



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Agenda

Planning Commission

*Dave Bromley
Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
LaNiece Davenport
Craig Kitterman (Alternate)
Jennifer George (Alternate)*

Thursday, February 5, 2026

6:15 PM

Council Chambers and Online

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

https://us02web.zoom.us/webinar/register/WN_FYZj84t8ScqIE4YWe5TTpg

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/s/87169064047>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866

(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/u/ksavS05rU>

Webinar ID: 871 6906 4047

Passcode: 068081

4:00 PM FIELD TRIP

1. [26-030](#) Map

Attachments: [020526.pdf](#)

5:15 PM EXECUTIVE SESSION

6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

Public Meeting Items

2. [SPX1209202](#) [5-007090](#) Special Exception for Restoration in the Sensitive Area Overlay with 30% or greater slopes
9677 S. Quail Hill Lane
[Community #30, Granite]

Attachments: [Staff Report](#)
[Exhibits A - E](#)

3. [SPX1217202](#) [5-007095](#) Sequoia Cove Subdivision (Special Exception Requests)
1368 E Coppercreek Rd
[Community 16, Falcon Park]

4. [SUB1114202](#) [5-007080](#) Sequoia Cove Subdivision (Preliminary Subdivision Review)
1368 E. Coppercreek Rd.
[Community 16, Falcon Park]

Attachments: [Staff Report.pdf](#)
[Exhibit A](#)

5. [SUB0821202](#) [4--006814](#) 9272 Office Condominiums (Preliminary Review)
9272 S. 700 E.
[Community #4, Historic Sandy]

Attachments: [Staff Report](#)
[Exhibit A](#)
[Exhibit B](#)

Administrative Business

1. Minutes

[26-031](#) Minutes from January 15, 2026 Meeting

Attachments: [01.15.2026 PC Minutes \(DRAFT\).pdf](#)

2. Sandy City Development Report

[26-032](#) Development Report

Attachments: [02.01.2026 DEV REPORT.pdf](#)

3. Director's Report

Adjournment

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #: 26-030, **Version:** 1

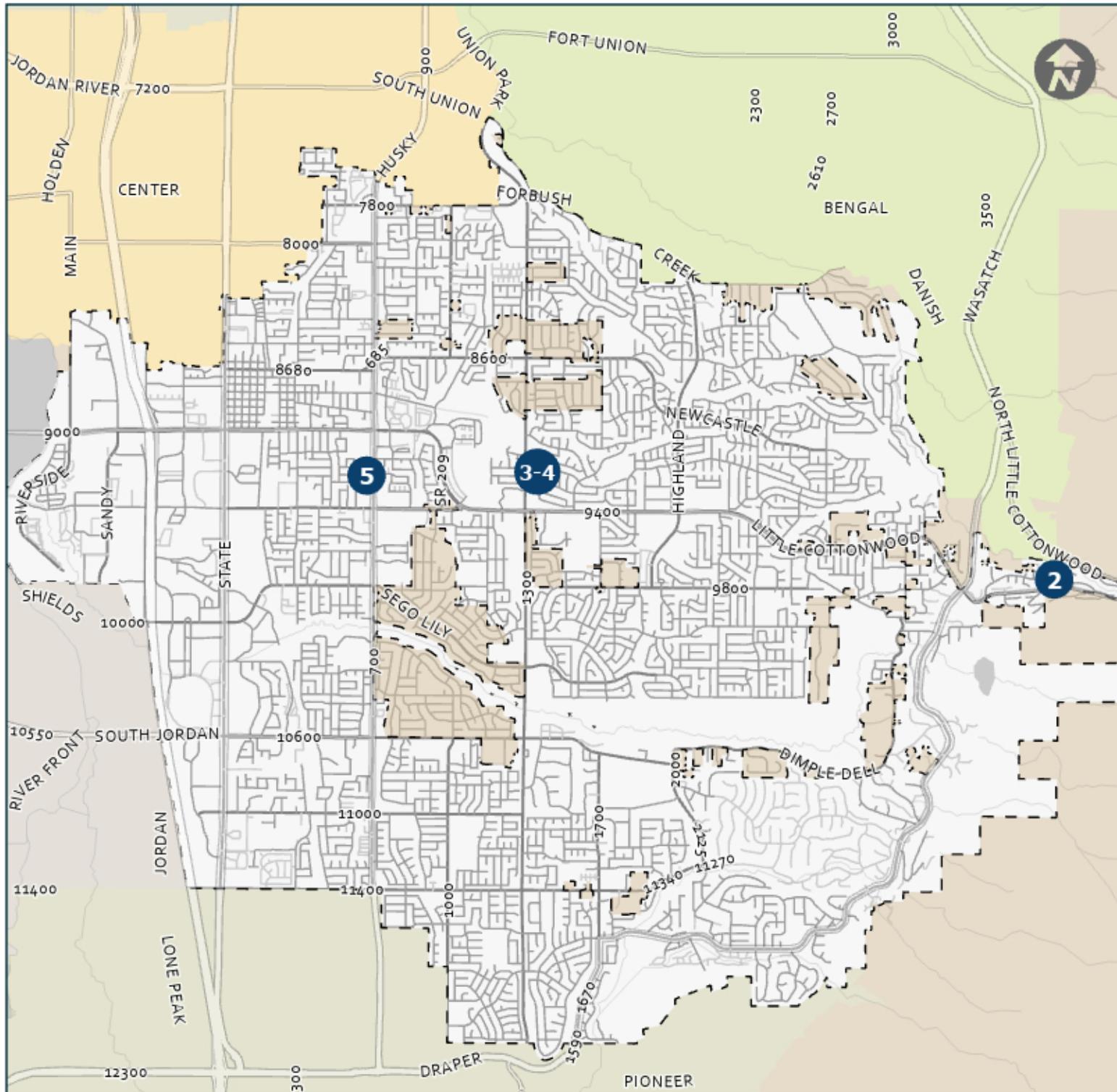
Date: 2/5/2026

Map



Planning Commission Field Trip

February 5, 2026



See Planning Commission agenda packet for specific addresses and details regarding the application.



Sandy City, UT
Community Development Department

Agenda Item Number

- 1** Locations to visit on your own
- 1** Locations to be visited on tour



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #:
SPX12092025-007090,
Version: 1

Date: 2/5/2026

Agenda Item Title:
Special Exception for Restoration in the
Sensitive Area Overlay with 30% or greater slopes
9677 S. Quail Hill Lane
[Community #30, Granite]

Presenter:
Melissa Anderson, Zoning Administrator

Description/Background:
The applicant and property owner, Wayne Neiderhauser of Quail Run Development, LLC, is requesting a Special Exception for the property located at 9677 S. Quail Hill Lane. The request is for a restoration plan to grade and landscape the hillside with 30% or greater slope in the Sensitive Area Overlay (SAO) zone

The subject property is a 0.35-acre legal lot in the *Monte Cristo at La Caille* Subdivision. The lot is in the R-1-15 residential district, and within the Sensitive Area Overlay (SAO) zone. As shown on the plat, portions of lots have been designated as “*Non-disturbance Areas*” that are determined to be protected hillside with 30% or greater slope. These areas are to remain in its natural condition (see Lot 109 in Exhibit “A”). This site is in a residential neighborhood with new single-family lots under development or with existing homes to the north, south, east and west. The vicinity map to the right illustrates this location.

In November of 2025, the city was alerted to an unauthorized alteration of the protected hillside area of this lot. Investigations confirmed areas of disturbance within the protected hillside area with 30% or greater slopes. After meeting with the developer on-site and providing direction on the next steps to restore the hillside, code enforcement staff issued an administrative citation for a code violation on November 12, 2025. The applicant has been working with the city staff to prepare grading and landscape plans to restore the hillside to its original condition. See Exhibits “B” and “C” for the applicant’s grading, landscape and irrigation plans. The applicant’s project description for restoring the site is included as Exhibit “D.”

Please refer to the staff report and exhibits for details on this application.

Recommended Action and/or Suggested Motion:

Staff recommend that the Planning Commission grant a Special Exception to allow restoration of 30% or greater slopes in the Sensitive Area Overlay, as described in the staff report, for the property located at 9677 S Quail Hill Lane, based on the following findings and conditions of

approval:

Findings:

1. The applicant removed native vegetation and altered a protected 30% or greater slope in the SAO without permits or approvals of the City.
2. City departments and divisions have preliminarily reviewed the proposed site, grading and restoration plan.
3. The City Engineer finds the protected slope areas could be closely restored to their native condition and be sufficiently stabilized with native vegetation.
4. The landscape plan needs to be revised so that the new scrub oak trees are placed in a natural pattern mimicking original conditions, and a method for tree protection is included to prevent the new scrub oak from being consumed by the wildlife in the area.
5. The City Engineer and Community Development Director recommend approval of the grading and landscape restoration plans, as proposed in Exhibits "B" and "C" (subject to the conditions listed below).

Conditions:

1. The applicant shall update and submit to city staff a revised Landscape and Irrigation Plan (Exhibit "C"). Staff approval of the final plan is required prior to issuance of a grading permit. The revised landscape and irrigation plan shall include:
 - a. A method for temporary protection of replacement trees to ensure the young trees can grow and establish themselves without being consumed by the wildlife in the area; and
 - b. New tree plantings placed in a natural vegetation pattern that is similar to original conditions, prior to the hillside disturbance.
2. The applicant shall restore the hillside in accordance with the final approved Grading, Landscape and Irrigation Plans and meet all conditions of approval.
3. The applicant shall implement and complete the approved Grading, Landscape and Irrigation Plans on or before October 31, 2026.
4. The applicant shall work with city staff and the Administrative Hearing Officer to close out the administrative citation per Section 21-15-7 of the Land Development Code.
5. A certificate of non-compliance shall remain on the property until the restoration is completed in accordance with the approved plans.



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN COMMUNITY
DEVELOPMENT DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

Staff Report Memorandum February 5, 2026

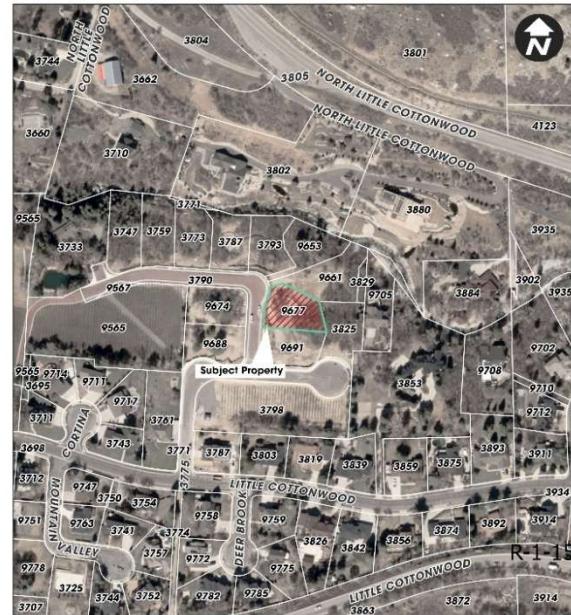
To: Planning Commission
From: Community Development Department
Subject: Special Exception for Restoration in the Sensitive Area Overlay with 30% or greater slopes
9677 S. Quail Hill Lane
[Community #30, Granite]

SPX12092025-007090
R-1-15, SAO Zone
0.35 Acres

Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, and at public locations.

Request

The applicant and property owner, Wayne Neiderhauser of Quail Run Development, LLC, is requesting a Special Exception for the property located at 9677 S. Quail Hill Lane. The request is for a restoration plan to grade and landscape the hillside with 30% or greater slope in the Sensitive Area Overlay (SAO) zone.



Background

The subject property is a 0.35-acre legal lot in the *Monte Cristo at La Caille* Subdivision. The lot is in the R-1-15 residential district, and within the Sensitive Area Overlay (SAO) zone. As shown on the plat, portions of lots have been designated as "Non-disturbance Areas" that are determined to be protected hillside with 30% or greater slope. These areas are to remain in its natural condition (see Lot 109 in Exhibit "A"). This site is in a residential neighborhood with new single-family lots under development or with existing homes to the north, south, east and west. The vicinity map to the right illustrates this location.

In November of 2025, the city was alerted to an unauthorized alteration of the protected hillside area of this lot. Investigations confirmed areas of disturbance within the protected hillside area with 30% or greater slopes. After meeting with the developer on-site and providing direction on the next steps to restore the hillside, code enforcement staff issued an administrative citation for a code violation on November 12, 2025. The applicant has been working with the city staff to prepare grading and landscape plans to restore the hillside to its original condition. See Exhibits "B" and "C" for the applicant's grading, landscape and irrigation plans. The applicant's project description for restoring the site is included as Exhibit "D".



SPX12092025-007090
Special Exceptions
9677 S QUAIL HILL LN
Community Development Department
Sandy City, UT

Property Case History	
Case Number	Case Summary
ANEX-2-15-4083	Little Cottonwood Lane – Part B Annexation effective May 6, 2015
ANEX-11-20-5954	Monte Cristo Annexation, effective May 19, 2015
SUB04262021-006034 SPX10122021-006172	Monte Cristo at La Caille 13-Lot Subdivision, with special exceptions (Plat Recorded 2022)
COD11102025-008180	Code enforcement administrative citation issued for Sensitive Area Overlay Disturbance (Sec. 21-15-7) without city authorization (2025)

Public Notice and Outreach

A public notice was mailed out to all property owners within 500 feet of the subject property for the Planning Commission meeting. No comments have been received from the public regarding this proposal as of the publishing of this report.

Analysis

Below are aerial photos of the site over time from years 2022 to 2025, along with an image of the area of violation within the non-disturbance area of protected hillside and limited disturbance area as recorded on the plat (Lot 109 in Exhibit "A").

Aerial Photos

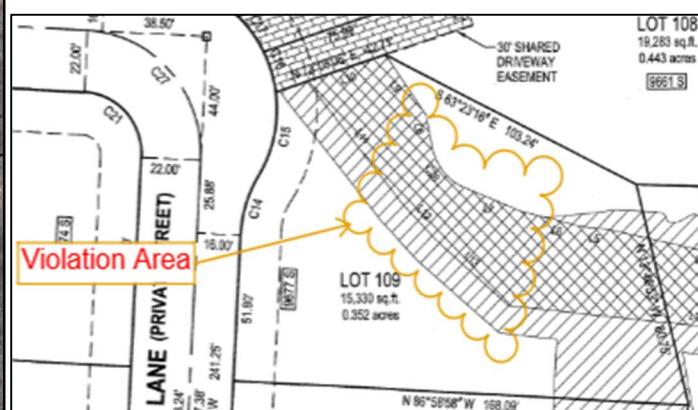
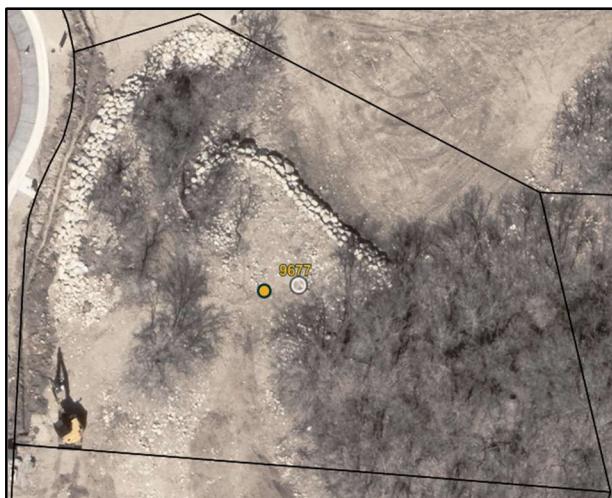
Year 2022



Year 2023



Year 2025



The Sandy Land Development Code requires Planning Commission approval for alteration of 30% or greater slopes. The Planning Commission may determine the specifics of how the slope is altered and if the plan will be approved. The applicable review criteria for the grading plan are under Land Development Code Section 21-15-04(B)(6):

(6) *Grading, Cuts and Fill*

- a. *Exposed unstable surfaces of a cut or fill shall not be steeper than one vertical to two horizontal.*
- b. *All permanent fill shall be stabilized and finished to reduce risk associated with settling, sliding or erosion.*
- c. *The top and bottom edges of slopes caused by an excavation or fill up to ten vertical feet shall be at a minimum of three horizontal feet from the property line or public right-of-way lines.*
- d. *The maximum vertical height of all cuts or fills shall be ten feet. Under exceptional circumstances, the Planning Commission may approve cuts or fills in excess of ten feet with a recommendation from the City Engineer. Cuts or fills shall be measured from natural grade to finished grade. The burden of demonstrating exceptional circumstances shall be on the developer of the property, but may include:*
 1. *Cutting or filling of areas designated as anomalies.*
 2. *Cutting to allow for required sight triangles.*
 3. *Areas previously modified, altered or disturbed.*
 4. *Cuts or fills as required by the City Engineer to mitigate any unsafe condition, such as slopes exceeding 50 percent.*
 5. *Unusual topographic features, such as bowls or rises that don't exceed slope limitations but may inhibit sound construction.*
 6. *Other conditions as approved by the Planning Commission.*
- e. *All structures, except retaining walls or soil stabilization improvements, shall have a setback from the crest of the fill or base of the cut of a minimum distance equal to the depth of the fill or the height of the cut, unless a structurally sound retaining wall is built for the cut or fill slope.*
- f. *No grading, cuts, fills, or terracing will be allowed on a continuous hillside of 30 percent or greater slope, crest (upslope or downslope) unless otherwise determined by the Planning Commission upon recommendation of the Director and City Engineer.*

Restoration Plans: To restore the site to original conditions prior to the unauthorized disturbance, the applicant has provided grading, landscape and irrigation plans, along with a project description narrative. These application materials are included as Exhibits “B” through “D” to this report.

Grading Plan: The applicant proposes to remove the retaining wall that is located within the “Slope Restoration Area” on the grading plan (Exhibits “B” sheet C-100). The terrain within this shaded restoration area will be re-graded to restore the topography back to its former undisturbed state to the extent possible and to match the adjacent undisturbed area. Assistant Public Works Director/City Engineer Britney Ward reviewed the proposed grading plan and has provided a letter of recommendation (see Exhibit “D”). Ms. Ward states that the objective is to restore the original protected slope, and she recommends the Planning Commission approve the grading plan as proposed by the applicant.

Landscape and Irrigation Plan: To prevent soil washout and to stabilize the hillside, the applicant proposes an erosion control blanket to be installed over the hillside prior to seeding the ground with a native seed mix. This ensures that seeds are not displaced to the bottom of the hill before they can germinate. The plan also proposes planting 10 Gambel Scrub Oak trees and installation of a temporary above-ground PVC irrigation system. The irrigation system is proposed to be in place until the new vegetation is fully established. See landscape and irrigation plan (Exhibits “C” sheet L-100).

Issues

Tree Protection: As proposed, the landscape plan does not include any method of tree protection. Young trees are prone to be consumed by wildlife unless there is a plan in place to allow them to get established, which is why temporary tree protection is required when installing new replacement trees. Therefore, a condition of approval is recommended to install protective measures for the newly planted scrub oak trees.

Tree Placement: As proposed, the scrub oak trees will be planted in an equally spaced, linear fashion. This formal pattern does not help recreate the natural environment that existed prior to the disturbance. Clumping and possibly increasing the density of new trees can help in restoring the hillside properly. Therefore, a condition of approval is recommended to require new trees to be installed in a more natural pattern, similar to the original conditions prior to the disturbance.

Code Enforcement

As previously mentioned, there is an active code enforcement case for this property (Case #COD11102025-008180). An administrative citation was issued on November 12, 2025, with an official service date of November 16, 2025. If this special exception is approved by the Planning Commission and restoration if the site is completed according to an approved plan, staff will work with the property owner and the Administrative Hearing Officer to officially close this citation in accordance with [Section 21-15-7](#) of the Land Development Code.

Recommendation

Staff recommend that the Planning Commission grant a Special Exception to allow restoration of 30% or greater slopes in the Sensitive Area Overlay, as described in this staff report, for the property located at 9677 S Quail Hill Lane, based on the following findings and conditions of approval:

Findings:

1. The applicant removed native vegetation and altered a protected 30% or greater slope in the SAO without permits or approvals of the City.
2. City departments and divisions have preliminarily reviewed the proposed site, grading and restoration plan.
3. The City Engineer finds the protected slope areas could be closely restored to their native condition and be sufficiently stabilized with native vegetation.
4. The landscape plan needs to be revised so that the new scrub oak trees are placed in a natural pattern mimicking original conditions, and a method for tree protection is included to prevent the new scrub oak from being consumed by the wildlife in the area.
5. The City Engineer and Community Development Director recommend approval of the grading and landscape restoration plans, as proposed in Exhibits “B” and “C” (subject to the conditions listed below).

Conditions:

1. The applicant shall update and submit to city staff a revised Landscape and Irrigation Plan (Exhibit “C”). Staff approval of the final plan is required prior to issuance of a grading permit. The revised landscape and irrigation plan shall include:
 - a. A method for temporary protection of replacement trees to ensure the young trees can grow and establish themselves without being consumed by the wildlife in the area; and
 - b. New tree plantings placed in a natural vegetation pattern that is similar to original conditions, prior to the hillside disturbance.
2. The applicant shall restore the hillside in accordance with the final approved Grading, Landscape and Irrigation Plans and meet all conditions of approval.
3. The applicant shall implement and complete the approved Grading, Landscape and Irrigation Plans on or before October 31, 2026.
4. The applicant shall work with city staff and the Administrative Hearing Officer to close out the administrative citation per Section 21-15-7 of the Land Development Code.
5. A certificate of non-compliance shall remain on the property until the restoration is completed in accordance with the approved plans.

Planner:



Melissa Anderson
Zoning Administrator

Exhibits:

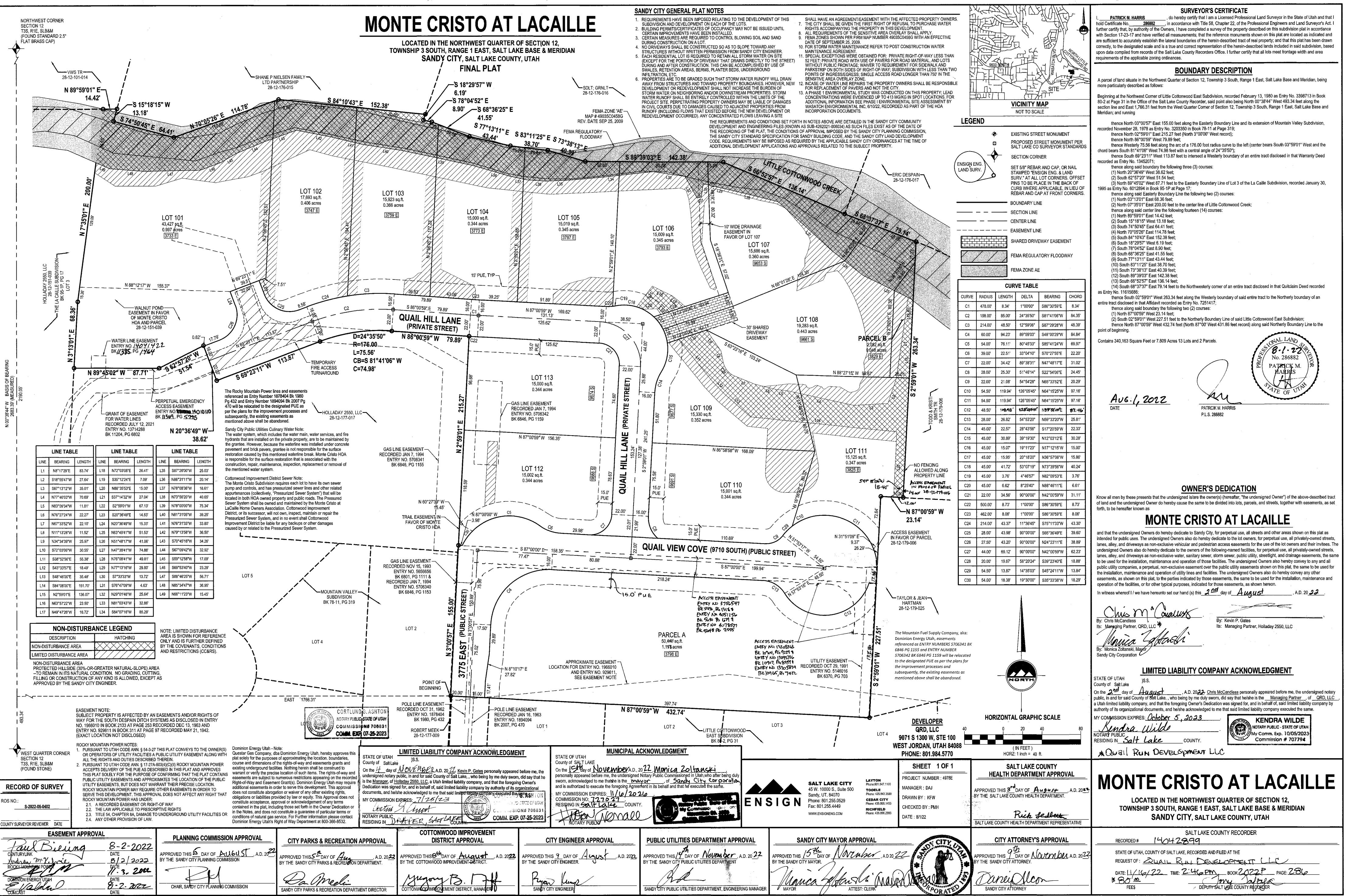
- A. Monte Cristo at La Caille Subdivision Plat
- B. Proposed Grading Plan (sheet C-100)
- C. Proposed Landscape and Irrigation Plan (sheet L-100)

D. Project Description Narrative

E. Findings and Recommendation by Assistant Public Works Director/City Engineer Britney Ward, P.E

File Name: S:\USERS\PLN\STAFFRPT\2025\SPX12092025-007090 - 9677 S QUAIL HILL LN-ENFORCEMENT\STAFF REPORT\SPX12092025-007090_STAFF REPORT.FINAL.DOCX

EXHIBIT "A"



1 LANDSCAPE

1-01

NATIVE REVEGETATION SEEDING MIX FROM GRANITE SEED 801.701.9418. SEE NOTES 1,630 sf

Streambank wheatgrass	25%
Western wheatgrass	30%
Rocky Mountain beebank	15%
Blanketflower	10%
Blue flax	10%
Utah serviceberry	5%
Fourwing saltbush	2%
Bitterbrush	2%
Wyoming sagebrush	1%

RESTORATION SCOPE OF WORK:

1. REMOVING THE RETAINING WALL STRUCTURE WITHIN THE 30% SENSITIVE AREA SLOPE.
2. RESTORE THE TERRAIN WITHIN THE SHADeD AREA TO ITS ORIGINAL NATURAL CONTOURS, ALIGNING IT AS CLOSELY AS FEASIBLE TO THE FORMER UNDISTURBED STATE.
3. REVEGETATE THE HILLSIDE WITH PLANT SPECIES MATCHING THOSE OF THE ADJACENT UNDISTURBED AREA.
4. INSTALL TEMPORARY IRRIGATION UNTIL THE NEW NATIVE GRASS SEEDLINGS ARE ESTABLISHED.
5. IMPLEMENTATION OF EROSION CONTROL MEASURES TO SAFEGUARD THE REGION UNTIL THE NATIVE VEGETATION FULLY REESTABLISHES ITSELF.

EXHIBIT "C"

NON-DISTURBANCE LEGEND

DESCRIPTION	HATCHING
NON-DISTURBANCE AREA	
LIMITED DISTURBANCE AREA	/

NON-DISTURBANCE AREA
PROTECTED HILLSIDE (30% OR GREATER NATURAL SLOPE) AREA
TO REMAIN IN ITS NATURAL CONDITION. NO GRADING, CUTTING,
FILLING OR CONSTRUCTION OF ANY KIND IS ALLOWED, EXCEPT AS
APPROVED BY THE SANDY CITY ENGINEER.

NOTE: THE NON-DISTURBANCE
AREA IS SHOWN FOR CONVENIENCE
ONLY AND IS FURTHER DEFINED
BY THE COVENANTS, CONDITIONS
AND RESTRICTIONS (CC&RS).

REVEGETATION NOTE:

Apply the above seed mix at a rate of 2.5 lbs./1000sf. Apply using one of the following methods:

I. Hydroseed (recommended)

2. Broadcasting with a handheld or push fertilizer spreader or similar, followed up by gently raking it into the soil (disregard raking if soil control blanket is being used). Add a thin layer of mulch over the top.

Recommendation: Prior to seeding with either of the above methods, install an erosion control blanket (straw or coconut fiber in either plastic or biodegradable netting) to the hillside to prevent washouts which would push seed to the bottom of the hill and leave the top bare.

Note: Granite Seed has a 5# minimum quantity.

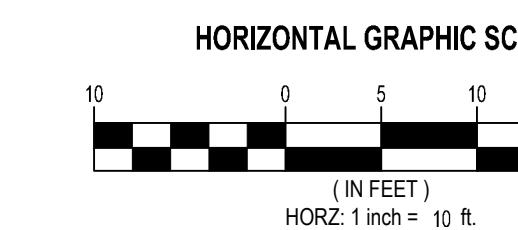
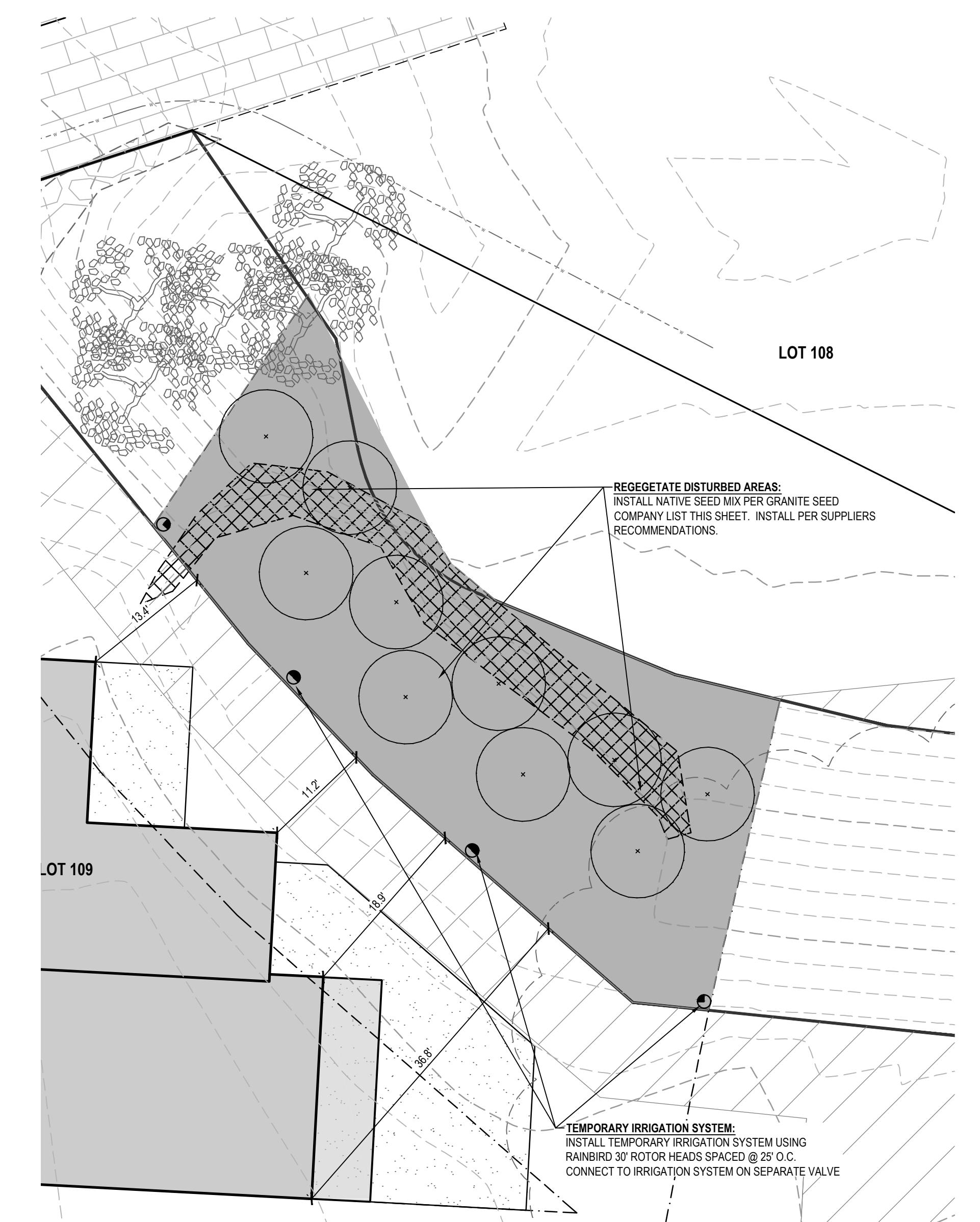
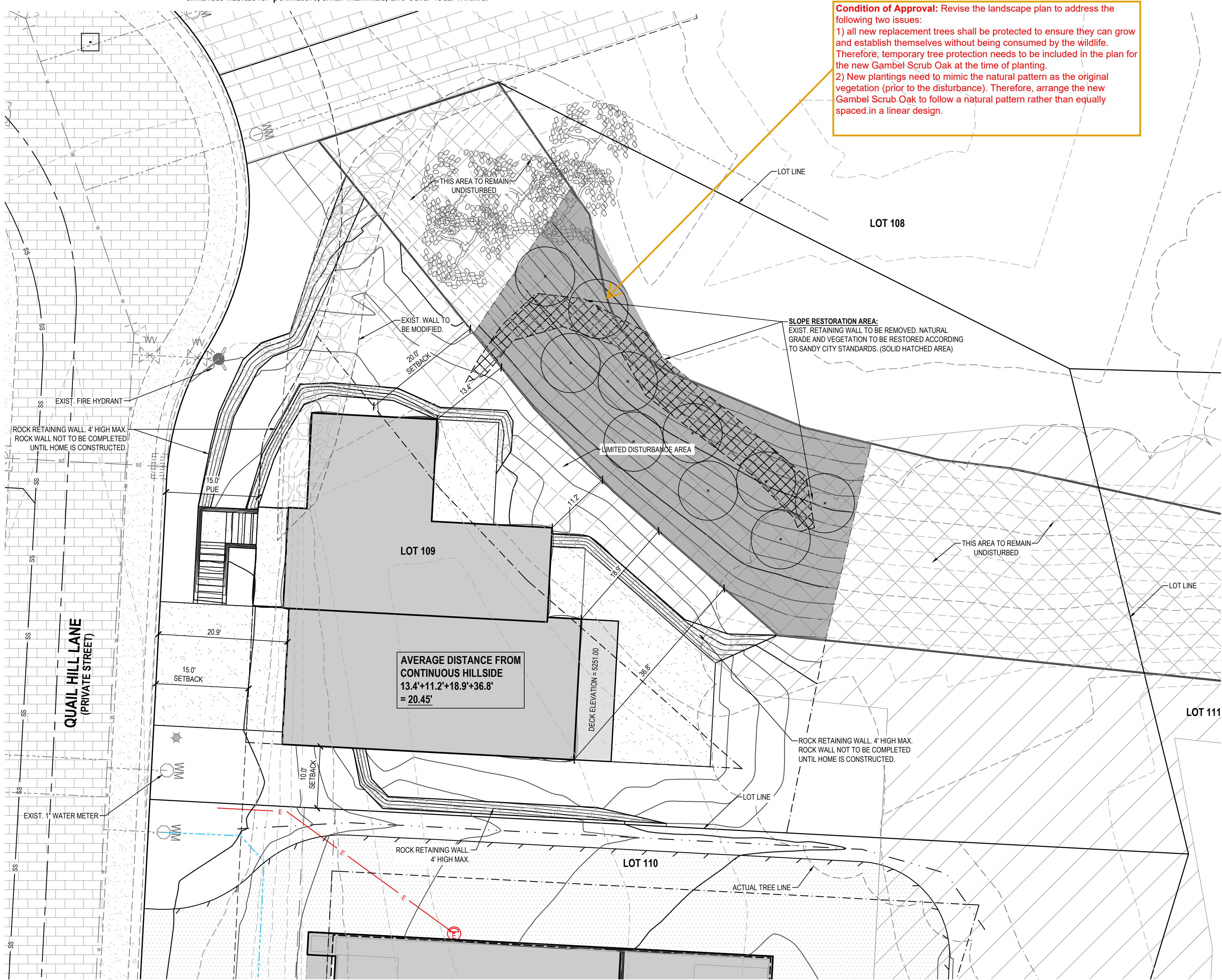
Once planting is completed, continue ongoing monitoring and maintenance. This includes regular assessments of plant survival and supplemental watering during the first two growing seasons. Install temporary above-ground PVC irrigation system with pop-up rotor or rotary heads at the top of the slope.

These efforts will help the plants establish deep root systems, eventually reducing the need for continued intervention. By implementing this plan, we can achieve a self-sustaining native ecosystem that stabilizes soils, improves water retention, and enhances habitat for pollinators, small mammals, and other local wildlife.



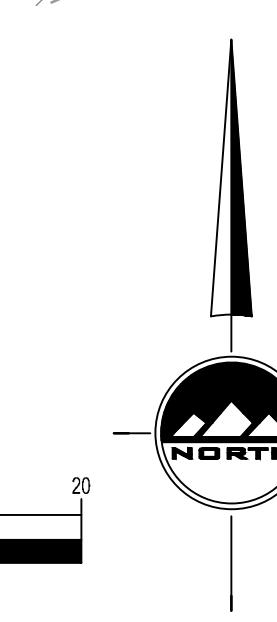
(10) Quercus gambelii - Gambel Scrub Oak - 15 GAL., CLUMP

Condition of Approval: Revise the landscape plan to address the following two issues:
 1) all new replacement trees shall be protected to ensure they can grow and establish themselves without being consumed by the wildlife. Therefore, temporary tree protection needs to be included in the plan for the new Gambel Scrub Oak at the time of planting.
 2) New plantings need to mimic the natural pattern as the original vegetation (prior to the disturbance). Therefore, arrange the new Gambel Scrub Oak to follow a natural pattern rather than equally spaced in a linear design.



(IN FEET)

HORZ: 1 inch = 10 ft.



MONTE CRISTO
LOT 109
9677 SOUTH QUAIL HILL LANE
SANDY, UTAH

LANDSCAPE & IRRIGATION
PLAN

PROJECT NUMBER 4978Q
PRINT DATE 2025-12-15
PROJECT MANAGER DJ
DESIGNED BY

L-100

ENSIGN
THE STANDARD IN ENGINEERING

SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
CLIENT
CLIENT'S ADDRESS
CLIENT CITY STATE ZIP

CONTACT:
CLIENT CONTACT
PHONE: 801.000.0000

EXHIBIT "D"

Project Narrative: Sensitive Area Remediation for Lot 109

Description of Violation The subject property has been cited for a violation of Sandy City Code 21-15-7 regarding "Sensitive Area Overlay Disturbance". The violation concerns unauthorized improvements and disturbance within the designated "Non-Disturbance Area Protected Hillside" and "Limited Disturbance Area". Specifically, the site currently contains an existing retaining wall and grade alterations within a zone defined as a protected hillside (30%-or-greater natural slope), which is required to remain in its natural condition.

Plan to Resolve the Issue To resolve this violation and bring the property into compliance with Sandy City standards, we propose a comprehensive restoration plan designed to return the affected area to a self-sustaining native ecosystem.

- 1. Demolition and Grading Restoration** The existing retaining wall located within the "Slope Restoration Area" will be removed. Following demolition, the terrain within the shaded restoration area will be re-graded to restore the "original natural contours," aligning the topography as closely as feasible to its former undisturbed state and matching the adjacent undisturbed area.
- 2. Soil Stabilization and Erosion Control** To prevent soil washout and stabilize the hillside during the re-establishment period, an erosion control blanket—consisting of straw or coconut fiber with plastic or biodegradable netting—will be installed over the hillside prior to seeding. This measure ensures that seeds are not displaced to the bottom of the hill before they can germinate.
- 3. Native Revegetation Strategy** The disturbed area will be revegetated using a native seed mix sourced from Granite Seed (or equivalent), applied at a rate of 2.5 lbs./1000 SF. The seed mix is specifically selected to match the adjacent undisturbed ecosystem and includes:
 - Streambank wheatgrass (25%)
 - Western wheatgrass (30%)
 - Rocky Mountain beebplant (15%)
 - Blanketflower (10%)
 - Blue flax (10%)
 - Utah serviceberry (5%)
 - Fourwing saltbush (2%)
 - Brittlebush (2%)
 - Wyoming sagebrush (1%)

Seeding will be performed via hydroseeding (recommended) or broadcasting with a handheld/push spreader followed by gentle raking and mulching. Additionally, Gambel Scrub Oak (15 gal., clump) will be planted to further restore the natural tree line.

- 4. Temporary Irrigation Plan** To ensure the successful establishment of the native vegetation, a temporary above-ground PVC irrigation system will be installed. This

EXHIBIT "D"

system will utilize Rainbird 30' rotor heads spaced at 25' on center, connected to a separate valve on the main irrigation system. This system will remain in place until new native grass seedlings are fully established.

5. **Monitoring and Maintenance** The property owner will implement ongoing monitoring and maintenance, including regular assessments of plant survival and supplemental watering during the first two growing seasons. These efforts aim to establish deep root systems that will eventually eliminate the need for continued intervention, resulting in a self-sustaining landscape that stabilizes soils and improves water retention.

EXHIBIT "E"



SANDY CITY PUBLIC WORKS

RYAN KUMP, PE
PUBLIC WORKS DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE PACE
CHIEF ADMINISTRATIVE OFFICER

City Engineer Recommendation Letter

DATE: January 28, 2026

TO: Melissa Anderson, Zoning Administrator

FROM: Britney Ward, P.E., Assistant Public Works Director/City Engineer

SUBJECT: 9677 S Quail Hill Ln, SPX12092025-007090

Background:

In November of 2022, 9677 S Quail Hill Ln was platted as Lot 109 of the Monte Cristo at La Caille subdivision. Notably, the plat identifies and describes with metes and bounds areas deemed as "Non-Disturbance Areas," stating that the area is a protected hillside with 30% or greater slope and must remain in its natural condition. Further, it requires that no grading, cutting, filling, or construction of any kind is allowed unless approved by the City Engineer.

Sandy's Hillside Ordinance requires grading plans to be submitted to the City and approved before building permits are issued. Additionally, it requires that the hillsides remain substantially undisturbed, and any grading or vegetation removal be approved by the City. A grading plan for the property was not submitted to the City and the land was disturbed without City approval. The subject property is located within Sandy's Sensitive Area Overlay Zone.

Recent Development:

In November of 2025, the city was alerted to an unauthorized alteration of the protected hillside area of this lot. Investigations confirmed areas of disturbance within the protected hillside area with 30% or greater slopes.

After meeting with the developer on-site and providing direction on the next steps to restore the hillside, code enforcement staff issued an administrative citation for a code violation on November 12, 2025. Wayne Neidehauser, the owner of Lot 109 and applicant, has been working with the city staff to prepare grading and landscape plans to restore the hillside to its original condition. See attached exhibits for the applicant's grading, landscape, and irrigation restoration plans.

Restoration Plan:

The restoration plan involves the following:

- Restoring the terrain to its original contours, aligning it as closely as feasible to its former undisturbed state.

EXHIBIT "E"



SANDY CITY PUBLIC WORKS

RYAN KUMP, PE
PUBLIC WORKS DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE PACE
CHIEF ADMINISTRATIVE OFFICER

- Implementation of erosion control measures to safeguard the region until the native vegetation fully reestablishes itself.
- Revegetate the hillside with plant species matching those of the adjacent undisturbed area.
- Safeguarding the residual scrub oak and adjoining undisturbed areas.

The overarching objective is to restore the original protected slope without making any alterations to the existing plat.

Recommendation:

Having assessed the details of the restoration proposal, Sandy City Engineering recommends the Planning Commission's approve the restoration plan for 9677 S Quail Hill Ln.



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #:
SPX12172025-007095,
Version: 1

Date: 2/5/2026

Agenda Item Title:
Sequoia Cove Subdivision (Special Exception Requests)
1368 E Coppercreek Rd
[Community 16, Falcon Park]

Presenter:
Thomas Irvin, Senior Planner

Description/Background:
The applicant, Alec Moffitt with Sequoia Development, is representing the property owner Coppercreek Partners, LLC. They are requesting preliminary subdivision review and approval of two special exceptions to create a flag lot and relief from standard public road improvements for a property located at 1368 E. Coppercreek Rd. The proposal is to subdivide the overall property into five (5) single family residential lots that meet the requirements of the R-1-8 zoning district.

See the associated file, SUB11142025-007080, for full details and attachments associated with the request.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission approve a special exceptions to leave the existing four (4) foot sidewalk in place, and create one (1) flag lot for the Sequoia Cove Subdivision based on the following findings:

Findings:

1. This property has existing improvements with a four (4) foot sidewalk that is consistent with the existing neighborhood.
2. That the proposed subdivision is an infill development.
3. That the proposed configuration equitably balances the needs of the public and presents the most efficient use of the land with standard lot shapes.
4. That the City Engineer and Director have recommended approval.
5. That the proposed access width conforms with Fire Access requirements.



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #:
SUB11142025-007080,
Version: 1

Date: 2/5/2026

Agenda Item Title:
Sequoia Cove Subdivision (Preliminary Subdivision Review)
1368 E. Coppercreek Rd.
[Community 16, Falcon Park]

Presenter:
Thomas Irvin, Senior Planner

Description/Background:
The applicant, Alec Moffitt with Sequoia Development, is representing the property owner Coppercreek Partners, LLC. They are requesting preliminary subdivision review and approval of two special exceptions to create a flag lot and relief from standard public road improvements for a property located at 1368 E. Coppercreek Rd. The proposal is to subdivide the overall property into five (5) single family residential lots that meet the requirements of the R-1-8 zoning district.

For full details of this request, see the staff report and exhibits attached to this file.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission determine that preliminary subdivision review for the Sequoia Cove Subdivision located at 1368 E Coppercreek Road is substantially complete based on the following findings and subject to the following conditions:

Findings:

1. That the proposed configuration equitably balances the needs of the public and presents the most efficient use of the land.
2. That the proposed lot sizes and frontages conform to the requirements of the R-1-8 zone.
3. That the various City Departments and Divisions have preliminarily approved the proposed subdivision plat.

Conditions:

1. That the applicant complies with each department's comments and redlines throughout the final review process and that all issues be resolved before the subdivision can be recorded.
2. That the proposed lot sizes and frontages conform to the requirements of the R-1-8 zone.
3. That the applicant works with staff on a tree preservation plan to ensure that all healthy

File #:
SUB11142025-007080,
Version: 1

Date: 2/5/2026

mature trees in the parkstrips are preserved.



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

Staff Report Memorandum

February 5, 2026

To: Planning Commission
From: Community Development Department
Subject: Sequoia Cove Subdivision (Preliminary Review & Special
Exception Requests) SUB11142025-007080
1368 E. Coppercreek Rd. SPX12172025-007095
(Community #16, Falcon Park) R-1-8 Zone
1.029 Acres, 5 New Lots

Public Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, and a sign posted on site.

Request

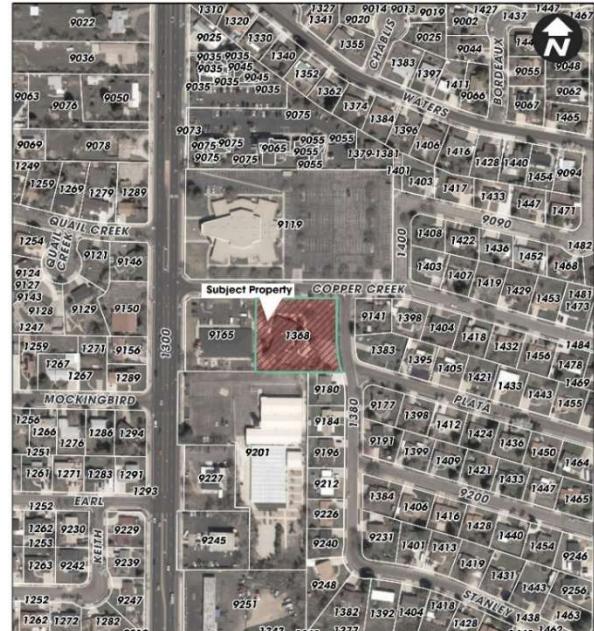
The applicant, Alec Moffitt with Sequoia Development, is representing the property owner Coppercreek Partners, LLC. They are requesting preliminary subdivision review and approval of two special exceptions to create a flag lot and relief from standard public road improvements for a property located at 1368 E. Coppercreek Rd. The proposal is to subdivide the overall property into five (5) single family residential lots that meet the requirements of the R-1-8 zoning district. (See Exhibit "A" for Application Materials).

