be for a truck to be able to back in and out.

Daniel Schoenfeld opened this item for public comment.

Daniel Schoenfeld closed this item to public comment.

A motion was made by LaNiece Davenport, seconded by Jennifer George, that the Planning Commission determine preliminary site plan review is complete for the proposed Architectural Components Headquarters located at 9352 S 670 W based on the four findings and subject to the five conditions detailed in the staff report along with the additional memorandum that was received. The motion carried by the following roll call vote:

Yes: 6 - David Hart
Daniel Schoenfeld
Steven Wrigley
Craig Kitterman
Jennifer George
LaNiece Davenport

Absent: 3 - Dave Bromley
Cameron Duncan
Ron Mortimer

Nonvoting: 0

Administrative Business

An all in favor motion was made by David Hart to approve the meeting minutes from 12.04.2025.

1. Minutes

[26-009](#) Minutes from December 4, 2025 Meeting

Attachments: [12.04.2025 PC Minutes \(DRAFT\)](#)

2. Sandy City Development Report

3. Director's Report

[26-010](#) Development Report

Attachments: [01.01.2026 DEV REPORT](#)

Adjournment

An all in favor motion was made by David Hart to adjourn.

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #: 26-032, **Version:** 1

Date: 2/5/2026

Development Report

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Pending										
SWIG - State Street	10187 S STATE ST	SPR01062025-006903	06/25/2025			CBD	Pranavi Koka - Bowma		mwilcox	Pending
Bicentennial Park Localscapes Conversion	552 E 8680 S	SPR01242024-006702	03/12/2024			OS	Ben Rodes	2088607297	sstringham	Pending
Storm Mountain Park Localscapes Conversio	11426 S 1000 E	SPR01242024-006703	03/08/2024			OS	Ben Rodes	2088607297	sstringham	Pending
Sandy Shulsen Mixed Use	10116 S MONROE ST, 84070	SPR02082023-006482	12/14/2023			CBD-A&C	David Denison	801-836-6235	mwilcox	Pending
Compass Apartments	179 West 9270 South	SPR02212024-006719	09/27/2024			RC	David Denison	801-836-6235	mwilcox	Pending
Architectural Components HQ Site Plan	9352 S 670 W	SPR03132025-006926	01/23/2026		0.69	ID	Josh Naylor	8015577523	tirvin	Fees Paid
The Orchards at Dimple Dell	10216 S DIMPLE DELL RD	SPR03262024-006738	05/01/2024			R-1-10	Brett Lovell	8017064693	tirvin	Pending
Rasht Development Project	8475 S STATE ST	SPR04242024-006758	03/21/2025		0.98	RC	Ramin Nasrabadi		dwheelwright	Pending
Sandy Station Townhomes	8925 S HARRISON ST	SPR05132025-006965			1.36	RC	David Kelly	3852835285	mwilcox	Pending
MACU Event Cenenter/ SLCO	9575 S STATE ST	SPR09062024-006841			0.96	CBD	Jordan Gray	3582145760	dwheelwright	Pending
MedVet Urgent Care - Modified Site Plan Rev	10291 S STATE ST	SPR10022024-006862				CBD	Michelle Martin		sstringham	Fees Due
Wasatch Pain Solutions	1420 E SEGO LILY DR	SPR10072024-006865	01/28/2025		0.66	CC	Robert Howell	4357709668	dwheelwright	Pending
Meadows at Cy Road Site Plan	8777 S 700 E	SPR10162024-006872	02/25/2025			PUD(10)	Brad Reynolds		tirvin	Pending
SEG Redevelopment Phase 3 - West Facade	10450 S STATE ST	SPR11102025-007071			0.10	CBD	Larry Oldham	8018243351	dwheelwright	Pending
Under Review										
LHM Ford Pro-Elite	10990 S AUTO MALL DR	SPR01212026-007103			4.82	AM-D	Brandon McDougald		dwheelwright	Preliminary Review
Jordan Credit Union	9260 S 300 E	SPR04142025-006949			0.60	R-1-8	Nate Reiner		dwheelwright	Preliminary Review