Background

The property was recently rezoned to R-1-8. The zoning designations and existing land uses of surrounding properties are as follows:

- North: R-1-8 (Copper Creek Road, church building)
- East: R-1-8 (single family residential)
- South: CN (church building) & R-1-8 (single family residential)
- West: CN (day care facility)

The most recent use of the property was as a reception center, but the building has since been vacant for many years. Several requests to rezone the site for higher densities than the surrounding neighborhoods were submitted, but all were denied. The most recent request to rezone the property to R-1-8, which does match the adjoining residential zones, was approved in 2021.



SUB11142025-007080
Sequoia Cove Subdivision
1368 E Coppercreek Rd

Community Development Department
Sandy City, UT

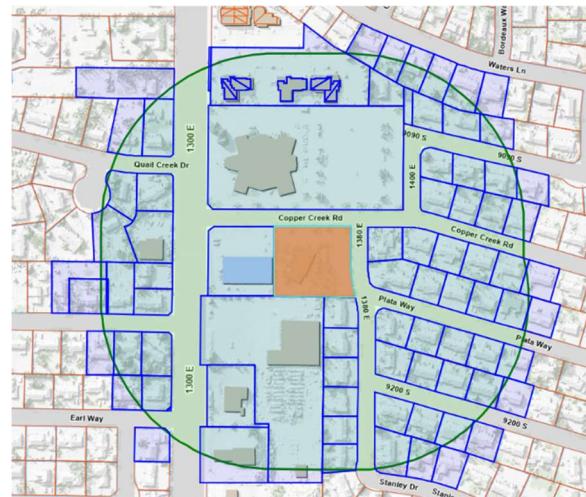
Property Case History

Case Number	Case Summary
S72-35	Silvercrest Park 1 (2/18/1972) – 11.95 acres
ZONE-07-20-7877	Coppercreek Rezone – 1.02 acres (denied)
ZONE-01-21-5975	Coppercreek Rezone- 0.63 acres (denied)
REZ04192021-006030	Coppercreek Rezone- 0.55 acres (approved) CN to R-1-8

Public Notice and Outreach

Notices were mailed to property owners within 500 feet of the subject property and affected entities. The notice was posted to the Utah Public Notice website and the city website. A physical copy of the notice was posted at City Hall, and a public notice sign was placed on the subject property.

Staff held a virtual neighborhood meeting via Zoom on January 12, 2026. Four residents attended and asked questions about curb cuts/layouts, the potential for fencing along the south property line, and potential price points for new homes. No concerns were mentioned. Attendees expressed support for the development as it marks an improvement over the abandoned reception center.



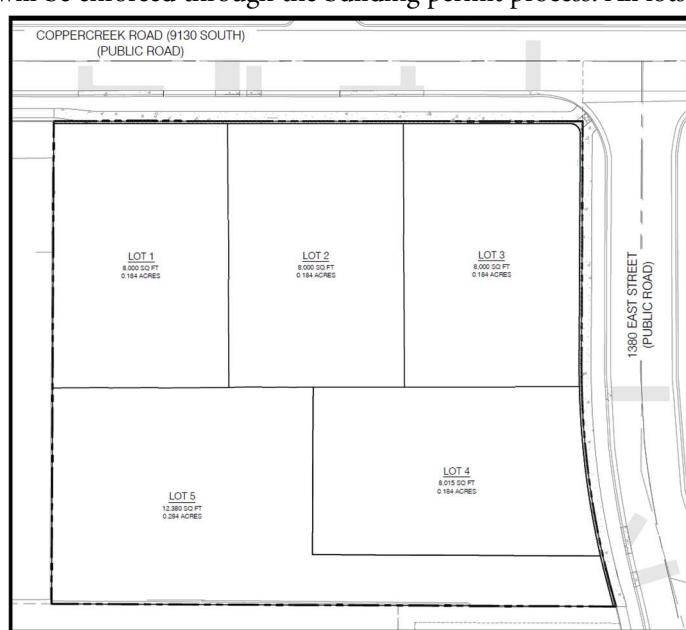
Analysis

The applicant is proposing the creation of a five-lot single-family residential subdivision on approximately one (1) acre of land. Four (4) of the five (5) lots will directly front onto public streets while an additional lot will be configured as a flag lot in the southwest corner of the property with a staff portion that will connect with 830 East.

Zoning Review

All design elements, setbacks, and building height regulations will be enforced through the building permit process. All lots conform with the lot size and frontage requirements of the underlying zoning district after taking the flag lot configuration into account.

The Silvercrest Park 1 subdivision plat was approved and developed in the early 1970's. The street improvements around this property were installed at that time and conformed to existing code which consists of five (5) foot parkstrips with four (4) foot sidewalks. Sandy City's current standard specifications require a minimum five (5) foot sidewalk width. The developer is proposing to dedicate an additional foot on either street frontage for the eventual widening of these sidewalks. The city Engineer has reviewed this proposal and finds it acceptable based on the precedent established in the neighborhood. This will require a special exception to allow for this deviation (see [section 21-21-10\(n\)](#)).



Special Exception, Flag Lot

Section 21-21-22 of the Sandy City Development Code allows flag or L-shaped lots to be used if approved as a special exception by the Planning Commission. The purpose of a flag lot is to encourage the efficient use of land, particularly for infill developments. The code lists several criteria to be used by the Planning Commission when determining whether or not to approve the use of flag lots. The criteria that likely require the most consideration from the Planning Commission are as follows (see [section 21-21-22](#)):

- 1) A flag or L-shaped lot shall be comprised of a staff portion contiguous with the flag portion thereof.
- 2) The staff portion of said lot shall be regulated as a private lane and shall front on and be contiguous to a dedicated public street or private street.
- 3) No building or construction, except for driveways, shall be allowed on the staff portion of said lot, unless the minimum width thereof is the same or greater than the minimum width for a lot as allowed in the underlying zone (excluding entrance features and streetlights).
- 4) The front side of the flag portion of said lots shall be deemed to be that side nearest to the dedicated public street or private street upon which the staff portion fronts, unless otherwise determined by staff on a case-by-case basis.
- 5) The staff portion of said lots shall be deemed to end, and the flag portion of said lots shall be deemed to commence at the extension of the front lot line.
- 6) The square footage located in the flag portion of said lot, which shall be exclusive of the square footage located in the staff portion of said lot, shall be the same or greater than the minimum square footage as required in the underlying zone.
- 7) The front, side and rear yard requirements of the flag portion of said lots shall be the same as is required in the underlying zone.
- 8) No more than two flag lots can be served by the staff portion.
- 9) The maximum number of flag lots in the subdivision shall be not more than 20 percent of the total number of lots within the subdivision, unless otherwise approved by the Planning Commission. The Planning Commission may allow more than 20 percent if the subdivision is an infill development and the lot configuration is the most efficient use of land.
- 10) The approved building envelope shall be illustrated upon the final plat.

Response to 1-3: The staff portion of the flag lots is 20 feet wide and 120 feet long, which meets this requirement.

Response to 4: The frontage of the flag lot will be considered 830 East, a dedicated public street.

Response to 6: The body portion of the flag lot consists of 9,747 square feet which meets this requirement.

Response to 7 and 10: Buildable areas will be shown on the plat and will reflect the requirements of the underlying zone.

Response to 8 and 9: The proposal is for the creation of a single flag lot which represents 20 percent of the total number of lots within the subdivision.

Staff Concerns

Staff is concerned about the disposition of the many mature trees within the parkstrips. City code requires that a full tree survey be conducted and reviewed by the City's Urban Forester and Director. The developer will need to provide a plan on how these trees and their root zones will be protected both during and after construction.

Staff Recommendations

Motion #1 Special Exceptions

Staff recommends that the Planning Commission approve a special exceptions to leave the existing four (4) foot sidewalk in place, and create one (1) flag lot for the Sequoia Cove Subdivision based on the following findings:

Findings:

1. This property has existing improvements with a four (4) foot sidewalk that is consistent with the existing neighborhood.
2. That the proposed subdivision is an infill development.
3. That the proposed configuration equitably balances the needs of the public and presents the most efficient use of the land with standard lot shapes.
4. That the City Engineer and Director have recommended approval.
5. That the proposed access width conforms with Fire Access requirements.

Motion #2 Subdivision Review

Staff recommends that the Planning Commission determine that preliminary subdivision review for the Sequoia Cove Subdivision located at 1368 E Coppercreek Road is substantially complete based on the following findings and subject to the following conditions:

Findings:

1. That the proposed configuration equitably balances the needs of the public and presents the most efficient use of the land.
2. That the proposed lot sizes and frontages conform to the requirements of the R-1-8 zone.
3. That the various City Departments and Divisions have preliminarily approved the proposed subdivision plat.

Conditions:

1. That the applicant complies with each department's comments and redlines throughout the final review process and that all issues be resolved before the subdivision can be recorded.
2. That the proposed lot sizes and frontages conform to the requirements of the R-1-8 zone.
3. That the applicant works with staff on a tree preservation plan to ensure that all healthy mature trees in the parkstrips are preserved.

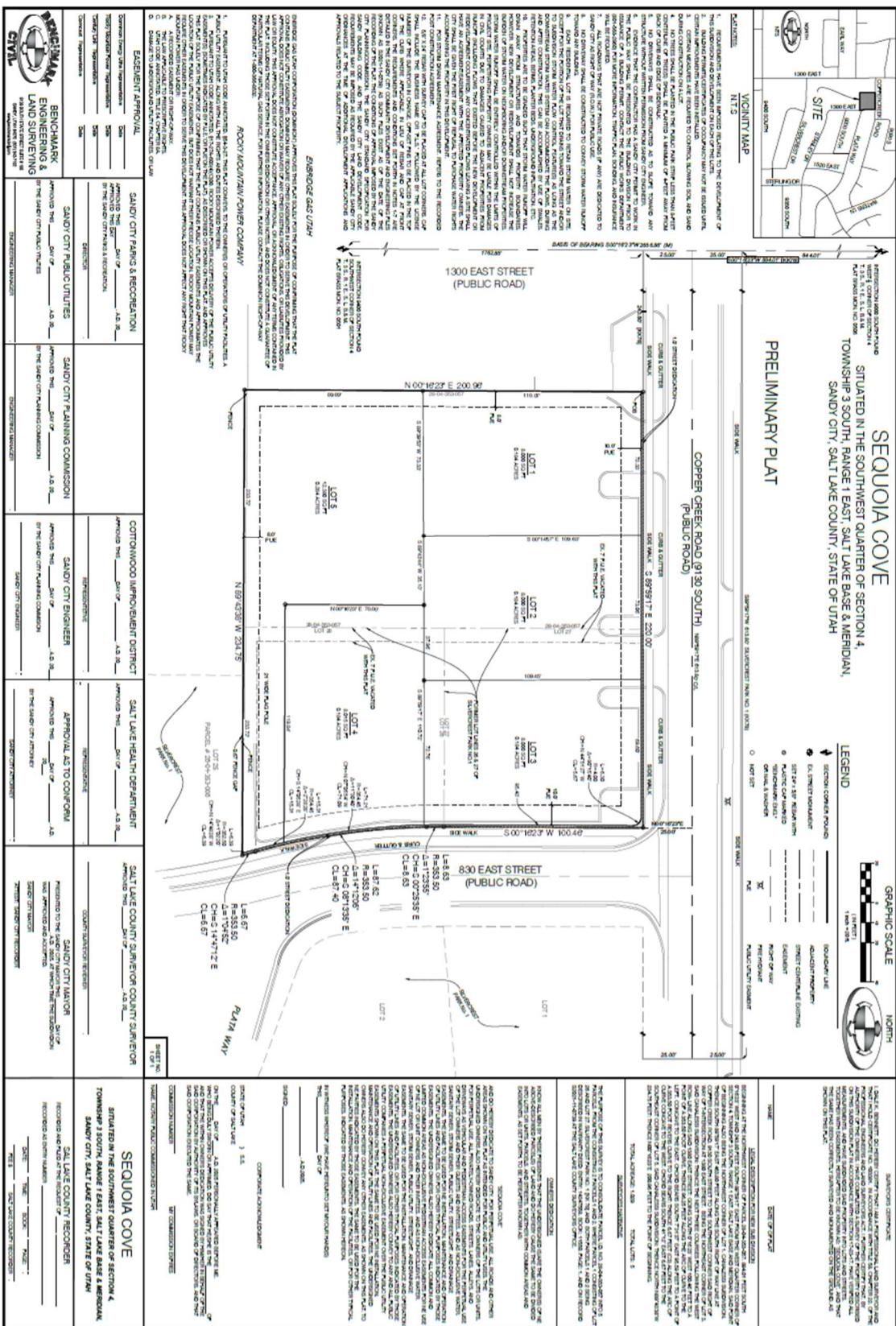
Planner:



Thomas Irvin
Senior Planner

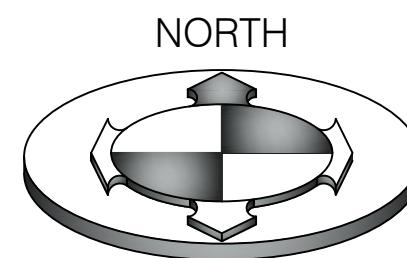
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Exhibit "A"
(See the attached file for full details)

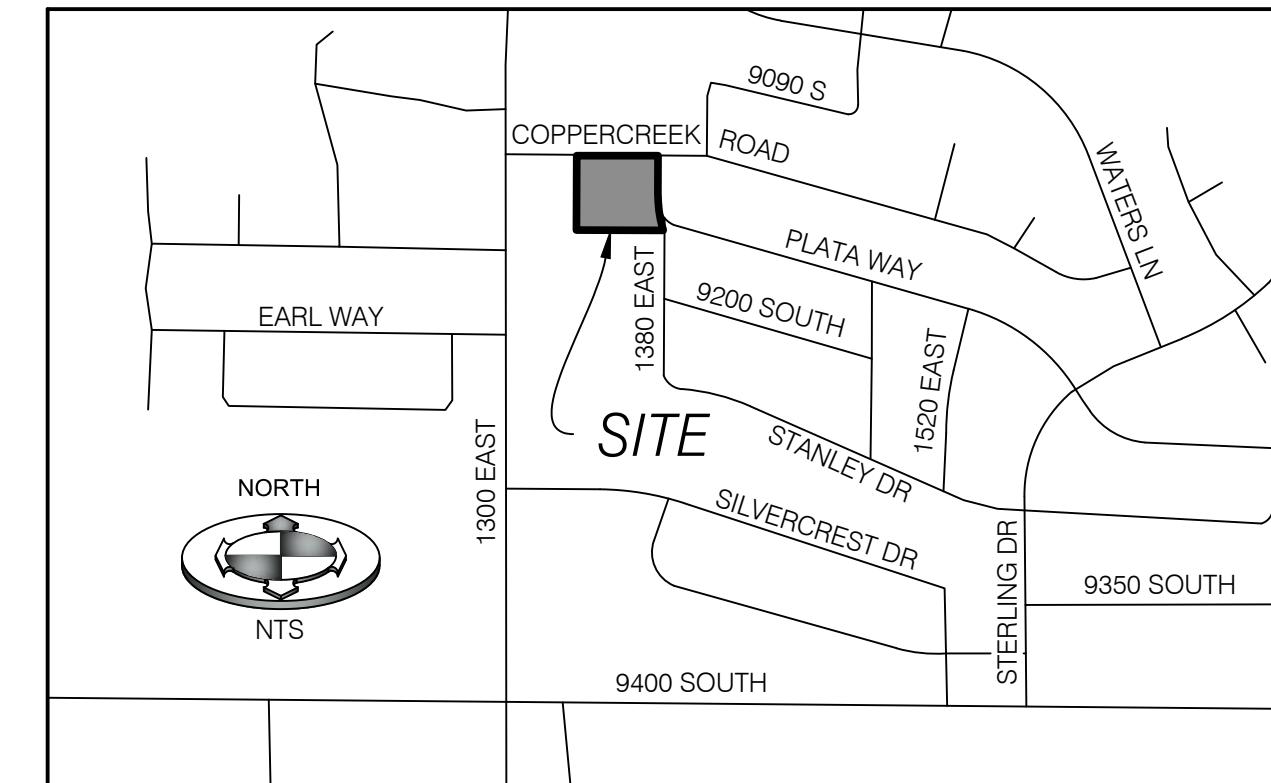
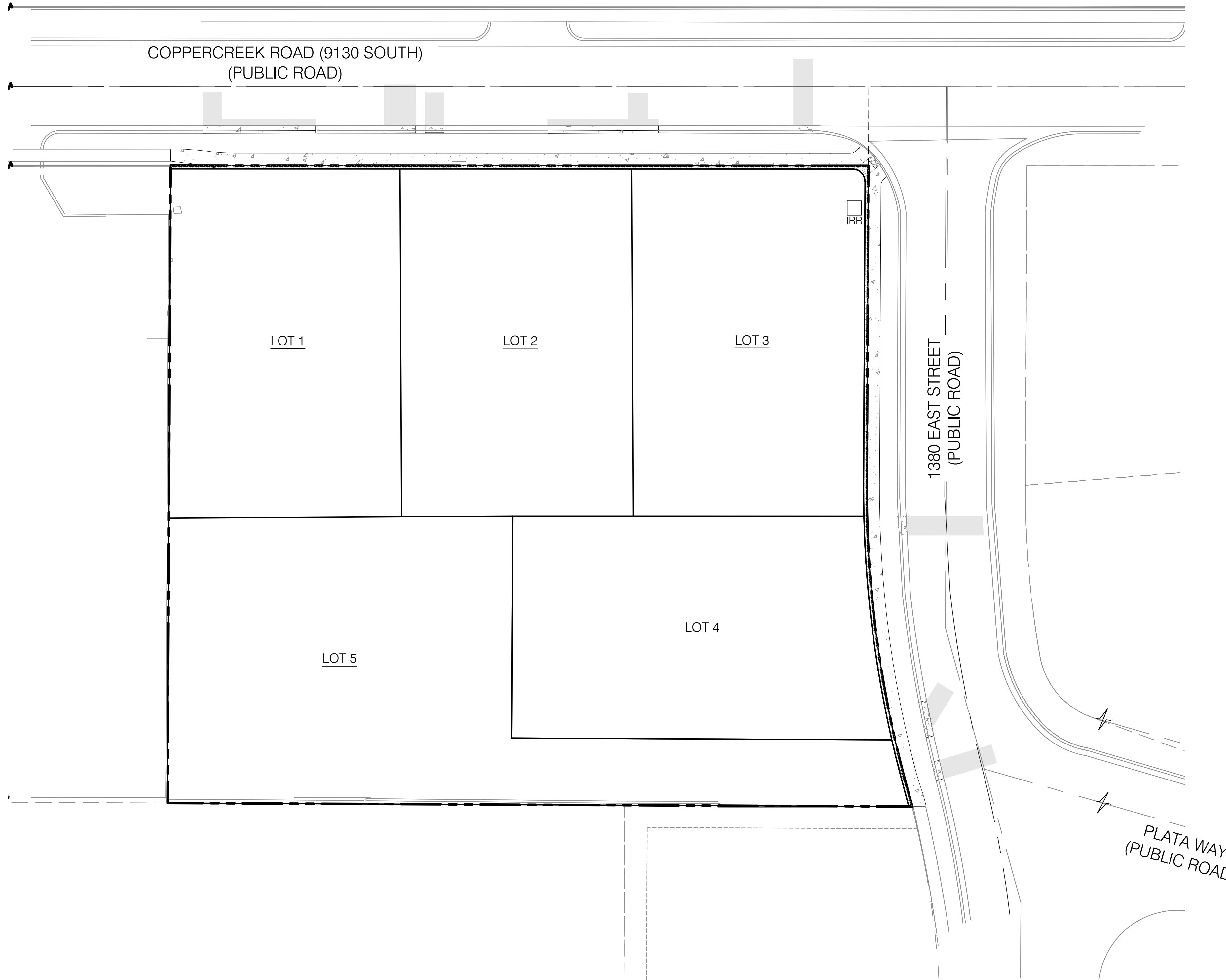
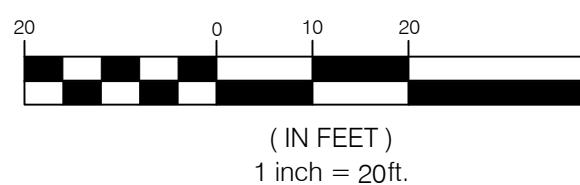


SEQUOIA COVE

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 04,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH



GRAPHIC SCALE



VICINITY MAP
N.T.S.

SEQUOIA DEVELOPMENT, INC.
KEVIN LUBLLOW
801-944-4469
kevin@sequoiadevelopment.com

DRAWING INDEX

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATION
CGN.02	SANDY CITY GENERAL NOTES
CDP.01	DEMO PLAN
CSP.01	SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING & DRAINAGE PLAN
CEP.01	EROSION CONTROL PLAN
CEP.02	EROSION CONTROL DETAILS
CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES

PRELIMINARY CIVIL PLANS
NOT FOR CONSTRUCTION

		BENCHMARK ENGINEERING & LAND SURVEYING																																																								
		9138 SOUTH STATE STREET SUITE # 100 SANDY, UTAH 84070 (801) 542-7192 www.benchmarkcivil.com	PROJECT NO. 2509166	NOT FOR CONSTRUCTION																																																						
<p>SEQUOIA COVE 1368 EAST COPPERCREEK RD SANDY CITY, UTAH</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> <th>Draft</th> <th>Design</th> <th>Check</th> </tr> </thead> <tbody> <tr><td></td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td></td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td></td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td></td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td></td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td></td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td></td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td></td><td></td><td></td><td></td><td></td><td></td></tr> </tbody> </table>		No.	Date	Description	Draft	Design	Check																																																	DATE: 11/18/2025	DATE: 11/18/2025	DATE: 11/18/2025
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SANDY CITY PUBLIC UTILITIES GENERAL NOTES

GENERAL NOTES:

1. INSTALL SURVEY RIVETS, OFFSET FROM EACH LOTS PROPERTY CORNERS, IN CURB OR SIDEWALK.
2. BUILDER/OWNER SHALL SECURE AN EXCAVATION PERMIT FROM SANDY CITY PUBLIC WORKS DEPARTMENT PRIOR TO DOING ANY WORK IN THE SANDY CITY RIGHT OF WAY. TRAFFIC PLAN, BONDING, AND INSURANCE WILL BE REQUIRED.
3. NOTIFY SANDY CITY PUBLIC WORKS INSPECTION DEPARTMENT, 801-568-2999, 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF ANY ROADWAYS OR PUBLIC IMPROVEMENTS, INCLUDING SEWER FACILITIES. ALL INSPECTION MUST BE DONE PRIOR TO, OR CONCURRENT WITH, CONSTRUCTION. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE UNCOVERING AND/OR REMOVAL OF ALL CONSTRUCTION DONE WITHOUT NOTIFICATION, AT THE DISCRETION OF THE CITY ENGINEER.
4. ALL PUBLIC IMPROVEMENTS IN THE STATE RIGHT OF WAY SHALL BE CONSTRUCTED AS REQUIRED BY UTAH DEPARTMENT OF TRANSPORTATION REGION TWO.
5. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD AND THE CITY ENGINEER.
6. UTILITY BOXES ARE TO BE PLACED AT LEAST 5' BEHIND THE ROW AND NEAR SIDE PROPERTY LINES.
7. INSTALL SURVEY MONUMENTS ACCORDING TO THE RECORDED PLAT PER SALT LAKE COUNTY SPECIFICATIONS.

EROSION CONTROL NOTES:

1. THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS, FOR DUST SUPPRESSION, IS ABSOLUTELY PROHIBITED.
2. DUST, MUD, AND EROSION SHALL BE ADEQUATELY CONTROLLED BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES.

STORM WATER NOTES:

1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
4. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE CONSULTING ENGINEER FOR ALL BEDDING, BACKFILL, PIPE AND STRUCTURES (INLET BOXES, COMBO BOXES, AND JUNCTION BOXES). SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
5. CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
6. ALL MATERIALS AND WORK DONE IN UDOT RIGHT-OF-WAY SHALL CONFORM TO UDOT STANDARDS AND SPECIFICATIONS.
7. NON-SHRINK GROUT SHALL BE USED WHEREVER GROUT IS REQUIRED FOR THE STORM DRAIN FACILITIES.
8. CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE AND GROUT AT CONNECTION OF PIPE TO BOX TO A SMOOTH FINISH. ADDITIONALLY, ALL JAGGED OR SHARP EDGES AT PIPE CONNECTIONS ARE TO BE REMOVED AND GROUTED SMOOTH.
9. GROUT BETWEEN GRADE RINGS. FOR EACH INLET BOX THAT IS LOCATED NEXT TO A CURB, THE CURB AND GUTTER CONTRACTOR IS RESPONSIBLE TO REMOVE ALL PROTRUDING, JAGGED OR SHARP CONCRETE EDGES AND TO GROUT BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX. GROUT TO CREATE A SMOOTH, BEVELED TRANSITION AT ALL EDGES IN CLEAN OUT AND INLET BOXES. GROUT AROUND ALL EDGES OF THE RESTRICTIVE ORIFICE PLATE.
10. REMOVE SNAP TIES, NAILS, REBAR AND OTHER PROTRUSIONS FROM THE BOX OR PIPE INSIDE SURFACE, AS WELL AS ALL FORM WORK, PLASTIC AND CARDBOARD.
11. SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL INLET BOXES, COMBO BOXES, JUNCTION BOXES AND PIPE. THE BOXES AND PIPES ARE TO BE MAINTAINED IN A CLEAN CONDITION UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
12. CLEAN OFF ALL MANHOLE LIDS AND INLET GRATES OF ASPHALT, CONCRETE, TAR OR OTHER ADHESIVES TO ALLOW ACCESS.
13. WHERE A SUMP IS REQUIRED, THE SANDY CITY PUBLIC UTILITIES INSPECTOR SHALL BE CONTACTED PRIOR TO CONSTRUCTION TO PROVIDE AN OPPORTUNITY TO CHECK THE VOLUME OF GRAVEL AND GRAVEL GRADATION.
14. SIGNS MUST BE POSTED NEAR EACH INLET BOX LOCATED IN A DRINKING WATER RECHARGE ZONE WITH THE FOLLOWING WORDS: "WARNING THIS IS A DRINKING WATER AQUIFER RECHARGE AREA. DISPOSAL OF ANY WASTE MATERIALS IN THE STORM WATER IS STRICTLY PROHIBITED."
15. ALL INLET, COMBO, AND JUNCTION BOXES SHALL BE PLACED ON 12-INCH (MIN.) COMPACTED STABILIZATION MATERIAL.
16. A VIDEO OF ALL PIPES MUST BE COMPLETED BEFORE THE 80% OR 90% BOND RELEASE AND AGAIN BEFORE FINAL BOND RELEASE.
17. A REPRESENTATIVE OF THE MANUFACTURER OR SUPPLIER SHALL BE ON-SITE DURING INSTALLATION OF OIL/WATER SEPARATORS AND UNDERGROUND DETENTION/RETENTION SYSTEMS. THE MANUFACTURER OR SUPPLIER SHALL PROVIDE A LETTER STATING THAT THE SYSTEM WAS INSTALLED PER MANUFACTURER'S SPECIFICATIONS. IF IT IS UNKNOWN WHETHER A REPRESENTATIVE IS REQUIRED TO BE PRESENT DURING INSTALLATION, CONTACT THE SANDY CITY PUBLIC UTILITIES INSPECTOR.
18. A LETTER FROM THE CONSULTANT ENGINEER IS REQUIRED TO BE SUBMITTED TO SANDY CITY PUBLIC UTILITIES DEPARTMENT, PRIOR TO 90% BOND RELEASE, VERIFYING THAT THE VOLUME FOR RETENTION/DETENTION PONDS WAS INSTALLED PER THE APPROVED PLANS.

WATER NOTES:

1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
4. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE CONSULTING ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, METERS, BOXES, VAULTS, VALVES, FIRE HYDRANTS, BLOWOFFS, VAULTS, ETC. RELATING TO THE WATER SYSTEM. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
5. CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
6. LOCATE WATER LINE 4 FEET OFF LIP OF GUTTER ON THE NORTH AND/OR EAST SIDE OF ROADWAY.
7. A MINIMUM OF 48-INCHES AND A MAXIMUM OF 60-INCHES OF COVER FROM THE TOP OF THE PIPE TO THE FINISH GRADE IS REQUIRED.
8. FOR DUCTILE IRON PIPE, USE THICKNESS CLASS 52 OR BETTER
9. FOR POLYVINYL CHLORIDE (PVC) PIPE, USE CLASS DR-14 OR BETTER. 10 GAUGE WIRE SHALL BE PLACED ON TOP OF THE PIPE (PER SANDY CITY SPECIFICATIONS) FOR FUTURE RELOCATION. NO DEFLECTION IN PIPE JOINTS WILL BE ALLOWED ON PVC PIPES.
10. ALL MECHANICAL JOINTS MUST BE RESTRAINED USING MEGA LUGS OR APPROVED EQUAL.
11. USE 6-INCH COMPRESSION TYPE HYDRANT BY MUELLER CENTURION OR CLOW MEDALLION. EXISTING HYDRANTS REQUIRED FOR FIRE PROTECTION THAT DO NOT MEET CURRENT STANDARDS SHALL BE UPGRADED TO MEET CURRENT SANDY CITY STANDARDS AND SPECIFICATIONS
12. WHEN THE DISTANCE FROM THE WATER MAIN TO THE FIRE HYDRANT IS GREATER THAN 6 FEET AN ADDITIONAL AUXILIARY VALVE SHALL BE FLANGED TO THE FIRE HYDRANT.
13. ALL DEAD ENDS SHALL BE PLUGGED WITH A 2-INCH WASHOUT OR END WITH A FIRE HYDRANT.
14. ALL DUCTILE IRON WATER LINES, FITTING, AND VALVES SHALL BE POLY-BAGGED IN ACCORDANCE WITH SANDY CITY STANDARDS AND SPECIFICATIONS.
15. ALL WATER LINES SHALL BE BEDDED WITH SAND (6-INCHES MINIMUM BELOW AND 12-INCHES MINIMUM ON EACH SIDE AND ON TOP OF THE PIPE).
16. WATER METERS SHALL NOT BE INSTALLED IN DRIVEWAY.

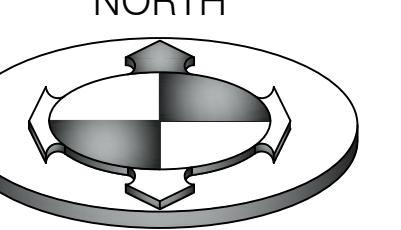
SEQUOIA COVE
1368 EAST COPPERCREEK RD
SANDY CITY, UTAH

PROJECT NO. 2509166
SANDY
GENERAL
NOTES
CGN.02
3 OF 11

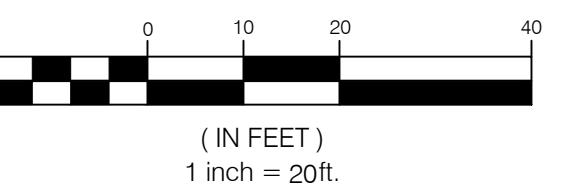
9138 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 442-7132
www.benchmarkcivil.com

PROFESSIONAL ENGINEER
No. 11366633
ALLISON G.
ALBERT
STATE OF UTAH
NOT FOR CONSTRUCTION

DRAWN BY D7B
No. DATE
CHECKED BY AGA
REMOVED SC
DATE 11/18/2025
DRAFT FILE 2509166 SITE 05
SCALE MEASURES INCHES ON FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS



GRAPHIC SCALE

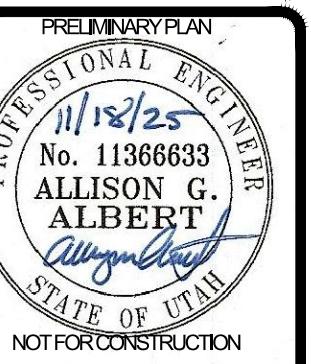


E:
CUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS TO
EXISTING GRADE ARE APPROXIMATE. CONTRACTOR TO FIELD
VERIFY LOCATION, EXTENT OF SAWCUTTING, AND TIE-IN
SLOPES TO EXISTING GRADE PRIOR TO CONSTRUCTION. IT IS
THE INTENT ON THESE PLANS THAT ALL PAVEMENT SHALL TIE
INTO EXISTING GRADE PER SLOPES LISTED ON CGN.01 NOTE 70.
NOTES 66, 70, 82, & 83 ON CGN.01 FOR FURTHER DETAIL.

CHECKED BY	AGA
FIELD CREW	SC
DATE	11/18/2025
DWG. FILE	2509166_SITE
0	0.5
1	

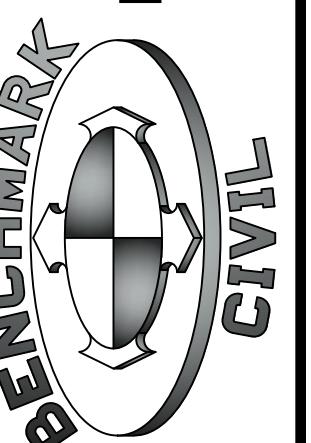
SCALE MEASURES 1-INCH ON FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS



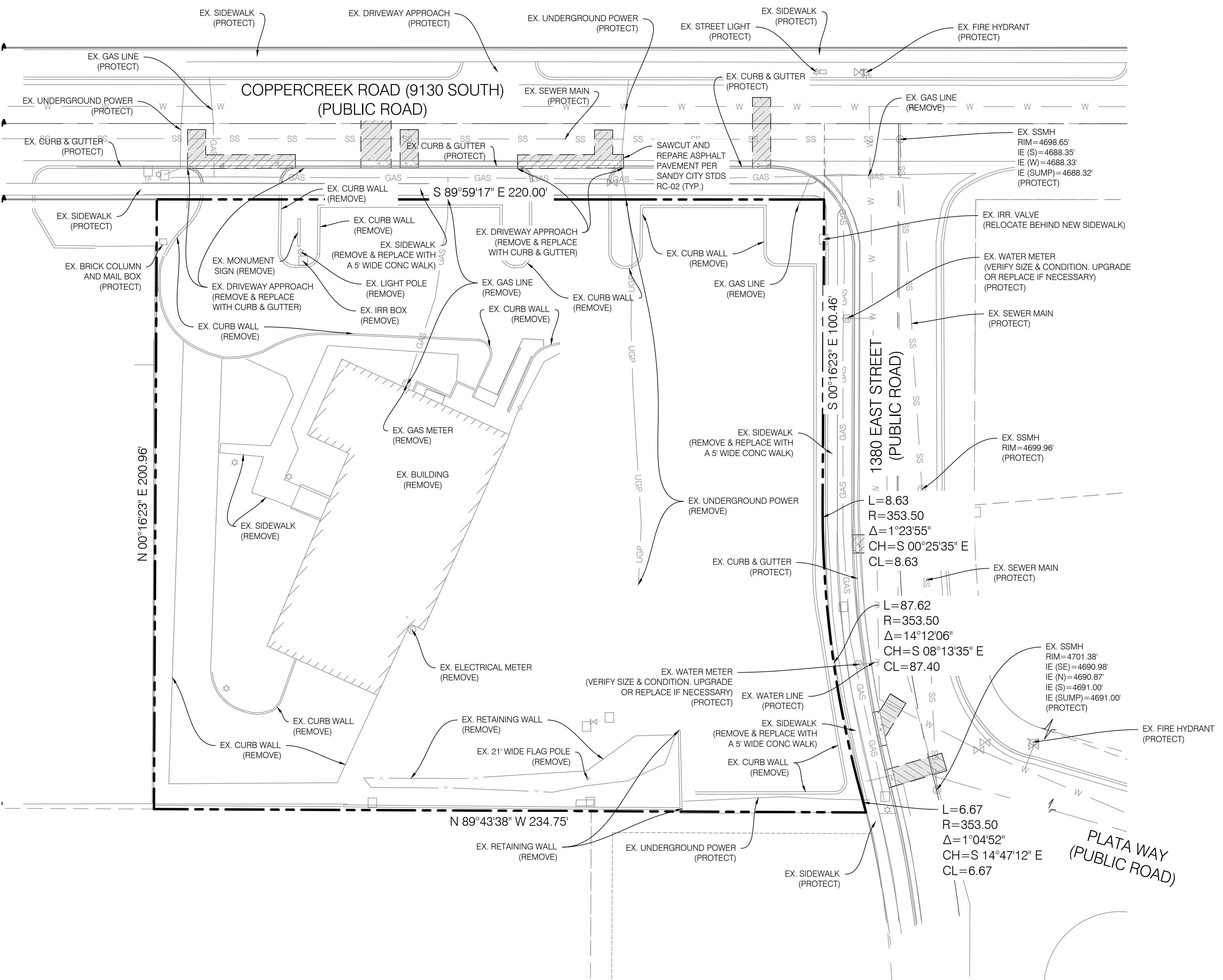


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SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com



SEQUOIA COVE 368 EAST COPPERCREEK SANDY CITY, UTAH



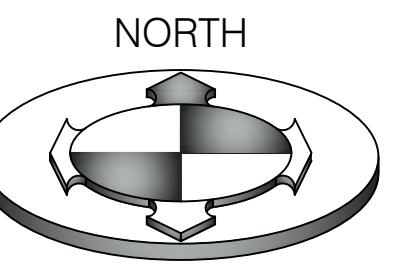
PROJECT NO. 2509166

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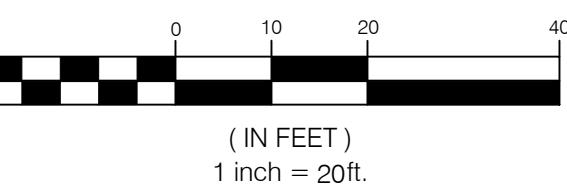
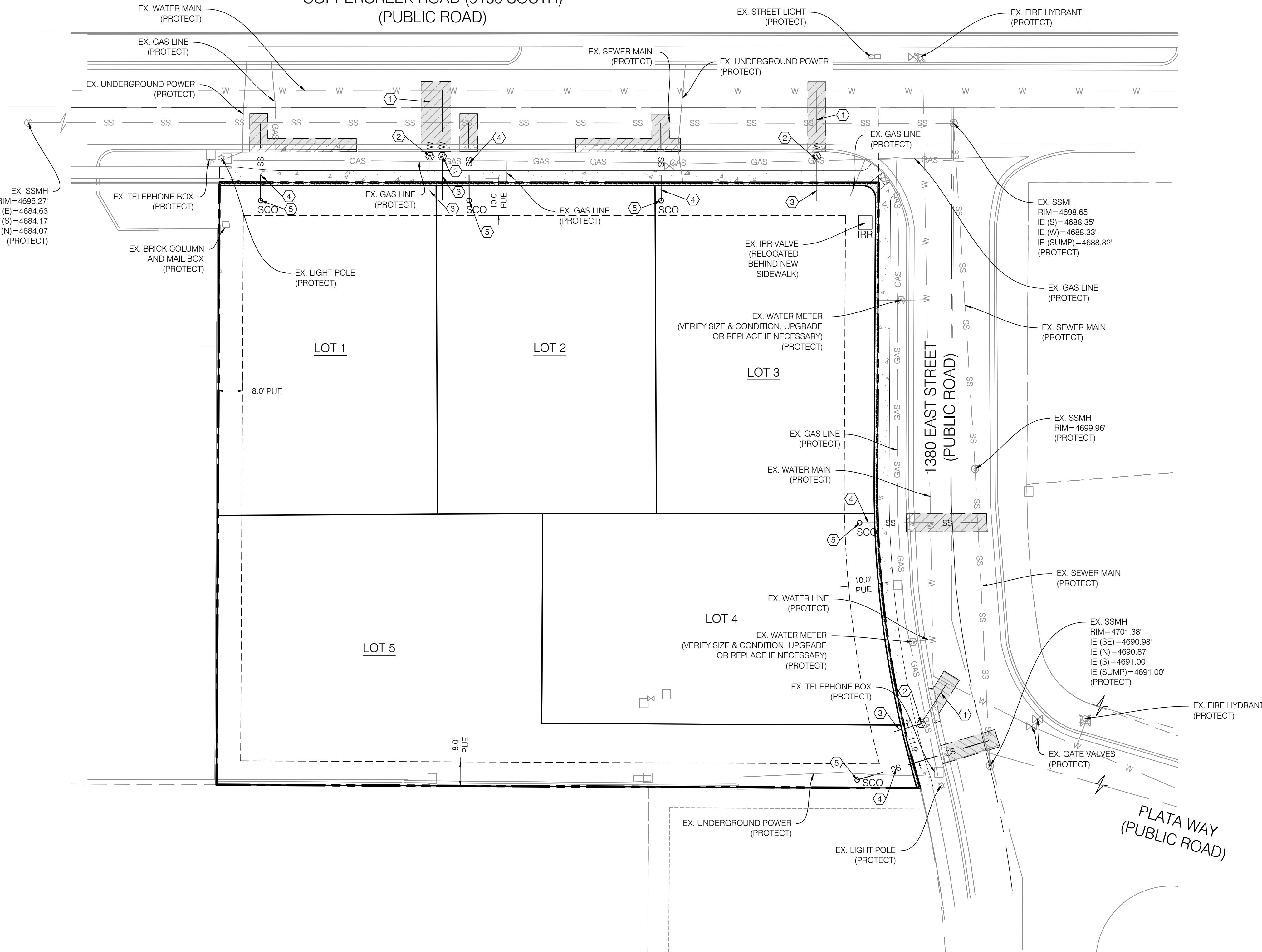
PLAN

CDP.01

4 OF 11



GRAPHIC SCALE

COPPERCREEK ROAD (9130 SOUTH)
(PUBLIC ROAD)

CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPITON	DETAIL
①	3/4" TYPE K COPPER WATER SERVICE LINE	6/CDT.01
②	3/4" WATER METER & VAULT PER SCPU #WTR-09	
③	3/4" POLY WATER SERVICE LINE	
④	4" PVC SDR-35 SEWER LATERAL PER CID #D8	2/CDT.02
⑤	SEWER CLEAN OUT PER CID #D4A	1/CDT.02

NOTE:
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION. NOTIFY ENGINEER FOR REDESIGN IF CONNECTION POINT IS HIGHER THAN SHOWN OR IF ANY UTILITY CONFLICTS OCCUR. GRAVITY CONNECTIONS MUST BE DONE PRIOR TO BUILDING FOOTINGS AND ROUGH PLUMBING ARE CONSTRUCTED.

EXISTING UTILITIES NOTE:
EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF ENGINEERS KNOWLEDGE, HOWEVER IT IS THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES IN FIELD, POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. NOTIFY ENGINEER IF DISCREPANCIES OR CONFLICTS EXIST PRIOR TO CONTINUING ANY CONSTRUCTION.

NOTE:
WATER METERS SHALL NOT BE INSTALLED IN DRIVEWAYS.

NOTE:
UTILITY BOXES ARE TO BE PLACED AT LEAST 5' BEHIND THE ROW AND NEAR SIDE PROPERTY LINES.

WATER NOTES.

1. NOTIFY SANDY CITY PUBLIC UTILITIES INSPECTOR (801-568-7280), AT LEAST ONE BUSINESS DAY (24 HOURS) PRIOR TO BEGINNING CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED ONCE FINAL APPROVAL HAS BEEN GRANTED. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH SANDY CITY PUBLIC WORKS DEPARTMENT.
3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REVISION OF THE SANDY CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION AND/OR OTHER REQUIREMENTS AS SET FORTH IN THE PUBLIC UTILITIES FINAL REVIEW AND APPROVAL LETTER ESTABLISHED FOR THE DEVELOPMENT. SPECIFICATIONS AND DETAILS CAN BE OBTAINED ON THE SANDY CITY WEBSITE.
4. SUBMITTALS ARE REQUIRED TO BE APPROVED BY THE CONSULTING ENGINEER FOR ALL BEDDING, BACKFILL, PIPE, METERS, BOXES, VAULTS, VALVES, FIRE HYDRANTS, BLOWOFFS, VAULTS, ETC. RELATING TO THE WATER SYSTEM. SUBMITTALS MUST HAVE SUFFICIENT INFORMATION TO SHOW THAT THE PROPOSED ITEMS CONFORM TO SANDY CITY STANDARDS AND SPECIFICATIONS.
5. CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) REGULATIONS.
6. LOCATE WATER LINE 4-FEET OFF LIP OF GUTTER ON THE NORTH AND/OR EAST SIDE OF ROADWAY.
7. A MINIMUM OF 48-INCHES AND A MAXIMUM OF 60-INCHES OF COVER FROM THE TOP OF THE PIPE TO THE FINISH GRADE IS REQUIRED.
8. FOR DUCTILE IRON PIPE, USE THICKNESS CLASS 52 OR BETTER
9. FOR POLYVINYL CHLORIDE (PVC) PIPE, USE CLASS DR-14 OR BETTER. 10 GAUGE WIRE SHALL BE PLACED ON TOP OF THE PIPE (PER SANDY CITY SPECIFICATIONS) FOR FUTURE RELOCATION. NO DEFLECTION IN PIPE JOINTS WILL BE ALLOWED ON PVC PIPES
10. ALL MECHANICAL JOINTS MUST BE RESTRAINED USING MEGA LUGS OR APPROVED EQUAL
11. USE 6-INCH COMPRESSION TYPE HYDRANT BY MUELLER CENTURION OR CLOW MEDALLION. EXISTING HYDRANTS REQUIRED FOR FIRE PROTECTION THAT DO NOT MEET CURRENT STANDARDS SHALL BE UPGRADED TO MEET CURRENT SANDY CITY STANDARDS AND SPECIFICATIONS
12. WHEN THE DISTANCE FROM THE WATER MAIN TO THE FIRE HYDRANT IS GREATER THAN 6-FEET AN ADDITIONAL AUXILIARY VALVE SHALL BE FLANGED TO THE FIRE HYDRANT.
13. ALL DEAD ENDS SHALL BE PLUGGED WITH A 2-INCH WASHOUT OR END WITH A FIRE HYDRANT.
14. ALL DUCTILE IRON WATER LINES, FITTING, AND VALVES SHALL BE POLY-BAGGED IN ACCORDANCE WITH SANDY CITY STANDARDS AND SPECIFICATIONS.
15. ALL WATER LINES SHALL BE BEDDED WITH SAND (6-INCHES MINIMUM AND 12-INCHES MINIMUM ON EACH SIDE AND ON TOP OF THE PIPE)
16. WATER METERS SHALL NOT BE INSTALLED IN DRIVEWAYS

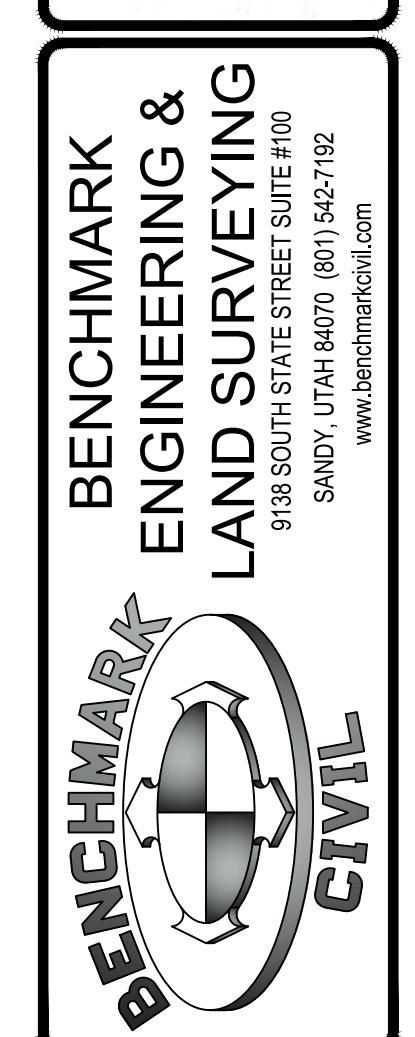
SEQUOIA COVE
1368 EAST COPPERCREEK RD
SANDY CITY, UTAH

PROJECT NO. 250916
UTILITY PLAN
CUP.01
6 OF 11



DRAWN BY	D2B	DATE	
CHECKED BY	AGA	FIELD CHECK	SC
DATE	11/18/2025	FILE NUMBER	0.5
DWG FILE 250916 SITE		SCALE MEASURES 1 INCH ON FULL SIZE SHEETS ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS	

PRELIMINARY PLAN
11/18/25
No. 11366833
PROFESSIONAL ENGINEER
ALISON G. ALBERT
STATE OF UTAH
NOT FOR CONSTRUCTION

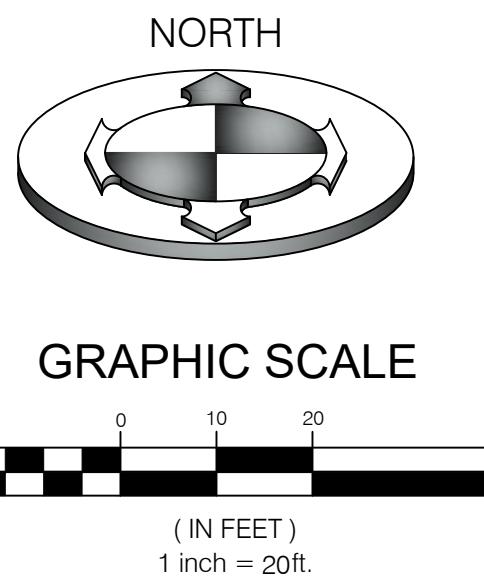


GRADING AND DRAINAGE KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
1	GRADE SITE TO ELEVATIONS SHOWN ON PLAN	

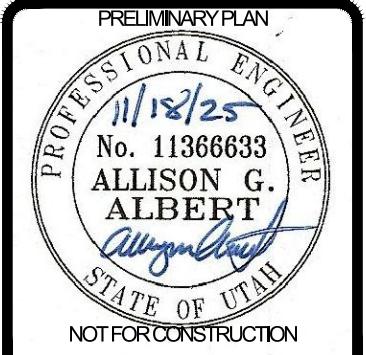
NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS TO EXISTING GRADE ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION, EXTENT OF SAWCUTTING, AND TIE-IN SLOPES TO EXISTING GRADE PRIOR TO CONSTRUCTION. IT IS THE INTENT ON THESE PLANS THAT ALL PAVEMENT SHALL TIE INTO EXISTING GRADE PER SLOPES LISTED ON CGN.01 NOTE 70. SEE NOTES 66, 70, 82, & 83 ON CGN.01 FOR FURTHER DETAIL.