Mark Ray Office Building	7865 South 700 East	SPR04172025-006955				BC	Robert Money	8015731029	dwheelwright	Preliminary Review
Thackeray Towns Site Plan	10760 S 700 E	SPR06242021-006083	06/24/2021		4.00	PUD(10)	John Sawyer		tirvin	Under Review
Silver Sage Business Park II	10895 S 700 E	SPR07232025-007003			0.56	SD(PO Silv	Kyle Spencer		dwheelwright	Preliminary Review
Middle Mile Infrastructure	10935 S 700 E	SPR08072025-007014	12/05/2025		0.57	SD(PO Silv	Alec Geist		dwheelwright	Final Review
GSL Electric	601 SANDY PKWY, 84070	SPR10092025-007056				CR-PUD	Cynthia Bithell		dwheelwright	Preliminary Review
Centennial Village	235 W SEGO LILY DR	SPR12282021-006237	07/28/2022		0.49	CBD-A&C	Dan Simons	(801) 230-1339	mwilcox	Under Review
Resubmit										
Gutierrez Multifamily Site Plan	886 E 7800 S	SPR04072025-006948			0.47	RM(10)	Elisha Deschenie		tirvin	Resubmit
Sandy Towns Site Plan	1270 E 8600 S	SPR06052025-006976			0.43	CN	Riley Streit		tirvin	Resubmit
iONNA Sandy UT	151 W 10600 S	SPR07012025-006992	12/10/2025		0.43	AM	Jess Cain		dwheelwright	Resubmit
Creek Rd Office Condos - 5th AMD	7410 CREEK RD 301 84093	SPR07072021-006096	09/23/2021			PO	Marcus Green		tirvin	Resubmit
Sandy City Public Utilities Vac Truck Water C	9140 S 150 E	SPR07252024-006802			6.23	ID	Tyler Shelley	8019151082	dwheelwright	Resubmit
EOS Fitness	10365 S 1300 E	SPR09032025-007035			5.53	CC	Art Babcock		dwheelwright	Resubmit
UTA Trax Line Operator Restroom Facility	167 E 9000 S	SPR10012025-007049				R-1-7.5(HS	Wade Edwards		dwheelwright	Resubmit
Kuwahara Wholesale	8575 STATE ST, 84070	SPR10162023-006639				SD(FM-HS	Alex Kuwahara	8016916592	tirvin	Resubmit
Smith's 153 Fuel Center	10305 S 1300 E	SPR11112024-006885	07/28/2025		10.38	CC	AWA - Jalaine Gibson	8018970849	dwheelwright	Resubmit
Wooded Creek Estates Site Plan	951 E 8800 S	SPR12052025-007088			0.31	R-1-8	Brandon Harris		tirvin	Resubmit
Red Sky Apartments	10145 S CENTENNIAL PKWY	SPR12062022-006452	05/08/2023		1.45	CBD	Corey Solum		lmarble	Resubmit
On Hold										
Band Fire Warehouse	9618 S 500 W	SPR01272023-006477			0.51	ID	Jesse Reynolds		dwheelwright	On Hold
Summit Two - Phase 1	10250 MONROE ST, 84070	SPR03292022-006291				CBD-O	Raddon Summit Hotel,		dwheelwright	On Hold
Sandy Park Center retail pad	9835 S MONROE ST	SPR04152022-006306			0.73	CBD-O	LeeAnn Miller	3852996262	dwheelwright	On Hold
Classic Fun Center	9151 S MONROE ST	SPR06142024-006783			5.12	RC	David Henderson		dwheelwright	On Hold
Master Muffler	9235 S 700 E	SPR06292022-006355			0.44	CC	Brandy Donecker	2103716751	dwheelwright	On Hold
Smith's Altaview Fuel Center	10315 S 1300 E	SPR07202021-006107			0.46	CC	Anderson Wahlen & As	801-913-8406	dwheelwright	On Hold
Harmons Landscape Improvements	7755 S 700 E	SPR07262022-006365			7.12	CN	Frank Lunquist		dwheelwright	On Hold
Summit Two at the Cairns	10250 S CENTENNIAL PKWY	SPR08032021-006124			5.07	CBD-O	Anthony Lyman	8012304582	dwheelwright	On Hold
ECLAIR FRENCH PASTRY	7948 S 1300 E	SPR08092024-006809				SD(Smart)	KARRAR ALJEWARI	3852295300	dwheelwright	On Hold
Office Building at 11000 South	65 E 11000 S	SPR09202023-006624			0.18	LC	Alta Construction		dwheelwright	On Hold
Stage Office Storage Building	8238 700 E, 84070	SPR09212022-006407	12/07/2023			BC	Ross Drummond	8015737620	dwheelwright	On Hold