NOTE:
EACH RESIDENTIAL LOT IS REQUIRED TO RETAIN STORM WATER ON SITE, EXCEPT FOR THE PORTION OF THE LOT THAT DRAINS TOWARD THE STREET AND/OR TO SUBDIVISION STORM WATER FLOW CONTROL FEATURE(S) AS LONG AS THE DOWNSTREAM STORM WATER SYSTEM CAN ACCOMMODATE THE FLOWS, DURING AND AFTER CONSTRUCTION. THIS CAN BE ACCOMPLISHED BY USE OF SWALES, RETENTION AREAS, BERMS, PLANTER BEDS, UNDERGROUND INFILTRATION, ETC.

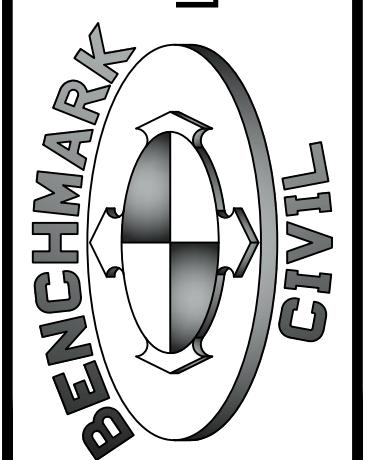
SURVEY CONTROL NOTE:
THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.



DRAWN BY	D7B	No.	DATE
CHECKED BY	AGA		
FIELD REV.	SC		
DATE	11/18/2016	FILE #	2509166 SITE
SCALE MEASURES 1inch ON FULL SIZE SHEETS ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS			

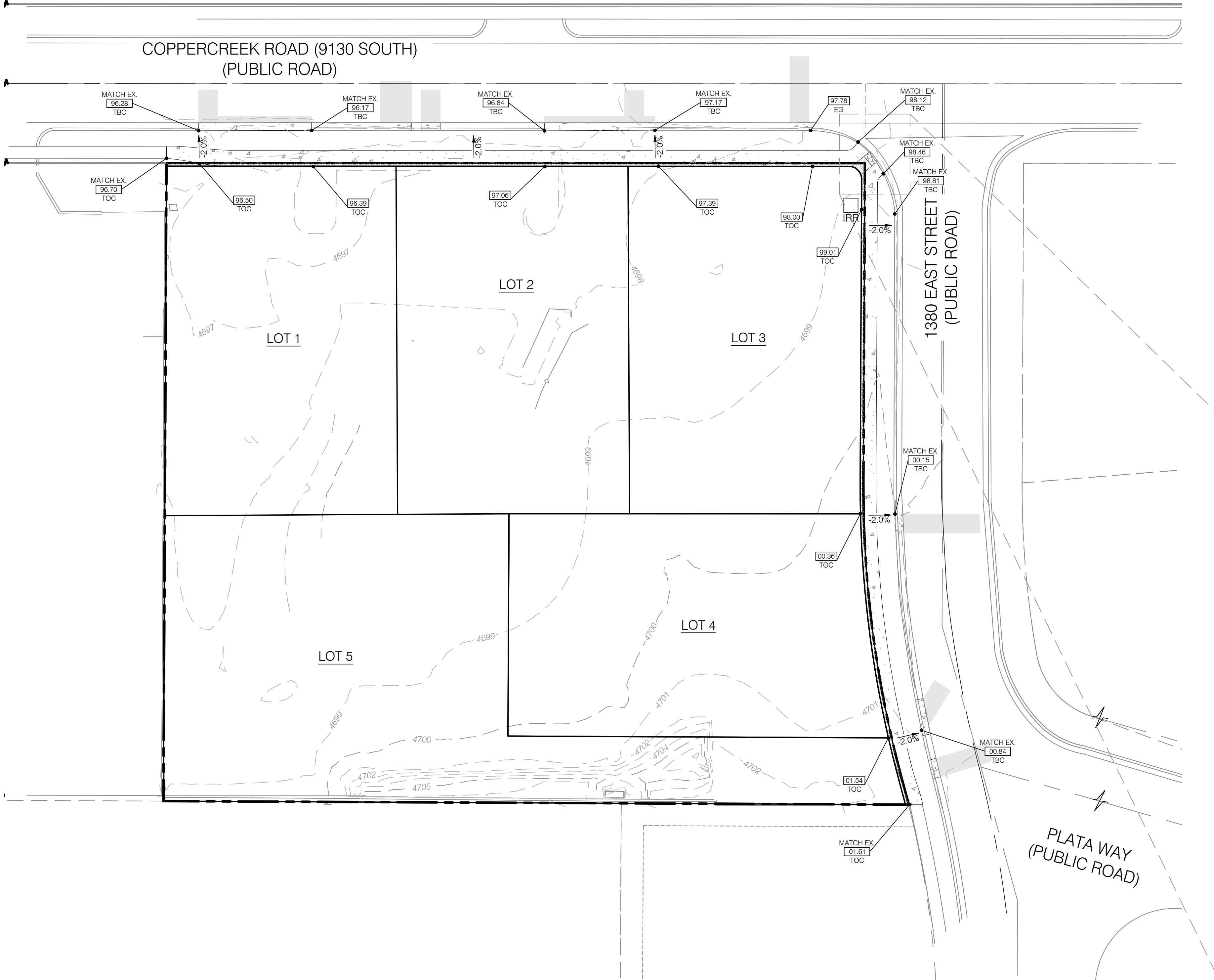


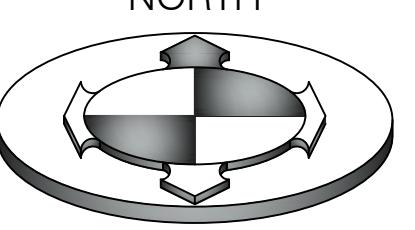
PRELIMINARY PLAN
11/18/2016
No. 11366633
ALLISON G.
ALBERT
STATE OF UTAH
NOT FOR CONSTRUCTION



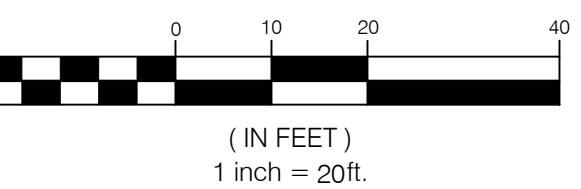
SEQUOIA COVE
1368 EAST COPPERCREEK RD
SANDY CITY, UTAH

PROJECT NO. 2509166
GRADING & DRAINAGE PLAN
CGD.01
7 OF 11





GRAPHIC SCALE



(IN FEET)

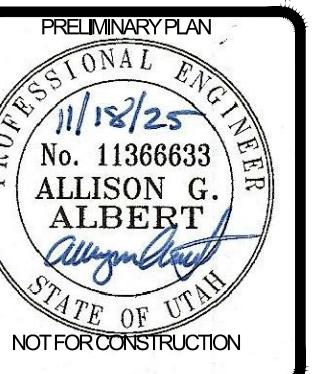
1 inch = 20ft.

SWPPP KEY NOTES REFERENCE		
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.		
NO.	DESCRIPTION	DETAIL
①	CONCRETE WASTE MANAGEMENT	1/CEP.02
②	INLET PROTECTION WATTLE	2/CEP.02
③	MATERIALS STORAGE	3/CEP.02
④	PORTABLE TOILETS	4/CEP.02
⑤	SILT FENCE	6/CEP.02
⑥	TEMPORARY CONSTRUCTION ENTRANCE	7/CEP.02

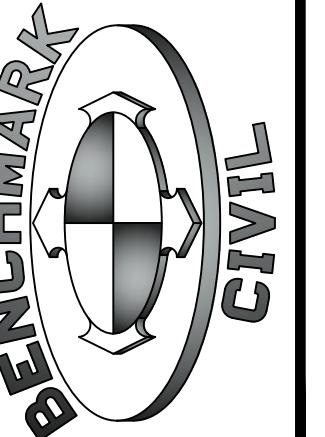
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.

NO.	DESCRIPTION	DETAIL
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④	PORTABLE TOILETS	4/CEP.02
⑤	SILT FENCE	6/CEP.02
⑥	TEMPORARY CONSTRUCTION ENTRANCE	7/CEP.02

NOTE:
CONTRACTOR SHALL INSTALL EROSION CONTROLS (SILT FENCES, STRAW BALES, ETC) AS REQUIRED BY REGULATORY AGENCIES. SAID CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH AGENCY STANDARDS AND FOLLOWING BEST MANAGEMENT PRACTICES FOR ACTUAL PLACEMENT ON SITE. STRAW BALES SHOWN ON THESE DRAWINGS ARE INTENDED AS A MINIMUM REQUIREMENT. ADDITIONAL CONTROLS REQUESTED BY AGENCY INSPECTORS SHALL BE REQUIRED. DUST CONTROL SHALL BE PROVIDED AT ALL TIMES, AT THE CONTRACTOR'S EXPENSE, TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.



Digitized by srujanika@gmail.com



SEQUOIA COVE

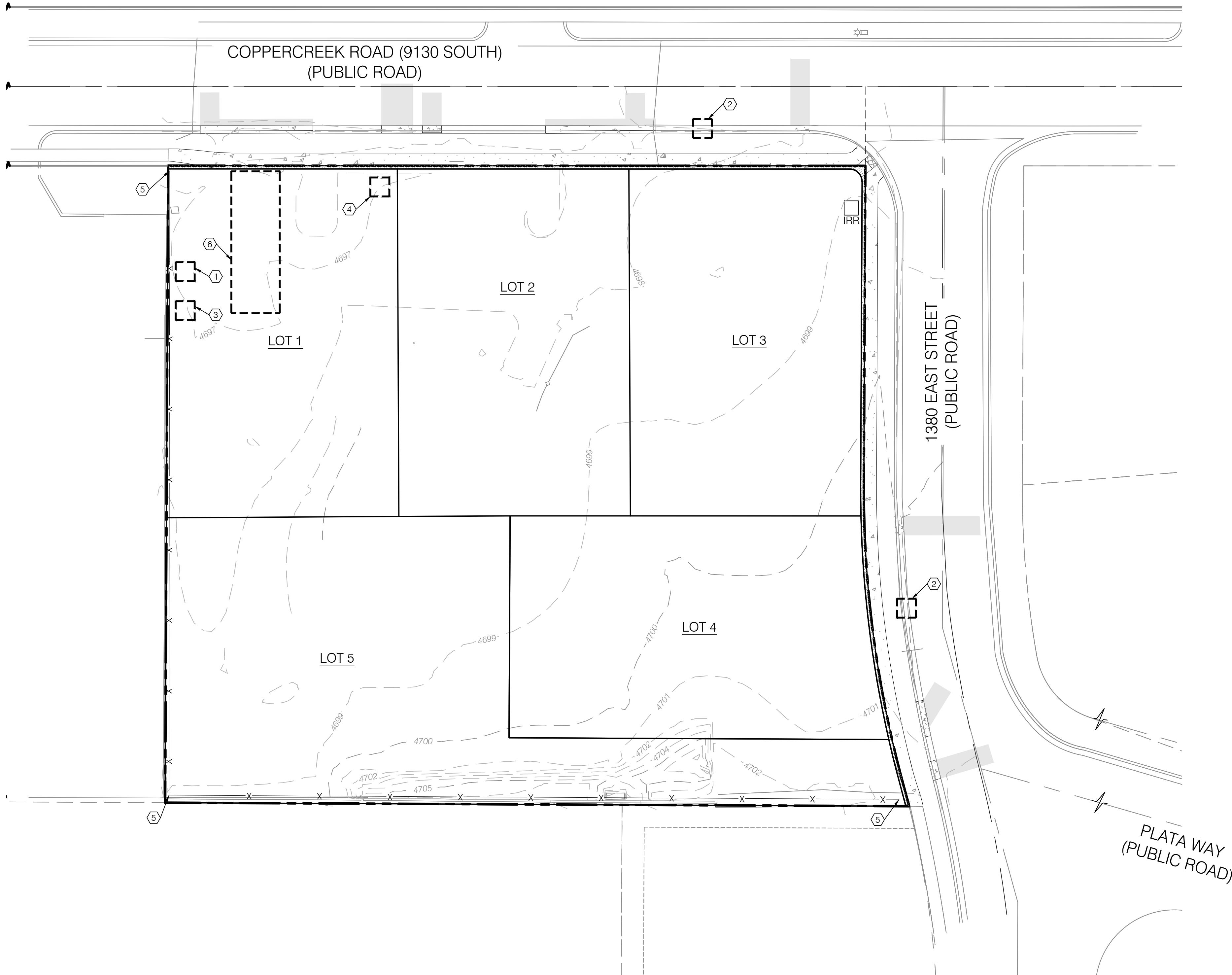
1368 EAST COPPERCREEK RD
SANDY CITY, UTAH

PROJECT NO. 2509166



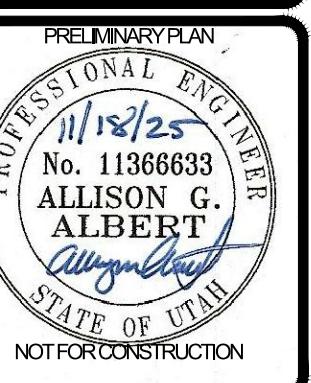
EROSION CONTROL PLAN

CEP.01
8 OF 11

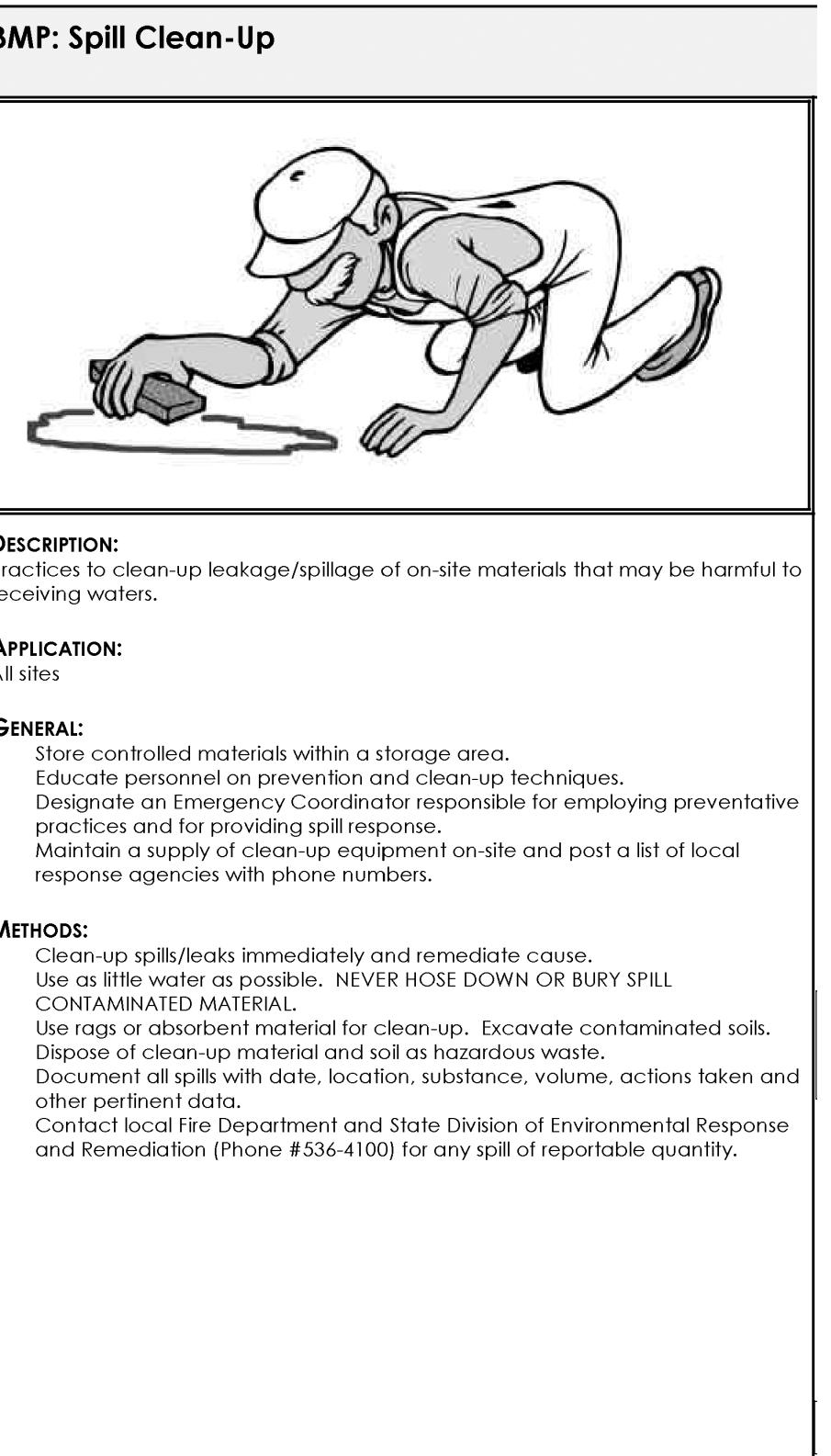
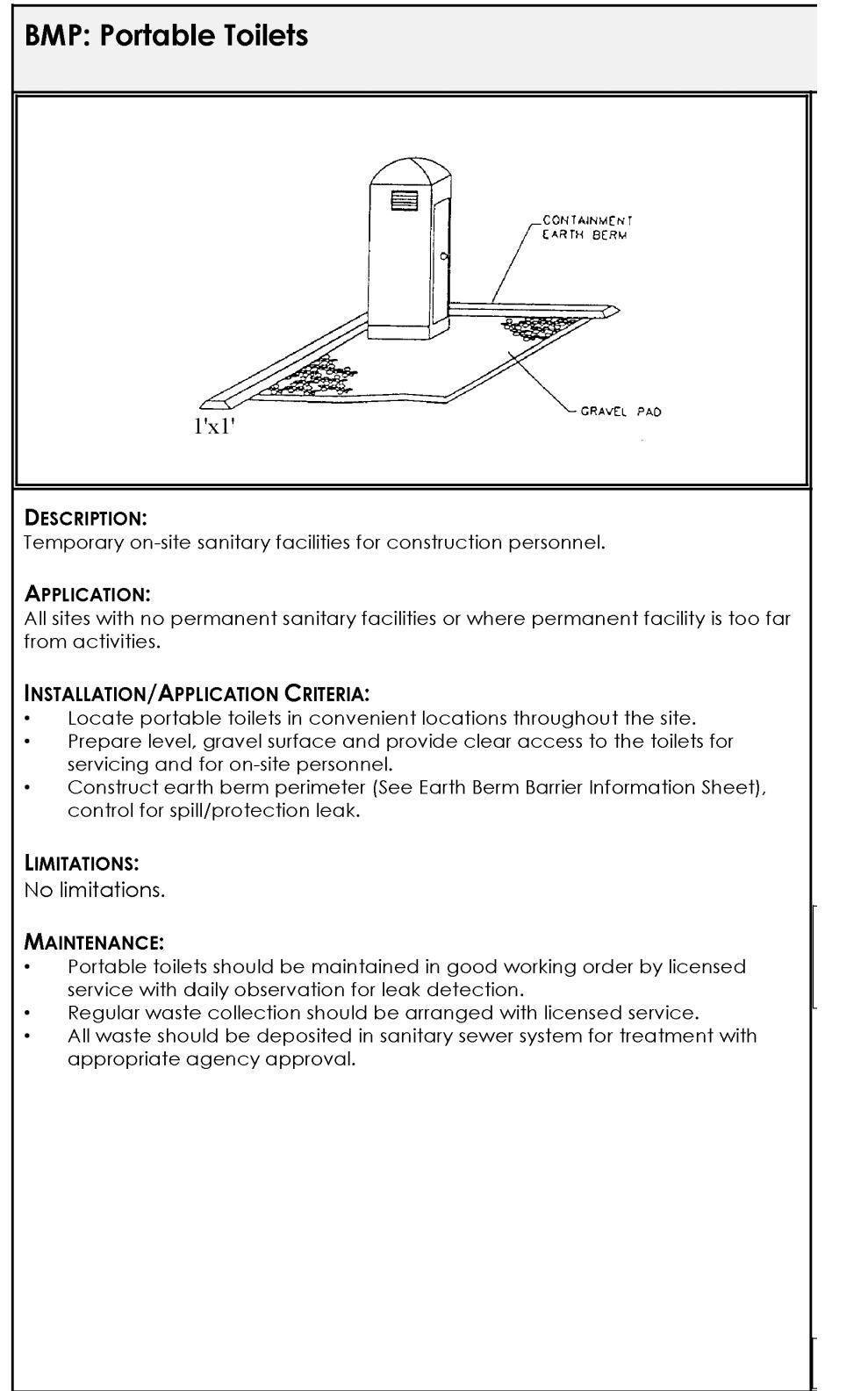
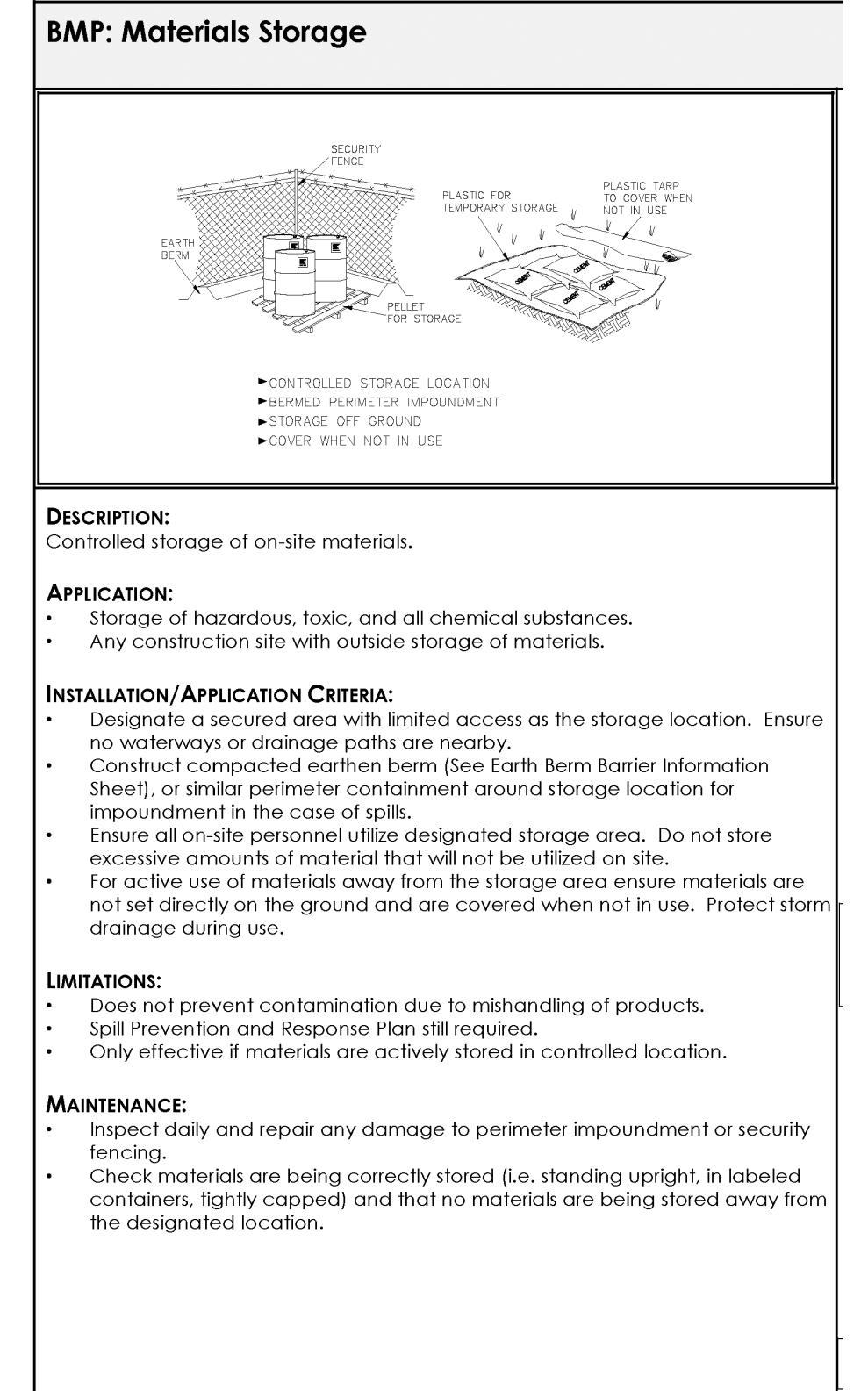
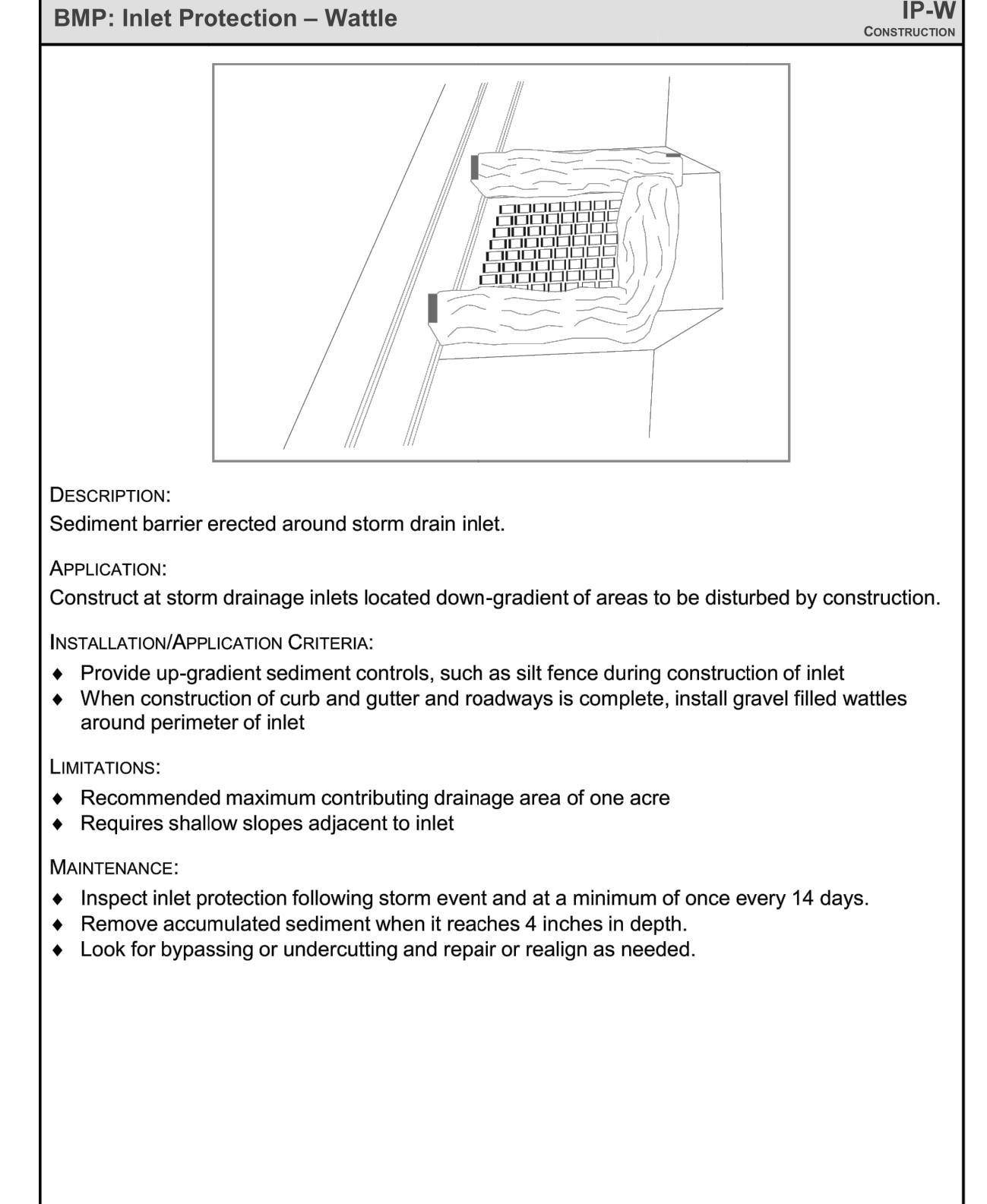
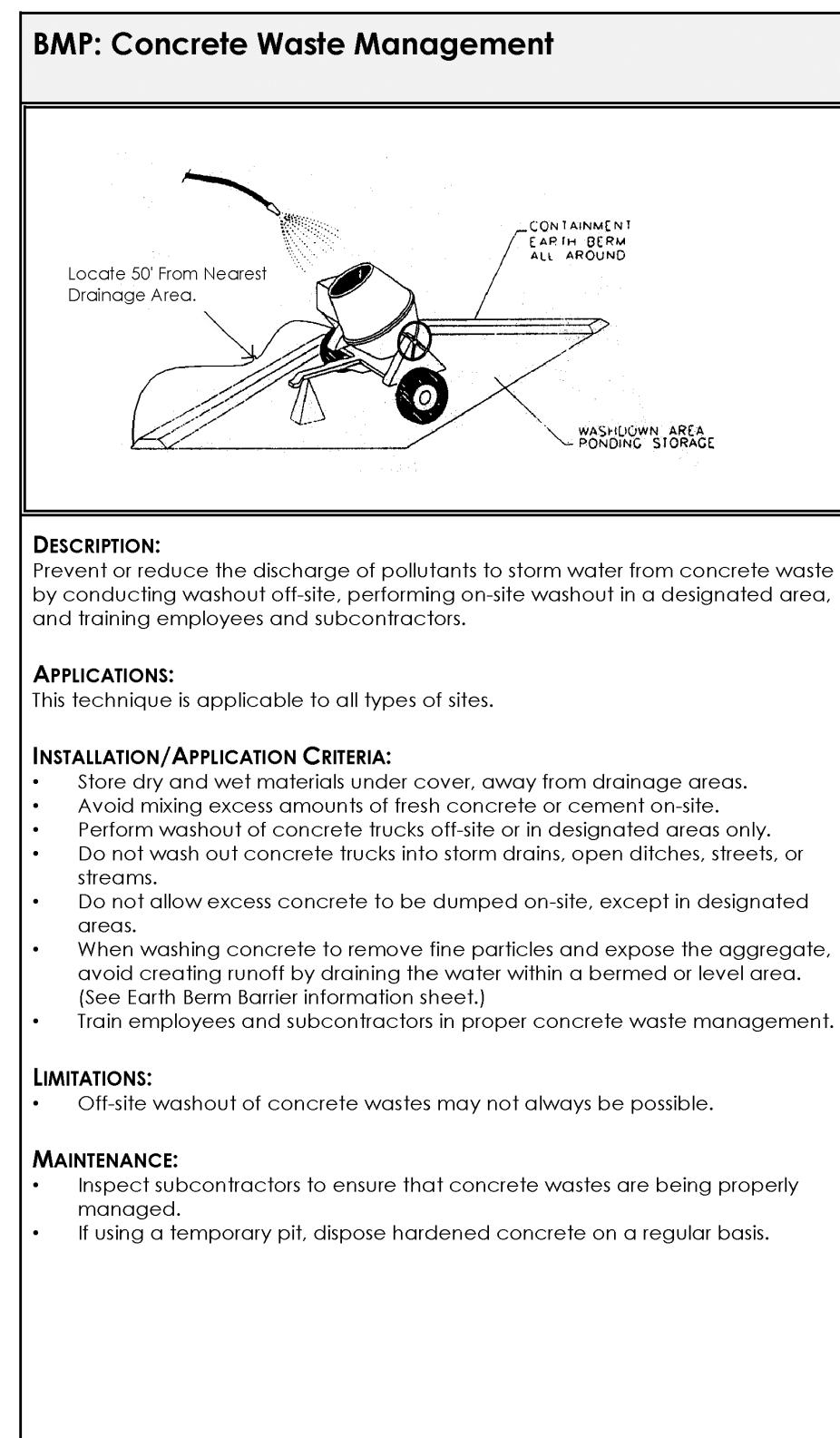
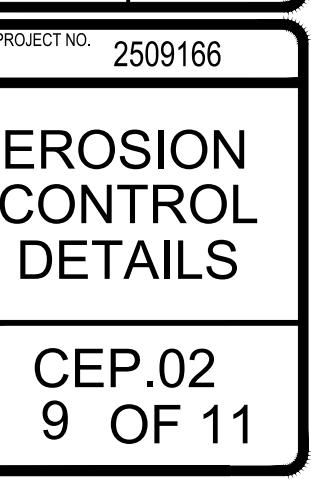
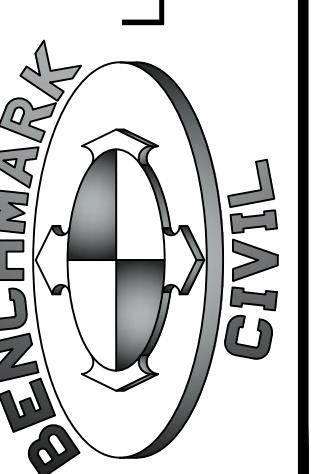


CEP.01
8 OF 11

DESCRIPTION	SCALE MEASURES HINCH ON FULL SIZE SHEETS ADJUST ACCORDINGLY
DATE	11/18/2025
NO.	0
DRAWN BY	D2B
CHECKED BY	AGA
FIELD CREW	SC
FILE NO.	2509166



PRELIMINARY PLAN
11/18/25
No. 11366833
ALLISON G. ALBERT
STATE OF UTAH
NOT FOR CONSTRUCTION



CONCRETE WASTE MANAGEMENT 1

SCALE: NTS

INLET PROTECTION WATTLE 2

SCALE: NTS

MATERIALS STORAGE 3

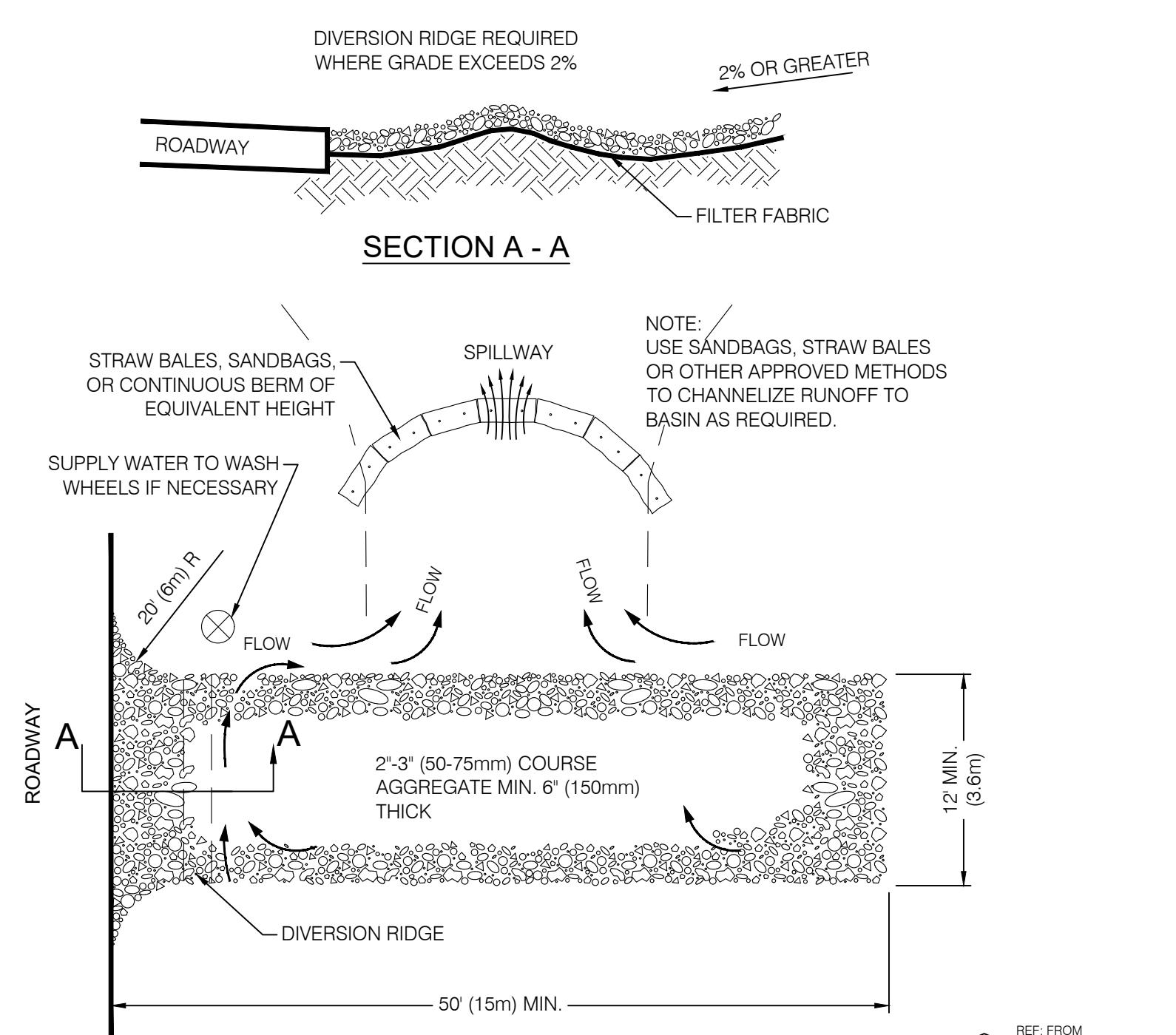
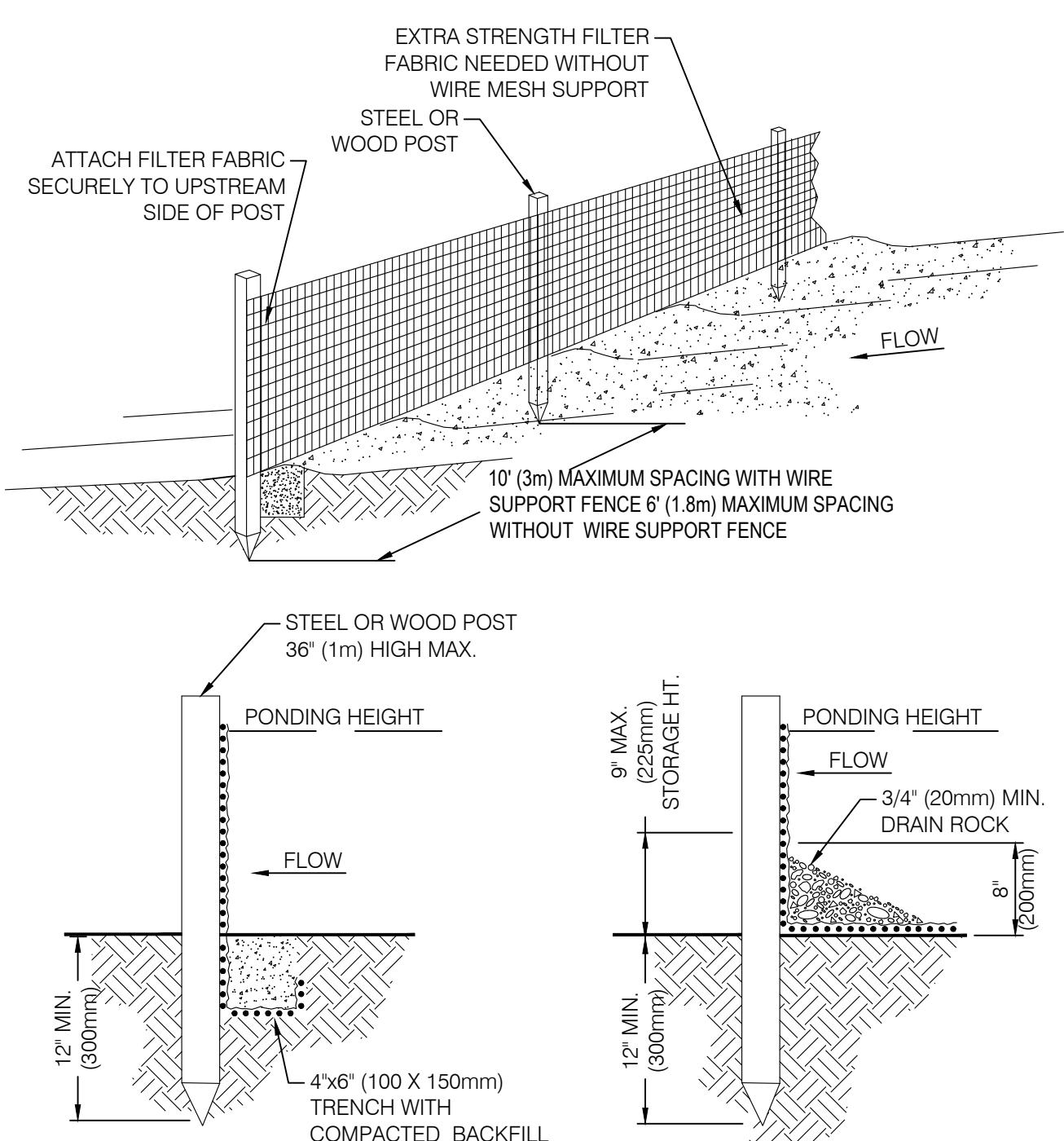
SCALE: NTS

PORTABLE TOILETS 4

SCALE: NTS

SPILL CLEAN UP 5

SCALE: NTS

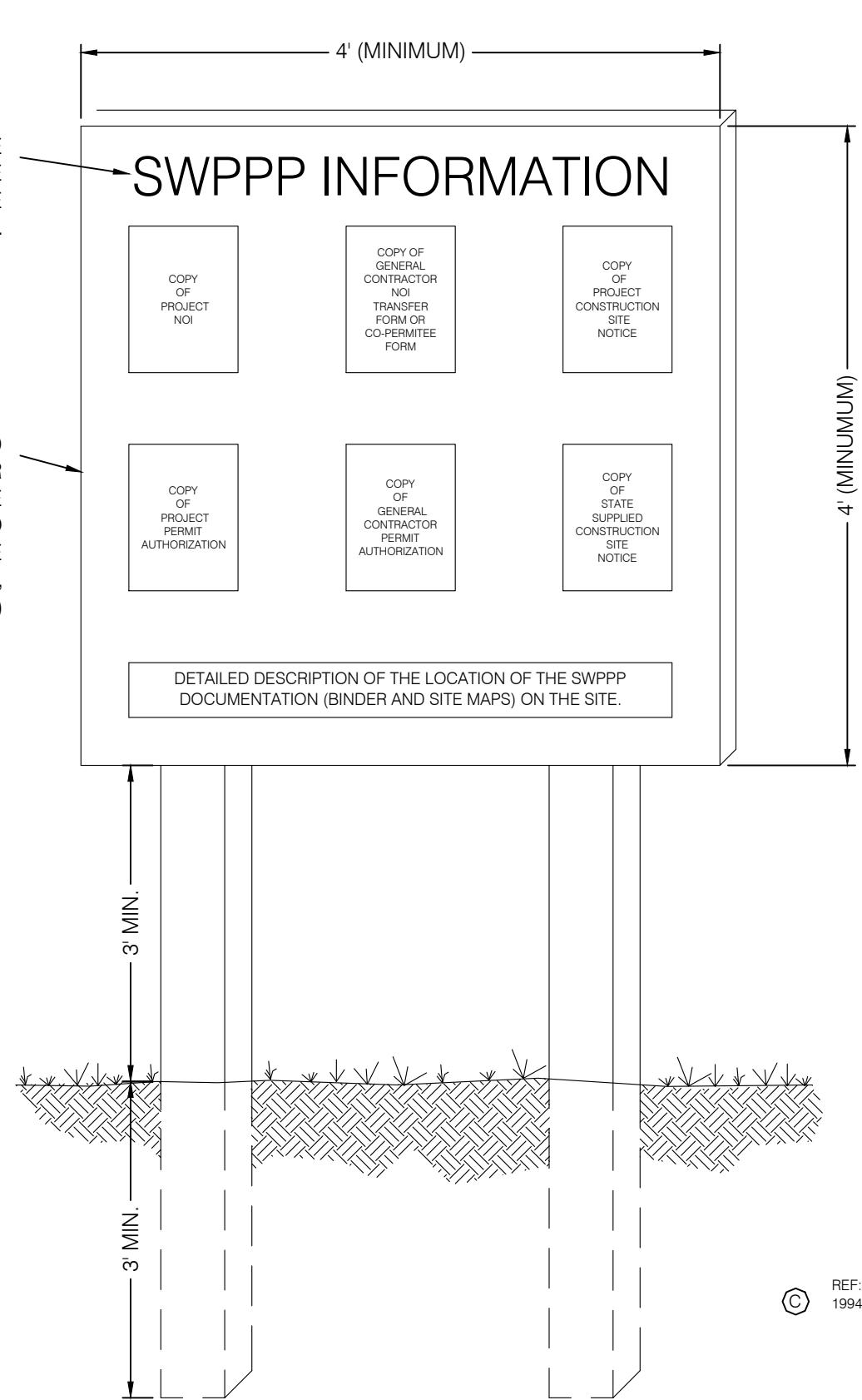


"SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.)

NOTES:

- THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
- ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-TO TERMINATION (NOT) IS FILED FOR THE PERMIT.
- CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
- SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY IF THE SWPPP INFORMATION SIGN.



SILT FENCE 6

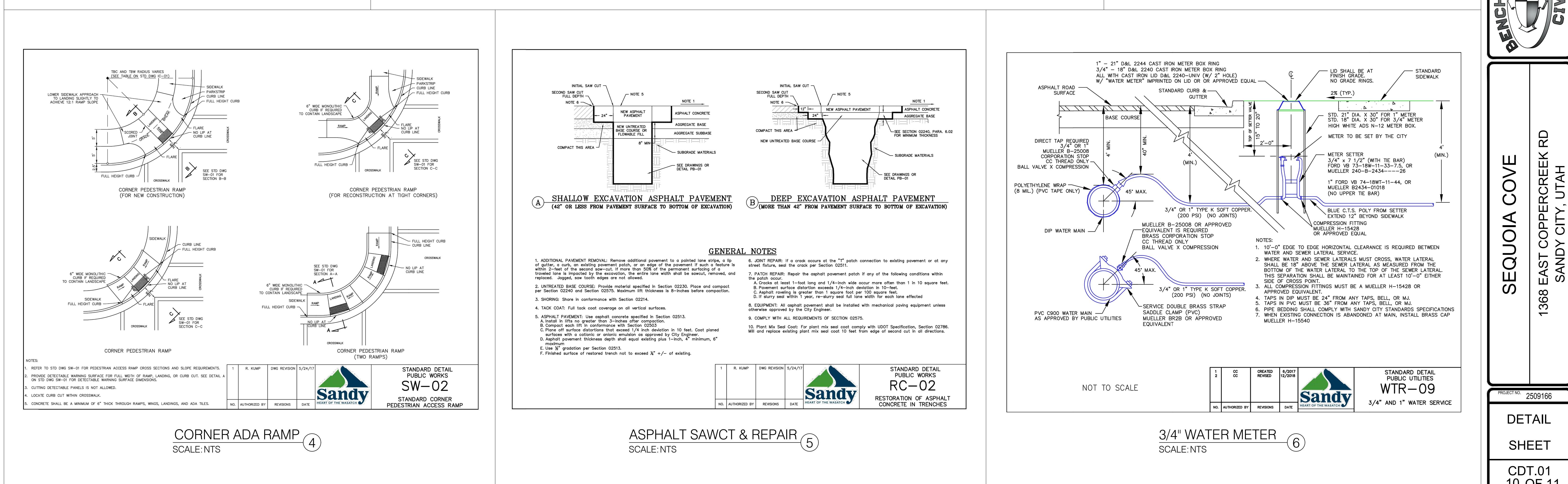
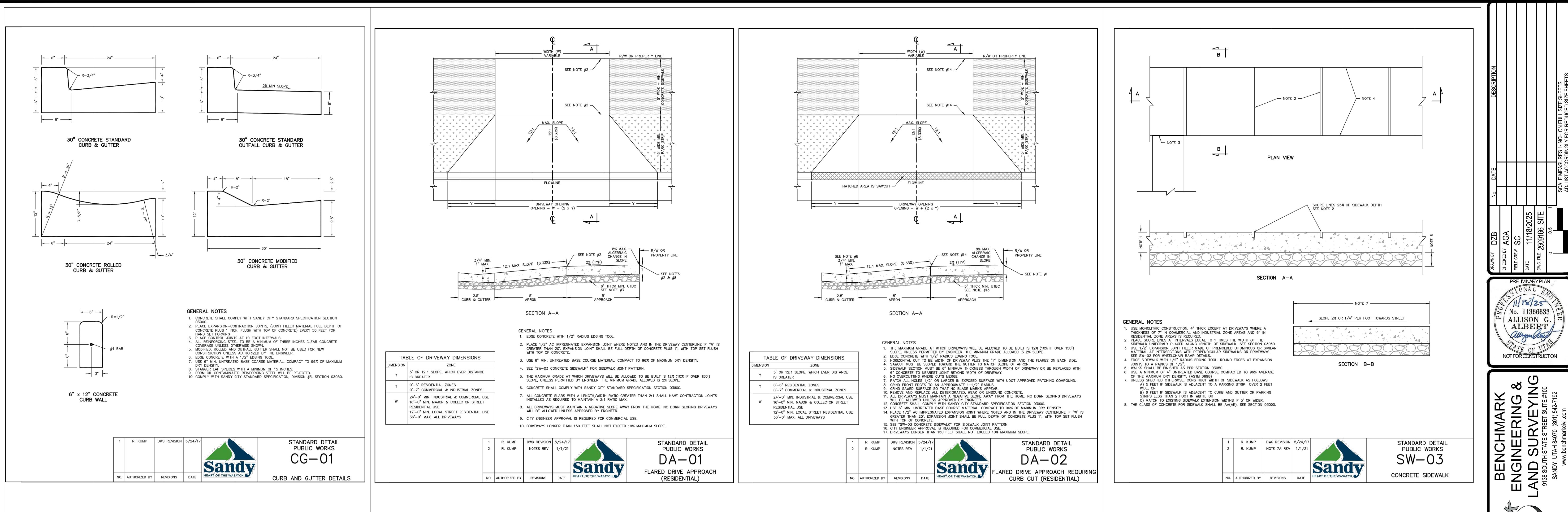
SCALE: NTS

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT 7

SCALE: NTS

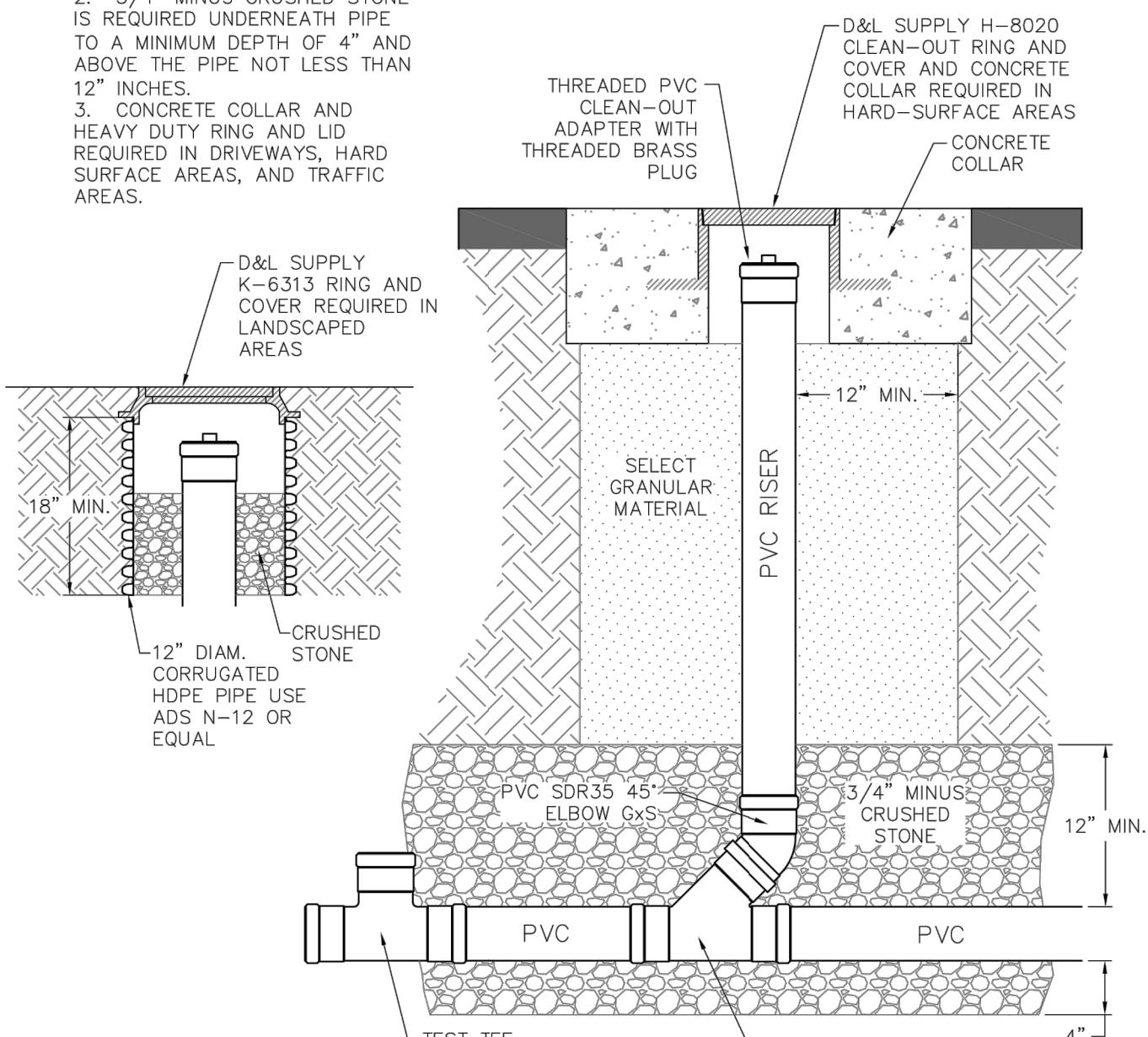
SWPPP INFORMATION SIGN 8

SCALE: NTS



NOTES:

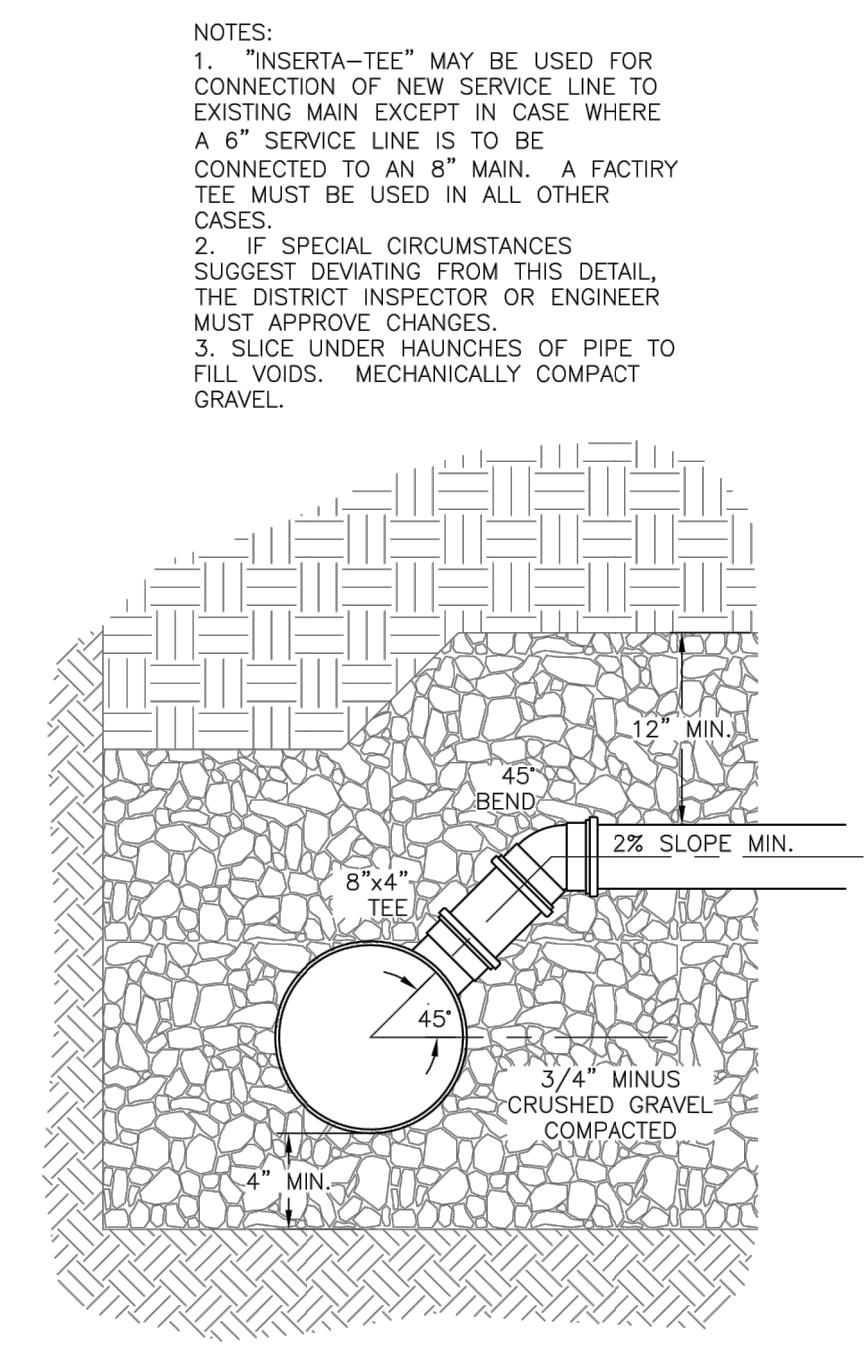
1. ONLY SELECT GRANULAR MATERIAL SHALL BE PLACED AROUND RISER PIPE TO A THICKNESS OF 12". NO PARTICLES LARGER THAN 1.5" IN DIAMETER SHALL BE ALLOWED.
2. 3/4" MINUS CRUSHED STONE IS REQUIRED UNDERNEATH PIPE TO A MINIMUM DEPTH OF 4" AND ABOVE THE PIPE NOT LESS THAN 12" INCHES.
3. CONCRETE COLLAR AND HEAVY DUTY RING AND LID REQUIRED IN DRIVEWAYS, HARD SURFACE AREAS, AND TRAFFIC AREAS.



DETAIL – PVC SDR35 CLEAN-OUT

COTTONWOOD IMPROVEMENT DISTRICT	DATE: 2/3/2014	DWG. NO. D4A	
REVISIONS:			
SCALE: NO SCALE			

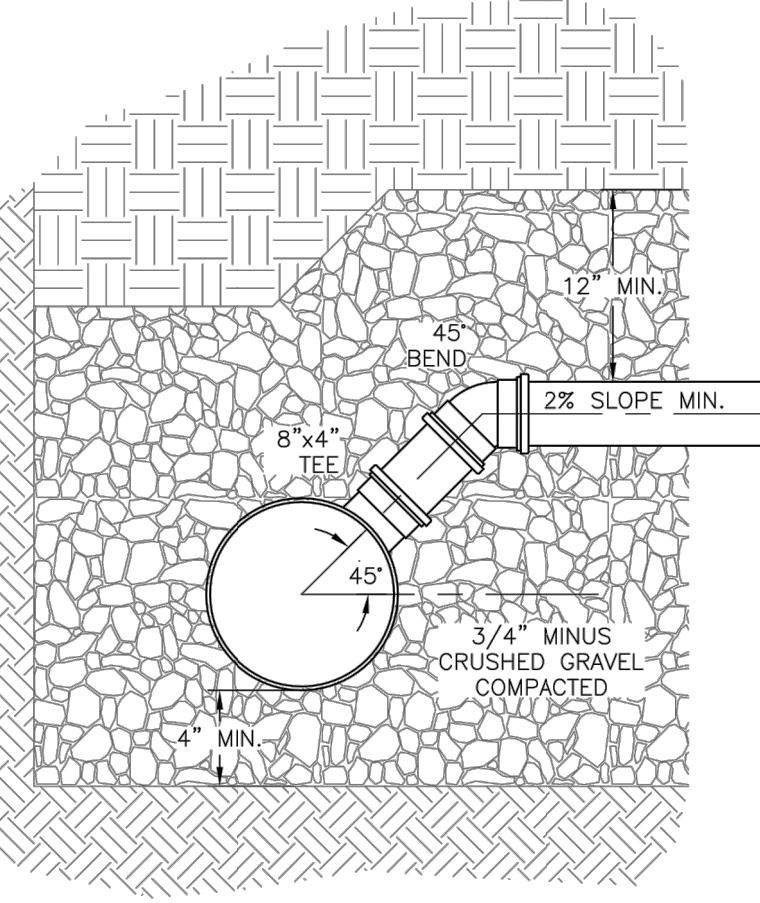
SEWER CLEANOUT 1



SECTION

COTTONWOOD IMPROVEMENT DISTRICT		DATE: 2/17/2000	DWG. NO D8
SERVICE LINE CONNECTION		REVISIONS:	
		SCALE: NO SCALE	

SEWER SERVICE LATERAL 2
SCALE: NTS



SECTION

checked by	AGA	
field crew	SC	
date	11/18/2025	
dwg. file	2509166 SITE	
	0	0.5
	1	
SCALE MEASURES 1-INCH ON FULL SIZE SHEETS ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS		

**BENCHMARK
ENGINEERING &
SURVEYING**
10138 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

The logo for BENCHMARK CIVIL features the word "BENCHMARK" in a bold, sans-serif font, curved along the top left of a large, light-grey oval. Inside the oval is a dark-grey, stylized graphic of a bridge arch or a similar structure. To the right of the oval, the word "CIVIL" is written vertically in a bold, sans-serif font.

SEQUOIA COVE

8 EAST COPPERCREEK SANDY CITY, UTAH

SEQUOIA COVE
68 EAST COPPERCREEK RD
SANDY CITY, UTAH

PROJECT NO. 2509166

DETAIL

SHEET

CDT.02

11 OF 11



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #:

SUB08212024--006814,

Version: 1

Date: 2/5/2026

Agenda Item Title:

9272 Office Condominiums (Preliminary Review)

9272 S. 700 E.

[Community #4, Historic Sandy]

Presenter:

Thomas Irvin, Senior Planner

Description/Background:

The applicant, Brook Hintze with Alta Commercial, is representing the property owner Emporch, LLC. They are requesting preliminary subdivision review to create a commercial condominium from an existing office building located at 9272 S. 700 E. The request consists of subdividing interior spaces into twenty-two separately owned units along with associated common space.

For full details of the request, please see the attached staff report and materials.

Recommended Action and/or Suggested Motion:

Staff recommends that the Planning Commission determine that preliminary review for the 9272 Office Condominiums located at 9272 S 700 E is substantially complete based on the following findings and subject to the following condition:

Findings:

1. That a Capitol Reserve Study has been provided that sufficiently ensures for the funding of the ongoing maintenance of the building and site improvements.
2. That the Chief Building Official has inspected the site and found it to be in compliance with the life safety provisions of the International Building Cod and the International Fire Code.
3. That the various City Departments and Divisions have preliminarily approved the proposed condominium conversion subdivision plat.

Conditions:

1. That any previous conditions of approval from previous Site Plan applications on the subject property remain in full effect and fully enforceable.
2. That prior to recording the final condominium plat, all requirements of that pertain to condominium conversion be satisfied.

3. That all units comply with all requirements of the International Building Code regarding condominium conversions.
4. That prior to plat recordation, that Staff review and approve the declaration of condominium, project bylaws, and the condominium plat. That these documents include all information required according to State Statute.
5. That any required utility easements for this site be dedicated with the plat in accordance with the department review requirements.
6. That the applicant complies with each department's comments and redlines throughout the final review process and that all issues be resolved before the condominium subdivision plat can be recorded.



SANDY CITY COMMUNITY DEVELOPMENT

JAMES SORENSEN
COMMUNITY DEVELOPMENT
DIRECTOR

MONICA ZOLTANSKI
MAYOR

SHANE E. PACE
CHIEF ADMINISTRATIVE OFFICER

Staff Report Memorandum

February 5, 2026

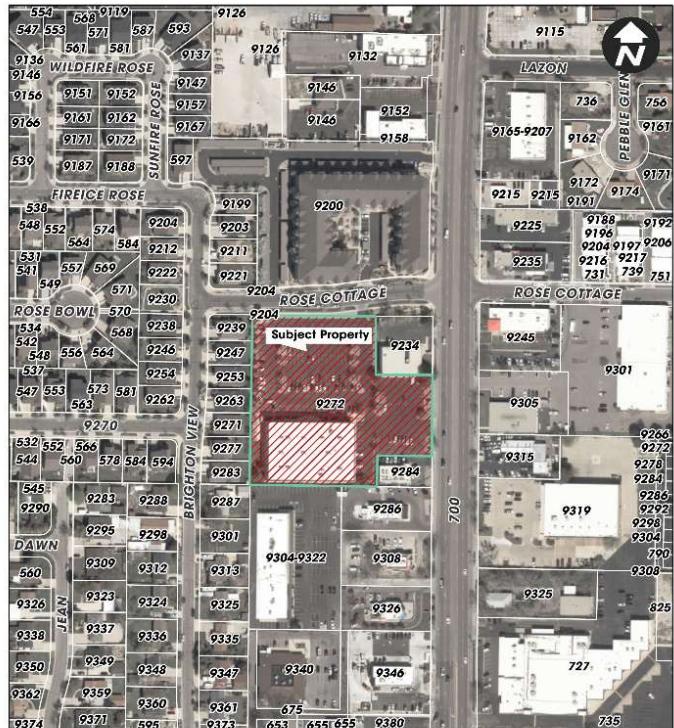
To: Planning Commission
From: Community Development Department
Subject: 9272 Office Condominiums (Preliminary Review)
9272 S. 700 E.
(Community #4, Historic Sandy)

SUB08212024-006814
CC Zone
22 Condominium Units
52,368 Sq. Ft. Building

Public Meeting Notice: This item has been noticed to property owners within 500 feet of the subject area, on public websites, and a sign posted on site.

Request

The applicant, Brook Hintze with Alta Commercial, is representing the property owner Emporch, LLC. They are requesting preliminary subdivision review to create a commercial condominium from an existing office building located at 9272 S. 700 E. The request consists of subdividing interior spaces into twenty-two separately owned units along with associated common space. (See Exhibit "A" for Application Materials).



Background

This two-story commercial office building has become known as the Ranlife Building. It was originally built as a fitness center and was later converted into office use. It is zoned CC (Community Commercial District), consistent with the properties to the south and with those to the east across 700 East. To the west, the adjoining properties are zoned R-2-10 and are developed with single family residential lots under an overlay zone. To the north, across Rose Cottage Way, is The Cottages at 7th, a senior apartment community which is zoned mixed use (MU).



SUB08212024-006814
Condo Plat Only
9272 S 700 E

Community Development Department
Sandy City, UT

Property Case History

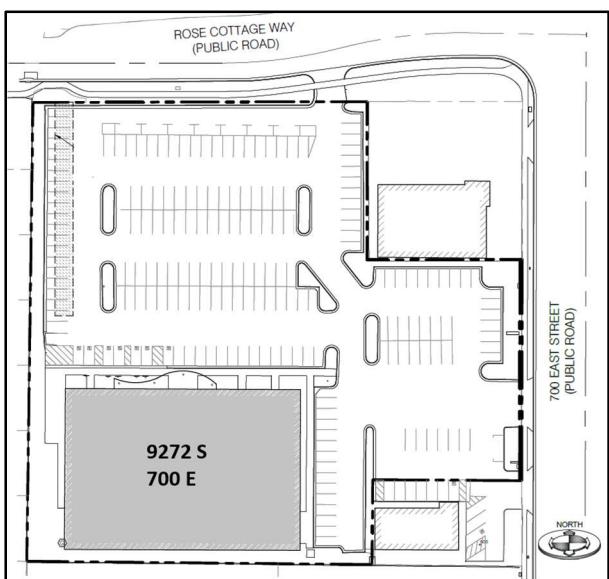
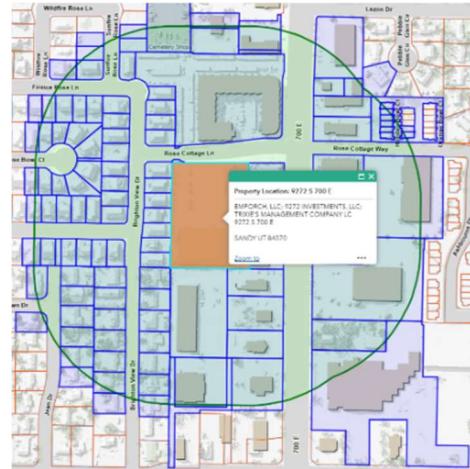
Case Number	Case Summary
SPR#00-22	Lifestyle 2000 Health Club (later became a Gold's Gym)
SPR-09-13-2999	Conversion to Office Use (Ranlife) – Modified site plan and parking reduction request (12%)

Public Notice and Outreach

Notices were mailed to property owners within 500 feet of the subject property and affected entities. The notice was posted to the Utah Public Notice website and the city website. A physical copy of the notice was posted at City Hall, and a public notice sign was placed on the subject property. No neighborhood meeting was necessary.

Analysis

The applicant is proposing to divide the interior spaces of the existing building into 22 individually owned units. Shared common areas will be provided to ensure that each unit has direct egress without requiring passage through any other private space. The shared utility systems necessary for the proper operation of the facility are also shown as commonly owned spaces. The parking lot and site improvements will also be jointly owned for the use of all owners and their customers.



Sandy City's ordinance allows for the conversion of existing occupied commercial buildings into privately owned condominium spaces by complying with various conditions intended to ensure the structure meets life/safety requirements and provides for the needs of future owners.

Report of Property Condition and Reserve Study.

State law requires that a reserve study be conducted and money be set aside for future capital improvements needed to maintain the overall building. In order to determine the amount of funding needed, a report of the condition of the existing building is needed that estimates the future needs of the building based upon its current condition.

The applicant has provided both the property report and reserve study. These have been reviewed by staff and found to adequately address the future needs of the property. (see Exhibit "B")

Report of the Building Official

Prior to approving an existing building to be subdivided into individual units, the Chief Building Official is required to inspect the project in order to determine compliance with the life safety provisions of the International Building Code and the International Fire



Code. This inspection has been completed, and the Building Official finds the structure to adequately meet basic life/safety requirements. (see Exhibit "C")

Staff Recommendations

Staff recommends that the Planning Commission determine that preliminary review for the 9272 Office Condominiums located at 9272 S 700 E is substantially complete based on the following findings and subject to the following condition:

Findings:

1. That a Capitol Reserve Study has been provided that sufficiently ensures for the funding of the ongoing maintenance of the building and site improvements.
2. That the Chief Building Official has inspected the site and found it to be in compliance with the life safety provisions of the International Building Cod and the International Fire Code.
3. That the various City Departments and Divisions have preliminarily approved the proposed condominium conversion subdivision plat.

Conditions:

1. That any previous conditions of approval from previous Site Plan applications on the subject property remain in full effect and fully enforceable.
2. That prior to recording the final condominium plat, all requirements of that pertain to condominium conversion be satisfied.
3. That all units comply with all requirements of the International Building Code regarding condominium conversions.
4. That prior to plat recordation, that Staff review and approve the declaration of condominium, project bylaws, and the condominium plat. That these documents include all information required according to State Statute.
5. That any required utility easements for this site be dedicated with the plat in accordance with the department review requirements.
6. That the applicant complies with each department's comments and redlines throughout the final review process and that all issues be resolved before the condominium subdivision plat can be recorded.

Planner:



Thomas Irvin
Senior Planner

File Name: S:\Users\PLN\STAFFRPT\2024\SUB08212024-006814 – 9272 Office Condominiums\Planning Commission\Staff Report

Exhibit "A"
(See the attached file for full details)

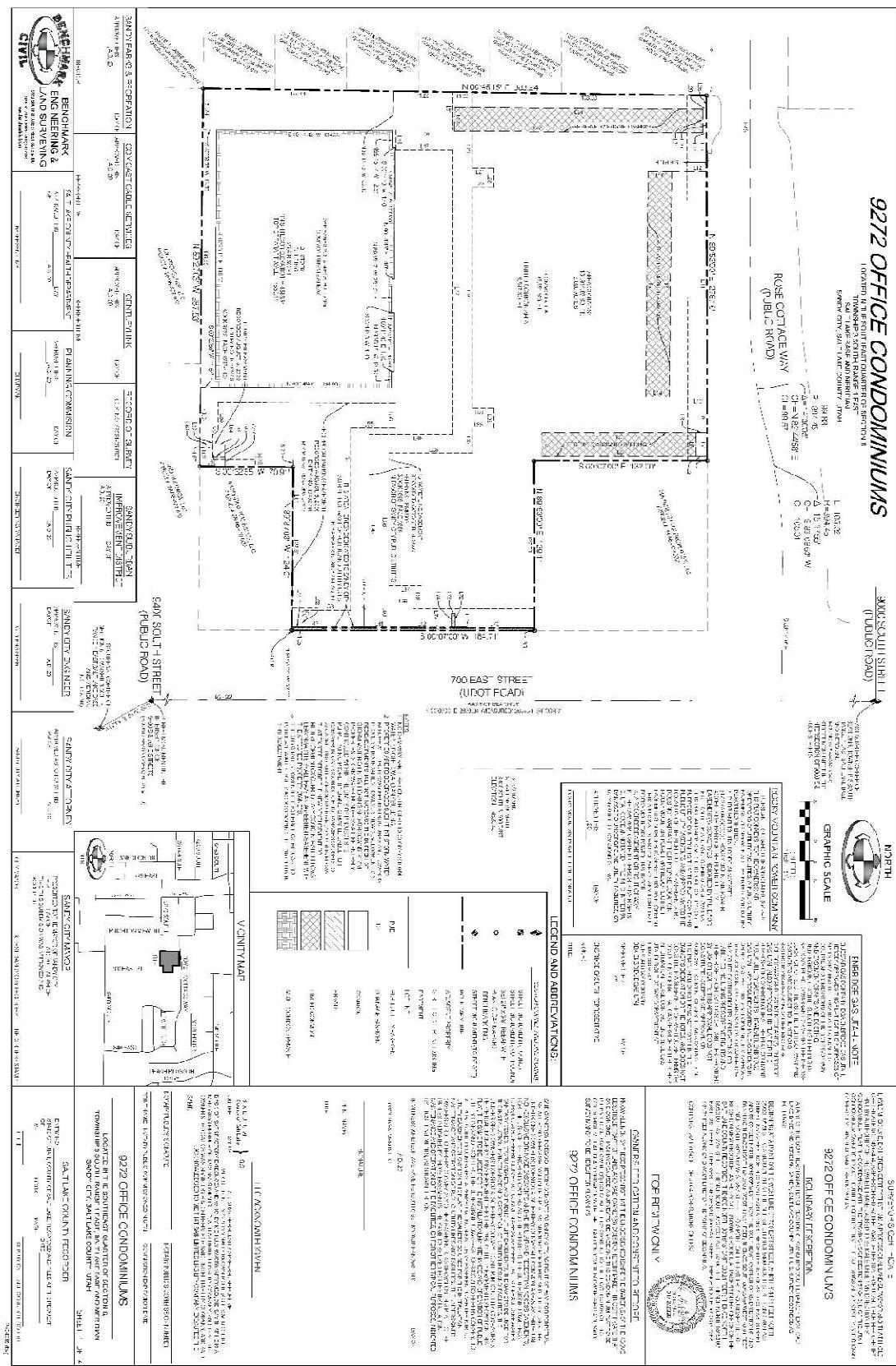
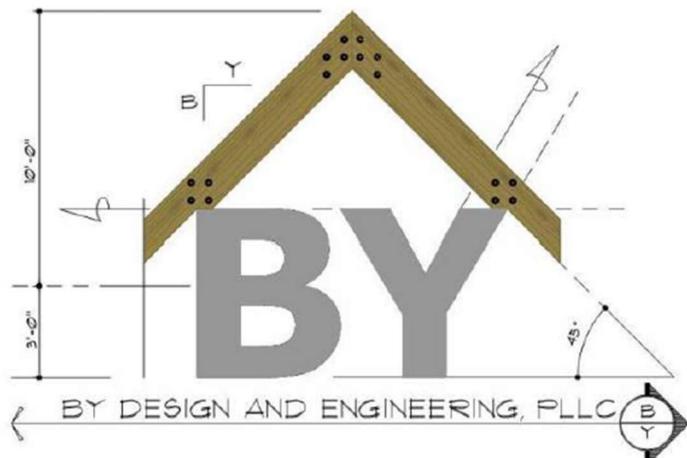


Exhibit "B"
(See the attached file for full details)



394 West 990 North
American Fork, UT 84003
(801) 654-2297

Property Report

For
Alta Commercial Development LLC
Brooke Hintze

Property Report
9272 S 700 E, Sandy, UT 84070



Date: November 11, 2024

IMPORTANT

BY Design & Engineering, PLLC has authorized this copy only if the seal is in **red or black** ink and the signature is in **colored** ink.

24046
REB

Exhibit "C"



RE: 9272 S 700 E Office Condos

Date July 7, 2025

To whom it may concern:

I visited and inspected the above-mentioned property as requested by the owners. There were no code violations at the time of inspection. We have been in discussions with owners and contractors to aid the subdividing of this building into office condominiums. The owners are in the process of designing the building to meet all egress and accessibility requirements required to subdivide the building.

Regards

Willie Chidester

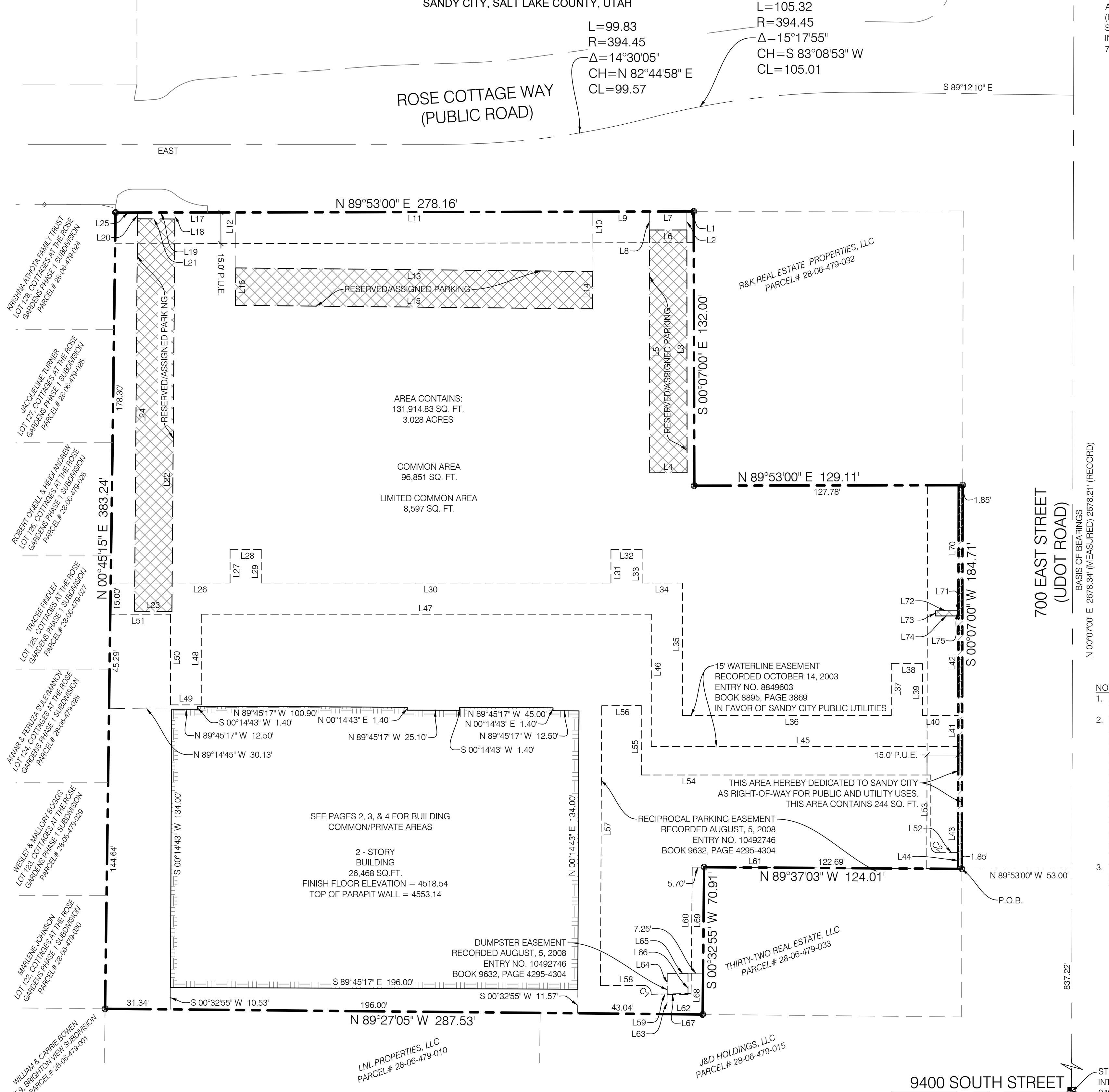
Willie Chidester

Assistant Chief Building Official

10000 S. Centennial Pkwy. | Sandy, UT 84070
o: 801.568.6094
C: 801.381.0056
wchidester@sandy.utah.gov

9272 OFFICE CONDOMINIUMS

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 6,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH



SANDY PARKS & RECREATION APPROVED THIS <u>A.D. 20</u> DAY OF <u>2008</u>	COMCAST CABLE SERVICES APPROVED THIS <u>A.D. 20</u> DAY OF <u>2008</u>	CENTURYLINK APPROVED THIS <u>A.D. 20</u> DAY OF <u>2008</u>	RECORD OF SURVEY R.O.S. NO. S2024-06-0371	SANDY SUBURBAN IMPROVEMENT DISTRICT APPROVED THIS <u>A.D. 20</u> DAY OF <u>2008</u>
DIRECTOR _____ REPRESENTATIVE _____	REPRESENTATIVE _____	REPRESENTATIVE _____	REPRESENTATIVE _____	REPRESENTATIVE _____



SALT LAKE COUNTY HEALTH DEPARTMENT
APPROVED THIS DAY OF
OF A.D. 20

PLANNING COMMISSION
APPROVED THIS DAY OF
A.D. 20

SANDY CITY PUBLIC UTILITIES
APPROVED THIS DAY OF
A.D. 20

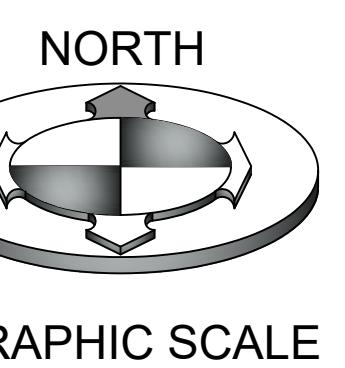
SANDY CITY ENGINEER
APPROVED THIS DAY OF
A.D. 20

SANDY CITY ATTORNEY
APPROVED AS TO FORM THIS DAY OF
A.D. 20

SANDY CITY MAYOR
PRESENTED TO THE MAYOR OF SANDY CITY
THIS DAY OF A.D. 20 AT WHICH
TIME THIS SUBDIVISION WAS APPROVED AND
ACCEPTED.

SALT LAKE COUNTY RECORDER
ENTRY NO. _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST
OF _____ DATE _____
TIME _____ BOOK _____ PAGE _____
FEE \$ _____

9000 SOUTH STREET
(PUBLIC ROAD)



ENBRIDGE GAS UTAH - NOTE:
QUESTAR GAS COMPANY, DBA ENBRIDGE GAS UTAH,
HEREBY APPROVES THIS PLAT FOR THE PURPOSES OF
APPROXIMATING THE LOCATION, BOUNDARIES,
COURSE AND DIMENSIONS OF THE RIGHTS-OF-WAY
AND EASEMENT GRANTS AND EXISTING
UNDERGROUND FACILITIES. NOTHING HEREIN SHALL
BE CONSTRUED TO WARRANT OR VERIFY THE PRECISE
LOCATION OF SUCH ITEMS. THE RIGHTS-OF-WAY AND
EASEMENTS ARE SUBJECT TO NUMEROUS
RESTRICTIONS APPEARING ON THE RECORDED
RIGHT-OF-WAY AND EASEMENT GRANTS. ENBRIDGE
GAS UTAH ALSO APPROVES THIS PLAT FOR THE
PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS
PUBLIC UTILITY EASEMENTS; HOWEVER, ENBRIDGE
GAS UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN
ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL
DOES NOT CONSTITUTE ABRIGATION OR WAIVER OF
ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR
LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND
OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED
BY LAW OR EQUITY. THIS APPROVAL DOES NOT
CONSTITUTE ACCEPTANCE, APPROVAL OR
ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN
THE PLAT, INCLUDING THOSE SET FORTH IN THE
OWNER'S DEDICATION OR THE NOTES, AND DOES NOT
CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR
CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER
INFORMATION, PLEASE CONTACT ENBRIDGE GAS
UTAH'S RIGHT-OF-WAY DEPARTMENT AT
1-800-866-8532.
QUESTAR GAS COMPANY,
DBA ENBRIDGE GAS UTAH

ROCKY MOUNTAIN POWER COMPANY
1. PURSUANT TO UTAH CODE ANNOTATED, §54-3-27,
THIS PLAT CONVEYS, TO THE OWNER(S) OR
OPERATORS OF UTILITY FACILITIES, A PUBLIC UTILITY
EASEMENT, ALONG WITH ALL THE RIGHTS AND DUTIES
DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANNOTATED
§17-27A-603(4)(c)(i), ROCKY MOUNTAIN POWER
ACCEPTS DELIVERY OF THE PUBLIC UTILITY
EASEMENT(S) (SOMETIMES INDICATED BY "P.U.E." OR
"PUE") ON THE PLAT, AS DESCRIBED OR SHOWN ON
THIS PLAT, AND APPROVES THIS PLAT SOLELY FOR THE
PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS
PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE
LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT
DOES NOT WARRANT THEIR PRECISE LOCATION.
ROCKY MOUNTAIN POWER MAY REQUIRE OTHER
EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT.
THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT
ROCKY MOUNTAIN POWER HAS UNDER:
A. A RECORDED EASEMENT OR RIGHT-OF-WAY,
B. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS,
C. UTAH CODE ANNOTATED, TITLE 54, CHAPTER 8A,
DAMAGE TO UNDERGROUND UTILITY FACILITIES, OR
D. ANY OTHER PROVISIONS OF LAW.

APPROVED THIS DAY OF
20

ENBRIDGE GAS UTAH REPRESENTATIVE
SIGNED: _____
TITLE: _____

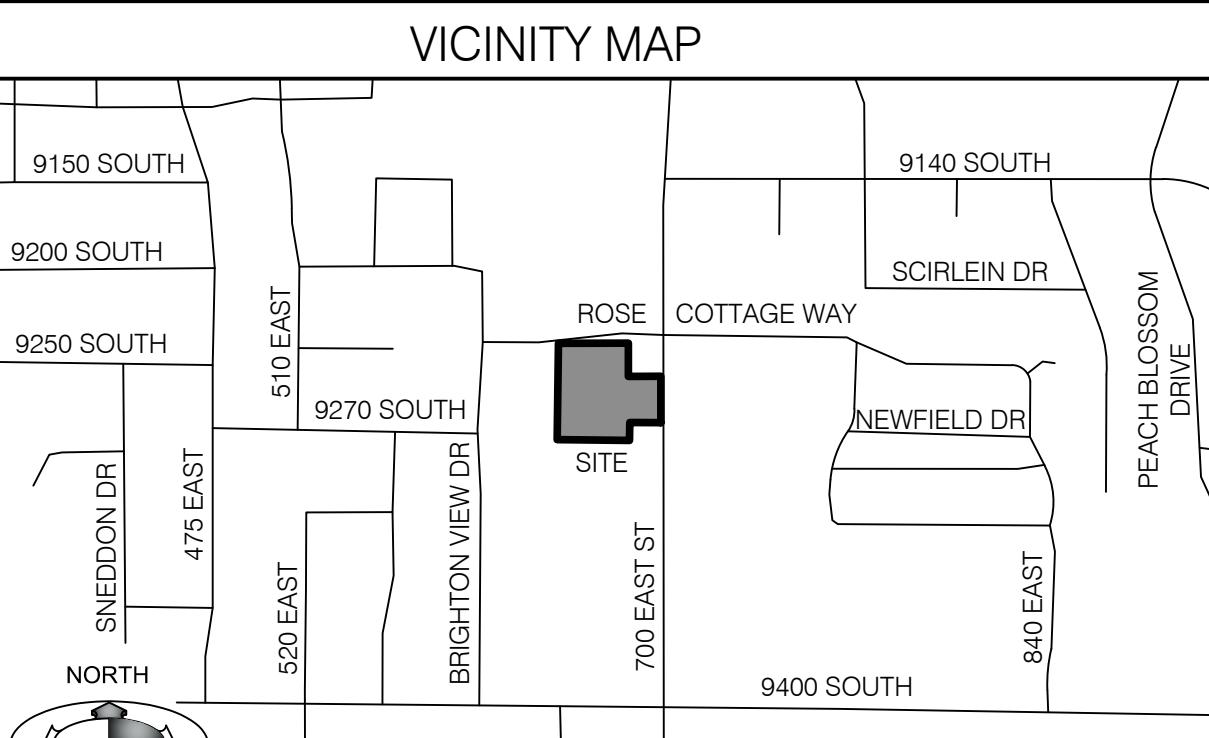
APPROVED THIS DAY OF
20

ROCKY MOUNTAIN POWER REPRESENTATIVE
SIGNED: _____
TITLE: _____

LEGEND AND ABBREVIATIONS:

SECTION CORNER AND LINE (FOUND)	STREET MONUMENT (FOUND)
STREET MONUMENT (NOT FOUND)	STREET MONUMENT (NOT FOUND)
SET 24" X 5/8" REBAR WITH PLASTIC CAP MARKED "BENCHMARK ENG."	BENCHMARK STREET MONUMENT 9400 SOUTH & 700 EAST ELEVATION = 4523.43
STREET MONUMENT (TO BE SET)	BOUNDARY LINE
—	ADJACENT PROPERTY
—	STREET CENTERLINE EXISTING
—	EASEMENT
—	LOT LINE
PUE	PUBLIC UTILITY EASEMENT
DE	DRAINAGE EASEMENT
—	COMMON
—	PRIVATE
—	LIMITED COMMON
—	MIXED COMMON / PRIVATE

NOTES:
1. NO DRIVEWAY SHALL BE CONSTRUCTED TO CONVEY STORM
WATER RUNOFF TOWARD ANY BUILDING.
2. PROPERTIES ARE TO BE GRADED SUCH THAT STORM WATER
RUNOFF WILL DRAIN AWAY FROM STRUCTURES AND TOWARDS
PROPERTY BOUNDARIES. HOWEVER, NEW DEVELOPMENT OR
REDEVELOPMENT SHALL NOT INCREASE THE BURDEN OF
STORM WATER ON NEIGHBORING AND/OR DOWNSTREAM
PROPERTIES. STORM WATER RUNOFF SHALL BE ENTIRELY
CONTROLLED WITHIN THE LIMITS OF PROJECT SITE.
PERPETRATING PROPERTY OWNERS MAY BE LIABLE FOR
DAMAGES IN CIVIL COURTS DUE TO DAMAGES CAUSED TO
ADJACENT PROPERTIES FROM RUNOFF (INCLUDING FLOWS
THAT EXISTED BEFORE THE NEW DEVELOPMENT OR
REDEVELOPMENT OCCURRED). ANY CONCENTRATED FLOWS
LEAVING A SITE SHALL HAVE AN AGREEMENT/EASEMENT WITH
THE AFFECTED PROPERTY OWNERS.
3. THE CITY SHALL BE GIVEN THE FIRST RIGHT OF REFUSAL TO
PURCHASE WATER RIGHTS ACCOMPANYING THE PROPERTY IN
THIS DEVELOPMENT



SURVEYOR'S CERTIFICATE

I, KYLE M. OGLIVIE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD
CERTIFICATE NO. 14263454, AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY
THAT, BY AUTHORITY OF THE OWNER, I HAVE CAUSED TO BE MADE UNDER MY DIRECTION THIS
CONDONIUM PLAT IN ACCORDANCE WITH THE PROVISIONS OF SECTION 57-8-13(1) OF THE UTAH
CONDONIUM OWNERSHIP ACT. I FURTHER CERTIFY THAT THE BUILDINGS AND PROPERTY ARE SHOWN
CORRECTLY. THIS PLAT SHALL BE KNOWN AS:

9272 OFFICE CONDOMINIUMS

BOUNDARY DESCRIPTION

A PART OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT
LAKE BASE AND MERIDIAN, SANDY, SALT LAKE COUNTY, UTAH, U.S. SURVEY, DESCRIBED AS
FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF 700 EAST STREET, WHICH IS 44.81 FEET NORTH
29'33" WEST TO THE MONUMENT AT THE INTERSECTION OF 9400 SOUTH STREET AND 700 EAST
STREET, 837.22 FEET NORTH 00°07'00" EAST ALONG THE CENTERLINE OF SAID 700 EAST STREET
AND 53.00 FEET NORTH 89°53'00" WEST FROM THE SOUTHEAST CORNER OF SAID SECTION 6, AND
RUNNING THENCE NORTH 89°37'03" WEST 124.01 FEET; THENCE SOUTH 00°32'55" WEST 187.91 FEET;
THENCE NORTH 89°27'05" WEST 287.53 FEET. TO A POINT ON THE EASTERN BOUNDARY LINE OF
BRIGHTON VIEW RECORDED AS ENTRY NO. 1693008 IN BOOK UAT PAGE 53 IN THE OFFICE OF THE
SALT LAKE COUNTY RECORDER; THENCE NORTH 00°45'15" EAST 383.24 FEET; THENCE NORTH
89°53'00" EAST 278.16 FEET. TO A POINT ON THE WESTERN BOUNDARY LINE OF THE
SUBDIVISION; THENCE WEST 124.01 FEET; THENCE SOUTH 00°32'55" EAST 129.11 FEET; THENCE
EAST 127.78 FEET; THENCE NORTH 89°53'00" EAST 129.11 FEET; THENCE NORTH 89°53'00" EAST
184.71 FEET ALONG SAID WEST LINE TO THE POINT OF BEGINNING.