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Casa Brazil Market	8671 S STATE ST	SPR11112024-006884			0.22	CN(HSN)	Patricia Jacobs	8017358513	dwheelwright	On Hold
Under Construction										
Woodhaven Estates	7613 S 300 E	SPR01102023-006464	12/18/2023		0.02	PUD (12)	Brandon Fry		tirvin	Under Construction
The Rio at 94th	115 W 9400 S	SPR01242023-006473			0.38	RM(12)	Jacob Toombs	8017879344	tirvin	Under Construction
St. Anna Greek Orthodox Church	9201 S 1300 E	SPR01262022-006258	03/25/2022		3.00	CN	James Derby	8016801385	dwheelwright	Under Construction
MACU Event Cenenter/ SLCO	9575 S STATE ST	SPR01292024-006706			0.96	CBD	Jordan Gray	3582145760	dwheelwright	Under Construction
Sandy City Fire Station #31	9295 S MONROE ST	SPR02132024-006711	04/19/2024			RC	Trevon Beutler	4353195847	mwilcox	Under Construction
UTA Civic Center Station - Site Modification	10015 S BEETDIGGER BLVD	SPR02172023-006487				MU	Nick Duerksen	8012012050	mwilcox	Under Construction
WM Fuel #5235 Sandy, UT	9081 S QUARRY BEND DR	SPR03112022-006282	01/03/2023			SD(X)	Ryan Alvarez		dwheelwright	Under Construction
Quick Quack Car Wash Conversion	10640 S 700 E	SPR04212025-006957			1.10	CN	Polo Padilla		dwheelwright	Under Construction
Sandy Amphitheater Plaza Expansion	1245 E 9400 S	SPR04242023-006523	07/21/2023		7.13	SD(MU)	Mearle Marsh		mwilcox	Under Construction
Dimple Dell Park - 300 East Trailhead	321 E 10195 S	SPR05132022-006318	07/12/2022		5.00	OS	Dan Sonntag	8012058201	tirvin	Under Construction
Dimple Dell Park - Badger Cove Trailhead	1651 E BADGER CV	SPR05132022-006320	08/25/2022		4.63	OS	Dan Sonntag		tirvin	Under Construction
Dimple Dell Park - Wrangler Trailhead	10305 S 1300 E	SPR05132022-006324	08/25/2022		10.38	CC	Dan Sonntag		tirvin	Under Construction
Alta Canyon Sports Center	9565 S HIGHLAND DR	SPR06302025-006990	09/17/2025		1.51	OS	Dan Medina		dwheelwright	Under Construction
AFCU Sandy Landscape Remodel	2104 E 9400 S	SPR07262022-006364	08/16/2022		2.23	PO	Brad Illingsworth		dwheelwright	Under Construction
Bicentennial Park Improvements	530 E 8680 S	SPR07272023-006575	10/17/2023			OS	Jeremy Garcia		sstringham	Under Construction
The Ridges at Dimple Dell	1405 E 10600 S	SPR08032021-006125	11/19/2021		0.02	MU	Brad Reynolds Constru	8015980246	mwilcox	Under Construction
AFCU Sandy ADA Site Improvements	2104 E 9400 S	SPR08112023-006586			2.23	PO	Brad Illingsworth		dwheelwright	Under Construction
JVWCD 700 East Well House	7618 S 700 E	SPR08212023-006589			0.80	PUD(12)	Kevin Rubow	8015654377	dwheelwright	Under Construction
Utah HPC - Phase 2	10450 S STATE ST	SPR09062024-006844	09/19/2024		0.10	CBD	Larry Oldham	8015311144	dwheelwright	Under Construction
Mountain America Credit Union	9446 S HIGHLAND DR	SPR10222024-006875	04/01/2025		0.70	SD(Magna)	Michael Shane Sanders		dwheelwright	Under Construction
OneTen Apartments	11011 S AUTO MALL DR	SPR10242022-006427	08/18/2023		2.65	CBD	Corey Solum		mwilcox	Under Construction
Hansen Warehouse Modified	9127 S 255 W	SPR11142024-006887			1.31	RC	Reid Wintersteen	6083862723	dwheelwright	Under Construction
Cedarwood at Sandy - Expansion	575 E 11000 S	SPR11172022-006447	02/21/2023		3.87	SD(EH)	Ryan Griffiths	8019102756	tirvin	Under Construction
Main Street Park	70 E 8760 S	SPR12032021-006220	01/28/2022		0.92	R-1-7.5(HS	DAN MEDINA	801-201-2202	mwilcox	Under Construction
9000 South C-Store	694 W 9000 S	SPR12172024-006901	05/09/2025		1.77	RC	Thomas Hunt	8016644724	dwheelwright	Under Construction
Complete										
Medically Vulnerable Peoples Program (MVI	8955 S HARRISON ST	SPR08282024-006825			1.50	RC	Shasta Galyon	9079038553	manderson	Complete
Others										
90th South Mixed Use Master Plan Amendm€	8925 S HARRISON ST	SPR01022025-006902	02/07/2025		1.36	RC	David Kelly	3852835285	mwilcox	Approved
Sandy East Village Ph 3 & Dry Creek Apartm	166 E MIDVILLAGE BLVD	SPR11142022-006445				MU	IBI Group		mwilcox	Approved