CONTAINS 132,159 SQ FT. OR 3.034 ACRES, MORE OR LESS



FOR REVIEW ONLY

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED IS/ARE THE OWNER(S) OF THE ABOVE
DESCRIBED TRACT OF LAND, AND SAID OWNER(S) DO/DO HEREBY MAKE THIS CERTIFICATE THAT
SAID OWNER(S) HAS/HAVE CAUSED A SURVEY TO BE MADE AND THIS CONDOMINIUM PLAT TO BE
PREPARED, AND SAID OWNER(S) DO/DO HEREBY CONSENT TO THE RECORDATION OF THIS
CONDONIUM PLAT, IN ACCORDANCE WITH THE UTAH CONDONIUM OWNERSHIP ACT, SAID
SURVEY MAP(S) TO BE HERAFTER KNOWN AS

9272 OFFICE CONDOMINIUMS

SAID OWNER(S) DOES/DO HEREBY DEDICATE TO SANDY CITY, AS RIGHT-OF-WAY FOR PERPETUAL
USE, ALL ROAD AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC AND UTILITY USES. THE
UNDERSIGNED OWNER(S) DOES/DO ALSO HEREBY CONVEY ALL COMMON AREAS AS PERPETUAL,
NON-EXCLUSIVE DRAINAGE EASEMENTS AND VEHICULAR AND PEDESTRIAN ACCESS EASEMENTS,
FOR THE USE OF THE PROPERTY OWNERS AND THEIR INVITÉS. THE UNDERSIGNED OWNER(S)
DOES/DO ALSO HEREBY CONVEY ALL COMMON AREAS AS PERPETUAL, NON-EXCLUSIVE WATER,
SANITARY SEWER, STORM SEWER, AND PUBLIC UTILITY EASEMENTS, THE SAME TO BE USED FOR
THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. THE
UNDERSIGNED OWNER(S) DOES/DO ALSO HEREBY CONVEY, TO ALL PUBLIC UTILITY COMPANIES, A
PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS
PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC
UTILITY LINES AND FACILITIES, A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC
UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION,
MAINTENANCE AND OPERATION OF PUBLIC UTILITY LINES AND FACILITIES. THE UNDERSIGNED
OWNERS ALSO DO HEREBY CONVEY ANY OTHER EASEMENTS, AS SHOWN ON THIS PLAT, TO THE
PARTIES INDICATED BY THOSE EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION,
MAINTENANCE AND OPERATION OF THE FACILITIES, OR FOR OTHER TYPICAL PURPOSES, INDICATED
BY THOSE EASEMENTS, AS SHOWN HEREON.

IN WITNESS WHEREOF I/WE HAVE HEREUNTO SET MY/OUR HAND(S) THIS DAY OF
20 A.D. 20.

9272 INVESTMENTS LLC

SIGNATURE

(PRINT NAME): _____

TITLE: _____

LLC ACKNOWLEDGMENT

STATE OF UTAH
County of Salt Lake } S.S.
ON THE DAY OF 20 A.D. 2025, PERSONALLY APPEARED BEFORE ME
WHOSE IDENTITY IS PERSONALLY KNOWN TO ME (OR PROVEN ON THE
BASIS OF SATISFACTORY EVIDENCE) AND WHO, BY ME DULY SWEORN/AFFIRMED, DID SAY THAT HE IS A
MANAGING MEMBER OF 9272 INVESTMENTS LLC, A UTAH LIMITED LIABILITY COMPANY, AND THAT THE
OWNER'S DEDICATION WAS SIGNED BY HIM ON BEHALF OF SAID LIMITED LIABILITY COMPANY, AND SAID
SAME, ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY EXECUTED THE
SAME.

NOTARY PUBLIC'S SIGNATURE

NOTARY PUBLIC'S COMMISSION NUMBER

PRINT NAME - NOTARY PUBLIC COMMISSIONED IN UTAH COMMISSION EXPIRATION DATE

9272 OFFICE CONDOMINIUMS

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 6,
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH

SHEET 1 OF 4

SALT LAKE COUNTY RECORDER

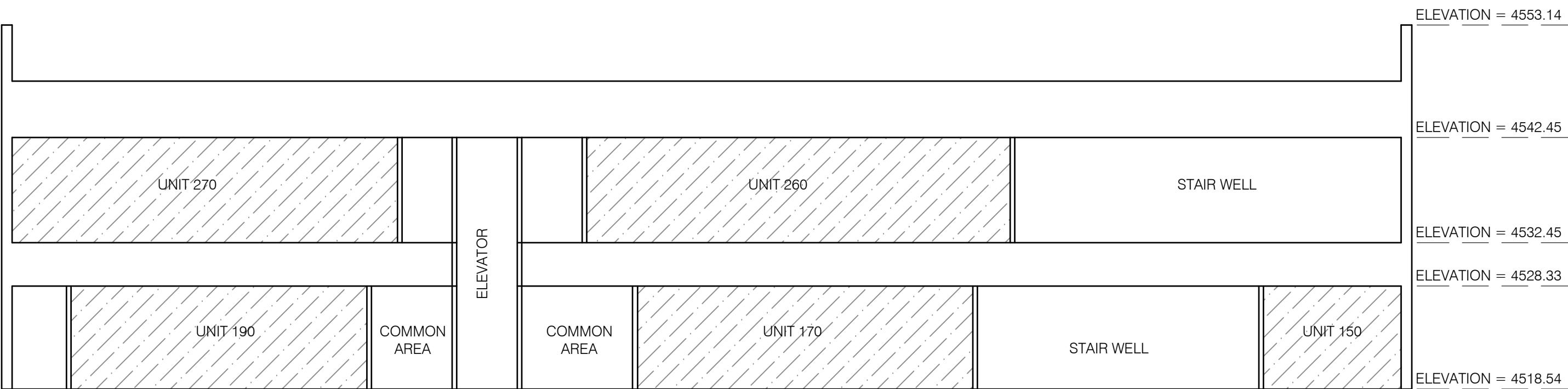
ENTRY NO. _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST
OF _____ DATE _____
TIME _____ BOOK _____ PAGE _____
FEE \$ _____

DEPUTY SALT LAKE COUNTY RECORDER

240409.dwg

9272 OFFICE CONDOMINIUMS

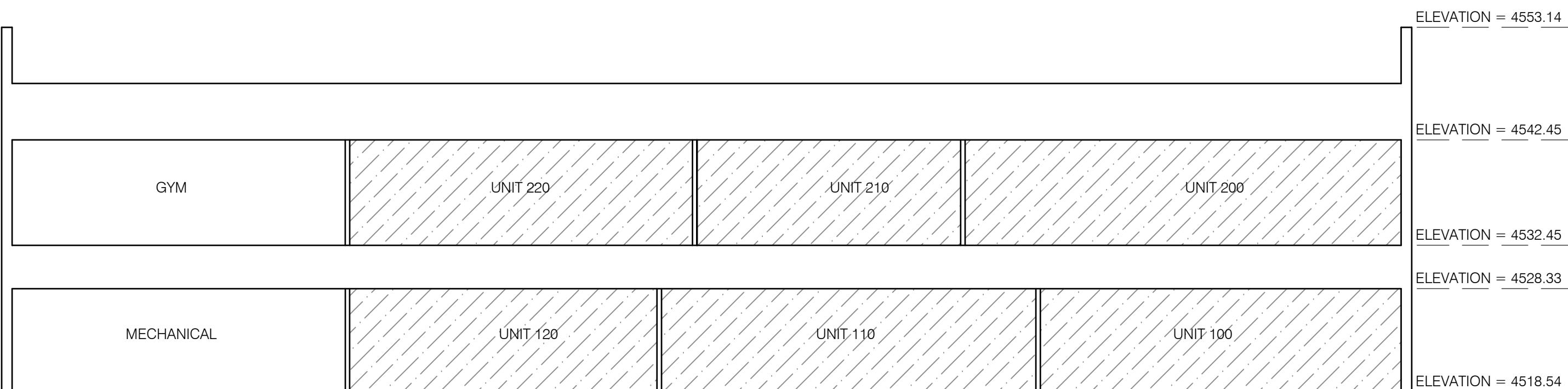
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 6
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH



CROSS SECTION - WEST

SCALE: 1" = 10

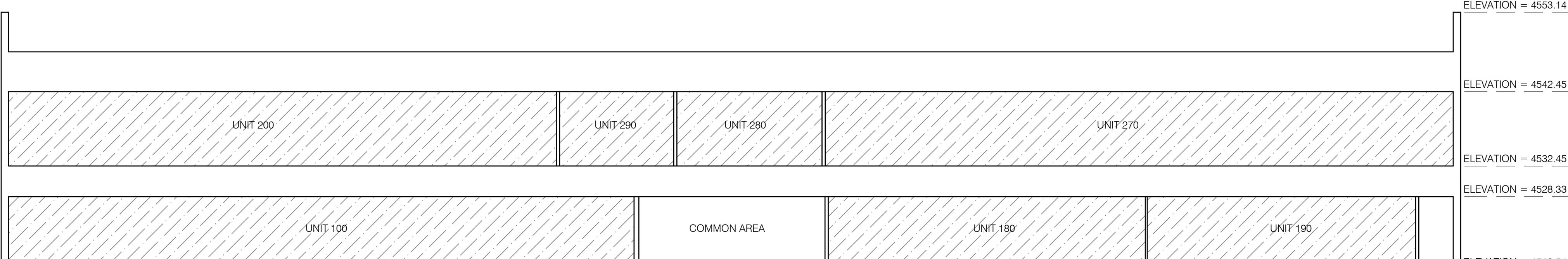
CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	5.62'	3.93'	81°57'27"	S 34°24'09" E	5.15'
C2	4.51'	3.40'	75°57'14"	N 42°12'25" W	4.19'



CROSS SECTION - EAST
SCALE: 1" = 10'

SCALE. 1 = 10

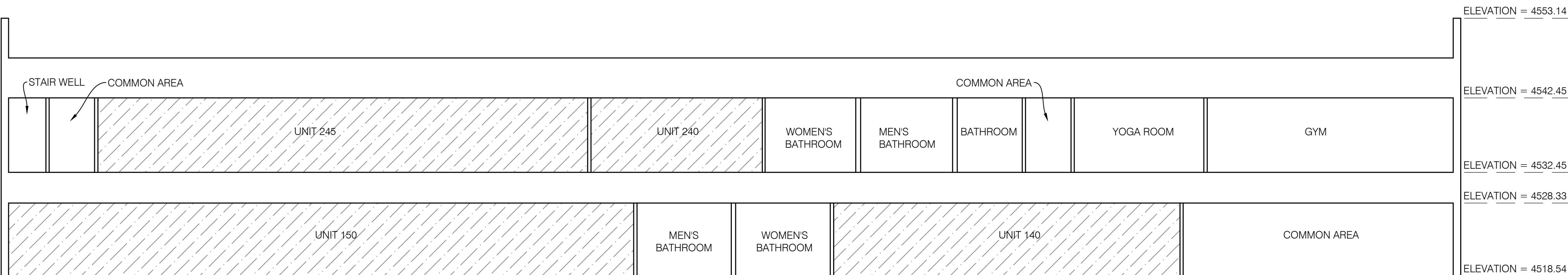
PARCEL LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S 89°53'00" W	3.32'
L2	N 00°07'00" W	8.90'
L3	N 00°03'50" W	116.89'
L4	N 89°56'10" E	18.00'
L5	S 00°03'50" E	116.89'
L6	S 89°56'10" W	18.00'
L7	S 89°53'00" W	18.00'
L8	N 00°07'00" W	8.88'
L9	S 89°53'00" W	27.26'
L10	S 00°07'00" E	28.77'
L11	N 89°53'00" E	171.79'
L12	N 00°07'00" W	26.72'
L13	N 89°25'59" W	171.80'
L14	N 00°34'01" E	18.00'
L15	S 89°25'59" E	171.80'
L16	S 00°34'01" W	18.00'
L17	S 89°53'00" W	29.26'
L18	N 00°07'00" W	3.14'
L19	N 89°53'00" E	18.00'
L20	N 00°07'00" W	2.97'
PARCEL LINE TABLE		
LINE #	BEARING	DISTANCE
L21	N 89°34'04" W	18.00'
L22	N 00°25'56" E	188.94'
L23	S 89°34'04" E	18.00'
L24	S 00°25'56" W	188.94'
L25	N 89°53'00" E	10.53'
L26	N 90°00'00" E	57.45'
L27	N 00°00'00" E	16.21'
L28	S 89°47'50" E	15.00'
L29	N 00°00'00" E	16.16'
L30	N 90°00'00" W	168.25'
L31	S 00°00'00" E	16.18'
L32	N 90°00'00" W	15.00'
L33	N 00°00'00" E	16.18'
L34	N 90°00'00" W	19.42'
L35	N 00°00'00" E	63.73'
L36	N 90°00'00" W	100.47'
L37	S 00°00'00" E	24.95'
L38	N 90°00'00" W	15.00'
L39	N 00°00'00" E	24.95'
L40	N 90°00'00" W	17.22'



CROSS SECTION - NORT

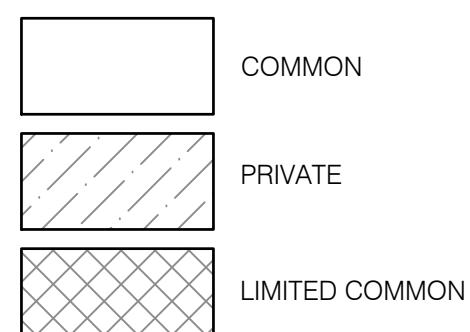
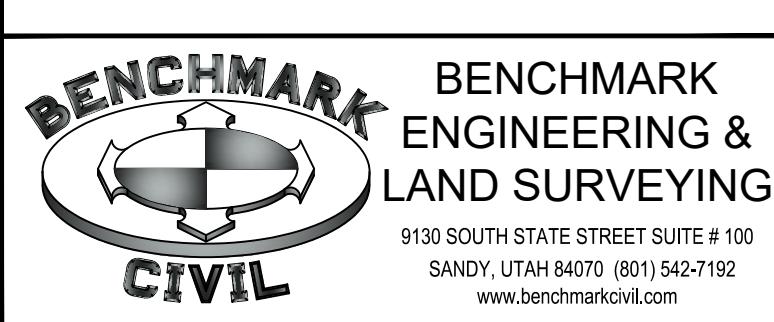
SCALE: 1" = 10'

PARCEL LINE TABLE		
LINE #	BEARING	DISTANCE
L61	S 89°37'03" E	127.86'
L62	N 89°27'05" W	17.15'
L63	S 00°32'55" W	9.50'
L64	S 00°00'00" E	10.00'
L65	N 90°00'00" W	10.00'
L66	N 00°00'00" E	10.00'
L67	N 90°00'00" E	10.00'
L68	S 00°32'55" W	19.59'
L69	N 00°32'55" E	51.32'
L70	N 00°07'00" E	60.49'
L71	S 89°53'00" E	0.63'
L72	N 90°00'00" E	10.39'
L73	N 00°00'00" E	2.48'
L74	N 90°00'00" W	10.39'
L75	S 00°00'00" E	2.48'



CROSS SECTION - SOUTH

SCALE: 1' = 10'

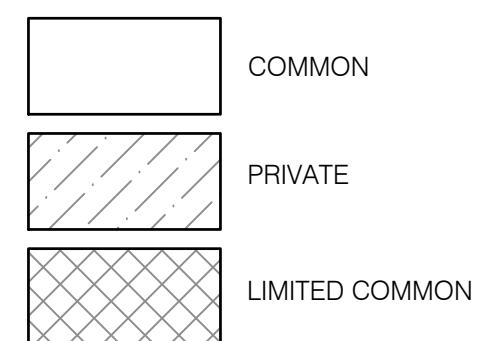
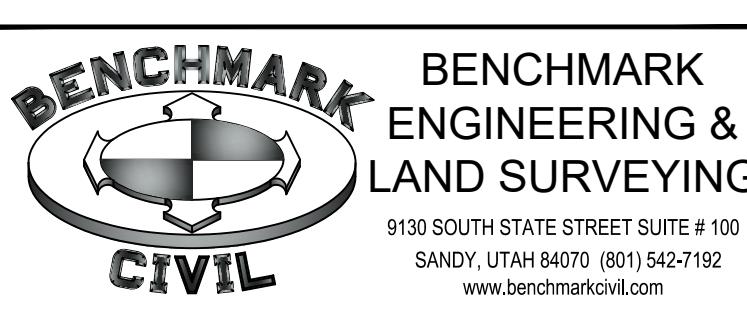


9272 OFFICE CONDOMINIUMS

LOCATED IN THE SOUTHEAST QUARTER OF SECTION
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH

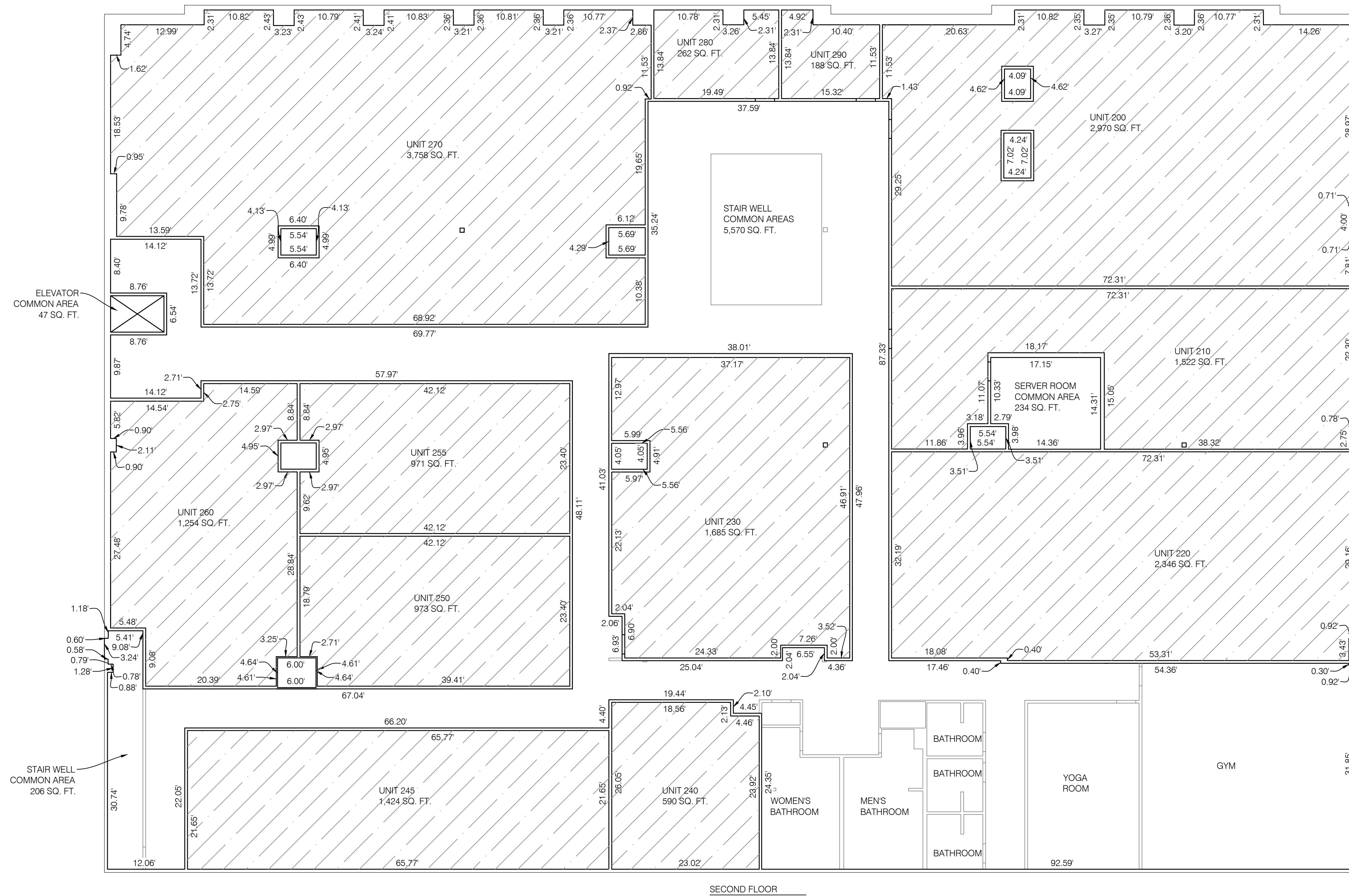


FIRST FLOOR
SCALE: 1" = 10'



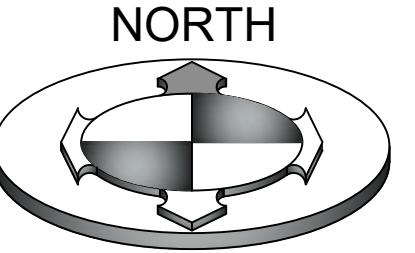
9272 OFFICE CONDOMINIUMS

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 6,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH



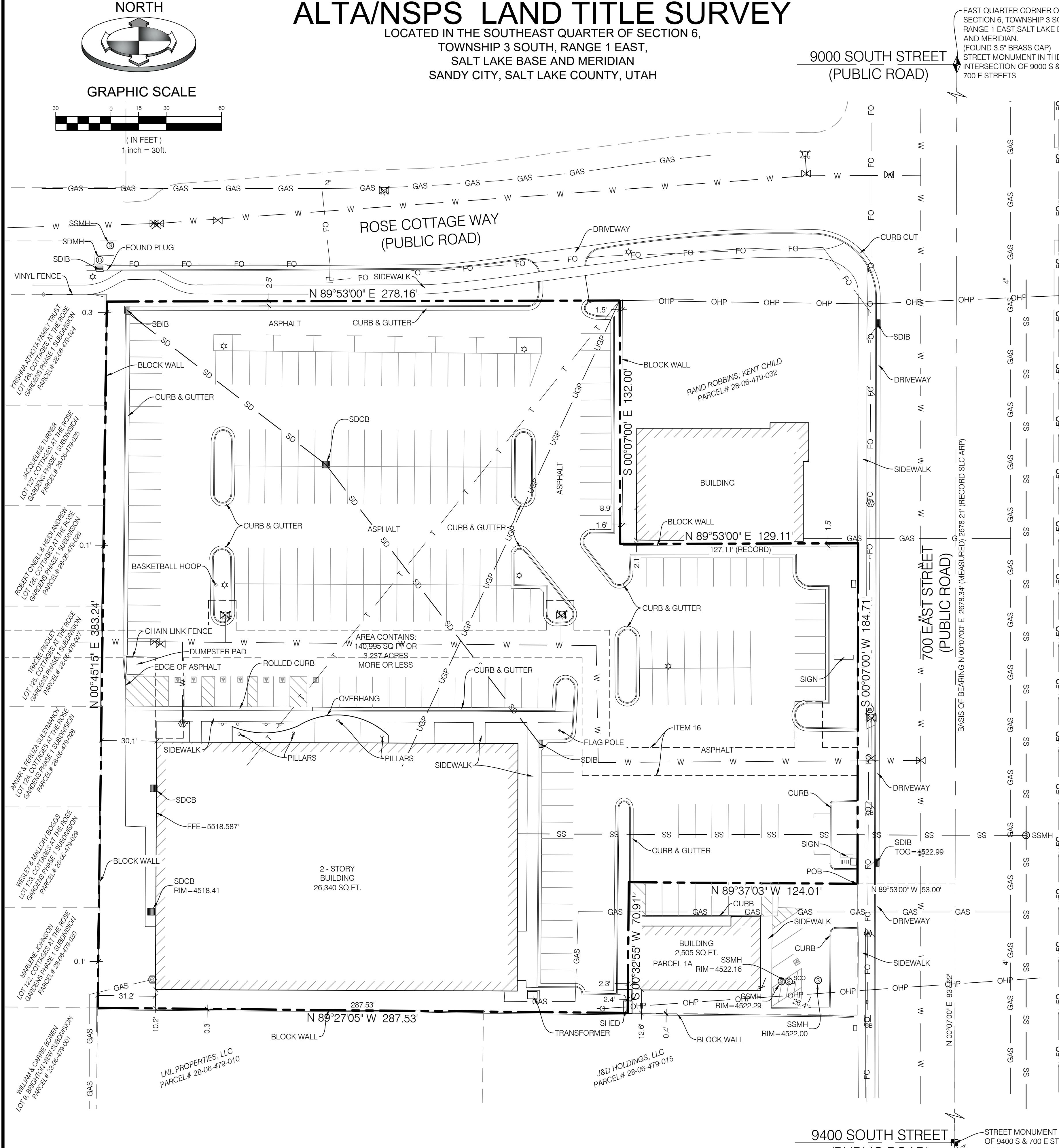
ALTA/NSPS LAND TITLE SURVEY

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 6,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANDY CITY, SALT LAKE COUNTY, UTAH



GRAPHIC SCALE

30 0 15 30 60
(IN FEET)
1 inch = 30 ft.



SURVEYOR'S CERTIFICATE

TO:
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
TITLE GUARANTEE SETTLEMENT SERVICES
BACK DEVELOPMENT LLC, A LIMITED LIABILITY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 4, 8, 11 AND 13 OF TABLE A' THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 7, 2024.



LEGAL DESCRIPTION PER TITLE REPORT

A PART OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SANDY, SALT LAKE COUNTY, UTAH, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF 700 EAST STREET, WHICH IS 44.81 FEET NORTH 29°33'10" WEST TO A MONUMENT AT THE INTERSECTION OF 9400 SOUTH STREET AND 700 EAST STREET, 837.22 FEET NORTH 00°07'00" EAST ALONG THE CENTERLINE OF SAID 700 EAST STREET, AND 53.00 FEET NORTH 89°53'00" WEST FROM THE SOUTHEAST CORNER OF SAID SECTION 6, AND RUNNING THENCE NORTH 89°37'03" WEST 124.01 FEET, THENCE SOUTH 00°32'55" WEST 70.91 FEET; THENCE NORTH 89°27'05" WEST 53.53 FEET ALONG THE NORTH LINE OF BRIGHTON VIEW SUBDIVISION, SANDY CITY, SALT LAKE COUNTY, UTAH; THENCE NORTH 00°45'15" EAST 383.24 FEET; THENCE NORTH 89°53'00" EAST 278.16 FEET; THENCE SOUTH 00°07'00" EAST 132.00 FEET; THENCE NORTH 89°53'00" EAST 127.11 FEET TO THE WEST LINE OF SAID 700 EAST STREET; THENCE SOUTH 00°07'00" WEST 184.71 FEET ALONG SAID WEST LINE TO THE POINT OF BEGINNING.

PARCEL 1A:
TOGETHER WITH A NON-EXCLUSIVE, PERPETUAL EASEMENT FOR INGRESS AND EGRESS UPON, OVER AND ACROSS: BEGINNING AT A POINT ON THE WEST LINE OF 700 EAST STREET WHICH IS NORTH 29°33'10" WEST 44.81 FEET AND NORTH 00°07'00" EAST 837.22 FEET AND NORTH 89°53'00" WEST 53.00 FEET FROM THE SOUTHEAST CORNER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 89°37'03" WEST 124.01 FEET; THENCE SOUTH 00°32'55" WEST 70.91 FEET TO A POINT ON THE NORTH LINE OF PROPERTY CONVEYED TO JAMES GARETH BURKETTE AND DIANE OLIE BURKETTE, TRUSTEES OF THE BURKETTE FAMILY REVOCABLE TRUST BY WARRANTY DEED RECORDED SEPTEMBER 27, 2005 AS ENTRY NO. 9503737 IN BOOK 9194 AT PAGE 1256 OF OFFICIAL RECORDS; THENCE SOUTH 89°27'05" EAST ALONG SAID NORTH LINE 124.55 FEET, TO THE WEST LINE OF 700 EAST STREET; THENCE NORTH 00°07'00" EAST 71.27 FEET, ALONG SAID WEST LINE, TO THE POINT OF BEGINNING.

EXCLUDING THOSE AREAS WHERE BUILDINGS AND LANDSCAPING ARE, AS CREATED IN THAT CERTAIN DECLARATION OF RECIPROCAL EASEMENTS RECORDED AUGUST 5, 2008 AS ENTRY NO. 10492746 IN BOOK 9632, PAGE 4295.

SITUATED IN SALT LAKE COUNTY, STATE OF UTAH.

TAX SERIAL NO. 28-06-479-031

NARRATIVE OF SURVEY

SCOPE
BENCHMARK ENGINEERING & LAND SURVEYING, LLC WAS RETAINED BY BROOK HINTZE TO PERFORM AN ALTA/NSPS SURVEY OF SUBJECT PROPERTY AS SHOWN HEREON.

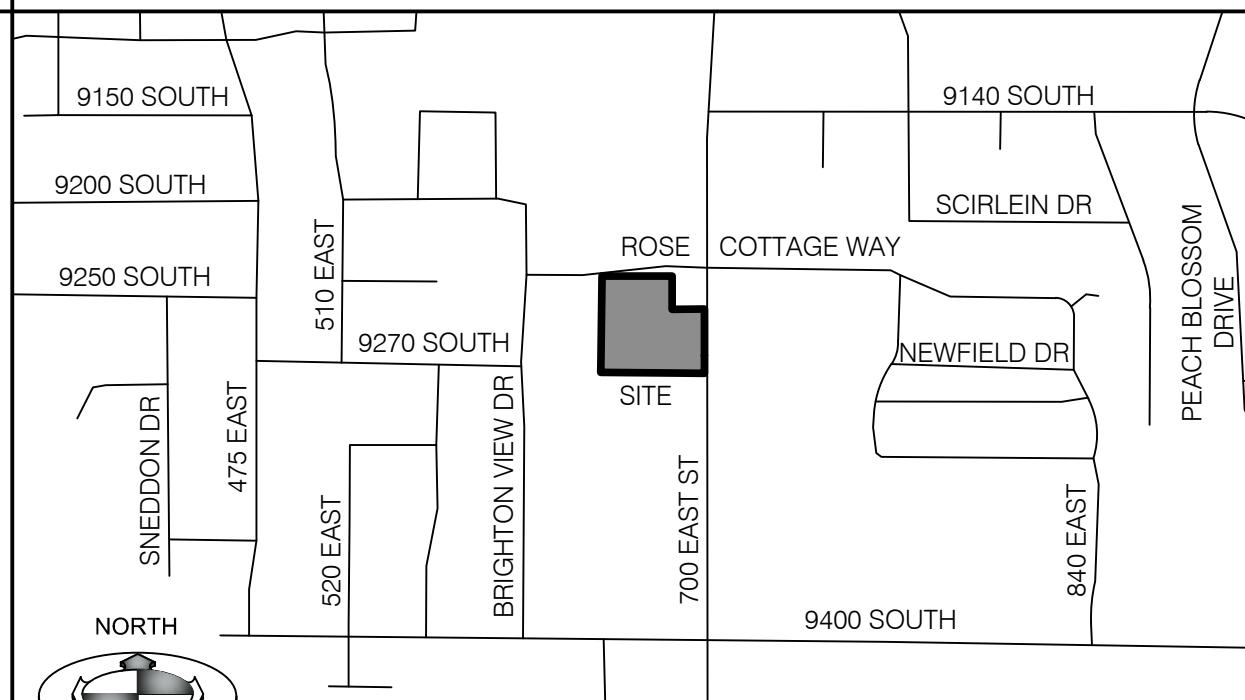
BASIS OF BEARING
THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 00°07'00" EAST, AS SHOWN HEREON.

BENCHMARK
STREET MONUMENT
9400 SOUTH & 700 EAST
ELEVATION = 4523.43

LEGEND AND ABBREVIATIONS

SECTION CORNER & LINE (FOUND)	SCO SEWER CLEANOUT
SECTION CORNER (NOT FOUND)	SCA SANITARY SEWER MANHOLE & PIPE
STREET MON. (FOUND)	SS STORM DRAIN MANHOLE & PIPE
PROPERTY CORNER (PLAT NOTED)	SD CULINARY PIPE LINE
FOUND PL MARKER (PLAT NOTED)	WATER VALVE & WATER METER
ADJACENT PL or LOT LINES	IRR FIRE HYDRANT
EXISTING RIGHT-OF-WAY LINE	OHP POWER POLE & OVERHEAD POWER
CENTERLINE of ROAD	UGP UNDERGROUND POWER
EASEMENT LINE	UGP GAS LINE
CURB & GUTTER	GAS GAS GAS
EDGE OF EXISTING ASPHALT	UGP TELEPHONE LINE
FENCE, CHAIN	FO FIBER OPTIC
INDEX CONTOUR LINE	FO COMMUNICATION LINE
INTERMEDIATE CONTOUR LINE	COMM COMM COMM
SDMH STORM DRAIN MANHOLE	CB CABLE BOX
SSMH SANITARY SEWER MANHOLE	IRRIGATION BOX
SD STORM DRAIN	CATCH BASIN
CB CATCH BASIN	POB POINT OF BEGINNING
TOG TOP OF GRATE	
POB POINT OF BEGINNING	

VICINITY MAP



REFERENCE DOCUMENTS

R1) COMMITMENT FOR TITLE INSURANCE ISSUED BY TITLE GUARANTEE SETTLEMENT SERVICES, ORDER NO.47788-KT, EFFECTIVE DATE MARCH 14, 2023.
R2) BENCHMARK ENGINEERING & LAND SURVEYING, RECORD OF SURVEY S2023-04-0361, AS RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY SURVEYOR.
R3) PETERSON ENGINEERING, P.C. CONSULTING ENGINEERS & LAND SURVEYORS, RECORD OF SURVEY S2007-09-0784, AS RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY SURVEYOR.
R4) THE COTTAGES AT THE ROSE GARDENS PHASE 1 SUBDIVISION, RECORDED MARCH 1, 2007 IN BOOK 2007 AT PAGE 76, AT THE OFFICE OF THE SALT LAKE COUNTY RECORDER.
R5) THE ROSE GARDENS SUBDIVISION, RECORDED APRIL 28, 2001 IN BOOK 2011 AT PAGE 50, AT THE OFFICE OF THE SALT LAKE COUNTY RECORDER.

TITLE EXCEPTIONS

THIS SURVEY IS BASED UPON THE COMMITMENT FOR TITLE INSURANCE ISSUED BY TITLE GUARANTEE SETTLEMENT SERVICES, ORDER NO.47788-KT, EFFECTIVE DATE MARCH 14, 2023.

NOTES PERTAINING TO EXCEPTIONS TO COVERAGE, SCHEDULE B-2 OF REFERENCED COMMITMENT.

ITEM 1-11 NOT ADDRESSED IN THIS SURVEY

ITEM 12 EASEMENTS AND RIGHTS OF WAY OF RECORD OR ENFORCEABLE IN LAW AND EQUITY FOR ANY EXISTING ROADS, STREETS, ALLEYS, DITCHES, RESERVOIRS, UTILITIES, CANALS, PIPE LINES, POWER, TELEPHONE, SEWER, GAS OR WATER LINES NOW EXISTING OVER, UNDER OR ACROSS SUBJECT PROPERTY. (SURVEY FINDINGS: AFFECTS SUBJECT PROPERTY, NO DOCUMENTS PROVIDED, EXISTING FEATURES FOUND AS SHOWN)

ITEM 13 NOT ADDRESSED IN THIS SURVEY

ITEM 14 SUBJECT TO A GRANT OF EASEMENT AND/OR RIGHT-OF-WAY, IN FAVOR OF UTAH POWER & LIGHT COMPANY, UPON THE TERMS AND CONDITIONS THEREIN PROVIDED, RECORDED OCTOBER 23, 1912, AS ENTRY NO. 301265, IN BOOK 9-L, PAGE 106, OF OFFICIAL RECORDS. (SURVEY FINDINGS: DOCUMENT NOT PROVIDED)

ITEM 15 NOT ADDRESS IN THIS SURVEY

ITEM 16 SUBJECT TO A GRANT OF EASEMENT AND/OR RIGHT-OF-WAY, IN FAVOR OF SANDY CITY UPON THE TERMS AND CONDITIONS THEREIN PROVIDED, RECORDED OCTOBER 14, 2003, AS ENTRY NO. 8849603, IN BOOK 8895, PAGE 3869, IN THE OFFICIAL RECORDS. (SURVEY FINDINGS: AFFECTS SUBJECT PROPERTY, AS SHOWN)

ITEM 17 EASEMENTS AND/OR RIGHT-OF-WAYS AS DISCLOSED BY MESNE INSTRUMENTS OF RECORD, INCLUDING BUT NOT LIMITED TO THAT CERTAIN DECLARATION OF RECIPROCAL EASEMENTS, RECORDED AUGUST 5, 2008, AS ENTRY NO. 10492746, IN BOOK 9632, PAGE 4295, IN THE OFFICIAL RECORDS. (SURVEY FINDINGS: AFFECTS ALL OF SUBJECT PROPERTY, BLANKET IN NATURE)

ITEM 18 SUBJECT TO A PARKING AGREEMENT, UPON THE TERMS AND CONDITIONS THEREIN PROVIDED, RECORDED AUGUST 6, 2008, AS ENTRY NO. 10493777, IN BOOK 9632, PAGE 7659, IN THE OFFICIAL RECORDS. (SURVEY FINDINGS: AFFECTS ALL OF PARCEL 1A, BLANKET IN NATURE)

ITEMS 19-20 NOT ADDRESSED IN THIS SURVEY

BENCHMARK
ENGINEERING &
LAND SURVEYING
9138 SOUTH STATE STREET SUITE #100
SANDY, UTAH (801) 542-7192
www.benchmarkllc.com

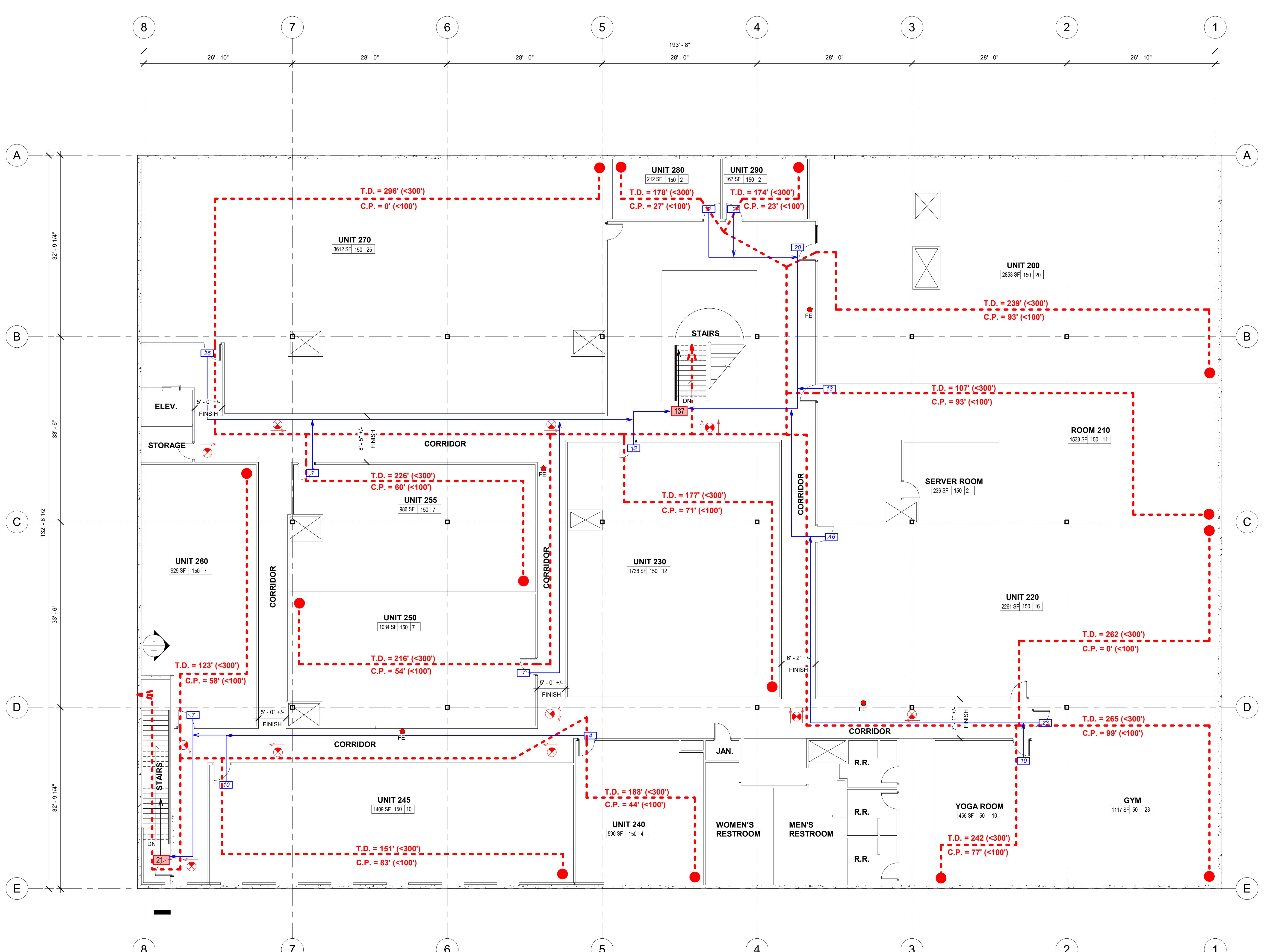


EMPORCH, LLC
9272 SOUTH 700 EAST
SANDY CITY, UTAH

PROJECT NO. 2404049
ALTA/NSPS
LAND TITLE
SURVEY
SVA.01
1 OF 1

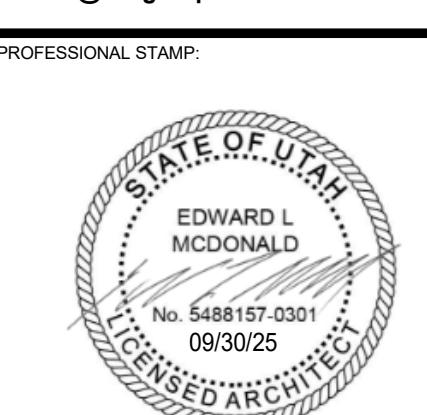
Ranlife building

TEREST IN GENERAL COMMON ELEMENT		new load factor	new GSF
Location	new net area		
Suite 100	2,749	1.38292	3,802
Suite 110	2,722	1.38292	3,764
Suite 120	1,759	1.38292	2,433
Suite 130	1,872	1.38292	2,589
Suite 140	1,716	1.38292	2,373
Suite 150	3,225	1.34400	4,334
Suite 160	1,474	1.34400	1,981
Suite 170	1,374	1.34400	1,847
Suite 180	2,035	1.34400	2,735
Suite 190	1,729	1.34400	2,324
Suite 200	2,970	1.38292	4,107
Suite 210	1,522	1.38292	2,105
Suite 220	2,346	1.38292	3,244
Suite 230	1,685	1.38292	2,330
Suite 240	590	1.38292	816
Suite 250	973	1.38292	1,346
Suite 260	1,254	1.38292	1,734
Suite 270	3,785	1.38292	5,234
Suite 280	262	1.34400	352
Suite 290	188	1.34400	253
Suite 245	1,424	1.38292	1,969
Suite 255	971	1.38292	1,343



NOTE:
THE LOCATIONS OF WALLS SHOWN ON THIS PLAN ARE
BASED ON THE "9272 COMMONS CONDOMINIUMS"
PLAT "FOR REVIEW" PREPARED BY BENCHMARK
ENGINEERING AND DATED 4/21/2025. SOME WALLS AS
SHOWN ON SAID PLAT HAVE BEEN RELOCATED ON
THIS PLAN AT OWNER'S REQUEST AND/OR TO COMPLY
WITH THE EGRESS PROVISIONS OF THE 2021 IBC.