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Pending										
951 E 8800 S Lot Line Adjustment	951 8800 S 84094	SUB01062026-007099				R-1-8	Brandon Harris		tirvin	Open
Dimple Dell Ridge Consolidation	1727 DIMPLE DELL RD 84092	SUB03192024-006733				R-1-20A	Efren Lopez		tirvin	Received
East Town Village Condo Plat	8327 STATE ST 84070	SUB06132023-006550		1.00		MU	Charles Akerlow		tirvin	Fees Due
Pinecone Lot Line Adjustment	734 E 10600 S	SUB06272025-006989			0.35	CN	Pinecone Properties		tirvin	Open
Sandy City Centre Plat Second Amended and	215 W 10000 S, 84070	SUB08152022-006383		4.00		CBD-A&C	David A Jenkins	8016312999	mwilcox	Open
9272 Office Condominiums	9272 S 700 E	SUB08212024-006814			3.03	CC	Brook Hintze	8018601515	tirvin	Pending
Cole 825 E 8600 S Consolidation	825 E 8600 S	SUB08232024-006817			0.71	R-1-8	Tyler Cole	8019139315	tirvin	Open
Almond/Williams lot line adjustment	409 E SEGO LILY DR	SUB08292025-007030			0.23	R-1-8(INF)	Wendy L Almond		tirvin	Received
Rasht Consolidation	8475 S STATE ST	SUB09022025-007034			0.98	RC	Ramin Nasrabadi		tirvin	Received
Olsen Subdivision	265 E MAIN ST	SUB09092025-007036		2.00	0.57	R-1-7.5(HS)	Bryce Dallimore		tirvin	Open
Monte Cristo 104 Lot Line Adjust	3773 E QUAIL HILL LN	SUB09112025-007037			0.34	R-1-15	David Jenkins	8016312999	tirvin	Received
Monte Cristo 107 Lot Line Adjust	9653 S QUAIL HILL LN	SUB09112025-007038			0.36	R-1-15	David Jenkins	8016312999	tirvin	Received
Brandon Park 3 Amended Plat	1960 E BRANDON PARK WAY	SUB09242024-006855				R-1-12	Scott Hancock	8015974833	tirvin	Open
Sandy Station Block 20 Subdivision	8982 S 250 E	SUB09282022-006410	09/15/2023	2.00		R-1-7.5(HS)	Mark stephenson	8015148797	tirvin	Pending
Alta Canyon Lot Line Adjustment	9565 S HIGHLAND DR	SUB11032025-007064			1.51	OS	Jetta Marrott		tirvin	Received
Sequoia Cove Subdivision	1368 E COPPERCREEK RD	SUB11142025-007080		5.00	1.02	R-1-8	Sequoia Development,		tirvin	Pending
Mark Ray Office Building	7865 South 700 East	SUB12122025-007091				BC	Robert Money	8015731029	sstringham	Open
Under Review										
GSL Electric New Production Facility	595 W SANDY PKWY	SUB01252024-006704		1.00	1.70	CR-PUD	Carl Greene	8016413894	dwheelwright	Under Review
Crescent Wood Estates	543 E 10735 S	SUB02032022-006262	02/03/2022		0.50	R-1-20A	Arthur J. (A.J.) Kim	8019133400	tirvin	Under Review
Southeast Industrial Park Amended Condomi	8496 S HARRISON ST	SUB02222022-006272	04/08/2022	16.00	1.95	RC	Jessica Rice		tirvin	Under Review
Firefly Subdivsion	517 E 8680 S	SUB03172025-006927	08/10/2025	29.00	0.30	R-1-7.5(HS)	Jacob Robert Ballstaedt	8014555131	tirvin	Final Review
Aspen Plaza Condo Amendment	849 E 9400 S	SUB03262024-006735				SD(CC)-Ti	SCOTT A DILLEY	8017067384	tirvin	Under Review
9854 S. Building, LLC Condo	9854 S 700 E	SUB06092025-006981			2.36	CN	Kenneth Chapman		tirvin	Under Review
Sierra Estates III	3677 E LITTLE COTTONWOOD RD	SUB06172024-006786		2.00		R-1-10	S. Scott CARLSON	8014503511	tirvin	Under Review
Smith's Altaview SUB	10315 S 1300 E	SUB07202021-006108	09/23/2021	4.00	0.46	CC	Anderson Wahlen & As		dwheelwright	Final Review
Transwest Estates No. 1 Amended Subdivisio	1479 E LONGDALE DR	SUB08232024-006818			0.23	R-1-10	Carson Fairbourn	3853549995	tirvin	Under Review
Silver Sage Business Park II	10935 S 700 E	SUB08252025-007024			0.57	SD(PO Silv	Kyle Spencer		dwheelwright	Final Review
Falls Creek Subdivision	2873 E WASATCH BLVD	SUB09152025-007042	12/02/2025	2.00	0.49	PUD(2)	Ivory Development LL		tirvin	Final Review
Kuwahara Wholesale	8575 STATE ST, 84070	SUB10162023-006638		1.00		SD(FM-HS	Alex Kuwahara	8016916592	tirvin	Under Review
Pepperwood Phase 10C Amended	3 S COBBLEWOOD CV	SUB11012021-006197	11/19/2021	2.00	0.71	PUD(1.62)	David Jenkins	8016312999	mwilcox	Under Review
Silver Sage Estates Subdivision	10175 S DIMPLE DELL RD	SUB12082025-007089		4.00	0.68	R-1-10	Alex Giles	4068991354	tirvin	Preliminary Review
South Towne Market Place Subdivision	10130 S STATE ST	SUB12182023-006671	04/03/2024	2.00	4.89	CBD	Jason Boal		mwilcox	Under Review
Resubmit										
Corner Bend Subdivision	2186 E POWDERKEG DR	SUB01142022-006249	06/21/2022		0.18	R-1-8	Dan Moore	801-554-8920	tirvin	Resubmit
Dimple Dell Ridge Lot 1 Amended Plat	1703 E DIMPLE DELL RD	SUB01182022-006256	07/05/2022	1.00	0.69	R-1-20A	Mark Goodsell	801-361-0909	tirvin	Resubmit
Dimple Dell Ridge Consolidation	1727 E DIMPLE DELL RD	SUB04012024-006741	08/10/2025		0.81	R-1-20A	Efren Lopez		tirvin	Resubmit
Jeremy Day Subdivision	8 SHADOW WOOD LN Sandy UT	SUB04032025-006944				PUD(1.62)	Blake Peterson	8017553548	tirvin	Resubmit
Red Sky Apartments	10140 S CENTENNIAL PKWY	SUB04102023-006516	05/08/2023	1.00		CBD-P	Corey Solum		mwilcox	Resubmit
Sandy Jordan Credit Union Subdivision	9260 S 300 E	SUB04142025-006950		1.00	0.60	R-1-8	Nate Reiner		dwheelwright	Resubmit
Sandy Park Center Lot 3 Amended	9835 S MONROE ST	SUB04152022-006305	06/07/2022	2.00	0.73	CBD-O	LeeAnn Miller	3852996262	tirvin	Resubmit
Sandy Station Townhomes Plat	8925 S HARRISON ST	SUB05132025-006966		64.00	1.36	RC	David Kelly	3852835285	mwilcox	Resubmit
Sandy Towns Subdivision	1270 E 8600 S	SUB06052025-006977		1.00	0.43	CN	Riley Streit		tirvin	Resubmit
Crabtree Subdivision	2845 E LITTLE COTTONWOOD RD	SUB06142022-006347	06/26/2025	2.00		R-1-15	Tami Crabtree	8012314484	tirvin	Resubmit
Thackeray Towns Subdivision	10760 S 700 E	SUB06242021-006082	06/24/2021	41.00	4.00	PUD(10)	John Sawyer		tirvin	Resubmit
Quick Quack Sandy Harmons	7708 S 700 E	SUB06252024-006790		3.00	0.33	CN	Russ Nelson		tirvin	Resubmit
Hidden Hollow Subdivision	10665 S Dimple Dell Rd	SUB06252025-006987		4.00	4.02	R-1-40A	Garrett Schmidt		tirvin	Resubmit