675 Simpson Ave
Salt Lake City, UT 84106
(801) 450-5685
P.O. Box 1704
Holaday, UT 84117
elm@elmgroupinc.co



CONSULTANT INFORMATION

PROJECT NAME

OCCUPANCY & EXITING LEGEND	
ROOM NAME	# OF OCCUPANTS SQUARE FOOTAGE PER OCCUPANT SQUARE FOOTAGE OF ROOM
● T.D. = TRAVEL DISTANCE ● C.P. = COMMON PATH DISTANCE	
● FE FIRE EXTINGUISHER IN RECESSED CABINET	
● P PANIC HARDWARE (OR "NO LATCH OR LOCK")	
● READABLE SIDE EXIT SIGN - NEW EXIT DIRECTION INDICATED	
● OCCUPANCY LOAD EXITING SUITE AND/OR CUMULATIVE OCCUPANTS LOAD ALONG PATH	
← 135 CUMULATIVE OCCUPANT LOAD AT EXIT OR EXIT ACCESS STAIRWAY	

EXITING PLAN FOR 9272 COMMONS CONDOMINIUMS

9272 South 700 East
Sandy, UT 84070

ISSUED:
NO. DATE DESCRIPTION
1 09/30/25 EXITING PLAN

PROJECT #: 25-09
DRAWN BY: ZAM
CHECKED BY: ELM
DESIGNED BY:

SHEET TITLE: EXITING PLAN LEVEL 2

SHEET NUMBER: GI-004

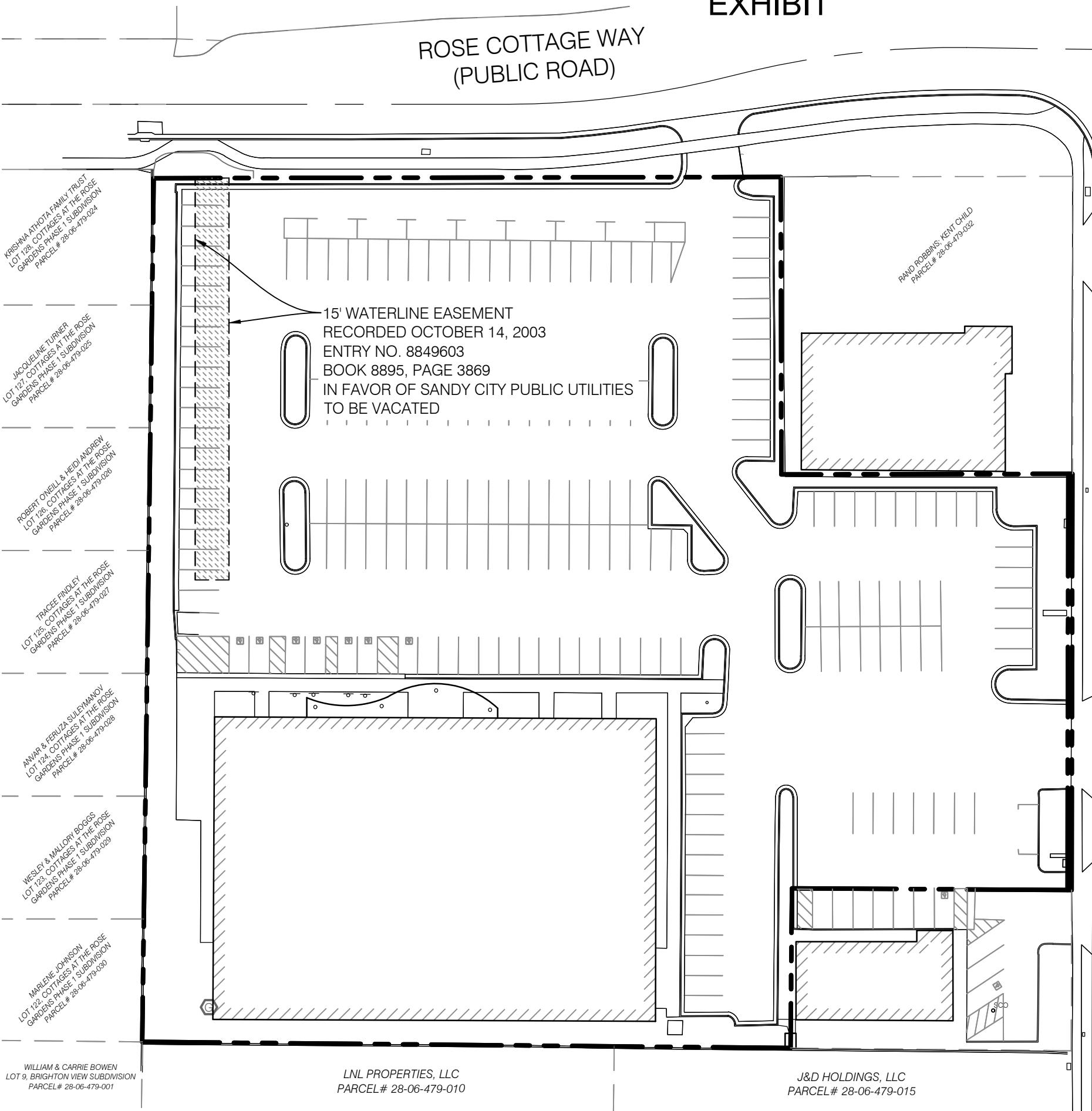
EXHIBIT

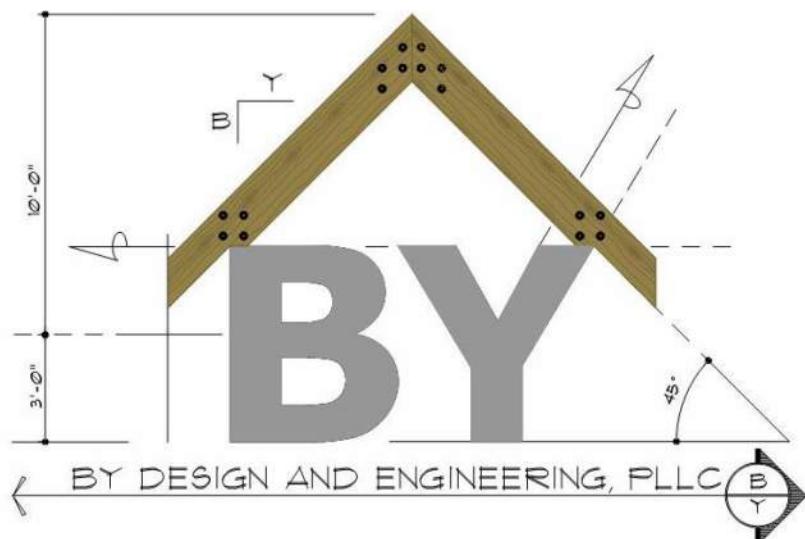
ROSE COTTAGE WAY
(PUBLIC ROAD)700 EAST STREET
(PUBLIC ROAD)

DRAWN:	SCALE: 1" = 50'
CHECKED:	KO
APPROVED:	DKB

EMPORCH, LLC
9272 SOUTH 700 EAST
SANDY CITY, UTAH

EXHIBIT
DWG. NO. 2404049cp.dwg
PROJECT. NO. 2404049





394 West 990 North
American Fork, UT 84003
(801) 654-2297

Property Report

For
Alta Commercial Development LLC
Brooke Hintze

Property Report

9272 S 700 E, Sandy, UT 84070



Date: November 11, 2024

IMPORTANT

BY Design & Engineering, PLLC has authorized this copy only if the seal is in red or black ink and the signature is in colored ink.

24046
REB

PROJECT INFORMATION

Client Name: **Alta Commercial Development LLC**
Brooke Hintze

Project Name: **Property Report**

Project Location: **9272 S 700 E, Sandy, UT 84070**

<u>Site Location</u>	Latitude 40.582934°	Longitude -111.873211°
<u>Soil Properties</u>	Unified Soil Classification CL - CLAY	Bearing Capacity 1500 PSF (IBC TABLE 1804.2)
<u>Snow Load</u>	Ground Snow Load 33 PSF	Roof Snow Load 21 PSF
<u>Wind Design</u>	Basic Wind Speed 103 MPH	Converted Wind Speed 80 MPH (IBC 1609.3.1)
<u>Seismic Design</u>	Base Shear 18.65%	Design Category D

- See Figures 1 through 6

TABLE OF CONTENTS

EXECUTIVE SUMMARY.....	1
AUTHORIZATION.....	1
PURPOSE AND SCOPE OF INVESTIGATION.....	1
FIELD INVESTIGATION FINDINGS (OVERALL CONDITION).....	1
CONCLUSIONS.....	3
RECOMMENDATIONS.....	3
LIMITATIONS.....	3
FIGURES AND PHOTOGRAPHS.....	4
FIGURE 1 - PROJECT LOCATION.....	4
FIGURE 2 - SOIL PROPERTIES.....	5
FIGURE 4 - ROOF SNOW LOAD CALCULATION.....	7
FIGURE 5 - WIND AND SEISMIC DESIGN PARAMETERS	8
FIGURE 6 - SEISMIC DESIGN BASE SHEAR	9
FIGURE 7 - ROOF FRAMING.....	9
FIGURE 8 - UPPER FLOOR CEILING SPACE	10
FIGURE 9 - UPPER FLOOR CEILING SPACE	10
FIGURE 10 - GIRDER TO COLUMN CONNECTION.....	11
FIGURE 11 - HVAC DUCTWORK BELOW MECHANICAL UNIT ABOVE	11
FIGURE 12 - TYPICAL STAIR CORRIDOR DOWN TO THE MAIN LEVEL.....	12
FIGURE 13 - FIRE SUPPRESSION PIPING.....	12
FIGURE 14 - CEILING SPACE ABOVE THE MAIN LEVEL.....	13
FIGURE 15 - CABLING AND FIRE SUPPRESSION PIPING	13
FIGURE 16 - UPPER FLOOR FRAMING OF BEAMS TO COLUMN.....	14
FIGURE 17 - HVAC DUCTWORK FROM ABOVE.....	14
FIGURE 18 - CEILING SPACE ABOVE THE MAIN LEVEL.....	15
FIGURE 19 - NATURAL GAS SUPPLY METER	15
FIGURE 20 - CHIPPING AT SOUTH WINDOW SAWCUTS.....	16
FIGURE 21 - WALL PENETRATION AT IN THE SOUTH WALL	16
FIGURE 22 - MECHANICAL GROUND UNIT.....	17
FIGURE 23 - ELECTRICAL SERVICE PANELS	18
FIGURE 24 - HVAC ROOFTOP UNIT	18
FIGURE 25 - SAMPLE HVAC UNIT LABEL.....	19
FIGURE 26 - MEMBRANE ROOF.....	20
FIGURE 27 - ROOF DRAINS IN THE MEMBRANE ROOF.....	20
FIGURE 28 - MULTIPLE ROOFTOP HVAC UNITS.....	21
FIGURE 29 - TYPICAL VENT FLASHING.....	21
FIGURE 30 - MINOR PONDING ON THE MEMBRANE ROOF.....	22
FIGURE 31 - WALL PENETRATIONS AT THE EAST PARAPET.....	23
FIGURE 32 - CAPPED ROOF VENT WITH TYPICAL FLASHING	23
FIGURE 33 - UNUSED SATELLITE DISHES	24
FIGURE 34 - UNUSED SATELLITE CMU PLATFORM AND DISH.....	24
FIGURE 35 - EXISTING PARKING LOT CONDITION	25

EXECUTIVE SUMMARY

The existing building is in good operational condition and is currently used by tenants. These and other future tenants will continue to enjoy the building as it operates presently.

AUTHORIZATION

We were authorized to make a site observation and write this report on September 23, 2024, by:

Brooke Hintze

Alta Commercial Development

746 E Winchester Street, Suite G20

Murray, Utah 84107

(801) 860-1515

Brook@altacommercial.com

We made our site observation the following Thursday, September 25, 2024. Please see Figure 1.

PURPOSE AND SCOPE OF INVESTIGATION

We have been asked to do the site observation and provide a property report addressing items required by Sandy City. The intent of the change, thus requiring this report, is to change from a one-tenant owner to ownership that will sublease portions of the structure as coworking areas.

FIELD INVESTIGATION FINDINGS (OVERALL CONDITION)

1. The building was built in 2000, according to the [Salt Lake County Assessor](#).
2. The structural elements, which include the roof deck, open web roof trusses, open web floor trusses, and columns, are in good condition, as is expected for a building of this age. The foundation could not be observed as it is buried beneath the existing structure. However, the condition of the foundation system is not expected to be damaged or in need of repairs. See Figures 7 through 11.
3. The roofing membrane is in good condition, with only minor water ponding areas. The seams appear sealed and flashing around mechanical unit curbs and vents, are in good condition. The roof drains remove the water as needed; see Figures 26 through 30.
4. Mechanical systems such as HVAC units and duct work appear to be in good condition from an exterior view. These units have gas lines running to each unit on the roof, so we assume the units provide both heating and cooling. We suggest an HVAC technician investigate the current status of all units and ductwork for conditions that need attention, as this is beyond the scope of our expertise; see Figures 8, 9, 11, 14, 17, 24, 25 & 28.
5. Electrical systems, including conduits that could be viewed, appear to be in good condition from an exterior view. We suggest a licensed electrician investigate the current status of all

conduits, switches, lights, power outlets and breaker boxes for conditions that need attention, as this is beyond the scope of our expertise. Our only observation that brings anything into question is the condition of the power transformer outside the building. It shows weathering and rust damage on the exterior; only the power supply company with access can determine the existing condition if any repairs or maintenance is needed; see Figures 9, 15, 16 & 23.

6. Plumbing systems, including roof drainage piping that could be viewed, appear to be in good condition from an exterior view. We could not find any excessive problems with water supply fixtures. The toilets and other drains are working as expected. We suggest a licensed plumber investigate the current status of all fixtures, toilets, and other water sources to be examined for leaks or conditions that need attention, as this is beyond the scope of our expertise; see Figures 10, 13, 15 & 27.
7. Networking systems are provided by cables pulling through the roof and floor framing systems. Much of this wiring is not contained in any conduit but hung by zip ties or across the ceiling tiles. We suggest that an IT professional investigate the current status of all wiring and connection boxes for conditions that need attention, as this is beyond the scope of our expertise. See Figure 15.
8. We understand there is a single 6" diameter sewer lateral that runs to the north of the building. The information was obtained by Brooke Hintze on October 2, 2024, from Sandy Suburban Improvement District.
9. Water is supplied via a 2" diameter pipe. This information was obtained by Brooke Hintze on October 2, 2024, from Sandy City Public Utilities.
10. There are no private streets involved in this project. There is only direct access to the property from the north off of Rose Cottage Lane and from the East off of 700 East; see Figure 1.
11. The parking lot shows extensive cracking that has been addressed using a crack sealing material, and a slurry seal-type coating has been applied in the past. The sidewalks, curbs, and approaches on the premises are in good working order, as are those around the property's perimeter, see Figures 1 & 35.
12. The exterior of much of the building is tilt-up concrete panels, which show almost no conditional deficiencies. The north is mainly glass, showing little if any, condition issues. We did, however, find where windows have been cut into the concrete panels on the south side, and there is some chipping of the concrete at the window saw cuts. There are also penetrations through the east parapet that need repairs; see Figures 20, 21 & 31.
13. We expect the structure to continue supporting the current loadings as required by ASCE 7-16 and the 2021 version of the International Building Code. The building has been designed to conform to the 2000 version of the International Building Code for egress and other architectural requirements. We expect the continued operation of the building to continue to conform with those requirements. Suppose any other modifications are made to the building at

any future time. In that case, we expect they will be done following the current version of the International Building Code in effect at the time of construction.

CONCLUSIONS

The existing building is in good operational condition and is currently used by tenants. These and other future tenants will continue to enjoy that building as it operates presently but under new ownership and modified coworking-type lease agreements.

RECOMMENDATIONS

We see possible repairs or maintenance in the next 5 years.

1. Parking lot crack sealing and resurfacing.
2. Patching of the exterior concrete panels at the south windows to prevent water intrusion into the panels and rusting the reinforcement.
3. Concrete patching of the holes in the east parapet where a previous sign appears to have been mounted to prevent water intrusion into the panels and rusting the reinforcement
4. We recommend removing unused satellite dishes and CMU blocks from the roof.

LIMITATIONS

BY Design and Engineering PLLC observations at the site were limited to visual observations of the structure's interior and exterior. Only those items readily visible and accessible at the time of the evaluation were viewed, and any items causing visual obstruction, including, but not limited to, furniture, furnishings, floor or wall coverings, foliage, soil, appliances, insulation, etc., were not moved. No interior building finishes were disturbed during site visits. In addition, no structural information in the form of structural drawings was available. We have commented on the general condition of systems contained herein but would defer to specialized professionals. Plumbing, electrical, mechanical, and IT systems are outside our expertise.

Material testing and physical samples were not taken, and our observations may not indicate all problems found within the structure or observed. The basis of our opinions will be the apparent performance of that portion of the building, which was readily visible at the time of the evaluation. Disassembly or removal of any portion of the structure is beyond the scope of this evaluation. We make no representation regarding the condition of this property other than as contained in this written report. There is no warranty or guarantee, neither expressed nor implied, regarding the future performance, life, insurability, merchantability, workmanship, or need for repair of any item assessed.

FIGURES AND PHOTOGRAPHS

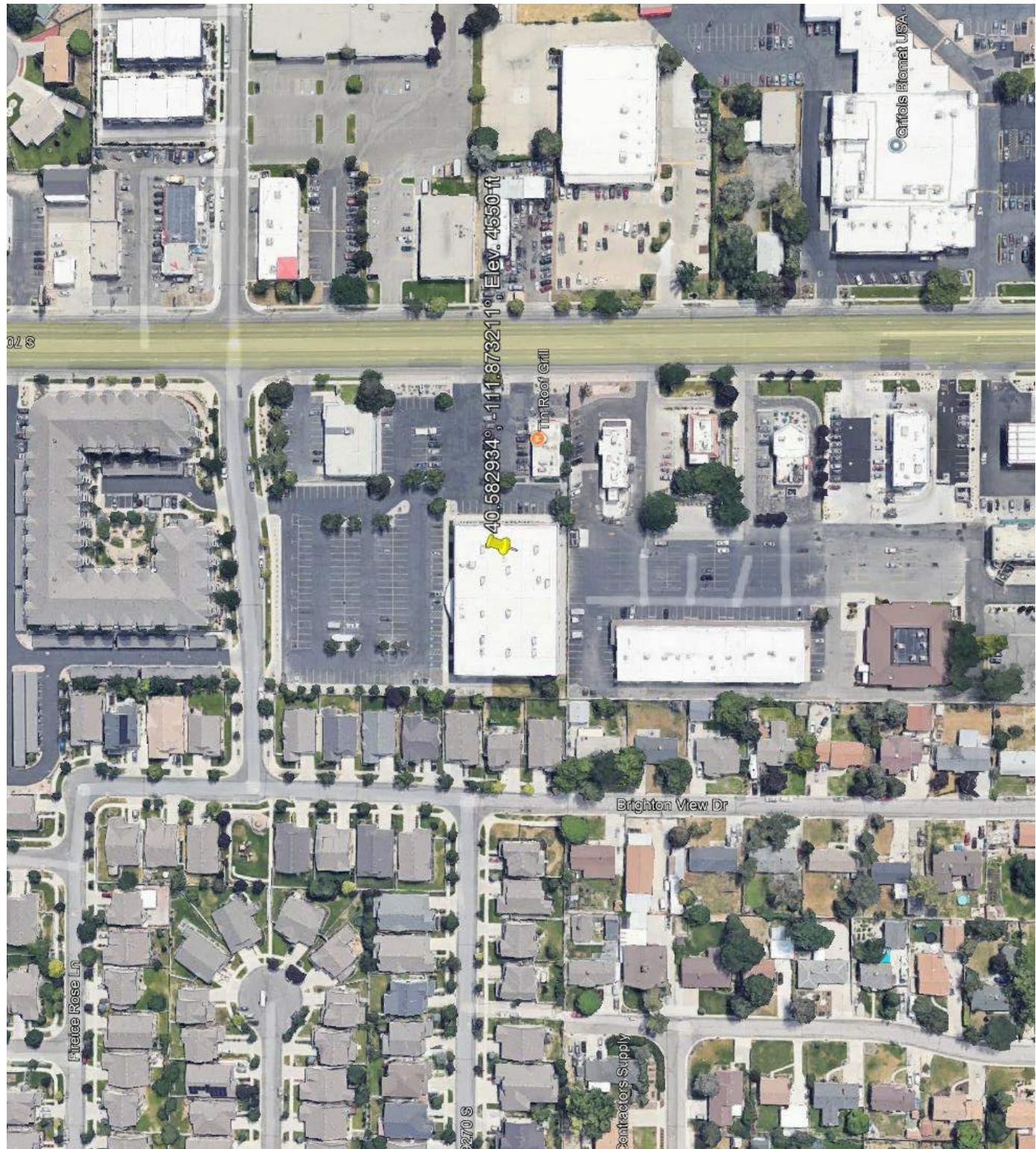


FIGURE 1 - PROJECT LOCATION

Report—Engineering Properties

Absence of an entry indicates that the data were not estimated. The asterisk "*" denotes the representative texture; other possible textures follow the dash. The criteria for determining the hydrologic soil group for individual soil components is found in the National Engineering Handbook, Chapter 7 issued May 2007(<http://directives.sc.egov.usda.gov/OpenNonWebContent.aspx?content=17757.wba>). Three values are provided to identify the expected Low (L), Representative Value (R), and High (H).

Map unit symbol and soil name	Pct. of map unit	Hydrologic group	Depth	USDA texture	Classification		>10 inches	3-10 inches	Percentage passing sieve number—			Liquid limit	Plasticity index
					Unified	AASHTO			4	10	40		
Engineering Properties—Salt Lake Area, Utah													
PeA—Parleys silt loam, 0 to 3 percent slopes			In				L-R-H	L-R-H	4	10	40	200	L-R-H
Parleys	90 C	0-7	Silt loam	CL	A-6	0-0-0	0-0-0	95-98-1	90-95-1	80-88-0	65-78-0	25-30	10-13-1
		7-17	Silty clay loam	CL	A-6, A-7	0-0-0	0-0-0	95-98-1	90-95-1	85-93-1	75-85-0	35-40	15-18-2
		17-29	Silty clay loam, silt loam	CL	A-6, A-7	0-0-0	0-0-0	95-98-1	90-95-1	80-90-1	65-80-0	35-40	15-18-2
		29-36	Loam, silty clay loam	CL	A-6	0-0-0	0-0-0	90-95-1	85-93-1	75-88-1	50-73-0	30-35	10-15-2
		36-46	Loam, silty clay loam	CL	A-6	0-0-0	0-0-0	90-95-1	85-93-1	75-88-1	50-73-0	30-35	10-15-2
		46-60	Silty clay loam	CL	A-6, A-7	0-0-0	0-0-0	85-93-1	80-90-1	70-85-1	65-80-0	35-40	15-18-2

Data Source Information

Soil Survey Area: Salt Lake Area, Utah
 Survey Area Data: Version 16, Sep 8, 2023

FIGURE 2 - SOIL PROPERTIES

Utah Ground Snow Load Map

Commons Condominiums



Latitude: 40.583

Longitude: -111.873

Elevation: 4,510 ft

Ground Snow Load:

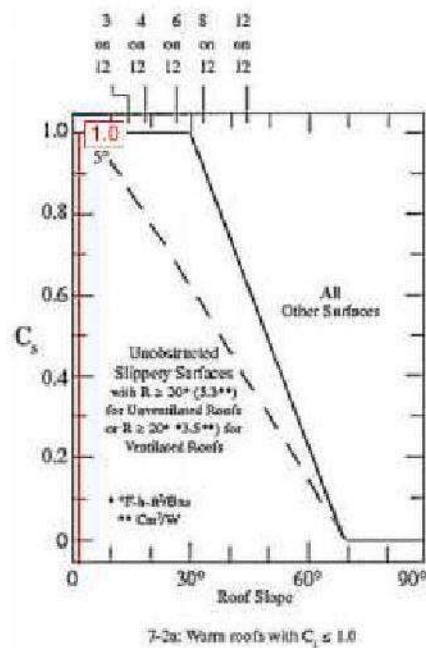
33 psf / 1.57 kPa

FIGURE 3 - GROUND SNOW LOAD FOR DESIGN

Roof Snow Load from Ground Snow Load Conversion

Snow Input

Risk Category $RC := II$ Roof Slope $rise := 0.25$ over $run := 12$ Ground Snow Load $P_g := 33 \cdot \text{psf}$



Slope_Angle = 1.193 degrees

Table 7.3-1 Exposure Factor, C_s

Surface Roughness Category	Exposure of Roof ^a		
	Fully Exposed	Partially Exposed	Sheltered
B (see Section 26.7)	0.9	1.0	1.2
C (see Section 26.7)	0.9	1.0	1.1
D (see Section 26.7)	0.8	0.9	1.0
Above the tree line in windswept mountainous areas	0.7	0.8	NA
In Alaska, in areas where trees do not exist within a 2-mi (3-km) radius of the site	0.7	0.8	NA

Table 7.3-2 Thermal Factor, C_t

Thermal Condition ^b	C_t
All structures except as indicated below	1.0
Structures kept just above freezing and others with cold, ventilated roofs in which the thermal resistance (R-value) between the ventilated space and the heated space exceeds $2.5^{\circ}\text{F} \times h \times \text{ft}^2/\text{Btu}$ ($4.4 \text{ K} \times \text{m}^2/\text{W}$)	1.1
Unheated and open air structures	1.2
Freezer building	1.3
Continuously heated greenhouses ^b with a roof having a thermal resistance (R-value) less than $2.0^{\circ}\text{F} \times h \times \text{ft}^2/\text{Btu}$ ($0.4 \text{ K} \times \text{m}^2/\text{W}$)	0.85

$C_e := 0.9$

Exposure Factor ASCE 7, Chapter 7, Table 7.3-1.

$C_t := 1.0$

Thermal Factor ASCE 7, Chapter 7, Table 7.3-2.

$I_s = 1$

Importance Factors by Risk Category of Buildings and Other Structures for Snow, Ice, and Earthquake Loads, ASCE 7, Chapter 1, Table 1.5-2

$C_s := 0.77$

ASCE 7, chapter 7, Figure 7-2a

$$P_f := 0.7C_e \cdot C_t \cdot I \cdot P_g$$

$$P_f = 21 \cdot \text{psf}$$

ASCE 7, Chapter 7, Equation 7.3-1 for flat roofs

$$P_s := C_s \cdot P_f$$

$$P_s = 16 \cdot \text{psf}$$

ASCE 7, Chapter 7, Equation 7.4-1 for sloped roofs

FIGURE 4 - ROOF SNOW LOAD CALCULATION

REPORT SUMMARY

X

Wind

Wind Speed	103 Vmph
10-year MRI	73 Vmph
25-year MRI	79 Vmph
50-year MRI	84 Vmph
100-year MRI	89 Vmph

Seismic

S_S	1.399
S_1	0.499
F_a	N/A
F_v	N/A
S_{MS}	N/A
S_{M1}	N/A
S_{DS}	N/A
S_{D1}	N/A
T_L	8
PGA	0.627
PGA _M	0.69
F_{PGA}	1.1
I_e	1
C_v	N/A
NO SEISMIC SPECTRUM	Design and MCE _R spectrum data not available for this location
Note	Ground motion hazard analysis may be required. See ASCE/SEI 7-16 Section 11.4.8.

FIGURE 5 - WIND AND SEISMIC DESIGN PARAMETERS

LATERAL DESIGN INPUT VARIABLES & SEISMIC BASE SHEAR CALCULATION

$I_E := 1.0$	building importance factor, ASCE 7, Table 11.5-1
$R := 6.5$	lateral force resisting system coefficient, ASCE 7, Table 12.2-1
$C_t := 0.02$	period parameters, ASCE 7 Table 12.8-2
$n := 0.75$	period parameters, ASCE 7 Table 12.8-2
$h := 26 \text{ ft}$	$T := C_t \cdot h^n$ $T = 0.23$ ASCE 7, eq'n 12.8-7A
$S_{DS} := 1.119 \text{ g}$	$S_1 := 0.499 \text{ g}$

$$C_S := \frac{S_{DS}}{\frac{R}{I_E}} \quad C_{S_min} := 0.044 \cdot S_{DS} \cdot I_E \quad C_{S_EF} := \frac{0.5 \cdot S_1}{\frac{R}{I_E}}$$

$$C_S = 0.1722 \quad C_{S_min} = 0.0492 \quad C_{S_EF} = 0.0384$$

$C_s = 17.215\%$ Design Base Shear

FIGURE 6 - SEISMIC DESIGN BASE SHEAR



FIGURE 7 - ROOF FRAMING

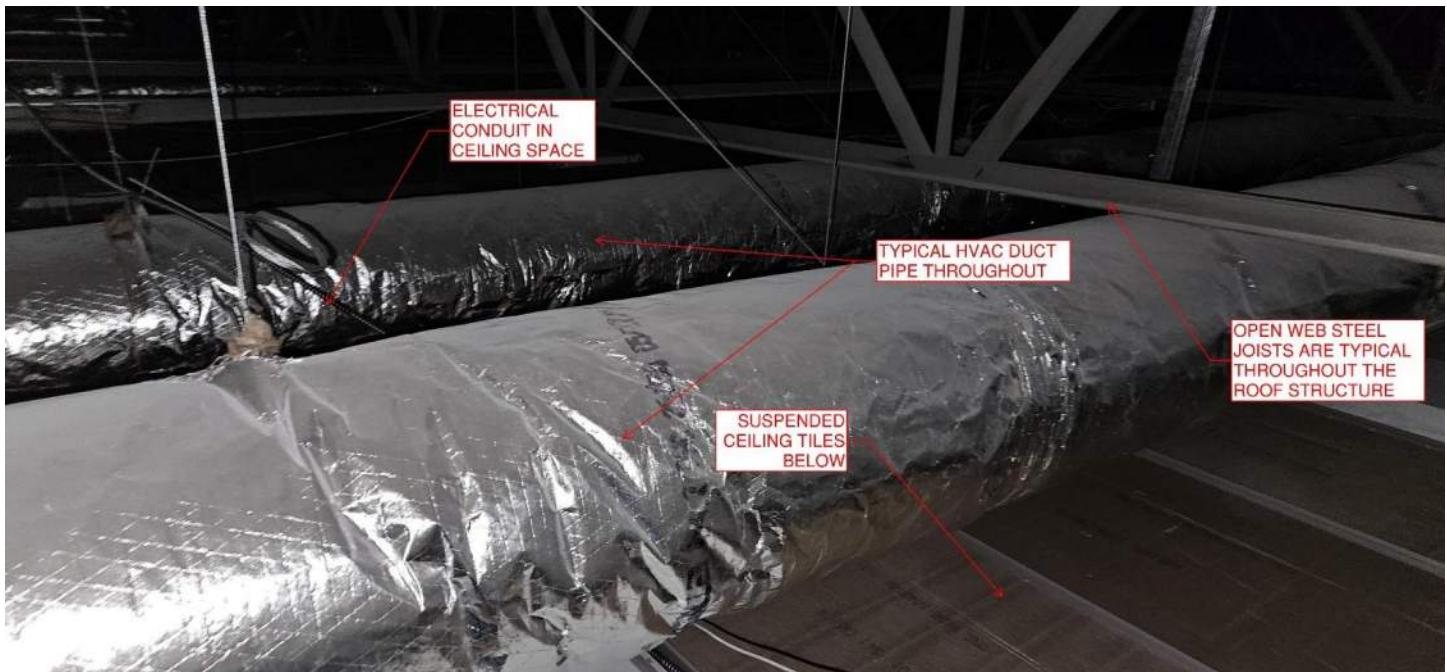


FIGURE 8 - UPPER FLOOR CEILING SPACE

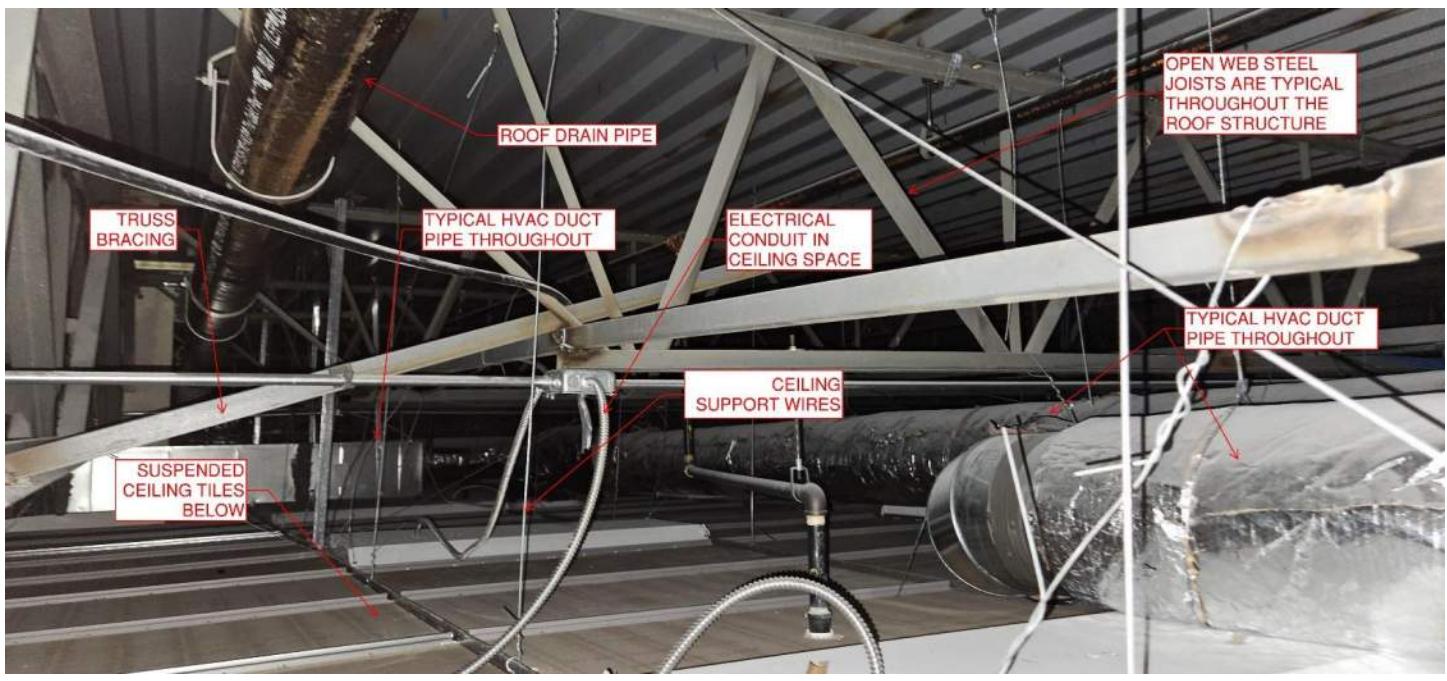


FIGURE 9 - UPPER FLOOR CEILING SPACE

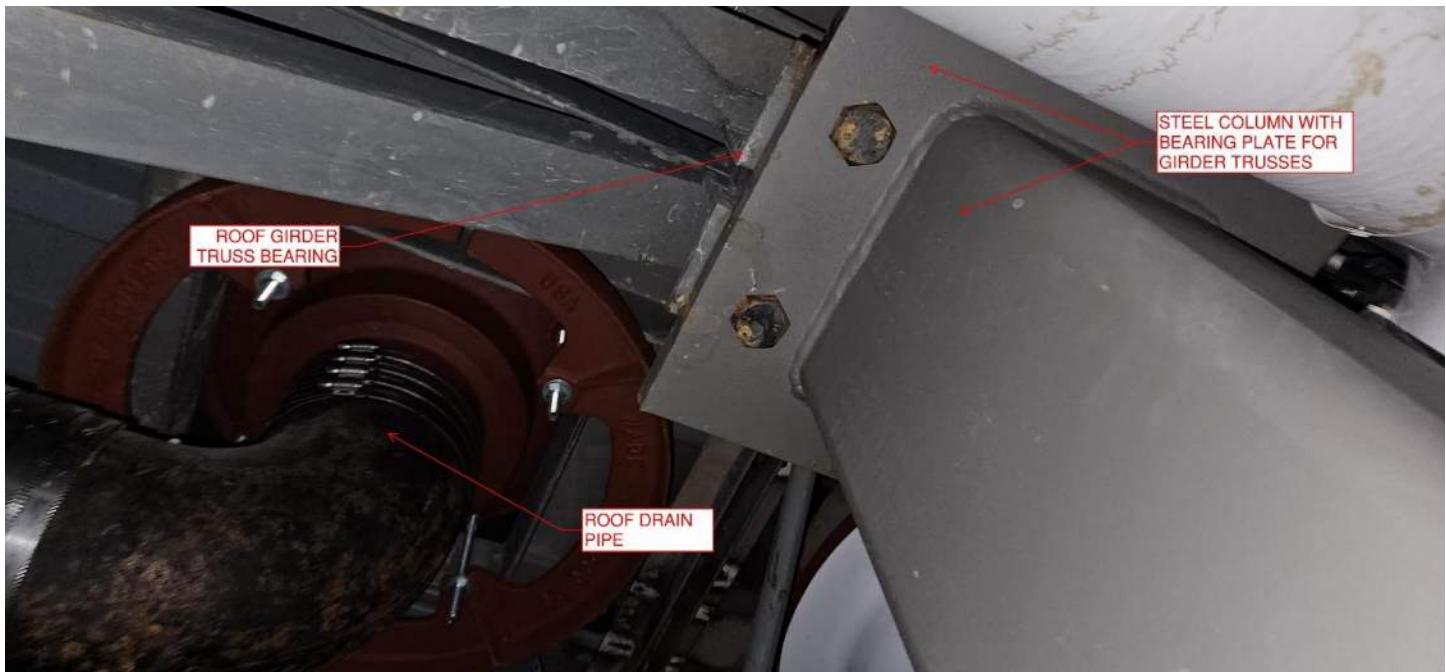


FIGURE 10 - GIRDER TO COLUMN CONNECTION

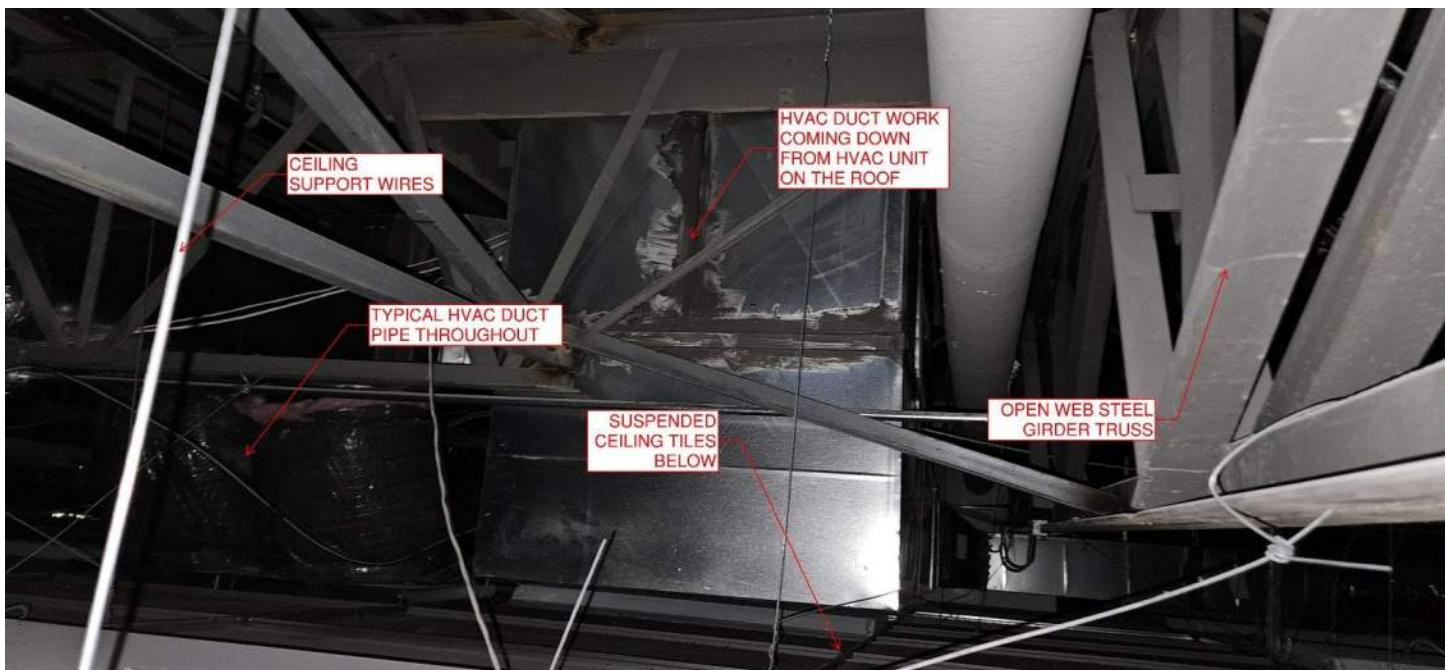


FIGURE 11 - HVAC DUCTWORK BELOW MECHANICAL UNIT ABOVE

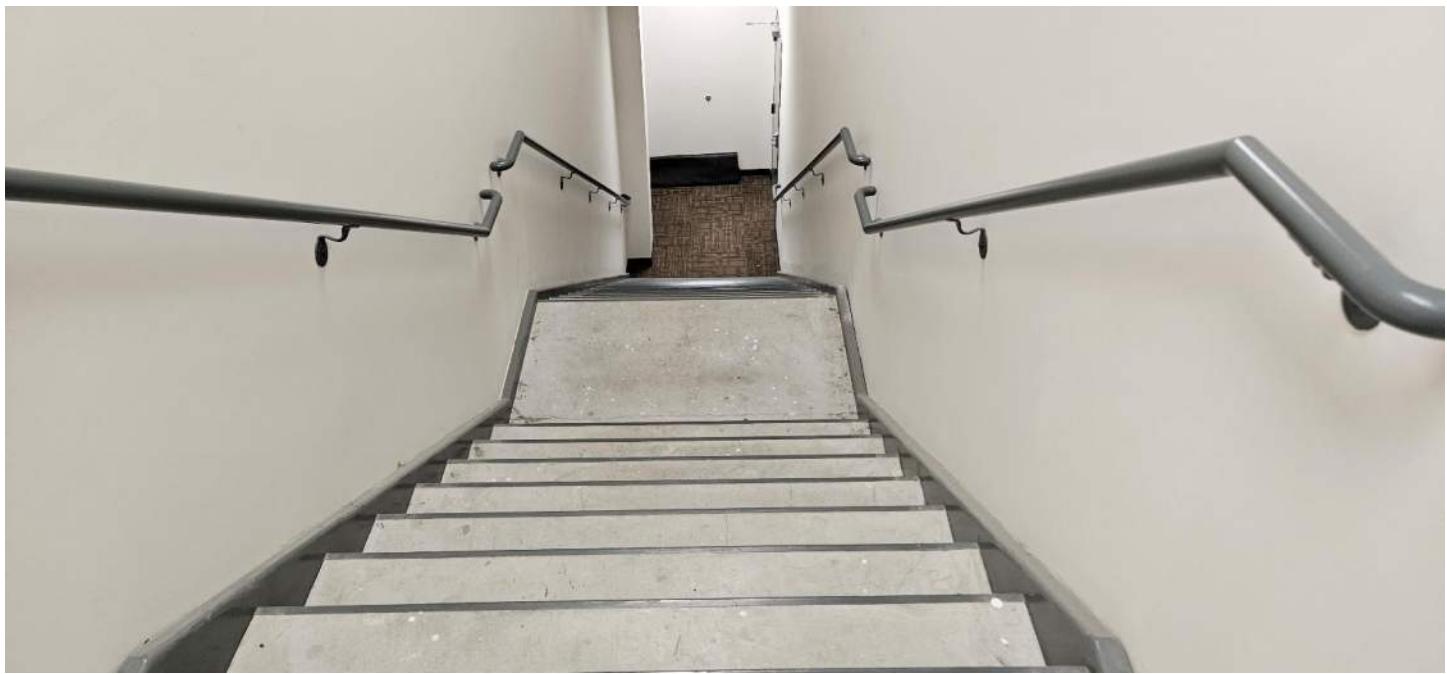


FIGURE 12 - TYPICAL STAIR CORRIDOR DOWN TO THE MAIN LEVEL

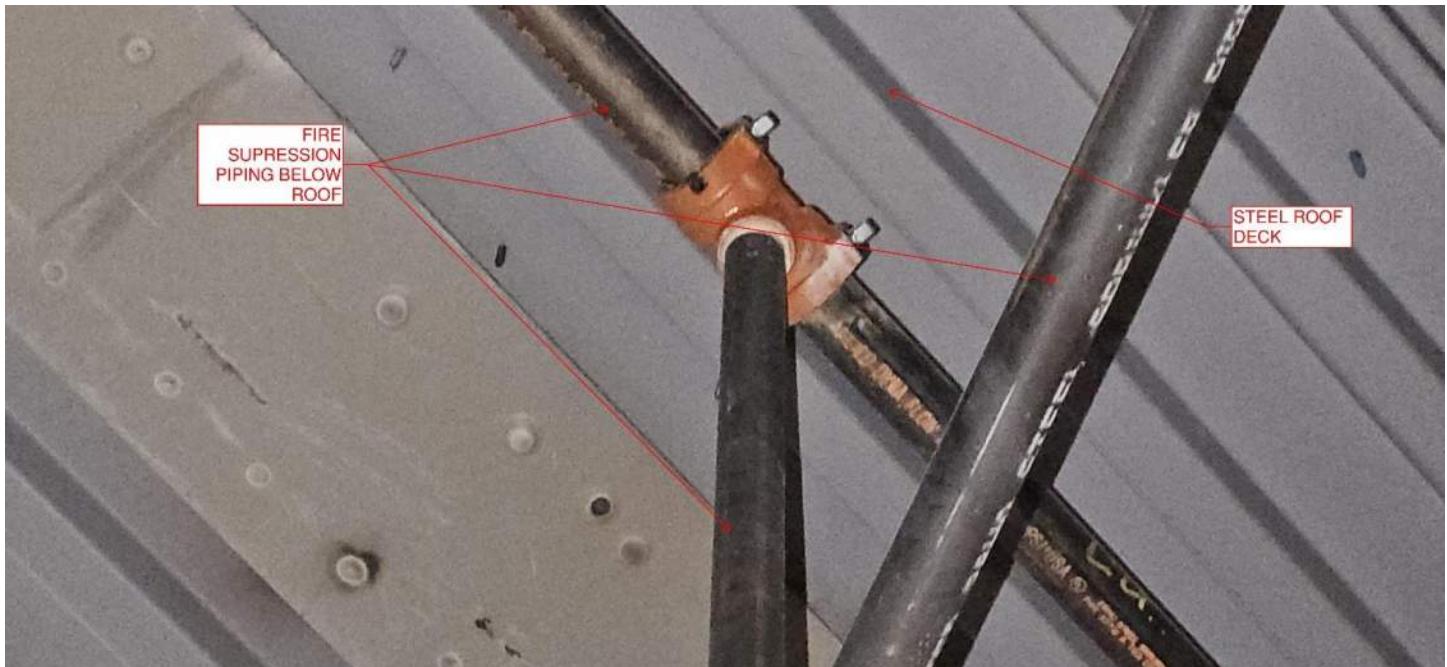


FIGURE 13 - FIRE SUPPRESSION PIPING

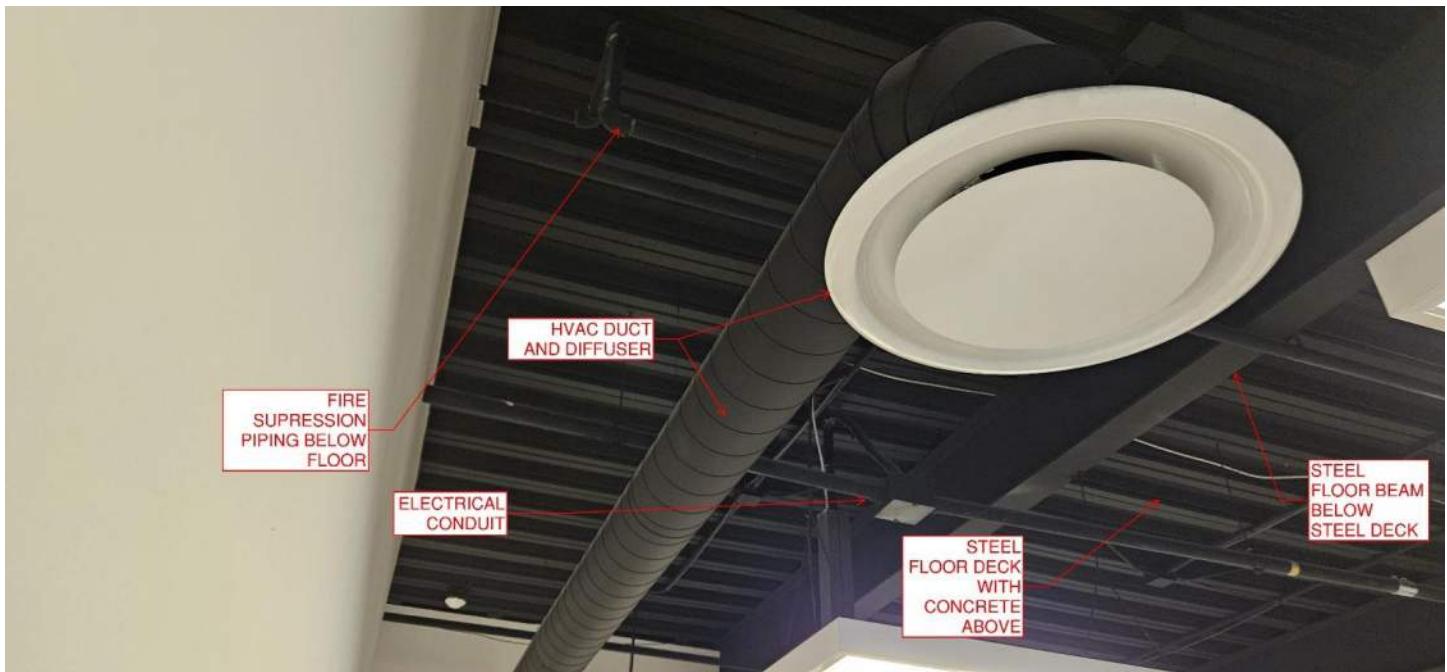


FIGURE 14 - CEILING SPACE ABOVE THE MAIN LEVEL

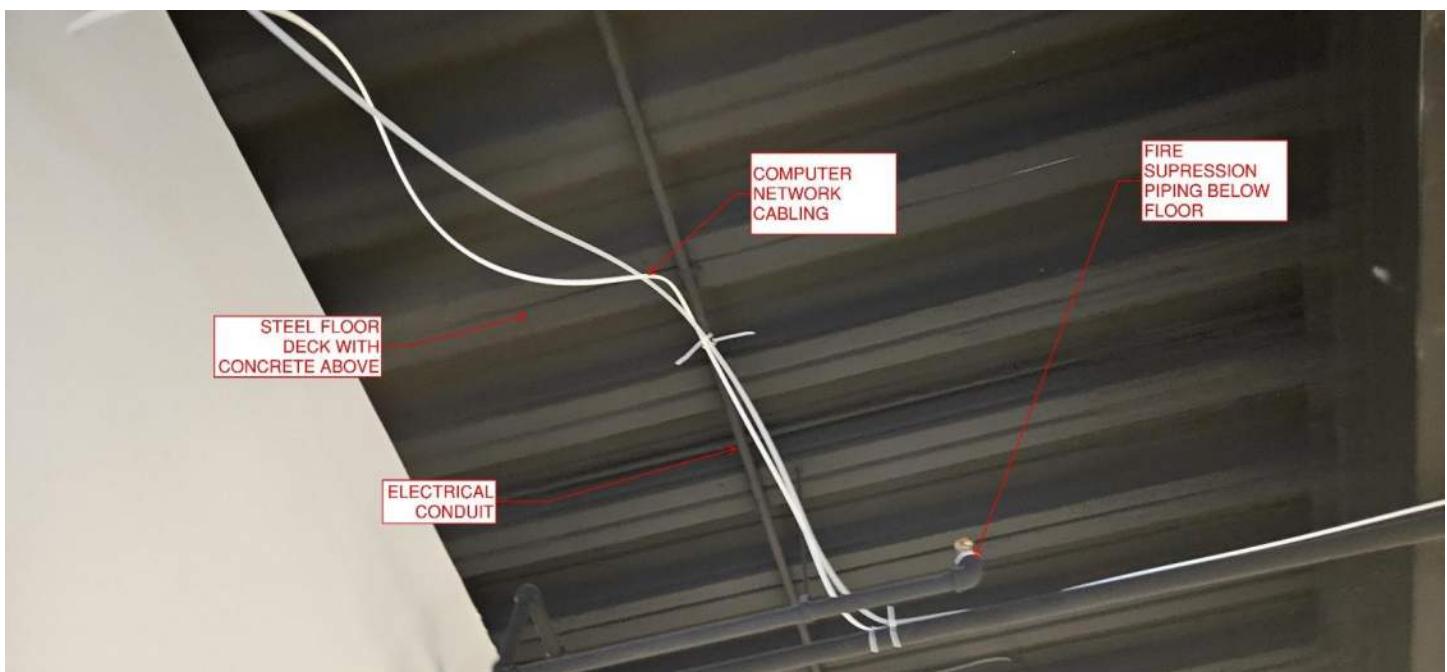


FIGURE 15 - CABLING AND FIRE SUPPRESSION PIPING

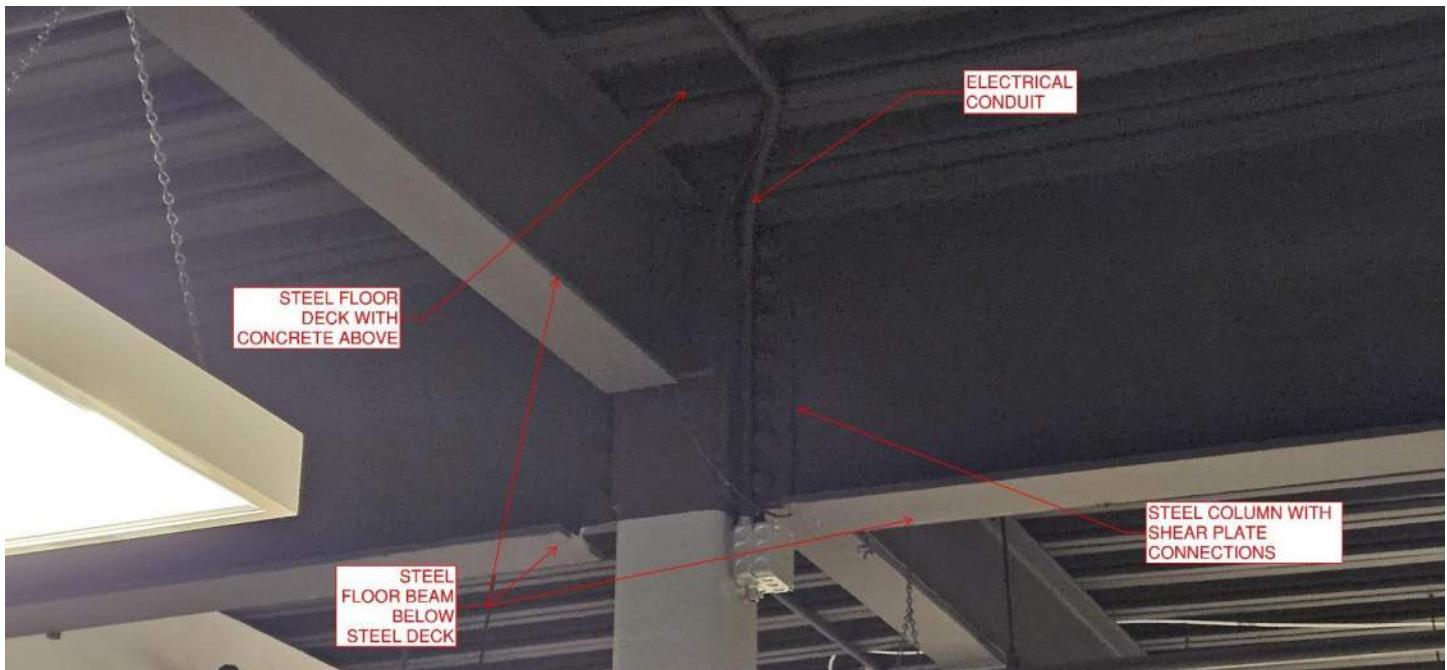


FIGURE 16 - UPPER FLOOR FRAMING OF BEAMS TO COLUMN

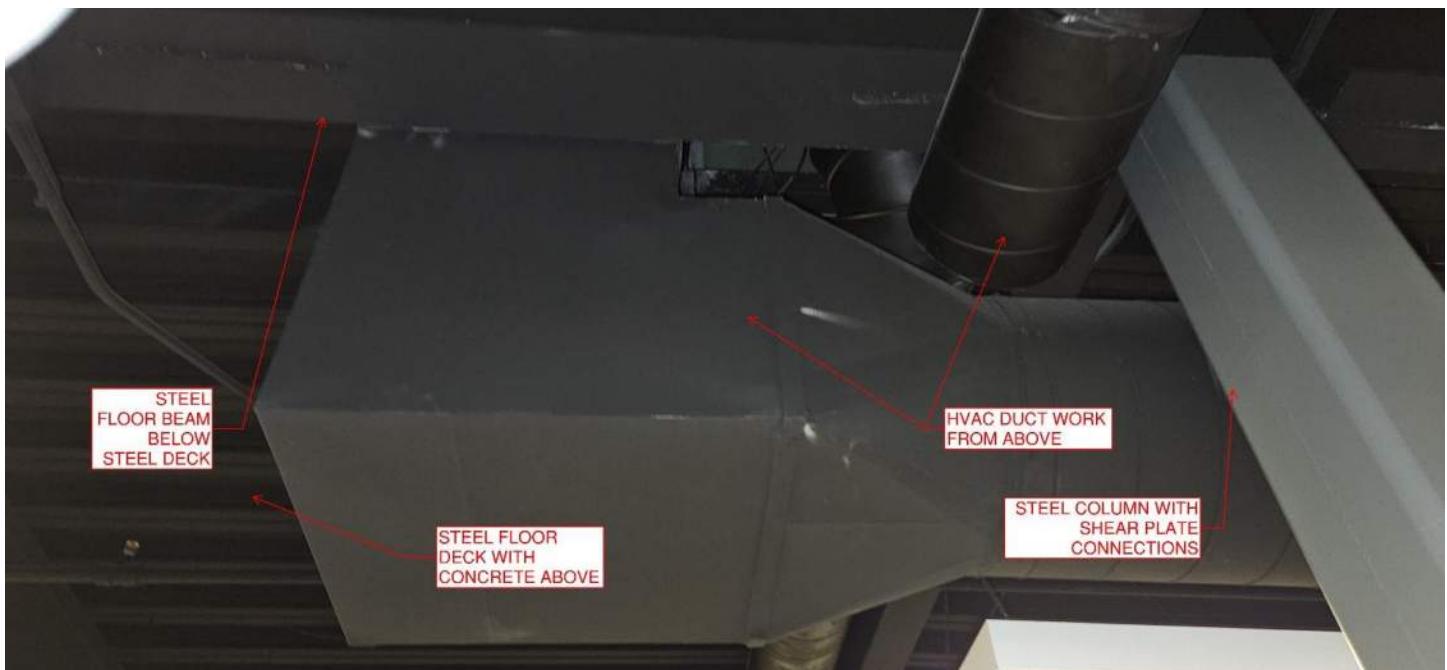


FIGURE 17 - HVAC DUCTWORK FROM ABOVE

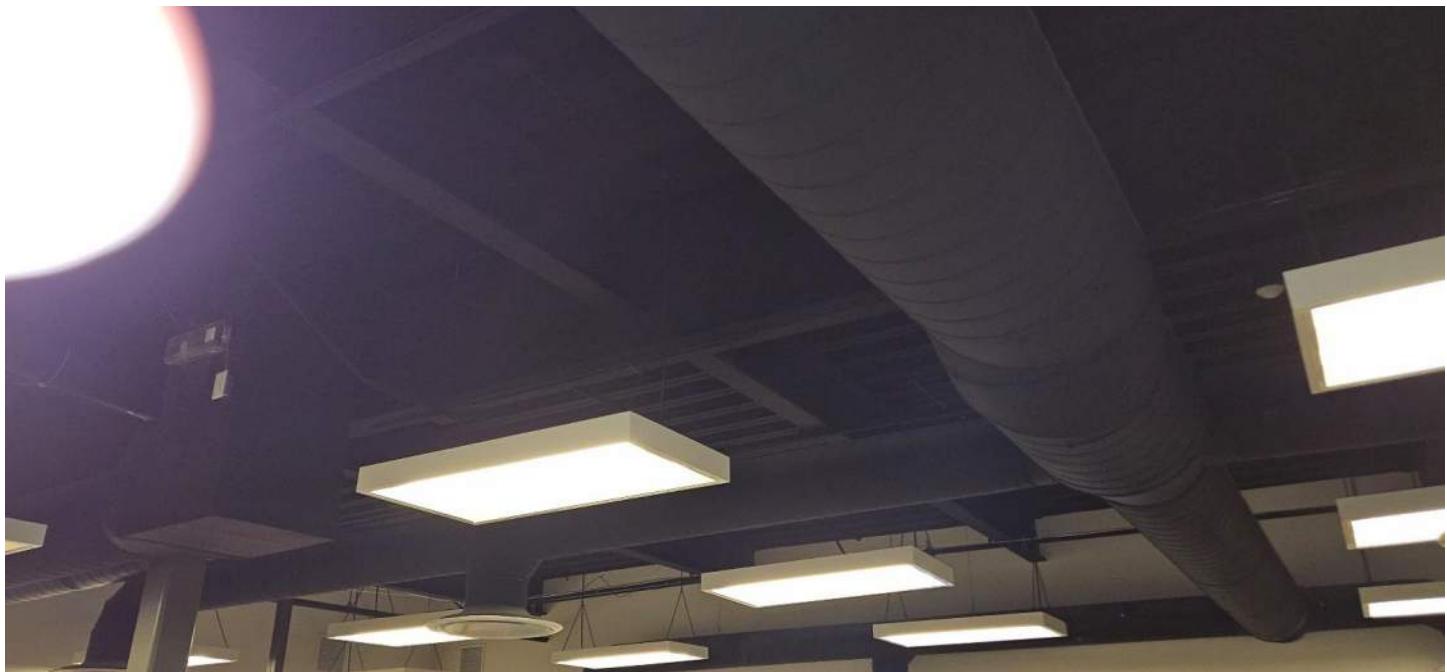


FIGURE 18 - CEILING SPACE ABOVE THE MAIN LEVEL



FIGURE 19 - NATURAL GAS SUPPLY METER



FIGURE 20 - CHIPPING AT SOUTH WINDOW SAWCUTS



FIGURE 21 - WALL PENETRATION AT IN THE SOUTH WALL

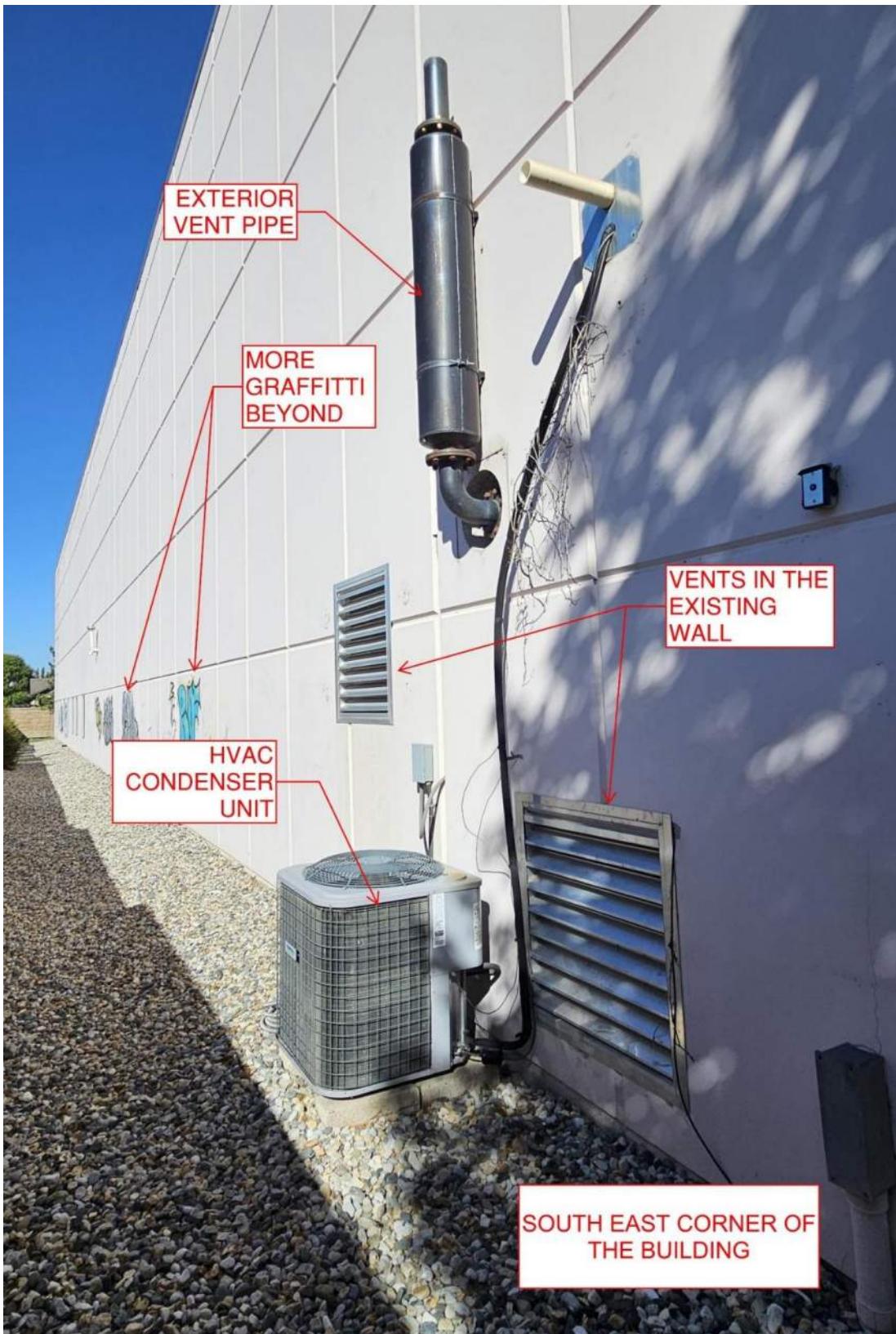


FIGURE 22 - MECHANICAL GROUND UNIT



FIGURE 23 - ELECTRICAL SERVICE PANELS

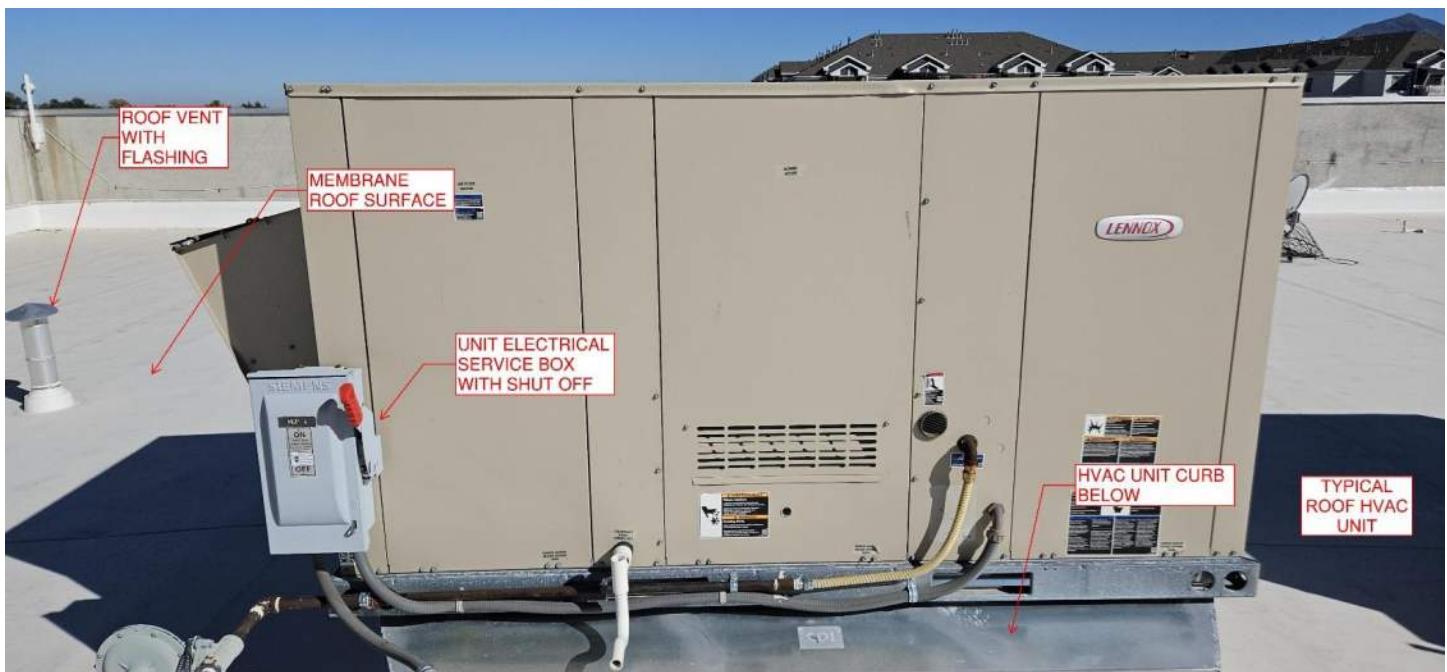
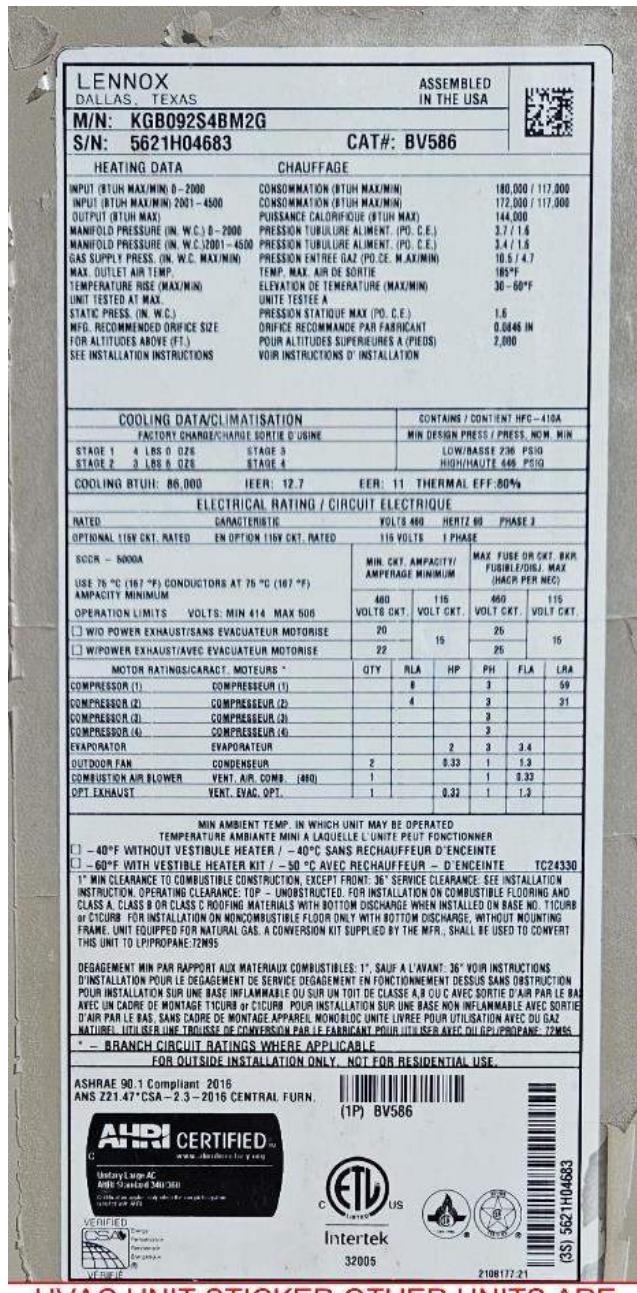


FIGURE 24 - HVAC ROOFTOP UNIT



HVAC UNIT STICKER OTHER UNITS ARE
SIMILAR

FIGURE 25 - SAMPLE HVAC UNIT LABEL

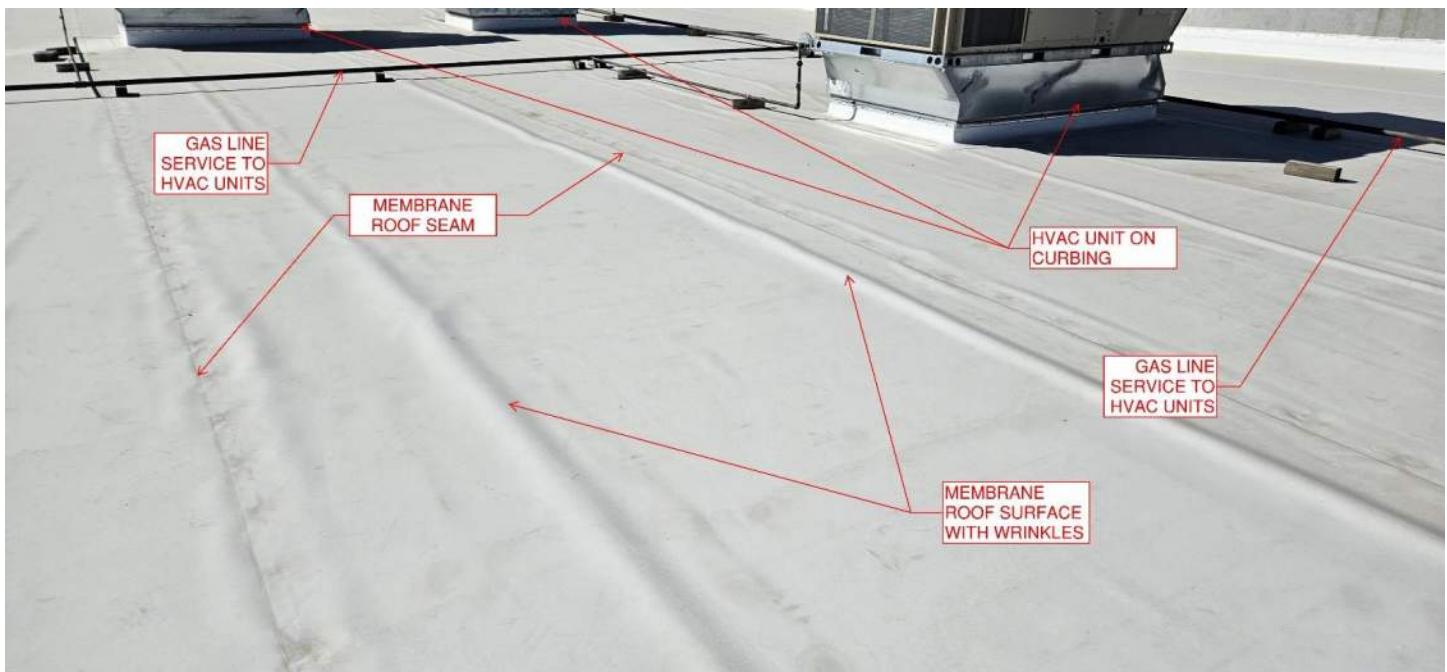


FIGURE 26 - MEMBRANE ROOF

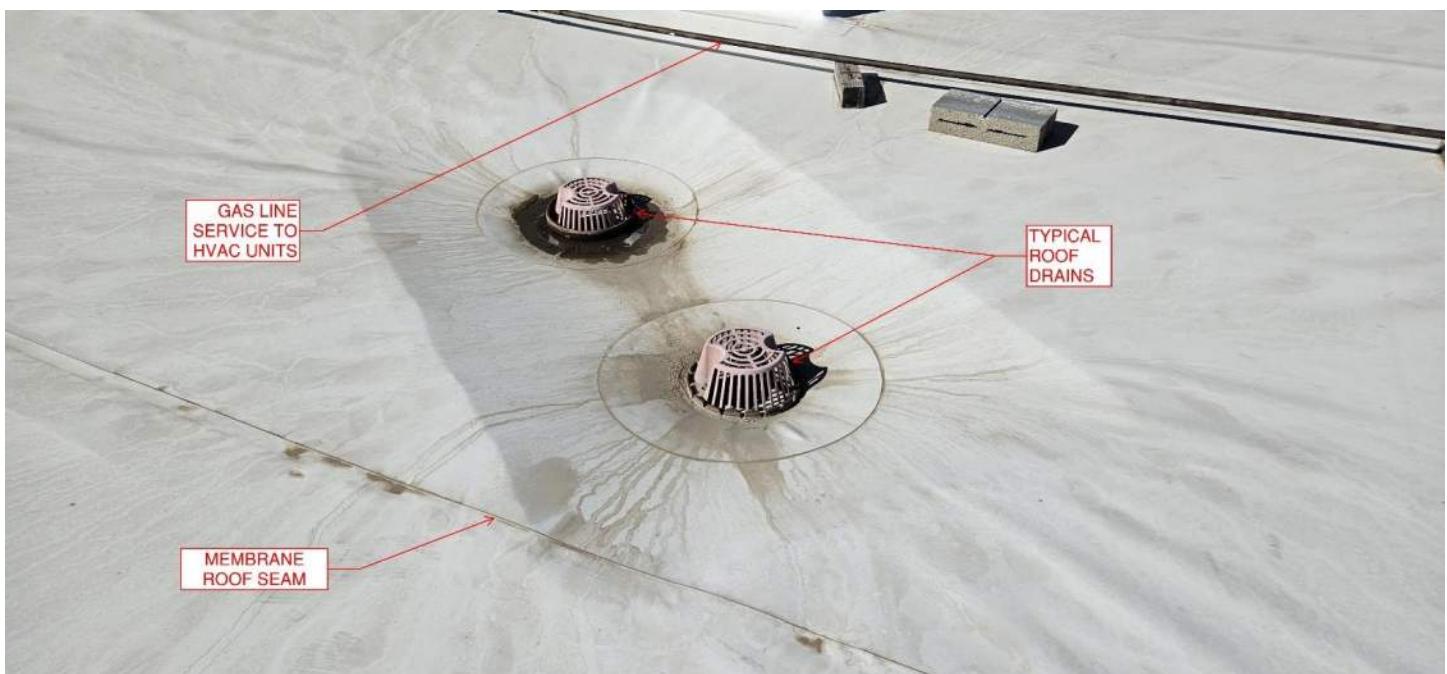


FIGURE 27 - ROOF DRAINS IN THE MEMBRANE ROOF



FIGURE 28 - MULTIPLE ROOFTOP HVAC UNITS

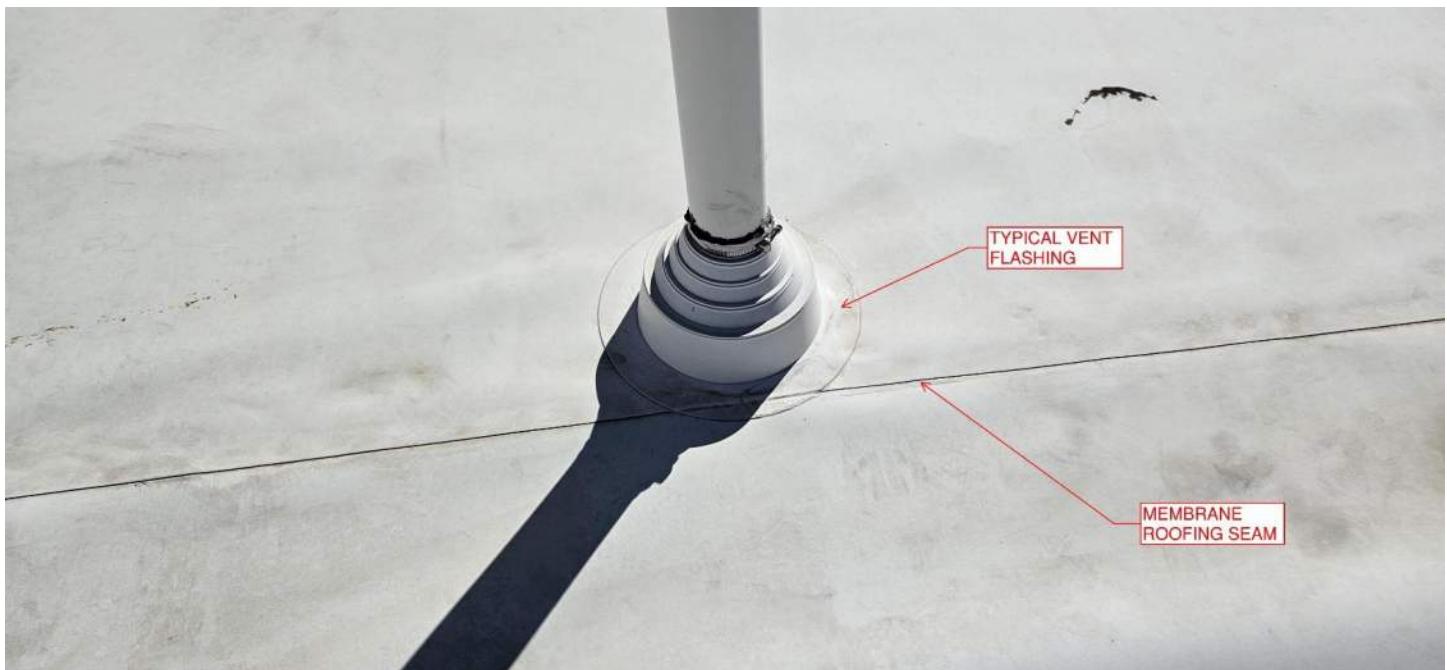


FIGURE 29 - TYPICAL VENT FLASHING

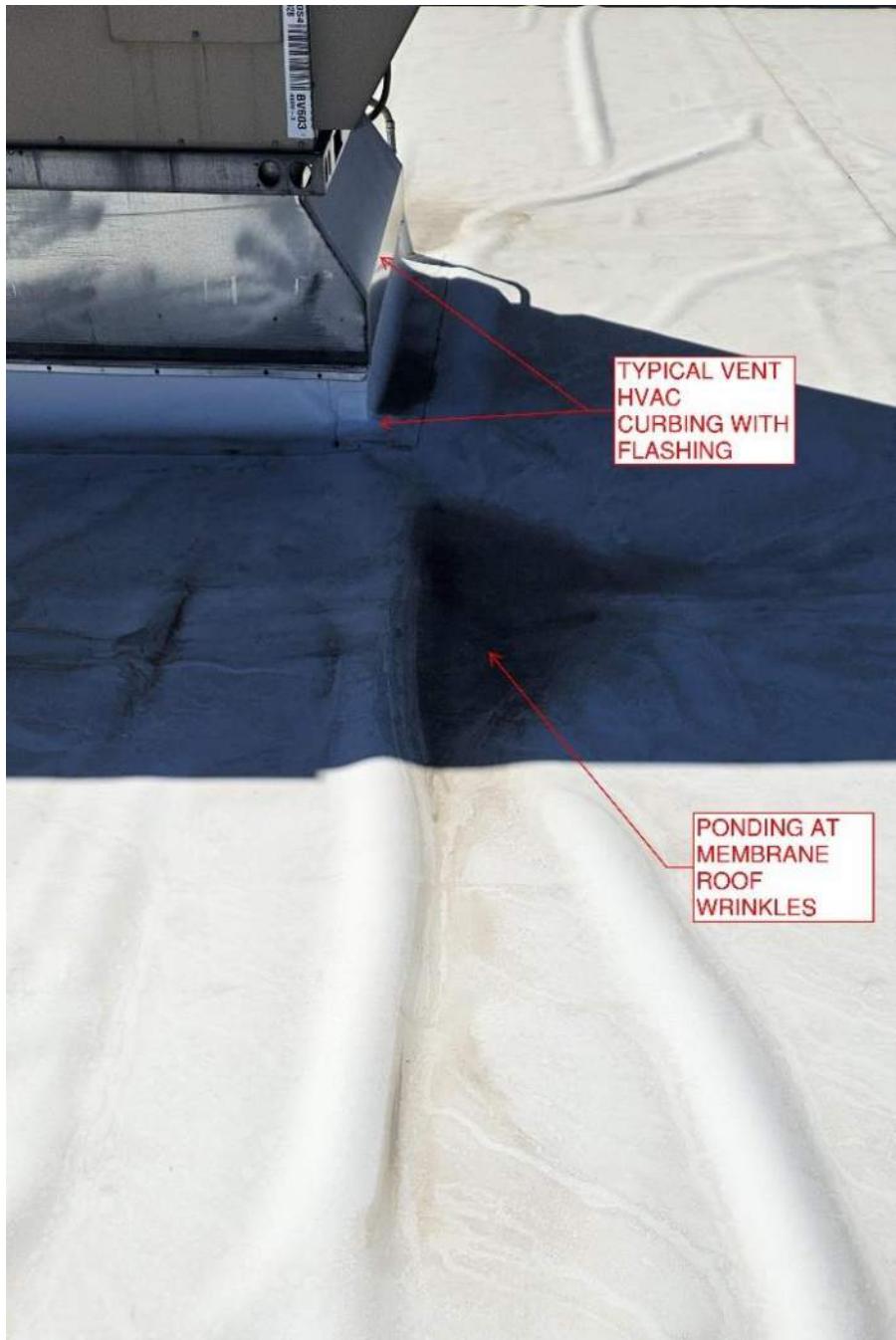


FIGURE 30 - MINOR PONDING ON THE MEMBRANE ROOF

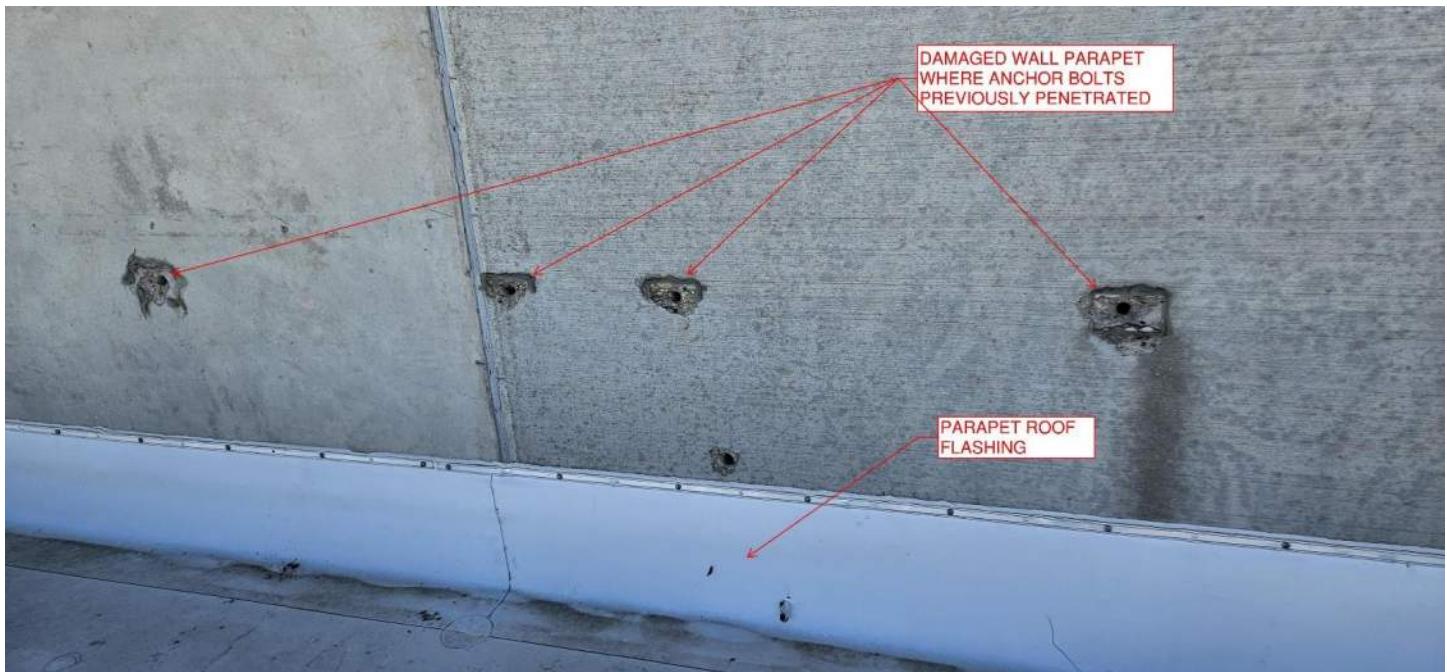


FIGURE 31 - WALL PENETRATIONS AT THE EAST PARAPET



FIGURE 32 - CAPPED ROOF VENT WITH TYPICAL FLASHING



FIGURE 33 - UNUSED SATELLITE DISHES



FIGURE 34 - UNUSED SATELLITE CMU PLATFORM AND DISH

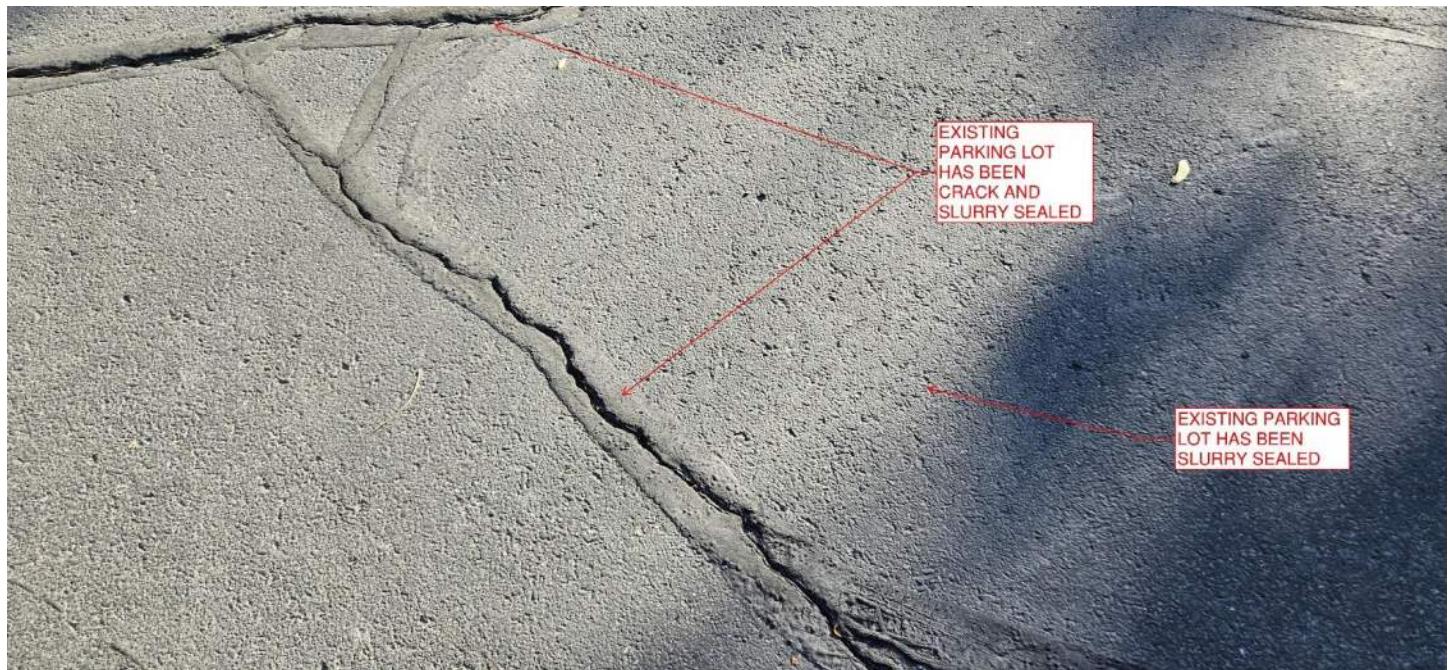


FIGURE 35 - EXISTING PARKING LOT CONDITION

RESERVE ANALYSIS REPORT

9272 Office Condominiums

Sandy, Utah

Report Period: Jan 01, 2025 - Dec 31, 2025

Table of Contents

Reserve Study Introduction.....	3
Methodology.....	3
Financial Analysis.....	4
Funding.....	5
Glossary of Terms.....	6
Executive Summary.....	7
Component Invent.....	8
Future Cost.....	9
Fully Funded Component.....	10
30- Year Reserve Contribution Table. . ..	11

Introduction

A Reserve Study is anticipating and preparing for major common area repair and replacement expenses. We do this by making projections about the future as well as research and analysis.

A Reserve Study consists of the physical Analysis and the Financial Analysis. The Physical Analysis contains the information about the current condition and repair or replacement cost of the major common area components the association is obligated to maintain. The Physical Analysis information has been assembled by the building owner. The Financial Analysis contains an evaluation of the association's Reserve balance (measured by Percent Funded) and a recommended Funding Plan to offset the anticipated Reserve expenses.

The primary responsibility of the Board of Directors is to maintain, protect, and enhance the assets of the association. As the **physical assets** age and deteriorate, it is important to accumulate **financial assets**, keeping the two "in balance". The Reserve Study is the document that helps keep the physical and financial assets of the association in balance.

This Reserve Study is a budget-planning document. The primary information provided in this document is a list of the major Reserve components, a finding of the current status (strength) of your Reserve Fund, and a recommended Funding Plan.

The basic objective of the Reserve Study is to provide a plan to collect funds at a **stable** rate to offset the predicted **irregular** Reserve expenses. Setting a stable Reserve contribution rate will ensure that each owner pays their "fair share" of the ongoing, gradual deterioration of the common areas.

Methodology

The Board of Directors duty is to point the association responsibly in the direction of proper Reserve planning. A Reserve balance, and the interest rate earned on the Reserve funds has been chosen for this study. The Reserve Component List is provided. With this information and an assumed inflation rate we are able to project the array of future major expenses facing the association.

What assets are covered by reserves?

Reserve expenses are the larger, infrequent expenses that require significant advance planning while operating expenses are those ongoing daily, weekly, or monthly expenses that occur throughout the year. Smaller unexpected repair expenses are typically handled as maintenance expenses, while the larger ones may be covered by insurance or require special assessments.

To determine which expenses should be funded through Reserves four important items must be considered:

- 1- It must be a common area maintenance responsibility
- 2- The component must have a limited life
- 3- The limited life must be predictable (not a "surprise" which cannot be accurately anticipated)
- 4- The component must be above a minimum threshold cost.

This limits Reserve Components to major, predictable expenses. This study has not Reserved for building foundations and major infrastructure elements since they do not have limited life expectancies.

Light bulbs or other small items are usually not listed as Reserve Components since their individual costs are insignificant. Also, not included are unpredictable expenses such as damage due to fire, flood, or earthquake since these typically cannot be considered "reasonably predictable".

The Financial Analysis

We have used the Reserve Component List to compute the association's current Percent Funded and an appropriate Reserve Contribution rate. These two pieces of information are considered the Financial Analysis.

The Reserve cash balance can measure reserves, but the true measure is whether the funds are adequate for the needs of the association. Reserve Fund size is therefore measured by Percent Funded. Percent Funded is the actual (or projected) Reserve Balance, divided by the association's calculated Fully Funded Balance (FFB), expressed as a percentage. The Fully Funded Balance is the sum of the value of the deterioration fraction of each individual Reserve components, not the total replacement value of those components.

Special assessments and deferred maintenance are common when the Percent Funded is weak (below 30%). While the 100% point is ideal, a Reserve Fund above the 70% level should be considered "strong" because cash flow problems are rare. Measuring your Reserves by Percent Funded tells how well prepared the association is for upcoming Reserve expenses. An association with a strong Reserve Fund should experience smooth sailing financially, while an association with a weak Reserve Fund should expect cash flow problems. New buyers should be very aware of this important disclosure!

How much to contribute?

There are four Funding Principles that need to be balanced in developing the Reserve Funding Plan. First and foremost, the objective is to design a plan that provides for sufficient cash to perform the Reserve projects on time. A stable contribution rate is desirable because it indicates the association is being run on a stable financial platform, not being driven by the winds of change from year to year.

For fairness, it is important to evenly distribute the contributions over the years so each owner pays their fair share of the deterioration in direct proportion to the amount of time they are owners. And finally, any Funding Plan must be based on fiscally responsible principles. The Funding Plan was created by a process where different solutions were tested until one was found that most successfully met all four of these principles and achieved the Funding Goal.

Funding Goal

There are different Funding Goals to strive for, ranging from conservative to risky. Establishing a goal of simply having sufficient cash for all future years is called **Baseline Funding**. The drawback is that there is little or no “margin for error”, and expenses that are higher than budgeted or projects that occur earlier than planned will often cause special assessments.

Full Funding is when the association has the goal of becoming Fully Funded (Reserve Cash equals the FFB). Such an objective means the association is following the simple and responsible principle that you replace what you use up.

Believing this to be the responsible choice, the Funding Plan will direct the association to Full Funding. Members of Fully Funded associations enjoy low exposure to the risk of special assessments or deferred maintenance.

Strong interest earnings will minimize owner Reserve contributions. Board members enjoy peace of mind that the association’s physical and financial assets are in balance, and therefore a degree of insulation from claims of fiscal irresponsibility.

Threshold Funding option is different in that the association selects a target other than 0% or 100%. This objective may be between 0% and 100% Funded, higher than 100% Funded, or a particular Reserve cash balance. Associations choosing Threshold Funding select this option to customize their risk exposure.

Projected Expenses

While this Reserve Study looks forward 30 years, we have no expectation that all these expenses will all take place as anticipated. This Reserve Study needs to be updated annually because we expect the timing of these expenses to shift and the size of these expenses to change. We do feel more certain of the timing and cost of near-term expenses than expenses many years away. Please be aware of your near-term expenses, which we are able to project more accurately than the more distant projections.