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Oberland Road Subdivision	2900 E OBERLAND RD	SUB06282022-006352		3.00		R-1-40A	Dustin Freckleton	5127796368	tirvin	Resubmit
Indigo Subdivision	348 E 8000 S	SUB07112025-006996		20.00	1.00	RM(12)	Damian Mora		tirvin	Resubmit
Gutierrez Multifamily Subdivision	886 E 7800 S	SUB07112025-006998			0.47	RM(10)	Elisha Deschenie		tirvin	Resubmit
Monroe Street Center Plat Amendment	111 W 9000 S	SUB07182025-007000		1.00	0.31	RC	Mark Sudbury		tirvin	Resubmit
Hartman Estates 2 lot Subdivision	3853 E LITTLE COTTONWOOD LN	SUB08052025-007011		2.00		R-1-15	David Jenkins	8016312999	tirvin	Resubmit
Badger Cove	1651 E BADGER COVE	SUB09132023-006609				OS	Brad Park		tirvin	Resubmit
Pepperwood Phase 9 Plat Amendment	98 E LONE HOLLOW	SUB09262025-007046			2.27	PUD(1.62)	jerry Robinson		tirvin	Resubmit
Fox Hollow Plat Amendment	9476 S FOX CIR	SUB10142024-006868		1.00	0.22	R-1-8	Craig Lawrence	8015732516	tirvin	Resubmit
Classic Fun Center	9151 S MONROE ST	SUB10262024-006878		2.00	5.12	RC	David Henderson	8016084007	tirvin	Resubmit
Wooded Creek Estates	951 E 8800 S	SUB12052025-007087		8.00	0.31	R-1-8	Brandon Harris		tirvin	Resubmit
On Hold										
Meek Subdivision	3761 E LITTLE COTTONWOOD LN	SUB02282024-006722	04/23/2024	2.00		R-1-8	Robert Meek	3854810189	tirvin	On Hold
Raddon Summit Subdivision	10250 MONROE ST, 84070	SUB08312022-006390		3.00		CBD-O	Raddon Summit Hotel,		dwheelwright	On Hold
Under Construction										
Woodhaven Estates Subdivision	7613 S 300 E	SUB01182023-006471	12/18/2023	24.00	0.02	PUD (12)	Brandon Fry		tirvin	Under Construction
OneTen Apartments	109 W 11000 S	SUB03292023-006511	08/18/2023	1.00		CBD	Corey Solum		mwilcox	Under Construction
Tate Woods Subdivision	485 E 7800 S	SUB03312025-006940	06/24/2025	2.00	0.15	R-1-6	GreenRock LLC	8019317228	tirvin	Under Construction
Lot 4 Jason K Circle	182 E 9000 S	SUB04102024-006745	12/20/2024	2.00	0.63	R-1-8	Jill Kinder	8017184622	tirvin	Under Construction