Reserve Fund Status

The starting point for our financial analysis is the Reserve Fund balance, projected to be \$65,000 as-of the start of the Fiscal Year on 4/1/2025. This is based on the projections provided to our firm. As of your Fiscal Year Start, your Fully Funded Balance is computed to be \$178,700. This figure represents the deteriorated value of your common area components.

Glossary of Terms:

Annual Fully Funded Requirement: This is a theoretical value represented in the Percent Funded Analysis report per component. It's also considered the annual accrued depreciation. In other word it's the ideal amount required to Fully Fund the replacement on an annual basis. The amount is calculated based on the useful life and replacement cost and makes no adjustment to eliminate any current reserve deficits.

Annual Reserve Contributions: The total assessments, fees, or dues are apportioned between annual operating costs (paying for trash, water, utilities, maintenance, insurance, management fees) and the money you are setting aside every year to pay for anticipated expenditures. This value should not include interest earned as that is already calculated into the reserve funding plans. Our Reserve Analysis Report compares the annual reserve contributions vs. the anticipated expenditures over the duration of the reserve funding plan.

Component: Components are all the different common parts of the property (that typically an HOA would be responsible for). They are everything from the roof to asphalt or concrete to decking and balconies to landscaping, lighting, and painting. All of these things need to be repaired or replaced eventually. Our Reserve Analysis Report provides estimates of those current replacement costs to help determine how much money will be required in the bank to pay for them eventually.

Fully Funded Reserve Balance: The Fully Funded Reserve Balance is the total accrued depreciation. In other words it's the amount of life "used up" for each one of your components translated into a dollar value. This is calculated by multiplying the fraction of age of each component by its current estimated replacement cost, then adding them all together, otherwise known as straight-line depreciation. Its purpose is to help you measure the strength of your reserve fund.

Reserve Balance: This is how much money you have in the bank set aside for reserves at a given point in time, like at the start of each fiscal year called 'Starting Reserve Balance' or at the end of the fiscal year called 'Ending Reserve Balance.' It can also be the reserve accumulated to date, like in the Percent Funding Analysis report where each component has an 'Accumulated Reserve Balance' value.

Reserves are the money set aside for anticipated common area expenses. The reserve account (also called cash reserves or reserve funds) is funded by dues collected from owners (like HOA fees).

Just like an emergency fund or a rainy-day fund to cover personal expenses if the car breaks down or the kitchen sink leaks, HOAs with commonly owned space like condominiums must set aside a healthy percentage of funds every year to plan for the future.

Without it, paying for big expenses becomes difficult. It may require a special assessment to raise the funds to pay for a repair, putting an oversized financial burden on owners. Or a capital improvement loan may be required. The Reserve Analysis report will help figure out a sufficient amount of money to put away in reserves each year to pay for those eventual expenses. Usually a 70% funded reserve balance or above is considered strong.

Remaining Useful Life (RUL): Remaining useful life is how many remaining years of use a component should have left before it has to be replaced. For example, if the useful life of your roof is 20 years and it is five years old, the remaining useful life would be 15 years.

Replacement Contingency %: The replacement contingency percentage is a budgeting option that gives you the flexibility to determine the amount or percentage to fund replacements. This gives you more control to establish the funds available to make the necessary repairs on a cycled basis. For example, the retaining walls may be estimated to be replaced over 25 years, but the budget may call to phase the replacement in stages of 20% every five years. It may be determined to only account for that percentage of the replacement cost in your budget.

Source: These are the source(s) utilized to obtain component repair or replacement cost estimates and can be reviewed on the Component Inventory report.

Useful Life (UL): Useful life is how many years a component is expected to be in use from the time it's new (or refurbished) to the time it has to be replaced. For example, the roof – depending on what kind it is – might have a useful life of 20 years. After 20 years, you'd expect to replace it.

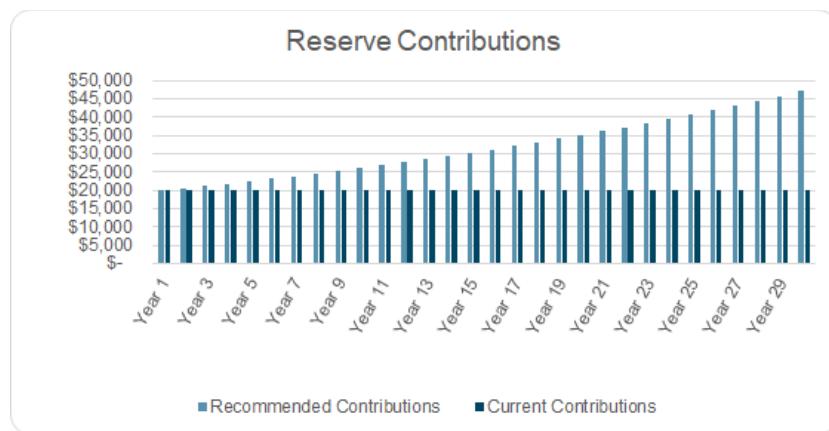
Executive Summary

Property Description		Financial Summary	
Property Name:	9272 Office Condominiums	Starting Reserve Balance:	\$65,000
Location:	Sandy, UT	Annual Contribution:	\$20,000
Project Type:	Office	Required Reserve Balance	\$178,700
		Percent Funded:	36%
		Current Annual Reserve Deposit:	\$20,000

Assumed Inflation, Interest & Rate of Annual Reserve Contribution Increase

Funding and anticipated expenditures have been computed with a time value of money approach with the following rates:

Inflation:	Interest:	Annual Reserve Contribution Increase:
3.00 %	2.00 %	Varies
Applied to the anticipated expenditures	Applied to the average annual reserve balance	See individual funding models



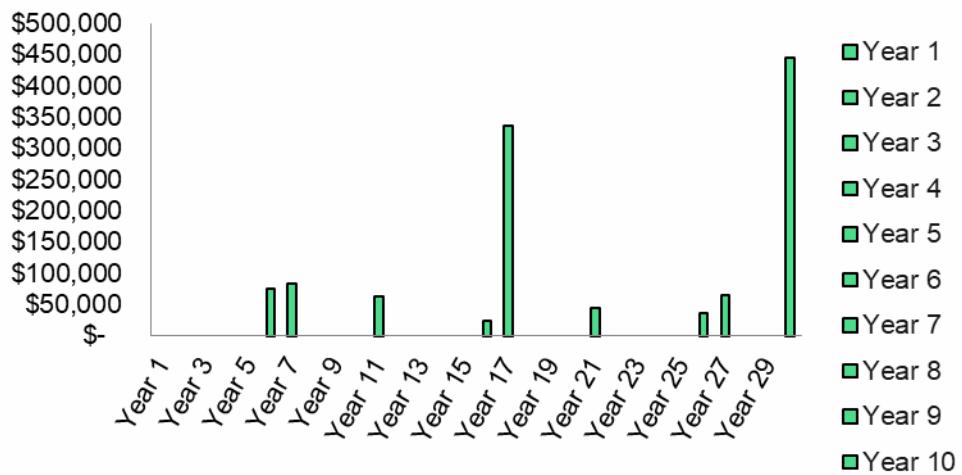
Component Inventory

Current Replacement Cost: \$695,000

Component	Project Number	UL	RUL	Unit Price	Quantity	Current Replacement Cost	Anticipated Expenditures	Source
HVAC Rooftop		20	16	\$15,000	14	\$210,000	\$336,988	
Membrane Roof		30	29	\$189,000	1	\$189,000	\$445,391	
Seal Parking Lot		15	10	\$17,000	1	\$17,000	\$22,847	
Concrete Sidewalks		50	26	\$30,000	1	\$30,000	\$64,698	
Elevator Upgrade		30	6	\$70,000	1	\$70,000	\$83,584	
Generator Replacement		25	5	\$65,000	1	\$65,000	\$75,353	
Common Areas Paint		20	20	\$25,000	1	\$25,000	\$28,982	
Bathroom Upgrades		35	35	\$70,000	1	\$70,000	\$196,970	
Common Areas Carpet		15	15	\$15,000	1	\$15,000	\$23,370	
Trash Dumpster Gate		24	10	\$4,000	1	\$4,000	\$5,376	
					Totals	\$695,000	\$1,299,788	

Measure key : SF = Square Feet , EA = Each , SY = Square Yard(s) , LF = Linear Feet , ALW = Allowance , BLD = Building(s) , CY = Cubic Yard(s) , LT = Lot , PLC = Place(s) , SQ = Square(s) , TN = Ton(s), LS = Lump Sum

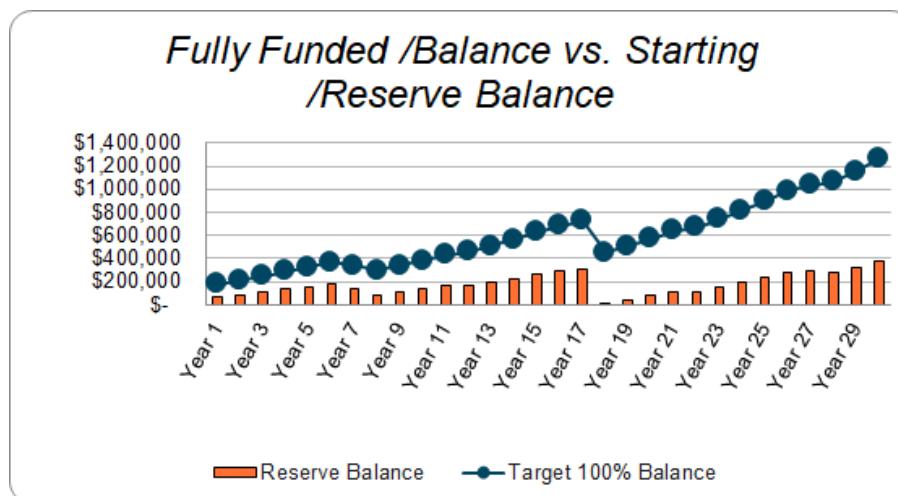
Projected Capital Expenditures



Component Future Cost

Component	Useful Life (yrs)	Rem. Useful Life (yrs)	Current Cost	Future Cost
HVAC Rooftop commercial pac	20	16	\$210,000	\$336,988
Rubber membrane roof	30	29	\$189,000	\$445,391
Seal Parking Lot	15	10	\$17,000	\$22,847
Concrete Sidewalks	50	26	\$30,000	\$64,698
Elevator Upgrade	30	6	\$70,000	\$83,584
Generator Replacement	25	5	\$65,000	\$75,353
Common Areas Paint	20	20	\$25,000	\$45,153
Bathroom Upgrades	35	35	\$70,000	\$196,970
Common Areas Carpet	15	15	\$15,000	\$23,370
Trash Dumpster Enclosure Gat	24	10	\$4,000	\$5,376
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0
0	0	0	\$0	\$0

Component Fully Funded Balance



30-YEAR RESERVE EXPENSE/CONTRIBUTION TABLE

Year	Starting Reserve	Reserve Intended Contrib	Interest Earned	Projected Expenses	Ending Reserve Balance	get 100% Balar	Percent Funded Level	Goal	Current Contributions
Year 1	\$ 65,000	\$ 20,000	\$ 1,700	\$ -	\$ 86,700	\$ 178,700	36%	75%	\$ 20,000
Year 2	\$ 86,700	\$ 20,600	\$ 2,146	\$ -	\$ 109,446	\$ 212,781	41%	75%	\$ 20,000
Year 3	\$ 109,446	\$ 21,218	\$ 2,613	\$ -	\$ 133,277	\$ 248,746	44%	75%	\$ 20,000
Year 4	\$ 133,277	\$ 21,855	\$ 3,103	\$ -	\$ 158,234	\$ 286,677	46%	75%	\$ 20,000
Year 5	\$ 158,234	\$ 22,510	\$ 3,615	\$ -	\$ 184,360	\$ 326,660	48%	75%	\$ 20,000
Year 6	\$ 184,360	\$ 23,185	\$ 2,644	\$ 75,353	\$ 134,836	\$ 368,784	50%	75%	\$ 20,000
Year 7	\$ 134,836	\$ 23,881	\$ 1,503	\$ 83,584	\$ 76,636	\$ 335,529	40%	75%	\$ 20,000
Year 8	\$ 76,636	\$ 24,597	\$ 2,025	\$ -	\$ 103,258	\$ 293,796	26%	75%	\$ 20,000
Year 9	\$ 103,258	\$ 25,335	\$ 2,572	\$ -	\$ 131,166	\$ 337,932	31%	75%	\$ 20,000
Year 10	\$ 131,166	\$ 26,095	\$ 3,145	\$ -	\$ 160,406	\$ 384,451	34%	75%	\$ 20,000
Year 11	\$ 160,406	\$ 26,878	\$ 3,181	\$ 28,222	\$ 162,244	\$ 433,458	37%	75%	\$ 20,000
Year 12	\$ 162,244	\$ 27,685	\$ 3,799	\$ -	\$ 193,727	\$ 455,990	36%	75%	\$ 20,000
Year 13	\$ 193,727	\$ 28,515	\$ 4,445	\$ -	\$ 226,687	\$ 509,424	38%	75%	\$ 20,000
Year 14	\$ 226,687	\$ 29,371	\$ 5,121	\$ -	\$ 261,179	\$ 565,655	40%	75%	\$ 20,000
Year 15	\$ 261,179	\$ 30,252	\$ 5,829	\$ -	\$ 297,259	\$ 624,800	42%	75%	\$ 20,000
Year 16	\$ 297,259	\$ 31,159	\$ 6,101	\$ 23,370	\$ 311,150	\$ 686,986	43%	75%	\$ 20,000
Year 17	\$ 311,150	\$ 32,094	\$ 125	\$ 336,988	\$ 6,381	\$ 728,269	43%	75%	\$ 20,000
Year 18	\$ 6,381	\$ 33,057	\$ 789	\$ -	\$ 40,226	\$ 449,106	1%	75%	\$ 20,000
Year 19	\$ 40,226	\$ 34,049	\$ 1,486	\$ -	\$ 75,761	\$ 510,049	8%	75%	\$ 20,000
Year 20	\$ 75,761	\$ 35,070	\$ 2,217	\$ -	\$ 113,047	\$ 574,244	13%	75%	\$ 20,000
Year 21	\$ 113,047	\$ 36,122	\$ 2,080	\$ 45,153	\$ 106,097	\$ 641,832	18%	75%	\$ 20,000
Year 22	\$ 106,097	\$ 37,206	\$ 2,866	\$ -	\$ 146,169	\$ 666,451	16%	75%	\$ 20,000
Year 23	\$ 146,169	\$ 38,322	\$ 3,690	\$ -	\$ 188,181	\$ 739,871	20%	75%	\$ 20,000
Year 24	\$ 188,181	\$ 39,472	\$ 4,553	\$ -	\$ 232,206	\$ 817,098	23%	75%	\$ 20,000
Year 25	\$ 232,206	\$ 40,656	\$ 5,457	\$ -	\$ 278,319	\$ 898,292	26%	75%	\$ 20,000
Year 26	\$ 278,319	\$ 41,876	\$ 5,692	\$ 35,594	\$ 290,292	\$ 983,622	28%	75%	\$ 20,000
Year 27	\$ 290,292	\$ 43,132	\$ 5,375	\$ 64,698	\$ 274,101	\$ 1,036,602	28%	75%	\$ 20,000
Year 28	\$ 274,101	\$ 44,426	\$ 6,371	\$ -	\$ 324,897	\$ 1,062,998	26%	75%	\$ 20,000
Year 29	\$ 324,897	\$ 45,759	\$ 7,413	\$ -	\$ 378,069	\$ 1,158,683	28%	75%	\$ 20,000
Year 30	\$ 378,069	\$ 47,131	\$ (404)	\$ 445,391	\$ (20,595)	\$ 1,259,152	30%	75%	\$ 20,000

Percent Funded Level





Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #: 26-031, **Version:** 1

Date: 2/5/2026

Minutes from January 15, 2026 Meeting



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7256

Meeting Minutes

Planning Commission

*Dave Bromley
Cameron Duncan
David Hart
Ron Mortimer
Daniel Schoenfeld
Steven Wrigley
LaNiece Davenport
Craig Kitterman (Alternate)
Jennifer George (Alternate)*

Thursday, January 15, 2026

6:15 PM

Council Chambers and Online

Meeting procedures are found at the end of this agenda.

This Planning Commission meeting will be conducted both in-person, in the Sandy City Council Chambers at City Hall, and via Zoom Webinar. Residents may attend and participate in the meeting either in-person or via the webinar link below. Register in advance for this webinar:

https://us02web.zoom.us/webinar/register/WN_W4zVNh3BSjuQRHiwuuCDaQ

After registering, you will receive a confirmation email containing information about joining the webinar.

You can join the meeting with the following link:

<https://us02web.zoom.us/s/89153255803>

Or join via phone by dialing:

US: 253 215 8782 or 346 248 7799 or 669 900 6833 or 301 715 8592 or 312 626 6799 or 929 436 2866

(for higher quality, dial a number based on your current location)

International numbers available: <https://us02web.zoom.us/u/ksavS05rU>

Webinar ID: 829 3613 1453

Passcode: 240049

4:30 PM FIELD TRIP

1. [26-008](#) Map

Attachments: [011526.pdf](#)

5:15 PM EXECUTIVE SESSION

Meeting went into Recess

Meeting Reconvened

6:15 PM REGULAR SESSION

Welcome

Pledge of Allegiance

Introductions

Present 6 - Commissioner David Hart
Commissioner Daniel Schoenfeld
Commissioner Steven Wrigley
Commissioner Craig Kitterman
Commissioner Jennifer George
Commissioner LaNiece Davenport

Absent 3 - Commissioner Dave Bromley
Commissioner Cameron Duncan
Commissioner Ron Mortimer

Public Hearings

DRAFT

2. ANX1118202 Summerhays Annexation (R-1-40A)
5-007083(PC 2935 E. Dimple Dell Road
)
[Community #29]

Attachments: [Vicinity Map](#)
[Signed Resolution](#)
[Notices Posted](#)
[Legal Description](#)
[Preliminary Plat](#)
[Staff Report](#)

Mike Wilcox introduced this item to the Planning Commission.

Sylvia Grace Acosta, attorney representing Summerhays family, presented this item to the Planning Commission.

Brian McCuistion, further presented this item to the Planning Commission.

David Hart asked the applicant if they understand the four findings in the staff report.

Sylvia Grace Acosta said yes.

Daniel Schoenfeld opened this item for public comment.

Michael Childs, attorney representing the Oaksen family, said his client has an issue with the title.

Steven van Maren, Draper resident, shared a concern about widening of Dimple Dell Road.

Daniel Schoenfeld closed this item to public comment.

Brian McCuistion said the concerns regarding the title and widening of Dimple Dell Road are not part of the annexation.

A motion was made by David Hart, seconded by Steven Wrigley, that the Planning Commission send a positive recommendation to the City Council that the Summerhays Annexation be approved and zoned R-1-40A based on the four findings detailed in the staff report. The motion carried by the following roll call vote:

Yes: 6 - David Hart
Daniel Schoenfeld
Steven Wrigley
Craig Kitterman
Jennifer George
LaNiece Davenport

Absent: 3 - Dave Bromley
Cameron Duncan
Ron Mortimer

Nonvoting: 0

Public Meeting Items

DRAFT

3. [SPR0313202](#) Architectural Components HQ Site Plan (Site Plan Review)
[5-006926](#) 9352 S 670 W
[Community 2, Civic Center]

Attachments: [Staff Report](#)

[Exhibit A](#)

[Exhibit C](#)

Mike Wilcox introduced this item to the Planning Commission.

Michelle Shaffer & Josh Naylor, 9252 S 670 W, presented this item to the Planning Commission.

Daniel Schoenfeld asked if they've read through the staff report.

Michelle Shaffer said yes.

David Hart asked how many employees they have.

Josh Naylor said no more than 25.

David Hart said their request to reduce the parking will only leave a couple of open stalls for visitors and expressed concern about adding to the off street parking.

Michelle Shaffer said they will not be adding to the off street parking.

LaNiece Davenport asked if the reason for the parking reduction is so they don't have to reduce the square footage of the building.

Josh Naylor replied that the reciprocal access on the north and south is what cramped the parking.

Thomas Irvin further presented this item to the Planning Commission.

Steven Wrigley asked if there's additional parking near the trash can area.

Thomas Irvin said that area could not be used for a parking stall. It would be for a truck to be able to back in and out.

Daniel Schoenfeld opened this item for public comment.

Daniel Schoenfeld closed this item to public comment.

A motion was made by LaNiece Davenport, seconded by Jennifer George, that the Planning Commission determine preliminary site plan review is complete for the proposed Architectural Components Headquarters located at 9352 S 670 W based on the four findings and subject to the five conditions detailed in the staff report along with the additional memorandum that was received. The motion carried by the following roll call vote:

Yes: 6 - David Hart
Daniel Schoenfeld
Steven Wrigley
Craig Kitterman
Jennifer George
LaNiece Davenport

Absent: 3 - Dave Bromley
Cameron Duncan
Ron Mortimer

Nonvoting: 0

Administrative Business

An all in favor motion was made by David Hart to approve the meeting minutes from 12.04.2025.

1. Minutes

26-009 Minutes from December 4, 2025 Meeting

Attachments: [12.04.2025 PC Minutes \(DRAFT\)](#)

2. Sandy City Development Report

3. Director's Report

26-010 Development Report

Attachments: [01.01.2026 DEV REPORT](#)

Adjournment

An all in favor motion was made by David Hart to adjourn.

Meeting Procedure

1. Staff Introduction
2. Developer/Project Applicant presentation
3. Staff Presentation
4. Open Public Comment (if item has been noticed to the public)
5. Close Public Comment
6. Planning Commission Deliberation
7. Planning Commission Motion

In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 2 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these time limits should be submitted in writing to the Community Development Department prior to noon the day before the scheduled meeting.

Planning Commission applications may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. No agenda item will begin after 11 pm without a unanimous vote of the Commission. The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regular scheduled meeting.

In compliance with the Americans With Disabilities Act, reasonable accommodations for individuals with disabilities will be provided upon request. For assistance, or if you have any questions regarding the Planning Commission Agenda or any of the items, please call the Sandy City Planning Department at (801) 568-7256



Sandy City, Utah

10000 Centennial Parkway
Sandy, UT 84070
Phone: 801-568-7141

Staff Report

File #: 26-032, **Version:** 1

Date: 2/5/2026

Development Report

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Pending										
SWIG - State Street	10187 S STATE ST	SPR01062025-006903	06/25/2025			CBD	Pranavi Koka - Bowma		mwilcox	Pending
Bicentennial Park Localscapes Conversion	552 E 8680 S	SPR01242024-006702	03/12/2024			OS	Ben Rodes	2088607297	sstringham	Pending
Storm Mountain Park Localscapes Conversio	11426 S 1000 E	SPR01242024-006703	03/08/2024			OS	Ben Rodes	2088607297	sstringham	Pending
Sandy Shulsen Mixed Use	10116 S MONROE ST, 84070	SPR02082023-006482	12/14/2023			CBD-A&C	David Denison	801-836-6235	mwilcox	Pending
Compass Apartments	179 West 9270 South	SPR02212024-006719	09/27/2024			RC	David Denison	801-836-6235	mwilcox	Pending
Architectural Components HQ Site Plan	9352 S 670 W	SPR03132025-006926	01/23/2026		0.69	ID	Josh Naylor	8015577523	tirvin	Fees Paid
The Orchards at Dimple Dell	10216 S DIMPLE DELL RD	SPR03262024-006738	05/01/2024			R-1-10	Brett Lovell	8017064693	tirvin	Pending
Rasht Development Project	8475 S STATE ST	SPR04242024-006758	03/21/2025		0.98	RC	Ramin Nasrabadi		dwheelwright	Pending
Sandy Station Townhomes	8925 S HARRISON ST	SPR05132025-006965			1.36	RC	David Kelly	3852835285	mwilcox	Pending
MACU Event Cenenter/ SLCO	9575 S STATE ST	SPR09062024-006841			0.96	CBD	Jordan Gray	3582145760	dwheelwright	Pending
MedVet Urgent Care - Modified Site Plan Re	10291 S STATE ST	SPR10022024-006862				CBD	Michelle Martin		sstringham	Fees Due
Wasatch Pain Solutions	1420 E SEGO LILY DR	SPR10072024-006865	01/28/2025		0.66	CC	Robert Howell	4357709668	dwheelwright	Pending
Meadows at Cy Road Site Plan	8777 S 700 E	SPR10162024-006872	02/25/2025			PUD(10)	Brad Reynolds		tirvin	Pending
SEG Redevelopment Phase 3 - West Facade	10450 S STATE ST	SPR11102025-007071			0.10	CBD	Larry Oldham	8018243351	dwheelwright	Pending
Under Review										
LHM Ford Pro-Elite	10990 S AUTO MALL DR	SPR01212026-007103			4.82	AM-D	Brandon McDougald		dwheelwright	Preliminary Review
Jordan Credit Union	9260 S 300 E	SPR04142025-006949			0.60	R-1-8	Nate Reiner		dwheelwright	Preliminary Review
Mark Ray Office Building	7865 South 700 East	SPR04172025-006955				BC	Robert Money	8015731029	dwheelwright	Preliminary Review
Thackeray Towns Site Plan	10760 S 700 E	SPR06242021-006083	06/24/2021		4.00	PUD(10)	John Sawyer		tirvin	Under Review
Silver Sage Business Park II	10895 S 700 E	SPR07232025-007003			0.56	SD(PO Silv	Kyle Spencer		dwheelwright	Preliminary Review
Middle Mile Infrastructure	10935 S 700 E	SPR08072025-007014	12/05/2025		0.57	SD(PO Silv	Alec Geist		dwheelwright	Final Review
GSL Electric	601 SANDY PKWY, 84070	SPR10092025-007056				CR-PUD	Cynthia Bithell		dwheelwright	Preliminary Review
Centennial Village	235 W SEGO LILY DR	SPR12282021-006237	07/28/2022		0.49	CBD-A&C	Dan Simons	(801) 230-1339	mwilcox	Under Review
Resubmit										
Gutierrez Multifamily Site Plan	886 E 7800 S	SPR04072025-006948			0.47	RM(10)	Elisha Deschenie		tirvin	Resubmit
Sandy Towns Site Plan	1270 E 8600 S	SPR06052025-006976			0.43	CN	Riley Streit		tirvin	Resubmit
iONNA Sandy UT	151 W 10600 S	SPR07012025-006992	12/10/2025		0.43	AM	Jess Cain		dwheelwright	Resubmit
Creek Rd Office Condos - 5th AMD	7410 CREEK RD 301 84093	SPR07072021-006096	09/23/2021			PO	Marcus Green		tirvin	Resubmit
Sandy City Public Utilities Vac Truck Water C	9140 S 150 E	SPR07252024-006802			6.23	ID	Tyler Shelley	8019151082	dwheelwright	Resubmit
EOS Fitness	10365 S 1300 E	SPR09032025-007035			5.53	CC	Art Babcock		dwheelwright	Resubmit
UTA Trax Line Operator Restroom Facility	167 E 9000 S	SPR10012025-007049				R-1-7.5(HS	Wade Edwards		dwheelwright	Resubmit
Kuwahara Wholesale	8575 STATE ST, 84070	SPR10162023-006639				SD(FM-HS	Alex Kuwahara	8016916592	tirvin	Resubmit
Smith's 153 Fuel Center	10305 S 1300 E	SPR11112024-006885	07/28/2025		10.38	CC	AWA - Jalaine Gibson	8018970849	dwheelwright	Resubmit
Wooded Creek Estates Site Plan	951 E 8800 S	SPR12052025-007088			0.31	R-1-8	Brandon Harris		tirvin	Resubmit
Red Sky Apartments	10145 S CENTENNIAL PKWY	SPR12062022-006452	05/08/2023		1.45	CBD	Corey Solum		lmarble	Resubmit
On Hold										
Band Fire Warehouse	9618 S 500 W	SPR01272023-006477			0.51	ID	Jesse Reynolds		dwheelwright	On Hold
Summit Two - Phase 1	10250 MONROE ST, 84070	SPR03292022-006291				CBD-O	Raddon Summit Hotel,		dwheelwright	On Hold
Sandy Park Center retail pad	9835 S MONROE ST	SPR04152022-006306			0.73	CBD-O	LeeAnn Miller	3852996262	dwheelwright	On Hold
Classic Fun Center	9151 S MONROE ST	SPR06142024-006783			5.12	RC	David Henderson		dwheelwright	On Hold
Master Muffler	9235 S 700 E	SPR06292022-006355			0.44	CC	Brandy Donecker	2103716751	dwheelwright	On Hold
Smith's Altaview Fuel Center	10315 S 1300 E	SPR07202021-006107			0.46	CC	Anderson Wahlen & As	801-913-8406	dwheelwright	On Hold
Harmons Landscape Improvements	7755 S 700 E	SPR07262022-006365			7.12	CN	Frank Lunquist		dwheelwright	On Hold
Summit Two at the Cairns	10250 S CENTENNIAL PKWY	SPR08032021-006124			5.07	CBD-O	Anthony Lyman	8012304582	dwheelwright	On Hold
ECLAIR FRENCH PASTRY	7948 S 1300 E	SPR08092024-006809				SD(Smart)	KARRAR ALJEWARI	3852295300	dwheelwright	On Hold
Office Building at 11000 South	65 E 11000 S	SPR09202023-006624			0.18	LC	Alta Construction		dwheelwright	On Hold
Stage Office Storage Building	8238 700 E, 84070	SPR09212022-006407	12/07/2023			BC	Ross Drummond	8015737620	dwheelwright	On Hold

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Casa Brazil Market	8671 S STATE ST	SPR1112024-006884		0.22	CN(HSN)	Patricia Jacobs	8017358513	dwheelwright		On Hold
Under Construction										
Woodhaven Estates	7613 S 300 E	SPR01102023-006464	12/18/2023		0.02	PUD (12)	Brandon Fry		tirvin	Under Construction
The Rio at 94th	115 W 9400 S	SPR01242023-006473			0.38	RM(12)	Jacob Toombs	8017879344	tirvin	Under Construction
St. Anna Greek Orthodox Church	9201 S 1300 E	SPR01262022-006258	03/25/2022		3.00	CN	James Derby	8016801385	dwheelwright	Under Construction
MACU Event Cenenter/ SLCO	9575 S STATE ST	SPR01292024-006706			0.96	CBD	Jordan Gray	3582145760	dwheelwright	Under Construction
Sandy City Fire Station #31	9295 S MONROE ST	SPR02132024-006711	04/19/2024			RC	Trevon Beutler	4353195847	mwilcox	Under Construction
UTA Civic Center Station - Site Modification	10015 S BEETDIGGER BLVD	SPR02172023-006487				MU	Nick Duerksen	8012012050	mwilcox	Under Construction
WM Fuel #5235 Sandy, UT	9081 S QUARRY BEND DR	SPR03112022-006282	01/03/2023			SD(X)	Ryan Alvarez		dwheelwright	Under Construction
Quick Quack Car Wash Conversion	10640 S 700 E	SPR04212025-006957			1.10	CN	Polo Padilla		dwheelwright	Under Construction
Sandy Amphitheater Plaza Expansion	1245 E 9400 S	SPR04242023-006523	07/21/2023		7.13	SD(MU)	Mearle Marsh		mwilcox	Under Construction
Dimple Dell Park - 300 East Trailhead	321 E 10195 S	SPR05132022-006318	07/12/2022		5.00	OS	Dan Sonntag	8012058201	tirvin	Under Construction
Dimple Dell Park - Badger Cove Trailhead	1651 E BADGER CV	SPR05132022-006320	08/25/2022		4.63	OS	Dan Sonntag		tirvin	Under Construction
Dimple Dell Park - Wrangler Trailhead	10305 S 1300 E	SPR05132022-006324	08/25/2022		10.38	CC	Dan Sonntag		tirvin	Under Construction
Alta Canyon Sports Center	9565 S HIGHLAND DR	SPR06302025-006990	09/17/2025		1.51	OS	Dan Medina		dwheelwright	Under Construction
AFCU Sandy Landscape Remodel	2104 E 9400 S	SPR07262022-006364	08/16/2022		2.23	PO	Brad Illingsworth		dwheelwright	Under Construction
Bicentennial Park Improvements	530 E 8680 S	SPR07272023-006575	10/17/2023			OS	Jeremy Garcia		sstringham	Under Construction
The Ridges at Dimple Dell	1405 E 10600 S	SPR08032021-006125	11/19/2021		0.02	MU	Brad Reynolds Constru	8015980246	mwilcox	Under Construction
AFCU Sandy ADA Site Improvements	2104 E 9400 S	SPR08112023-006586			2.23	PO	Brad Illingsworth		dwheelwright	Under Construction
JVWCD 700 East Well House	7618 S 700 E	SPR08212023-006589			0.80	PUD(12)	Kevin Rubow	8015654377	dwheelwright	Under Construction
Utah HPC - Phase 2	10450 S STATE ST	SPR09062024-006844	09/19/2024		0.10	CBD	Larry Oldham	8015311144	dwheelwright	Under Construction
Mountain America Credit Union	9446 S HIGHLAND DR	SPR10222024-006875	04/01/2025		0.70	SD(Magna)	Michael Shane Sanders		dwheelwright	Under Construction
OneTen Apartments	11011 S AUTO MALL DR	SPR10242022-006427	08/18/2023		2.65	CBD	Corey Solum		mwilcox	Under Construction
Hansen Warehouse Modified	9127 S 255 W	SPR11142024-006887			1.31	RC	Reid Wintersteen	6083862723	dwheelwright	Under Construction
Cedarwood at Sandy - Expansion	575 E 11000 S	SPR11172022-006447	02/21/2023		3.87	SD(EH)	Ryan Griffiths	8019102756	tirvin	Under Construction
Main Street Park	70 E 8760 S	SPR12032021-006220	01/28/2022		0.92	R-1-7.5(HS)	DAN MEDINA	801-201-2202	mwilcox	Under Construction
9000 South C-Store	694 W 9000 S	SPR12172024-006901	05/09/2025		1.77	RC	Thomas Hunt	8016644724	dwheelwright	Under Construction
Complete										
Medically Vulnerable Peoples Program (MVI)	8955 S HARRISON ST	SPR08282024-006825			1.50	RC	Shasta Galyon	9079038553	manderson	Complete
Others										
90th South Mixed Use Master Plan Amendm	8925 S HARRISON ST	SPR01022025-006902	02/07/2025		1.36	RC	David Kelly	3852835285	mwilcox	Approved
Sandy East Village Ph 3 & Dry Creek Apartm	166 E MIDVILLAGE BLVD	SPR11142022-006445				MU	IBI Group		mwilcox	Approved

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Pending										
951 E 8800 S Lot Line Adjustment	951 8800 S 84094	SUB01062026-007099				R-1-8	Brandon Harris		tirvin	Open
Dimple Dell Ridge Consolidation	1727 DIMPLE DELL RD 84092	SUB03192024-006733				R-1-20A	Efren Lopez		tirvin	Received
East Town Village Condo Plat	8327 STATE ST 84070	SUB06132023-006550		1.00		MU	Charles Akerlow		tirvin	Fees Due
Pinecone Lot Line Adjustment	734 E 10600 S	SUB06272025-006989			0.35	CN	Pinecone Properties		tirvin	Open
Sandy City Centre Plat Second Amended and	215 W 10000 S, 84070	SUB08152022-006383		4.00		CBD-A&C	David A Jenkins	8016312999	mwilcox	Open
9272 Office Condominiums	9272 S 700 E	SUB08212024-006814			3.03	CC	Brook Hintze	8018601515	tirvin	Pending
Cole 825 E 8600 S Consolidation	825 E 8600 S	SUB08232024-006817			0.71	R-1-8	Tyler Cole	8019139315	tirvin	Open
Almond/Williams lot line adjustment	409 E SEGO LILY DR	SUB08292025-007030			0.23	R-1-8(INF)	Wendy L Almond		tirvin	Received
Rasht Consolidation	8475 S STATE ST	SUB09022025-007034			0.98	RC	Ramin Nasrabi		tirvin	Received
Olsen Subdivision	265 E MAIN ST	SUB09092025-007036		2.00	0.57	R-1-7.5(HS)	Bryce Dallimore		tirvin	Open
Monte Cristo 104 Lot Line Adjust	3773 E QUAIL HILL LN	SUB09112025-007037			0.34	R-1-15	David Jenkins	8016312999	tirvin	Received
Monte Cristo 107 Lot Line Adjust	9653 S QUAIL HILL LN	SUB09112025-007038			0.36	R-1-15	David Jenkins	8016312999	tirvin	Received
Brandon Park 3 Amended Plat	1960 E BRANDON PARK WAY	SUB09242024-006855				R-1-12	Scott Hancock	8015974833	tirvin	Open
Sandy Station Block 20 Subdivision	8982 S 250 E	SUB09282022-006410	09/15/2023	2.00		R-1-7.5(HS)	Mark stephenson	8015148797	tirvin	Pending
Alta Canyon Lot Line Adjustment	9565 S HIGHLAND DR	SUB11032025-007064			1.51	OS	Jetta Marrott		tirvin	Received
Sequoia Cove Subdivision	1368 E COPPERCREEK RD	SUB11142025-007080		5.00	1.02	R-1-8	Sequoia Development,		tirvin	Pending
Mark Ray Office Building	7865 South 700 East	SUB12122025-007091				BC	Robert Money	8015731029	sstringham	Open

Under Review										
PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
GSL Electric New Production Facility	595 W SANDY PKWY	SUB01252024-006704		1.00	1.70	CR-PUD	Carl Greene	8016413894	dwheelwright	Under Review
Crescent Wood Estates	543 E 10735 S	SUB02032022-006262	02/03/2022		0.50	R-1-20A	Arthur J. (A.J.) Kim	8019133400	tirvin	Under Review
Southeast Industrial Park Amended Condomi	8496 S HARRISON ST	SUB02222022-006272	04/08/2022	16.00	1.95	RC	Jessica Rice		tirvin	Under Review
Firefly Subdivision	517 E 8680 S	SUB03172025-006927	08/10/2025	29.00	0.30	R-1-7.5(HS)	Jacob Robert Ballstaedt	8014555131	tirvin	Final Review
Aspen Plaza Condo Amendment	849 E 9400 S	SUB03262024-006735				SD(CC)-Ti	SCOTT A DILLEY	8017067384	tirvin	Under Review
9854 S. Building, LLC Condo	9854 S 700 E	SUB06092025-006981			2.36	CN	Kenneth Chapman		tirvin	Under Review
Sierra Estates III	3677 E LITTLE COTTONWOOD RD	SUB06172024-006786		2.00		R-1-10	S. Scott CARLSON	8014503511	tirvin	Under Review
Smith's Altaview SUB	10315 S 1300 E	SUB07202021-006108	09/23/2021	4.00	0.46	CC	Anderson Wahlen & As		dwheelwright	Final Review
Transwest Estates No. 1 Amended Subdivisio	1479 E LONGDALE DR	SUB08232024-006818			0.23	R-1-10	Carson Fairbourn	3853549995	tirvin	Under Review
Silver Sage Business Park II	10935 S 700 E	SUB08252025-007024			0.57	SD(PO Silv	Kyle Spencer		dwheelwright	Final Review
Falls Creek Subdivision	2873 E WASATCH BLVD	SUB09152025-007042	12/02/2025	2.00	0.49	PUD(2)	Ivory Development LL		tirvin	Final Review
Kuwahara Wholesale	8575 STATE ST, 84070	SUB10162023-006638		1.00		SD(FM-HS)	Alex Kuwahara	8016916592	tirvin	Under Review
Pepperwood Phase 10C Amended	3 S COBBLEWOOD CV	SUB11012021-006197	11/19/2021	2.00	0.71	PUD(1.62)	David Jenkins	8016312999	mwilcox	Under Review
Silver Sage Estates Subdivision	10175 S DIMPLE DELL RD	SUB12082025-007089		4.00	0.68	R-1-10	Alex Giles	4068991354	tirvin	Preliminary Review
South Towne Market Place Subdivision	10130 S STATE ST	SUB12182023-006671	04/03/2024	2.00	4.89	CBD	Jason Boal		mwilcox	Under Review

Resubmit										
PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Corner Bend Subdivision	2186 E POWDERKEG DR	SUB01142022-006249	06/21/2022		0.18	R-1-8	Dan Moore	801-554-8920	tirvin	Resubmit
Dimple Dell Ridge Lot 1 Amended Plat	1703 E DIMPLE DELL RD	SUB01182022-006256	07/05/2022	1.00	0.69	R-1-20A	Mark Goodsell	801-361-0909	tirvin	Resubmit
Dimple Dell Ridge Consolidation	1727 E DIMPLE DELL RD	SUB04012024-006741	08/10/2025		0.81	R-1-20A	Efren Lopez		tirvin	Resubmit
Jeremy Day Subdivision	8 SHADOW WOOD LN Sandy UT	SUB04032025-006944				PUD(1.62)	Blake Peterson	8017553548	tirvin	Resubmit
Red Sky Apartments	10140 S CENTENNIAL PKWY	SUB04102023-006516	05/08/2023	1.00		CBD-P	Corey Solum		mwilcox	Resubmit
Sandy Jordan Credit Union Subdivision	9260 S 300 E	SUB04142025-006950		1.00	0.60	R-1-8	Nate Reiner		dwheelwright	Resubmit
Sandy Park Center Lot 3 Amended	9835 S MONROE ST	SUB04152022-006305	06/07/2022	2.00	0.73	CBD-O	LeeAnn Miller	3852996262	tirvin	Resubmit
Sandy Station Townhomes Plat	8925 S HARRISON ST	SUB05132025-006966		64.00	1.36	RC	David Kelly	3852835285	mwilcox	Resubmit
Sandy Towns Subdivision	1270 E 8600 S	SUB06052025-006977		1.00	0.43	CN	Riley Streit		tirvin	Resubmit
Crabtree Subdivision	2845 E LITTLE COTTONWOOD RD	SUB06142022-006347	06/26/2025	2.00		R-1-15	Tami Crabtree	8012314484	tirvin	Resubmit
Thackeray Towns Subdivision	10760 S 700 E	SUB06242021-006082	06/24/2021	41.00	4.00	PUD(10)	John Sawyer		tirvin	Resubmit
Quick Quack Sandy Harmons	7708 S 700 E	SUB06252024-006790		3.00	0.33	CN	Russ Nelson		tirvin	Resubmit
Hidden Hollow Subdivision	10665 S Dimple Dell Rd	SUB06252025-006987		4.00	4.02	R-1-40A	Garrett Schmidt		tirvin	Resubmit

PROJECT NAME	ADDRESS	CASE NUMBER	APPROVED	LOTS	ACRES	ZONE	CONTACT	CONTACT #	PLANNER	STATUS
Oberland Road Subdivision	2900 E OBERLAND RD	SUB06282022-006352		3.00		R-1-40A	Dustin Freckleton	5127796368	tirvin	Resubmit
Indigo Subdivision	348 E 8000 S	SUB07112025-006996		20.00	1.00	RM(12)	Damian Mora		tirvin	Resubmit
Gutierrez Multifamily Subdivision	886 E 7800 S	SUB07112025-006998			0.47	RM(10)	Elisha Deschenie		tirvin	Resubmit
Monroe Street Center Plat Amendment	111 W 9000 S	SUB07182025-007000		1.00	0.31	RC	Mark Sudbury		tirvin	Resubmit
Hartman Estates 2 lot Subdivision	3853 E LITTLE COTTONWOOD LN	SUB08052025-007011		2.00		R-1-15	David Jenkins	8016312999	tirvin	Resubmit
Badger Cove	1651 E BADGER COVE	SUB09132023-006609				OS	Brad Park		tirvin	Resubmit
Pepperwood Phase 9 Plat Amendment	98 E LONE HOLLOW	SUB09262025-007046			2.27	PUD(1.62)	jerry Robinson		tirvin	Resubmit
Fox Hollow Plat Amendment	9476 S FOX CIR	SUB10142024-006868		1.00	0.22	R-1-8	Craig Lawrence	8015732516	tirvin	Resubmit
Classic Fun Center	9151 S MONROE ST	SUB10262024-006878		2.00	5.12	RC	David Henderson	8016084007	tirvin	Resubmit
Wooded Creek Estates	951 E 8800 S	SUB12052025-007087		8.00	0.31	R-1-8	Brandon Harris		tirvin	Resubmit
On Hold										
Meek Subdivision	3761 E LITTLE COTTONWOOD LN	SUB02282024-006722	04/23/2024	2.00		R-1-8	Robert Meek	3854810189	tirvin	On Hold
Raddon Summit Subdivision	10250 MONROE ST, 84070	SUB08312022-006390		3.00		CBD-O	Raddon Summit Hotel,		dwheelwright	On Hold
Under Construction										
Woodhaven Estates Subdivision	7613 S 300 E	SUB01182023-006471	12/18/2023	24.00	0.02	PUD (12)	Brandon Fry		tirvin	Under Construction
OneTen Apartments	109 W 11000 S	SUB03292023-006511	08/18/2023	1.00		CBD	Corey Solum		mwilcox	Under Construction
Tate Woods Subdivision	485 E 7800 S	SUB03312025-006940	06/24/2025	2.00	0.15	R-1-6	GreenRock LLC	8019317228	tirvin	Under Construction
Lot 4 Jason K Circle	182 E 9000 S	SUB04102024-006745	12/20/2024	2.00	0.63	R-1-8	Jill Kinder	8017184622	tirvin	Under Construction
Monte Cristo at LaCaille	9701 S 3775 E	SUB04262021-006034	11/29/2021	13.00		R-1-15	Chris McCandless	8015974575	mwilcox	Under Construction
Hagan Road Subdivision	11523 S HAGAN	SUB05072021-006045	06/02/2021			R-1-20A	Blair Johnson	8013011078	tirvin	Under Construction
Alta Park Subdivision	11190 S 1000 E	SUB05072024-006766	07/02/2024	4.00		R-1-8	Hayley Pratt, Castlewo	407-617-0698	tirvin	Under Construction
KV Larson Subdivision	963 E 8600 S	SUB06132023-006549	02/02/2024	8.00	2.50	SD(R-1-7)	Ronald K. Larson	2067137789	tirvin	Under Construction
Park Lane Amended	1775 E 11400 S	SUB07082022-006359	09/21/2022	2.00	0.35	SD(R-2-A)	Laine Fluekiger	8015715541	tirvin	Under Construction
Alta Canyon 2 Subdivision	9855 S 3100 E	SUB07132023-006568	07/12/2024	4.00	1.79	R-1-15	Dana Conway	8018914880	tirvin	Under Construction
Longpath Subdivision	11510 S HAGAN RD	SUB08292022-006389	11/21/2022	1.00	0.56	R-1-20A	Kyle Simons	8013814687	tirvin	Under Construction
Sandy Station Block 59 Subdivision	8810 S 90 E	SUB09232022-006408	09/15/2023	2.00	0.12	R-1-7.5(HS)	Mark stephenson	8015148797	tirvin	Under Construction
Brand Estates Subdivision	285 E 11000 S	SUB10112022-006417	08/31/2023	12.00	4.46	R-1-15	Kyle Denos	8017937660	tirvin	Under Construction
The Meadows at Cy Road	8777 S 700 E	SUB10162024-006871	02/25/2025	33.00		PUD(10)	Brad Reynolds Constru		tirvin	Under Construction
Sandy Oaks Subdivision Phase 5	8449 S 300 E	SUB11222022-006448	02/22/2023	2.00		R-1-7.5(HS)	Greg Larsen	8016081600	tirvin	Under Construction
Complete										
Little Cottonwood Estates (aka Alana Meadow)	3170 E LITTLE COTTONWOOD RD	SUB01042023-006461	06/15/2023	12.00		R-1-15	Skylar Tolbert		tirvin	Complete
Cyprus Credit Union Subdivision	8955 S 700 E	SUB01122022-006248	07/05/2023	2.00	0.78	BC	Cyprus Credit Union		dwheelwright	Complete
Crescent View Peaks	137 E 11000 S	SUB04272021-006035	06/18/2021			R-1-40A	Kyle Simons	8013814687	tirvin	Complete