Monte Cristo at LaCaille	9701 S 3775 E	SUB04262021-006034	11/29/2021	13.00		R-1-15	Chris McCandless	8015974575	mwilcox	Under Construction
Hagan Road Subdivision	11523 S HAGAN	SUB05072021-006045	06/02/2021			R-1-20A	Blair Johnson	8013011078	tirvin	Under Construction
Alta Park Subdivision	11190 S 1000 E	SUB05072024-006766	07/02/2024	4.00		R-1-8	Hayley Pratt, Castlewo	407-617-0698	tirvin	Under Construction
KV Larson Subdivision	963 E 8600 S	SUB06132023-006549	02/02/2024	8.00	2.50	SD(R-1-7)	Ronald K. Larson	2067137789	tirvin	Under Construction
Park Lane Amended	1775 E 11400 S	SUB07082022-006359	09/21/2022	2.00	0.35	SD(R-2-A)	Laine Fluekiger	8015715541	tirvin	Under Construction
Alta Canyon 2 Subdivision	9855 S 3100 E	SUB07132023-006568	07/12/2024	4.00	1.79	R-1-15	Dana Conway	8018914880	tirvin	Under Construction
Longpath Subdivision	11510 S HAGAN RD	SUB08292022-006389	11/21/2022	1.00	0.56	R-1-20A	Kyle Simons	8013814687	tirvin	Under Construction
Sandy Station Block 59 Subdivision	8810 S 90 E	SUB09232022-006408	09/15/2023	2.00	0.12	R-1-7.5(HS	Mark stephenson	8015148797	tirvin	Under Construction
Brand Estates Subdivision	285 E 11000 S	SUB10112022-006417	08/31/2023	12.00	4.46	R-1-15	Kyle Denos	8017937660	tirvin	Under Construction
The Meadows at Cy Road	8777 S 700 E	SUB10162024-006871	02/25/2025	33.00		PUD(10)	Brad Reynolds Constru		tirvin	Under Construction
Sandy Oaks Subdivision Phase 5	8449 S 300 E	SUB11222022-006448	02/22/2023	2.00		R-1-7.5(HS	Greg Larsen	8016081600	tirvin	Under Construction
Complete										
Little Cottonwood Estates (aka Alana Meadow	3170 E LITTLE COTTONWOOD RD	SUB01042023-006461	06/15/2023	12.00		R-1-15	Skylar Tolbert		tirvin	Complete
Cyprus Credit Union Subdivision	8955 S 700 E	SUB01122022-006248	07/05/2023	2.00	0.78	BC	Cyprus Credit Union		dwheelwright	Complete
Crescent View Peaks	137 E 11000 S	SUB04272021-006035	06/18/2021			R-1-40A	Kyle Simons	8013814687	tirvin	Complete